

DESIGN EXHIBITS

RFP Response:

Parcel C-2A-5, Project No. Mass. R-55

516R 522 Main Street

June 16, 2021

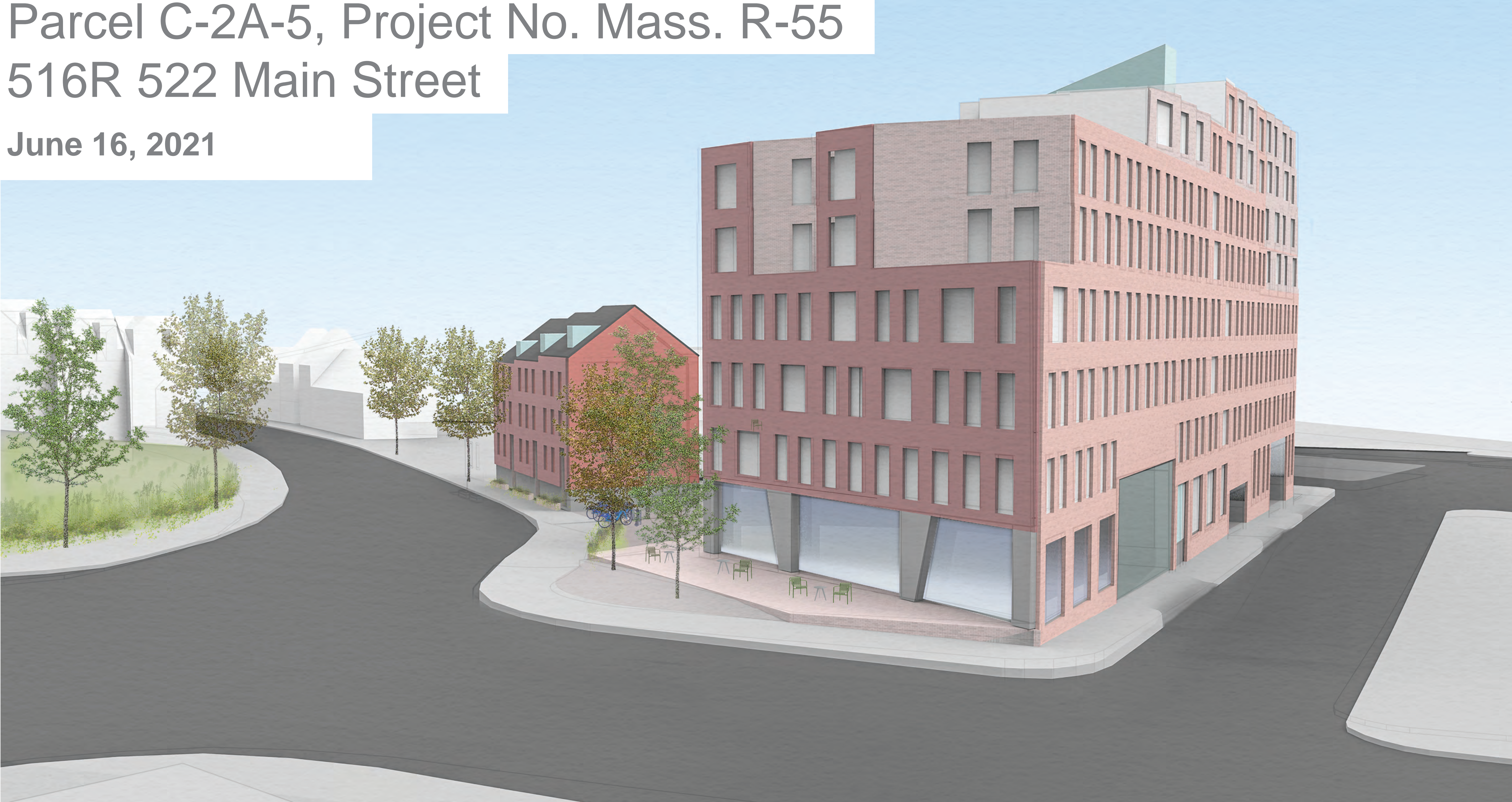


Fig. 2: Neighborhood Site Context



Fig. 1: Site Overview

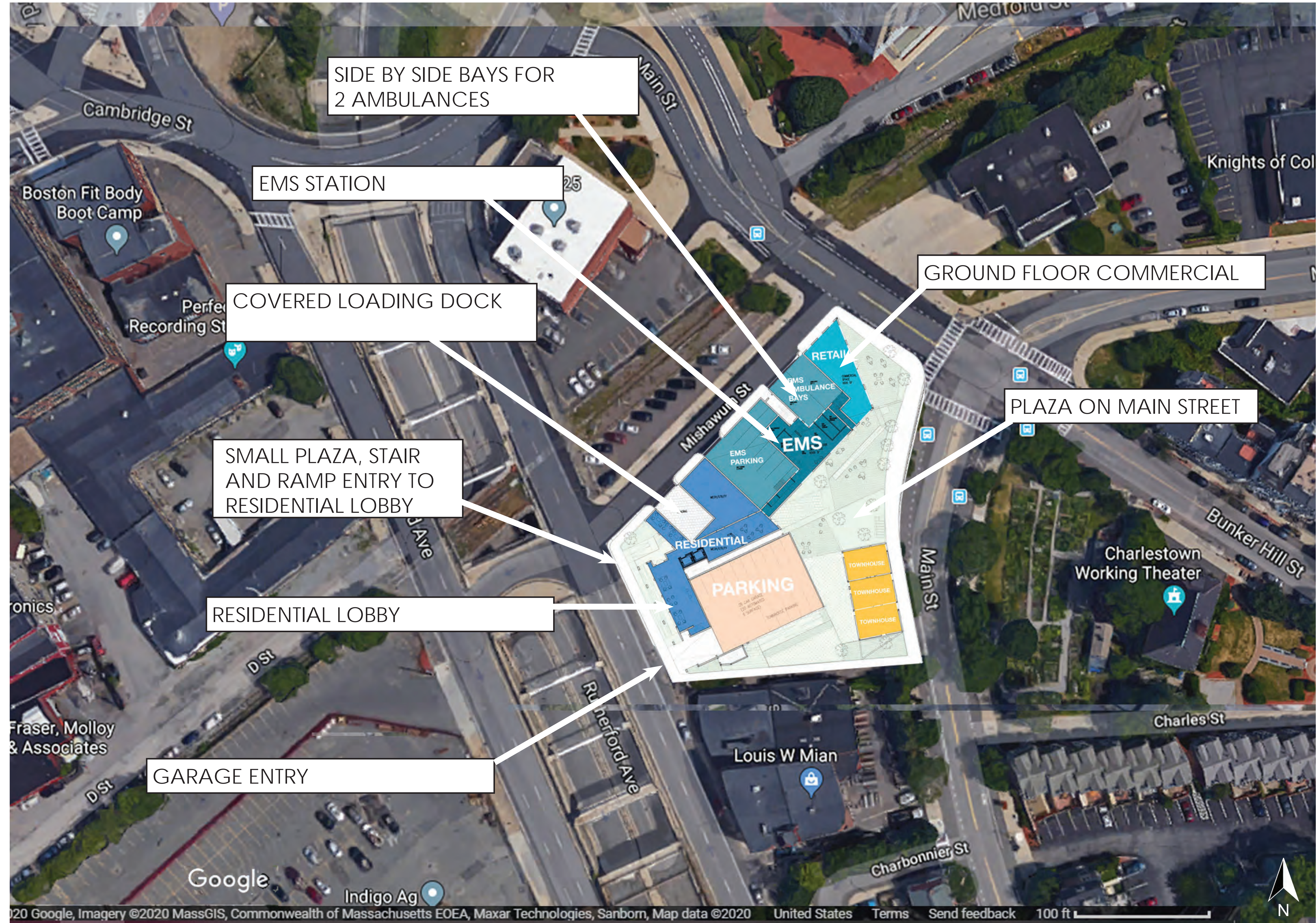
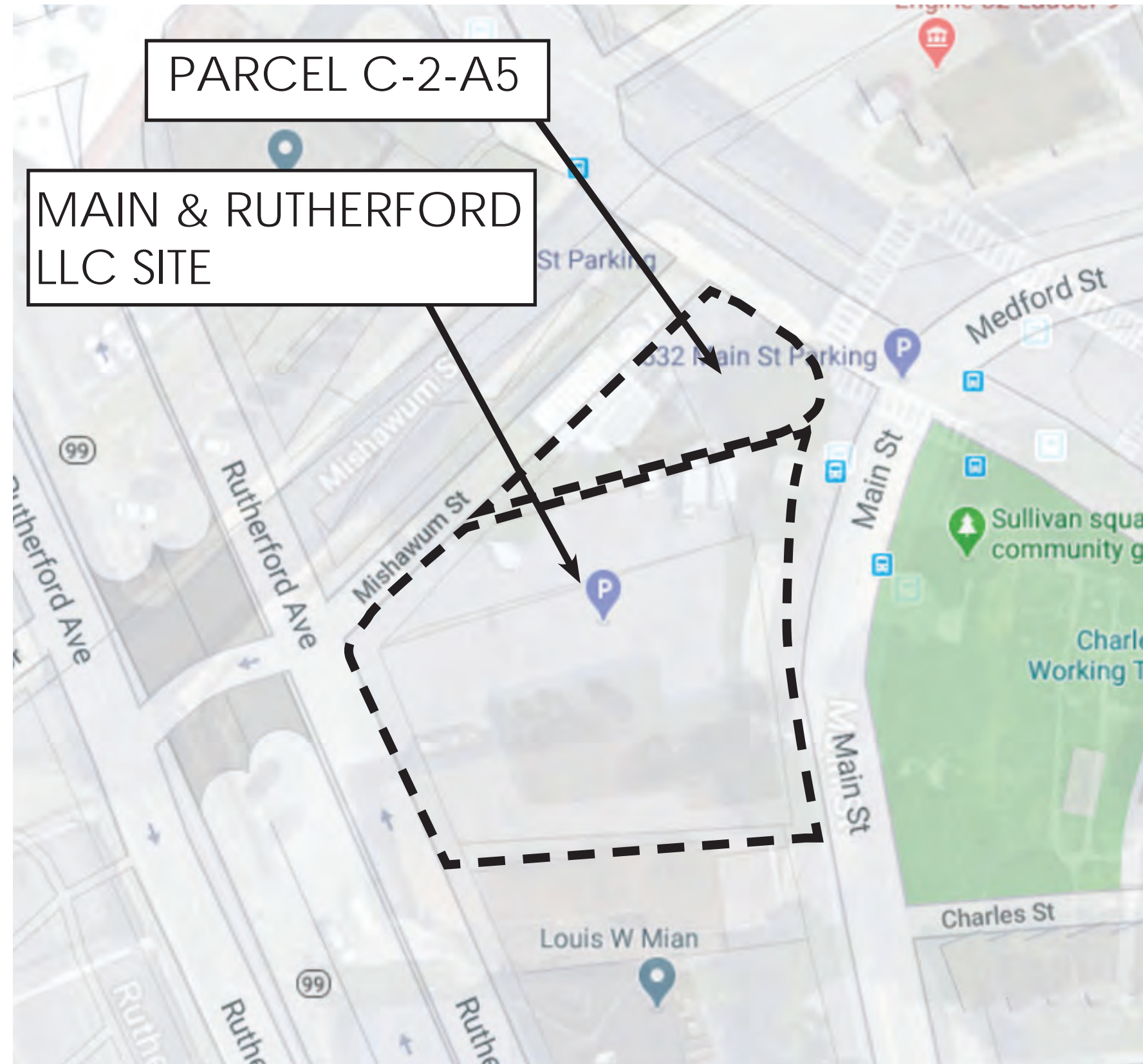


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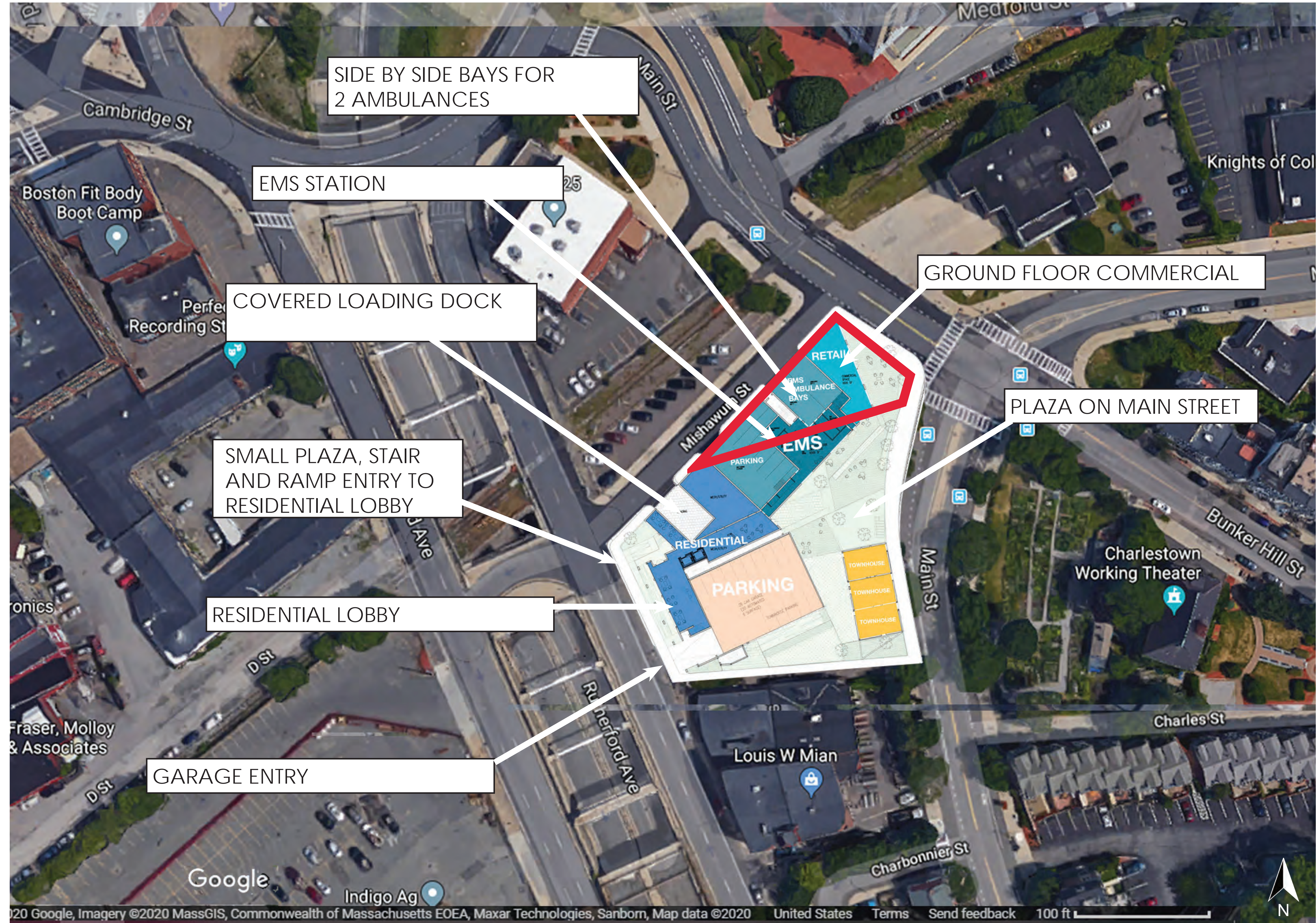
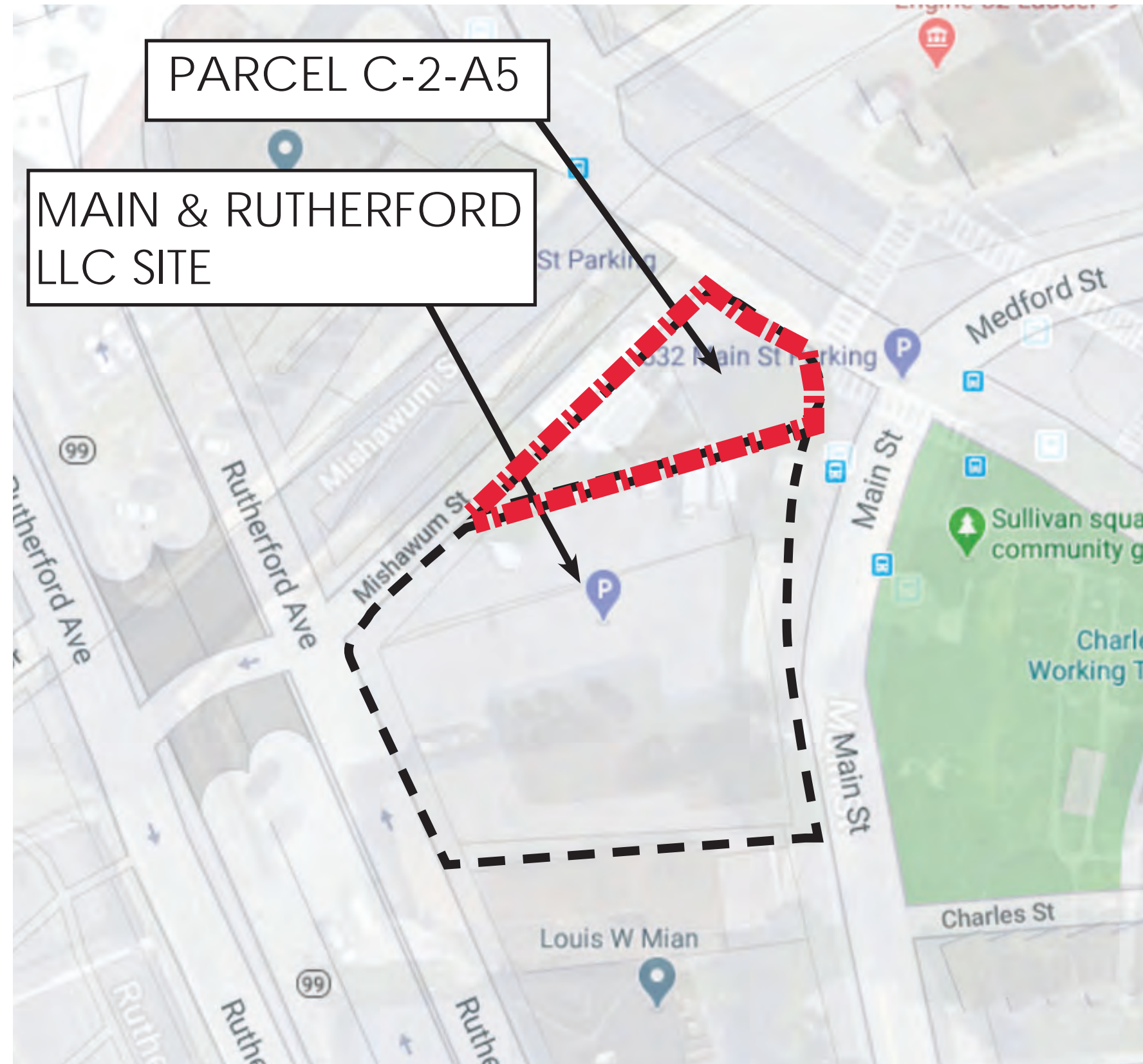


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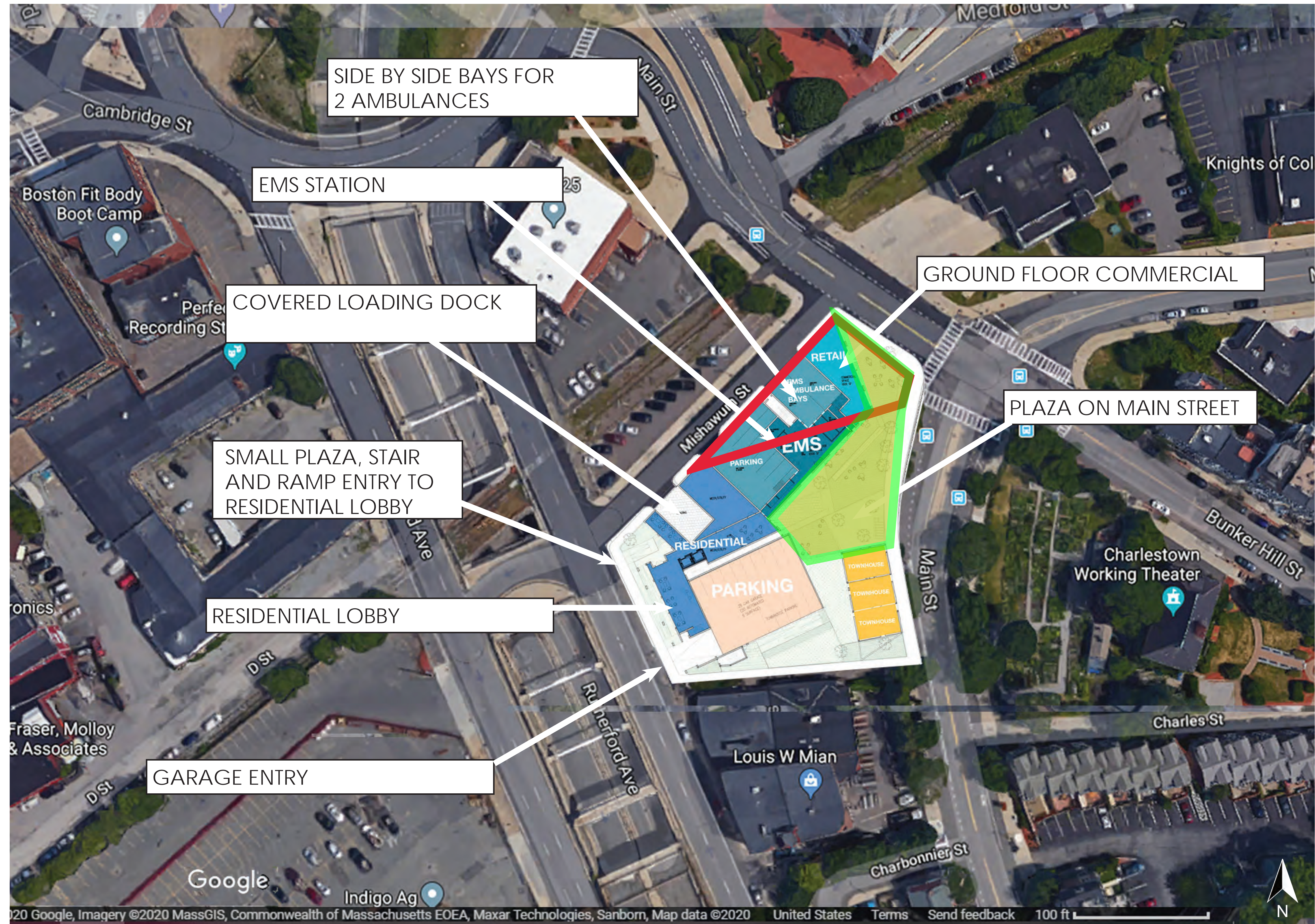
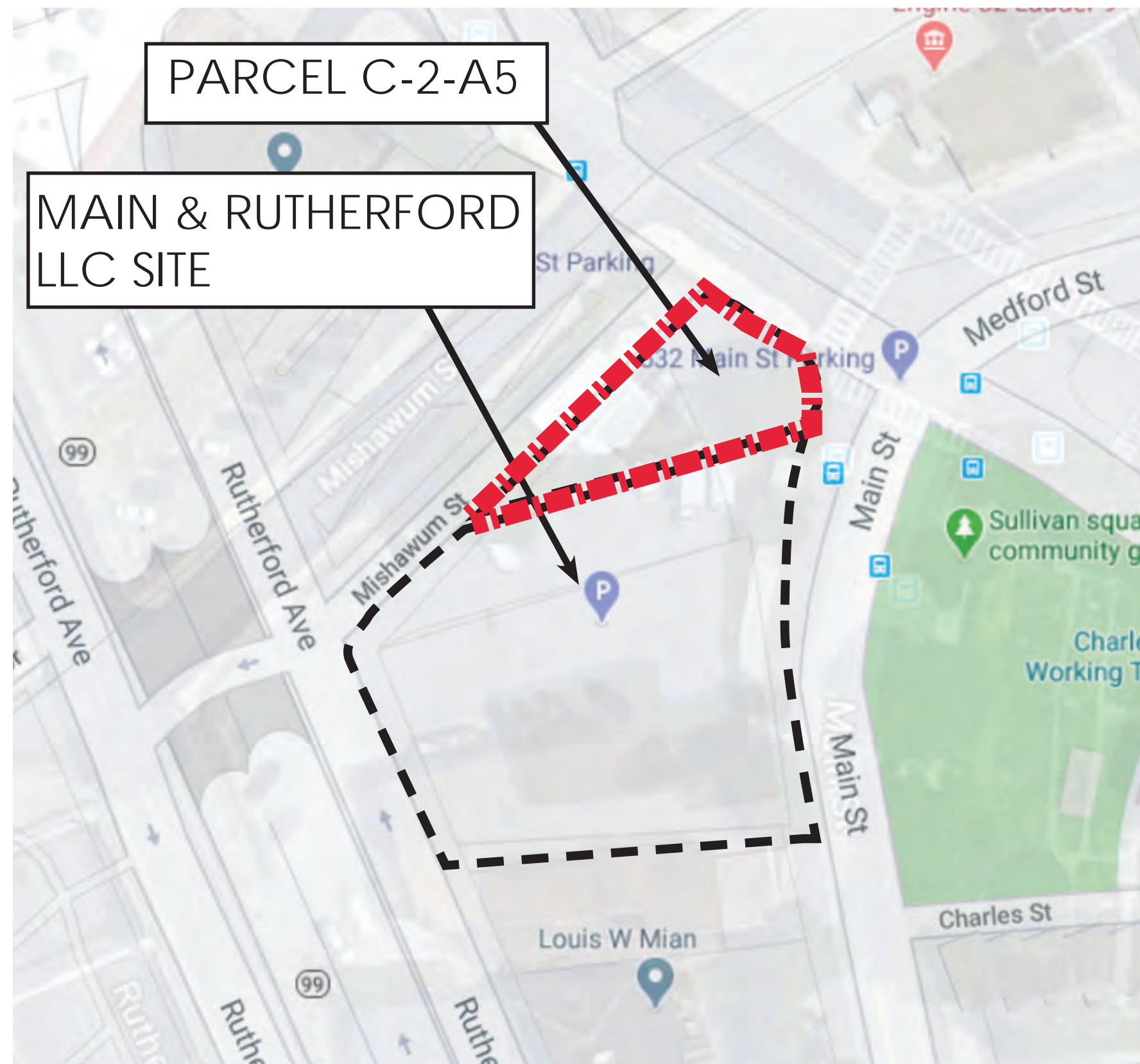


Fig. 6: **First Floor Plan**

BUILDING A

6-8 STORY COMPACT RESIDENTIAL BUILDING

with NEW ACCOMODATIONS FOR EMS STATION AT MISHAWUM ST., INCLUDING:

- 8 EMS PARKING SPACES
- 2 AMBULANCE BAYS

with RESIDENTIAL LOBBY AT RUTHERFORD AVE.

with PARTIAL GROUND FLOOR COMMERCIAL AT MAIN ST/ BUNKER HILL ST/MISHAWUM CORNER

TOWNHOUSES

(6) RESIDENTIAL UNITS AT MAIN ST

CENTRAL PARKING

PARKING STRUCTURE FOR 26 CARS INCLUDING:

- 17 RESIDENTIAL
- 3 RETAIL/COMMERCIAL
- 6 TOWNHOUSE PARKING SPACES

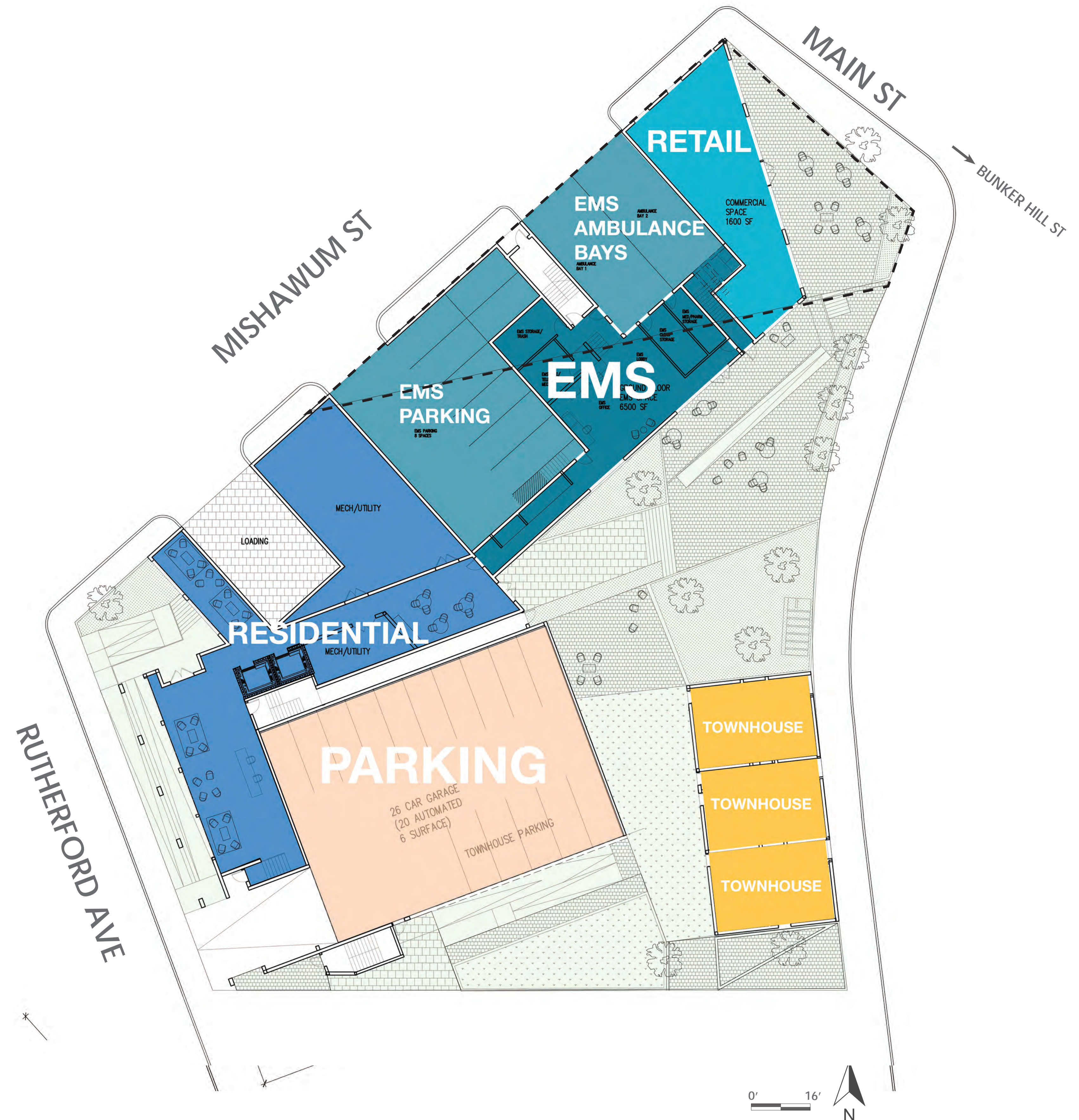


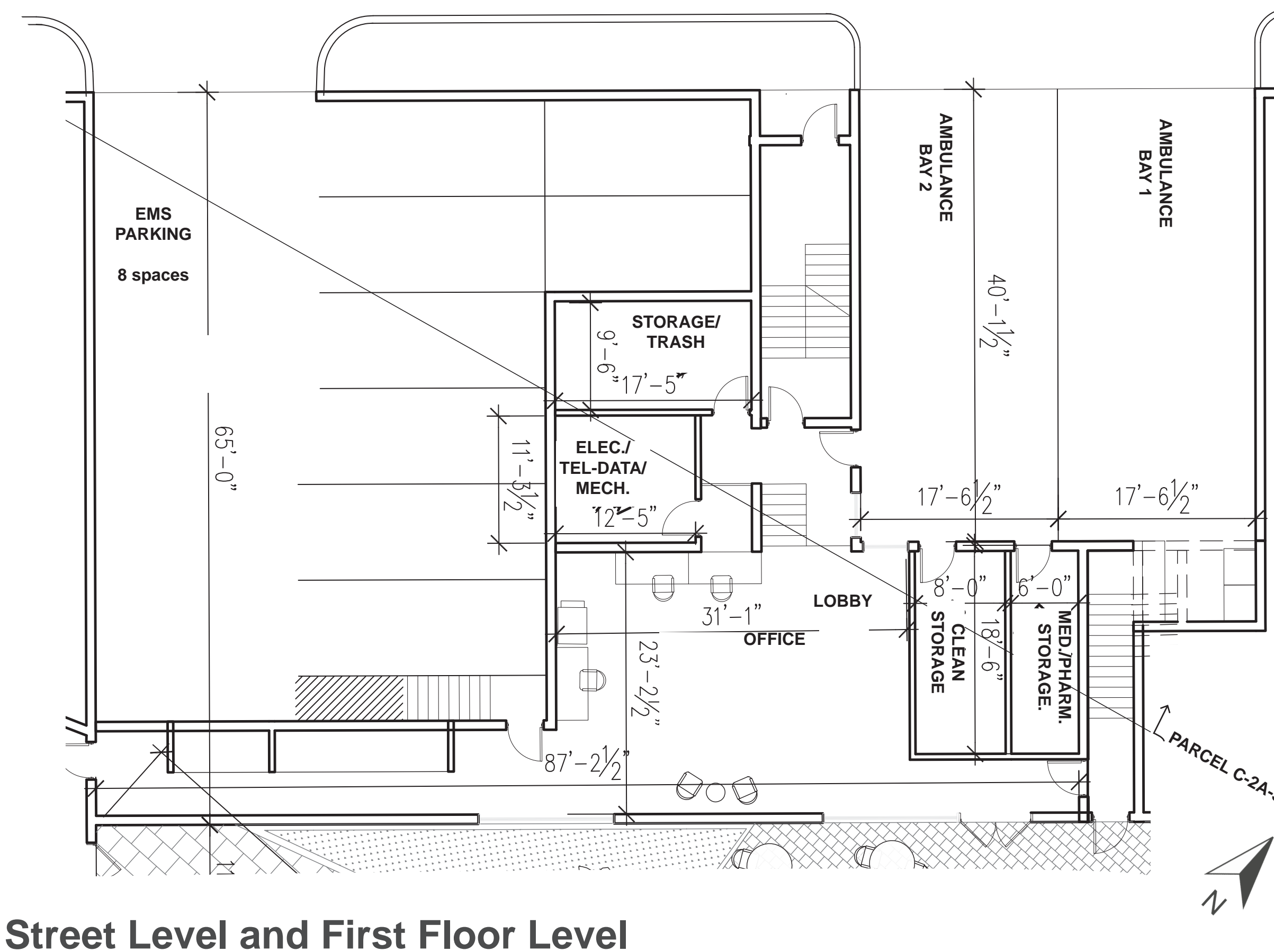
Fig. 15: EMS SUBSTATION INITIAL SPACE PLANNING

PROGRAM ELEMENTS:	
GROUND/LEVEL 1	Area SF
2 Ambulance Bays	1,500
Parking Area w/ 8 Spaces	2,500
Clean Storage	150
Medical/Pharm. Storage	100
Station Lobby	100
Station Office	300
Storage	140
Elec./Tel-Data/Mech	170
Additional misc. space	200
25% Grossing Factor	1,290

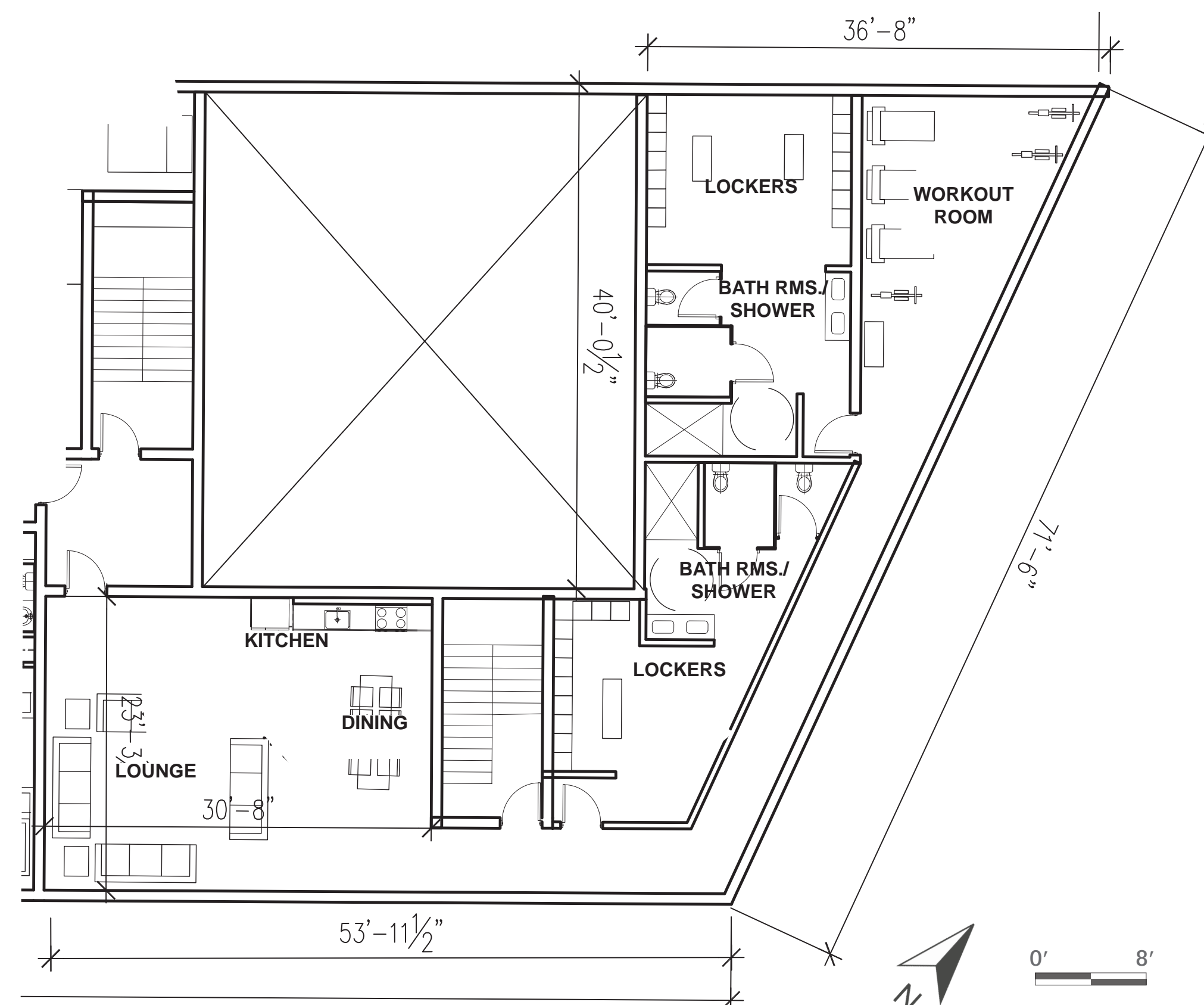
First Floor Total: 6,450

LEVEL 2	Area SF
Workout Room	320
Locker Rms. and Bath/Shower Rms.	880
Lounge, Kitchenette, + Dining	720
25% Grossing Factor	480

Second Floor Total: 2,400



Street Level and First Floor Level



Second Level

Fig. 9: **Site Access Diagram**

- ◄-■-► VEHICLE
- ◄-▬-► ACCESSIBLE PEDESTRIAN ROUTE/ EGRESS
- ◄-▬-► PEDESTRIAN ROUTE
- ◄-▬-► EGRESS



Fig. 5: **Site Plan**

BUILDING A

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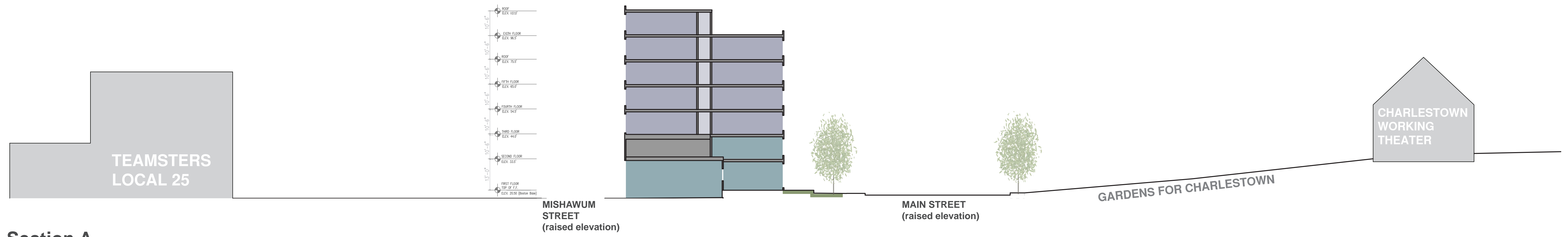
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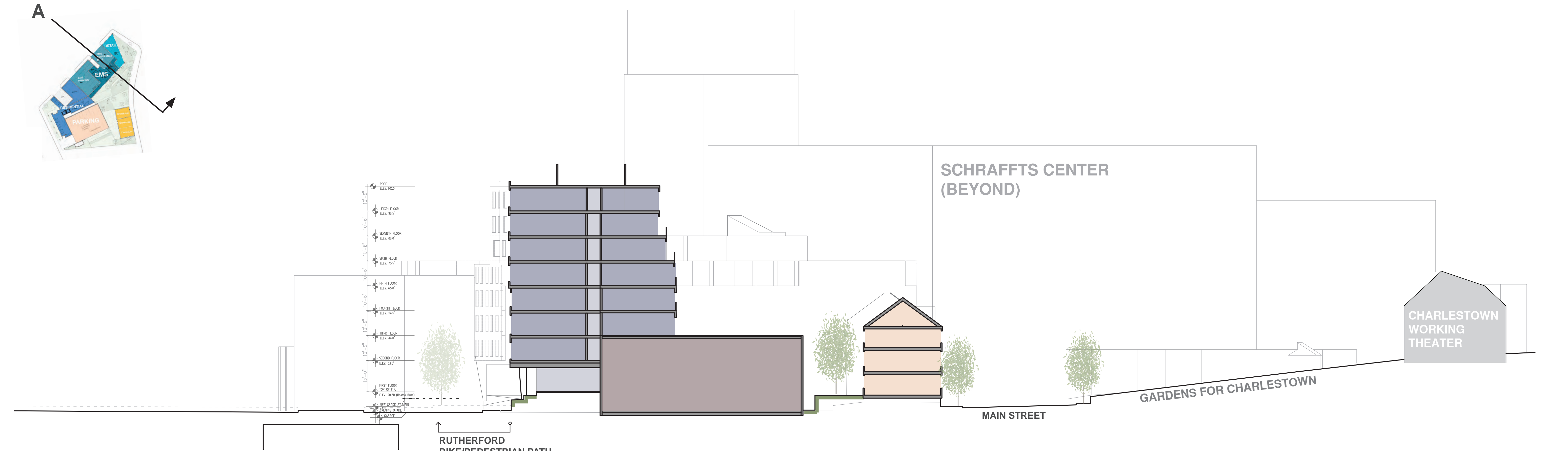
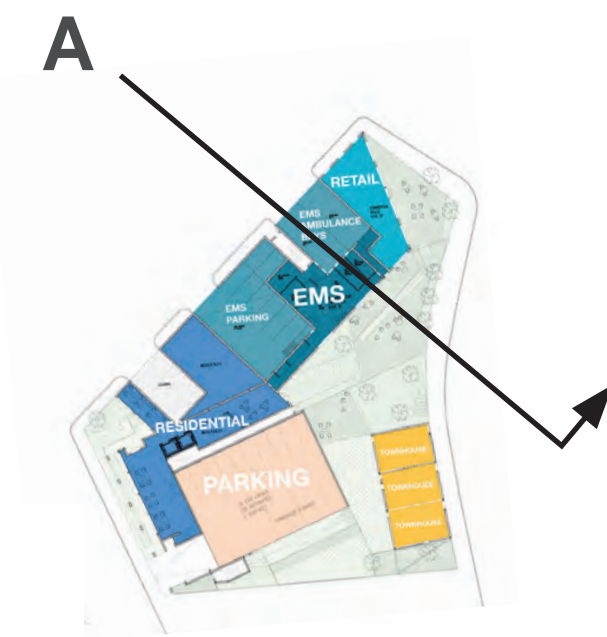
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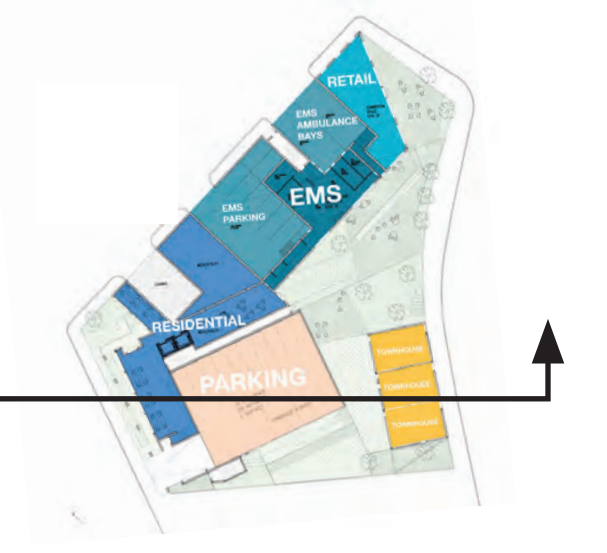
Fig. 7: Site Sections



Section A



Section B



KEY:

- RESIDENTIAL
- EMS
- TOWNHOUSES
- GARAGE
- PLAZA/GREENSPACE

Fig. 4: PROJECT OVERVIEW TABLES

TOTAL BUILDOUT

BUILDING A	
	Area SF
EMS Substation	8,850
Retail	1,500
Residential -	95,203
Total :	105,553

GARAGE	
	Area SF
20 Car Automated Garage	
6 Townhouse Surface Spaces	
Total:	9,900

TOWNHOUSES	
	Area SF
Unit 1	670
Unit 2	670
Unit 3	670
Unit 4	1,830
Unit 5	1,830
Unit 6	1,830
Total:	7,500

Total Gross Square Footage per Boston Zoning: **122,953**

BLDG A: Compact Unit Building Mix				
Studio:	1BR:	2BR:	3BR:	
30	56	22	9	
Total Units in Apt Building:				117
Townhouse Unit Mix				
Studio:	1BR:	2BR:	3BR:	
0	3	0	3	
Total Units in Townhouses:				6
TOTAL UNIT COUNT:				123

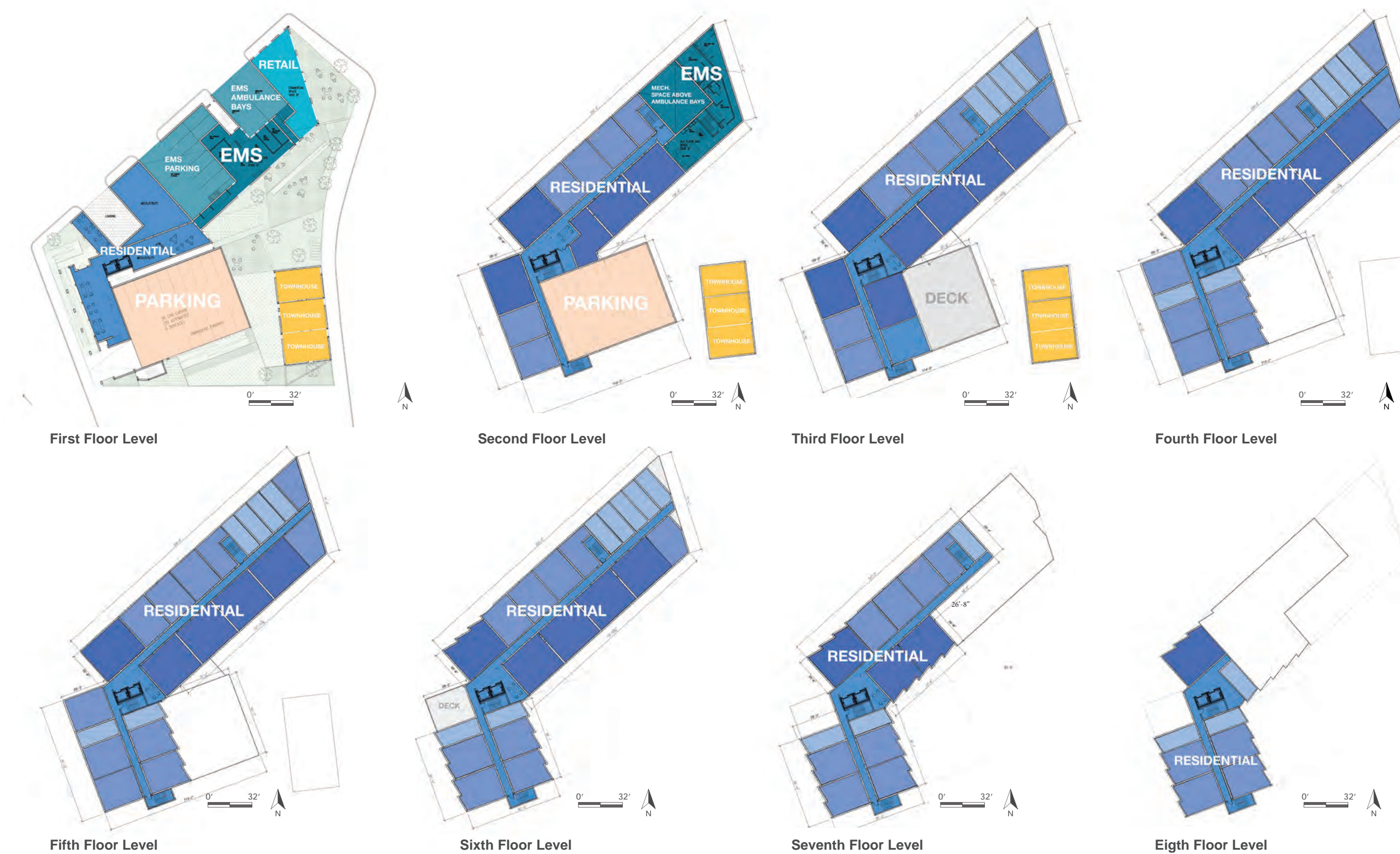
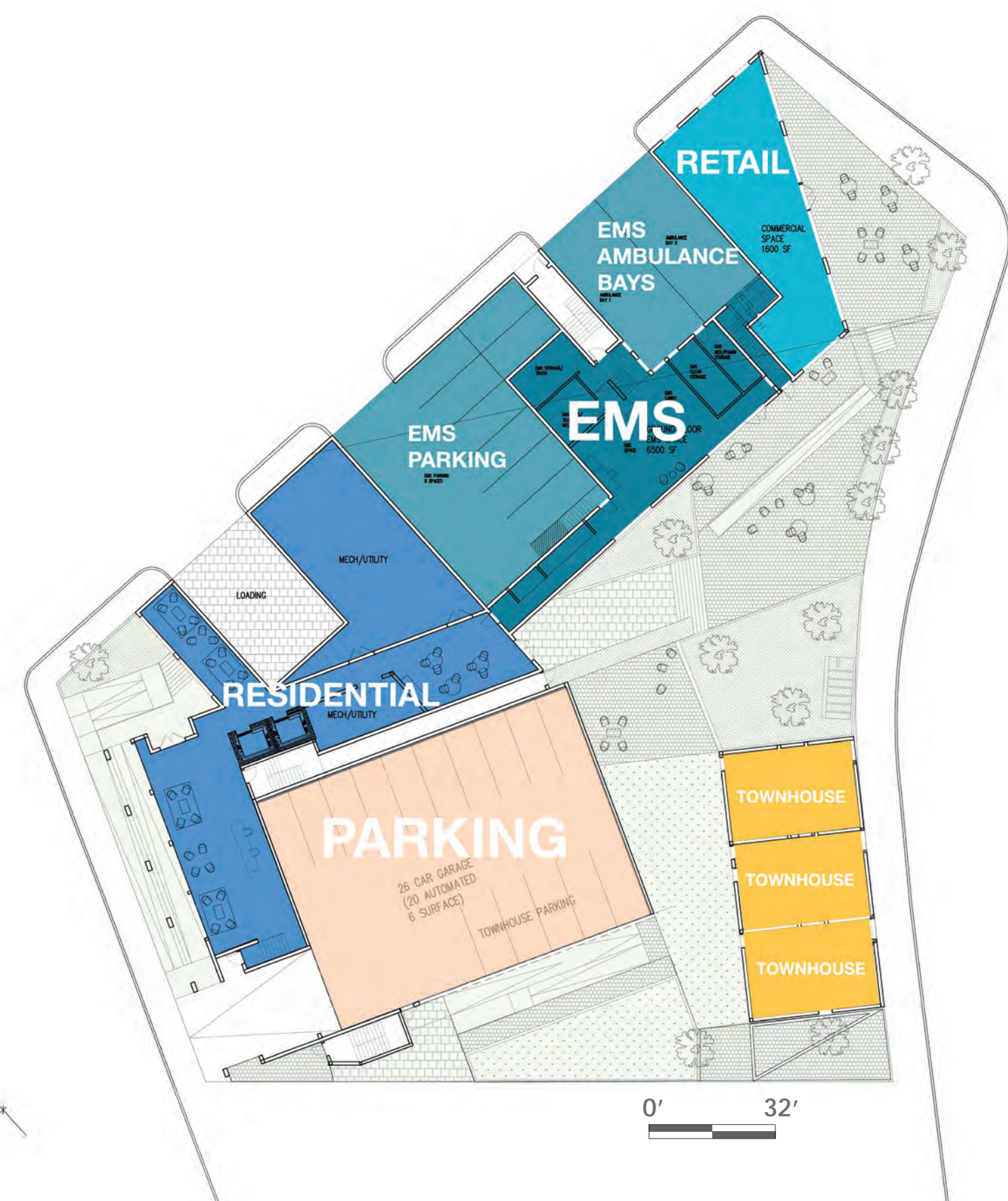
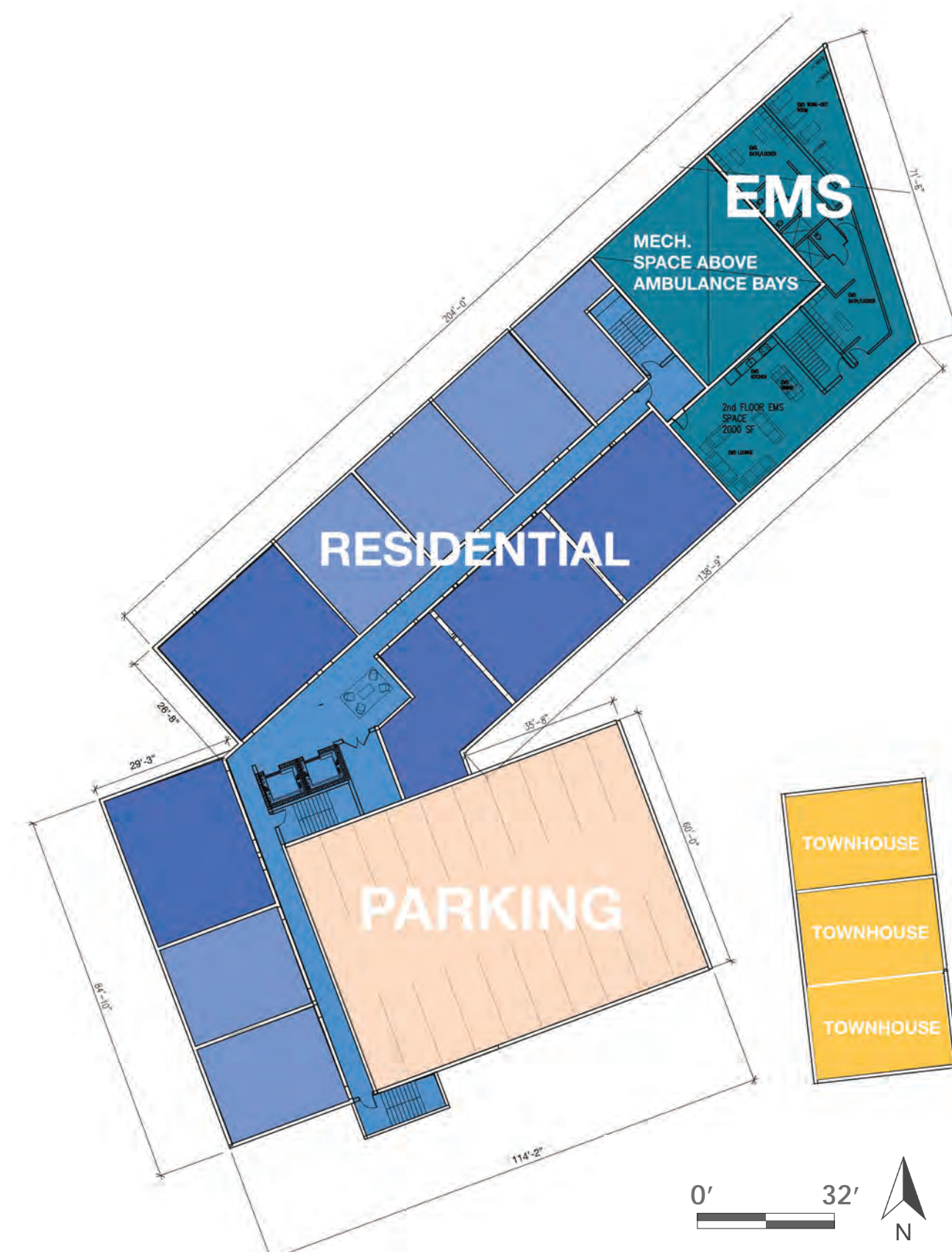


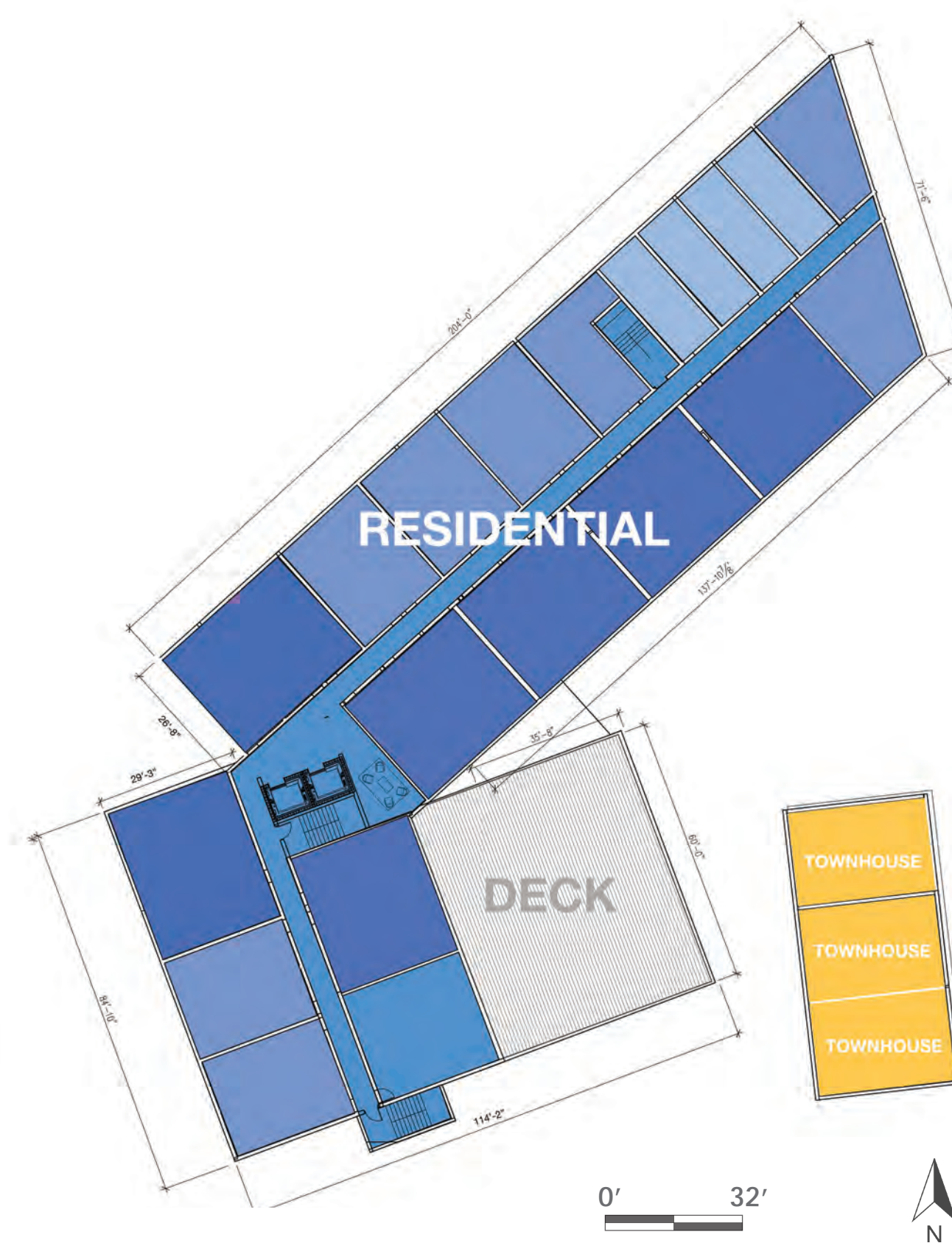
Fig. 3: Project Overview



First Floor Level



Second Floor Level



Third Floor Level



Fourth Floor Level



Fifth Floor Level



Sixth Floor Level



Seventh Floor Level



Eighth Floor Level

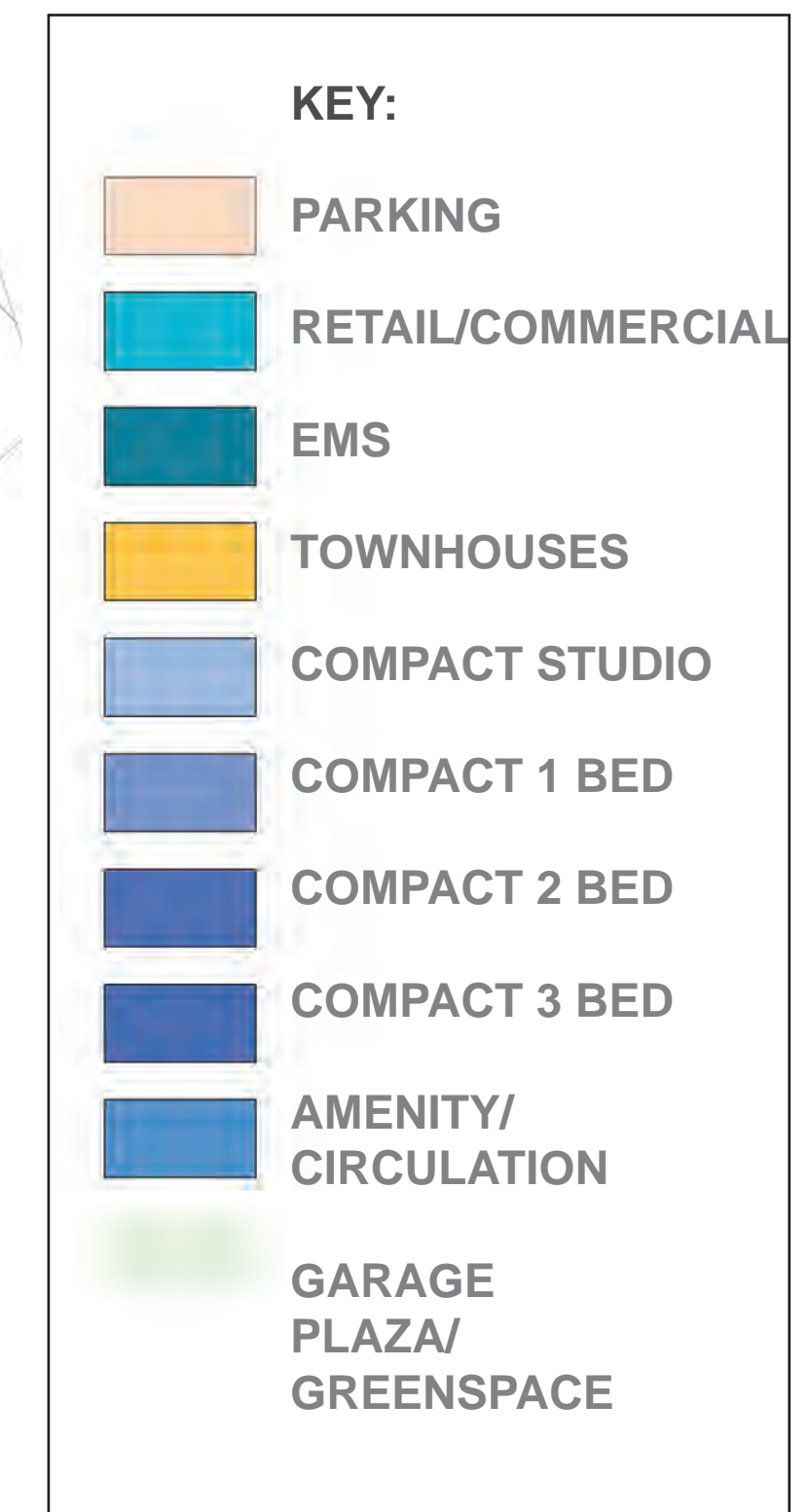


Fig. 8 : Building and Use Site Context

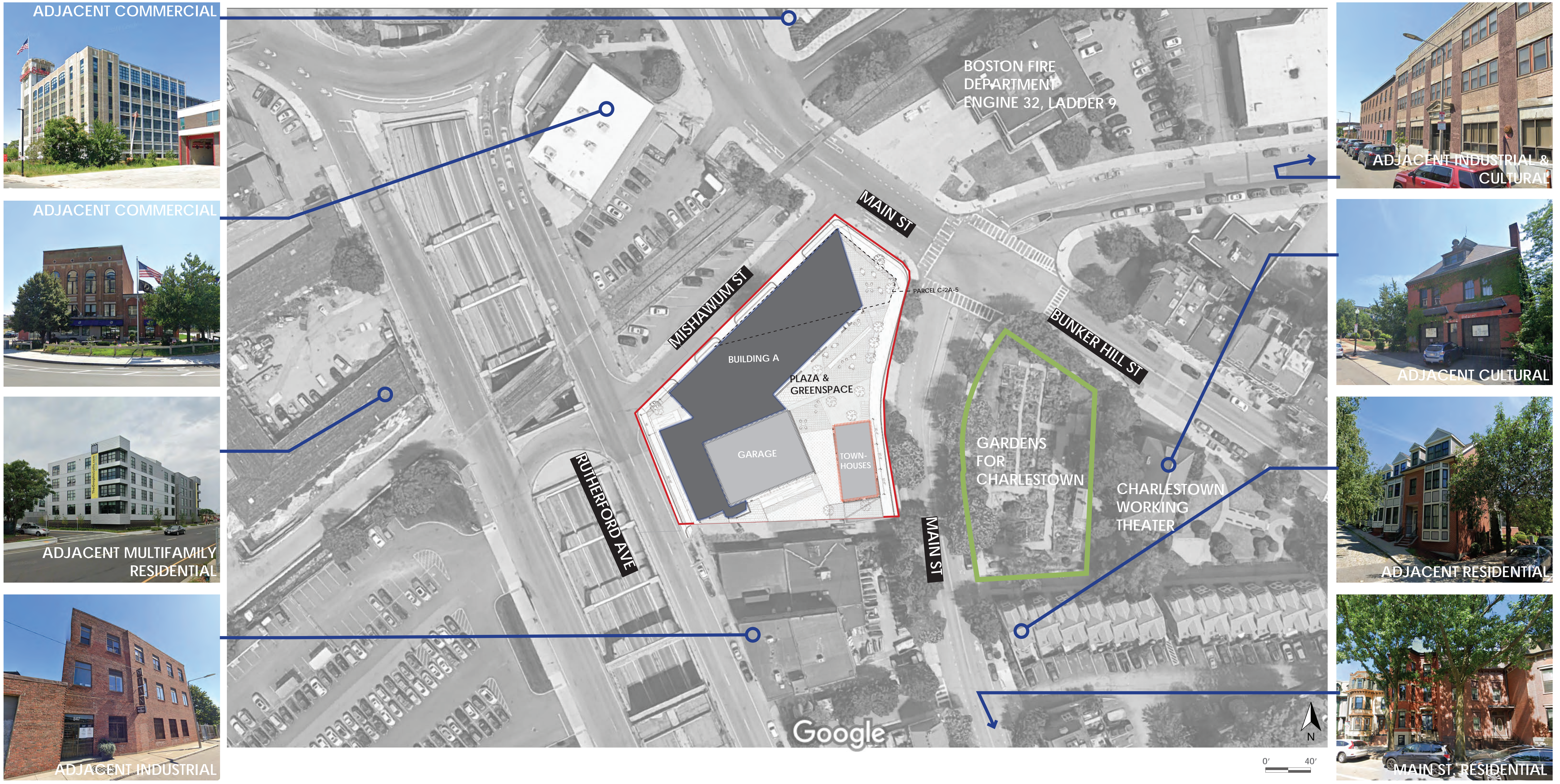
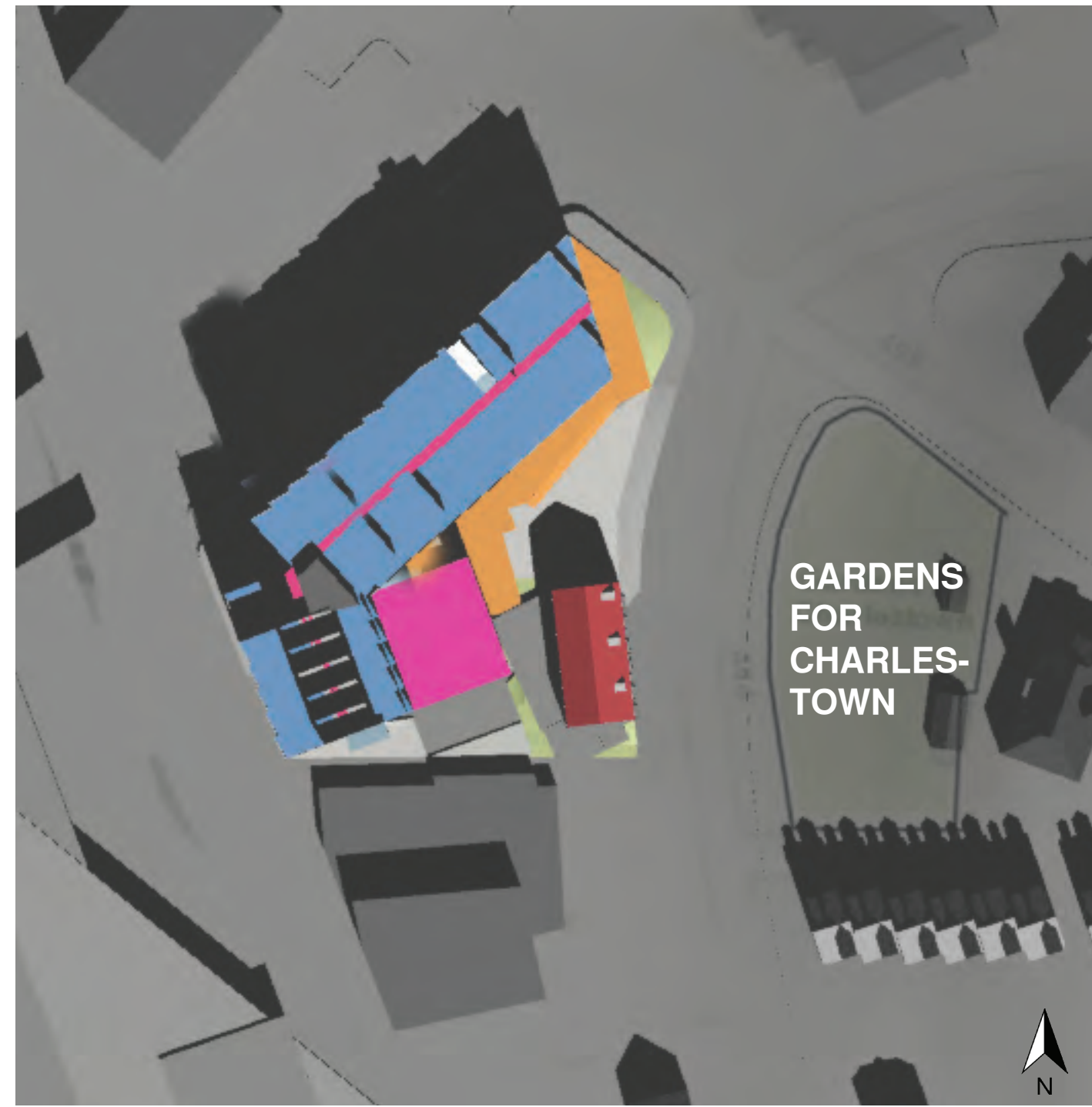
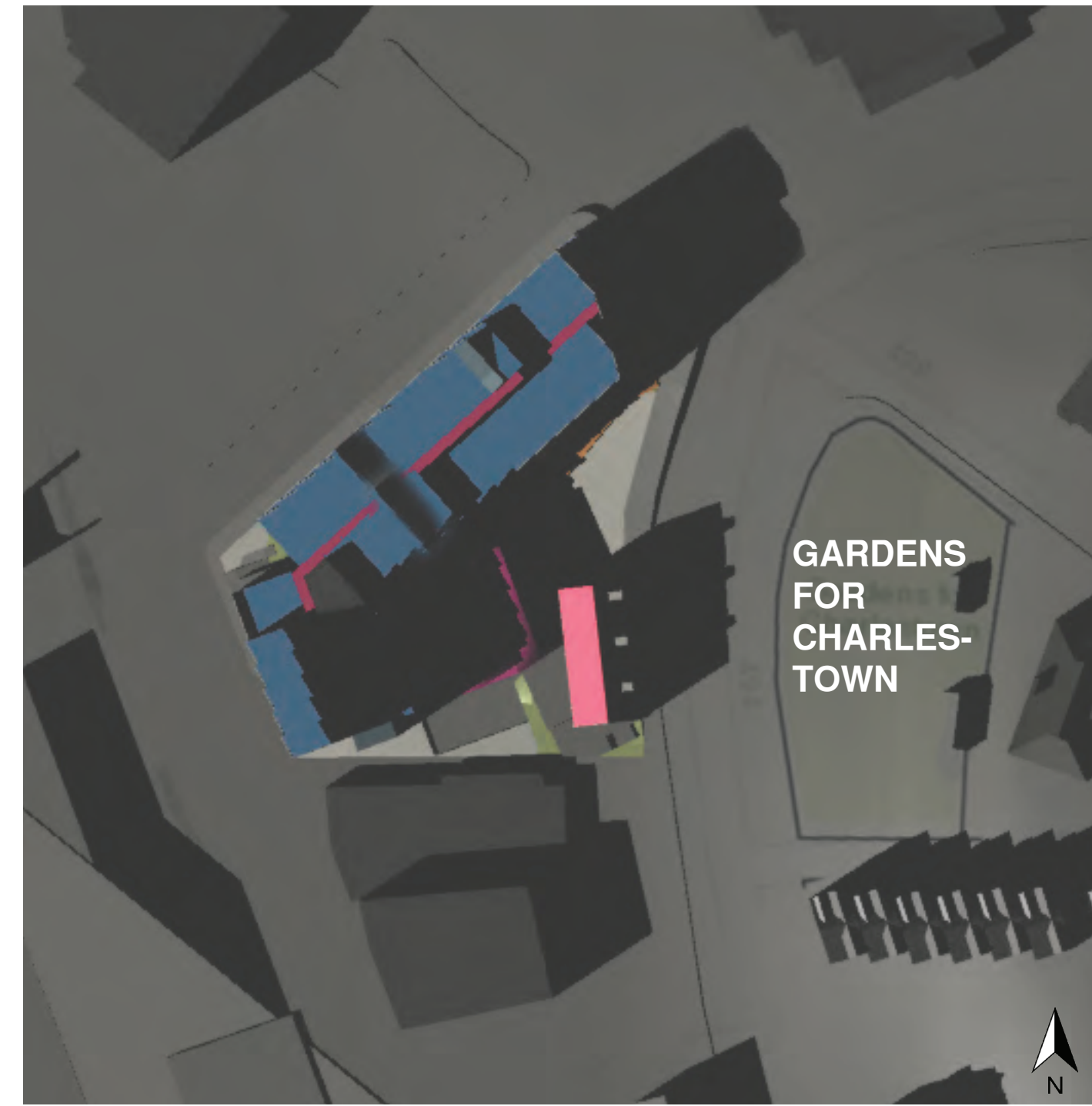


Fig. 10: Sun Studies



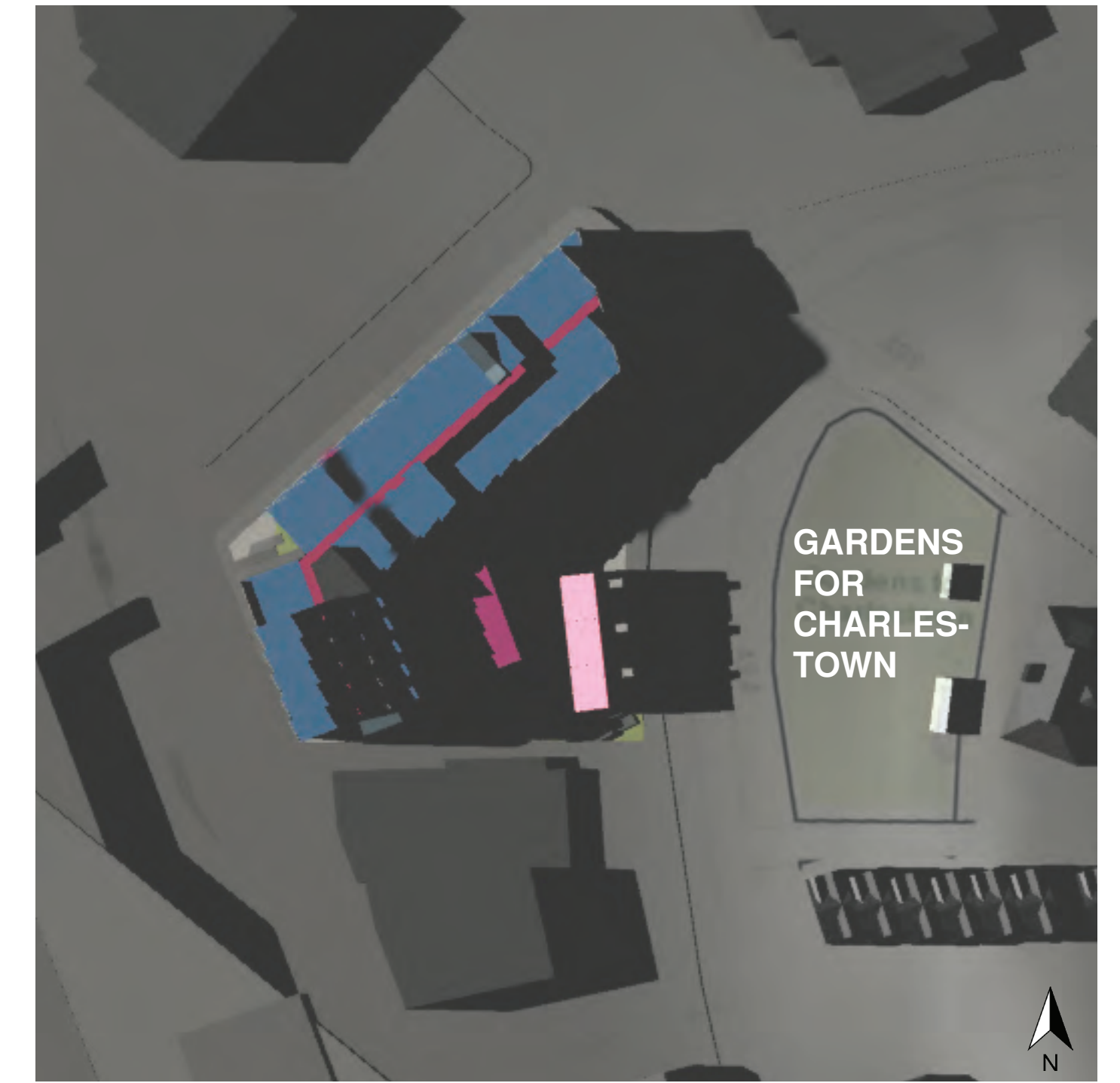
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3/21 4PM (EQUINOX)



6/21 12PM (SUMMER SOLSTICE)



6/21 5PM (SUMMER SOLSTICE)



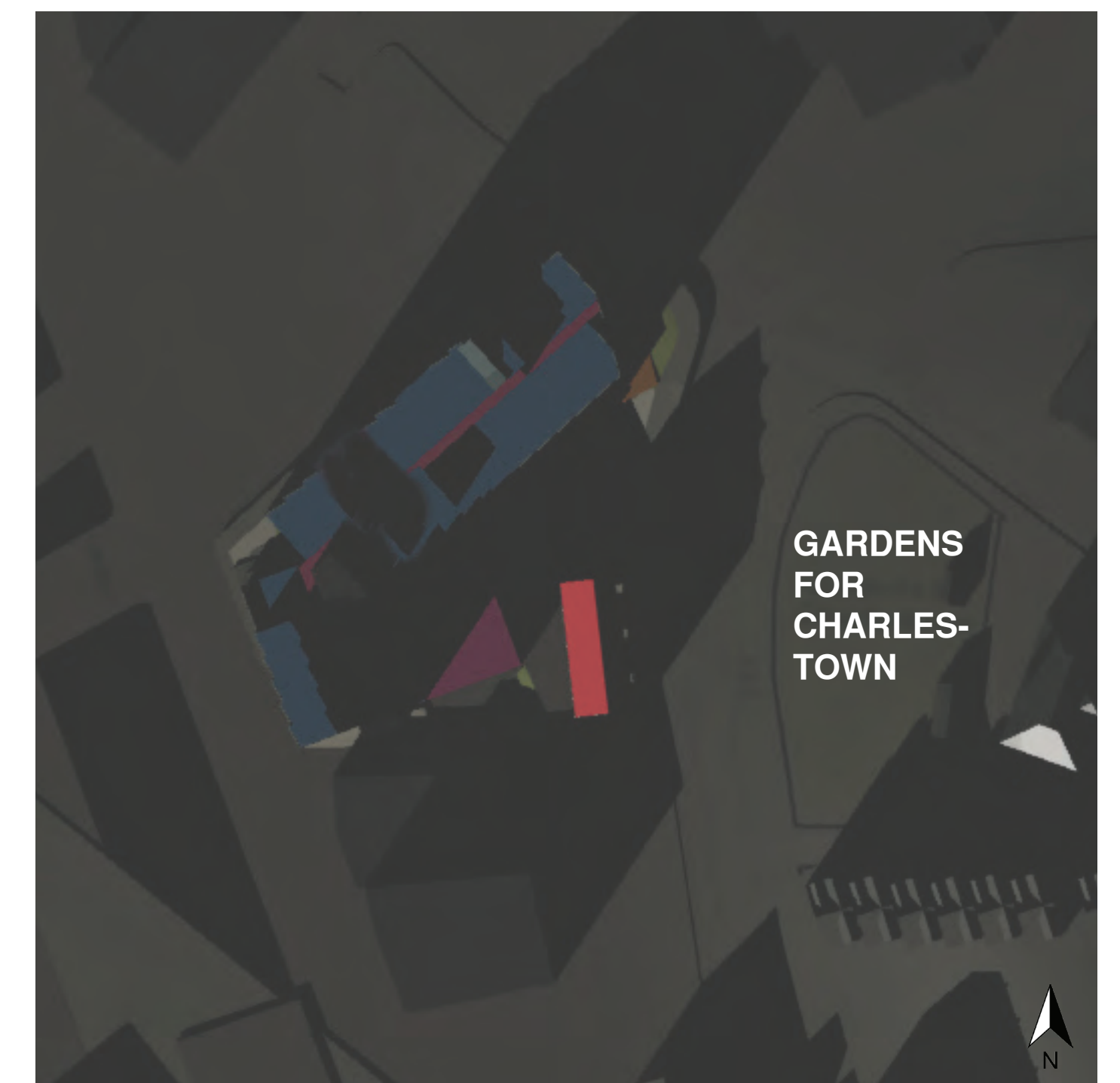
8/21 5PM



9/21 12PM (EQUINOX)



9/21 4PM (EQUINOX)



12/21 3PM (WINTER SOLSTICE)

Fig. 11: Main Street Approach



Fig. 13: Rutherford Ave. View



Fig. 12: **View at Bunker Hill St. and Mishawum St.**



Fig. 16 : **Temporary EMS Relocation Plan**

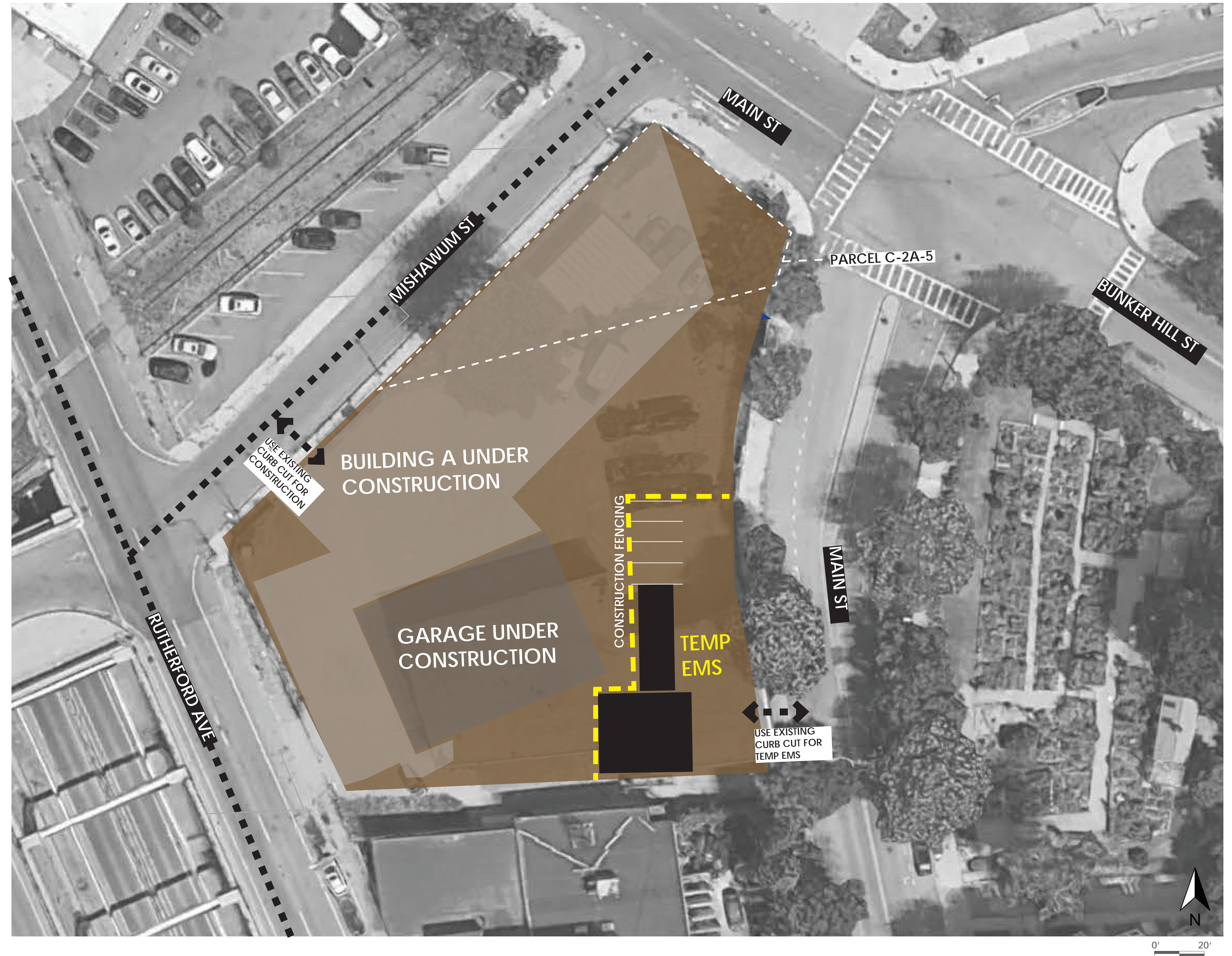


Fig. 17 : **Site Survey**

