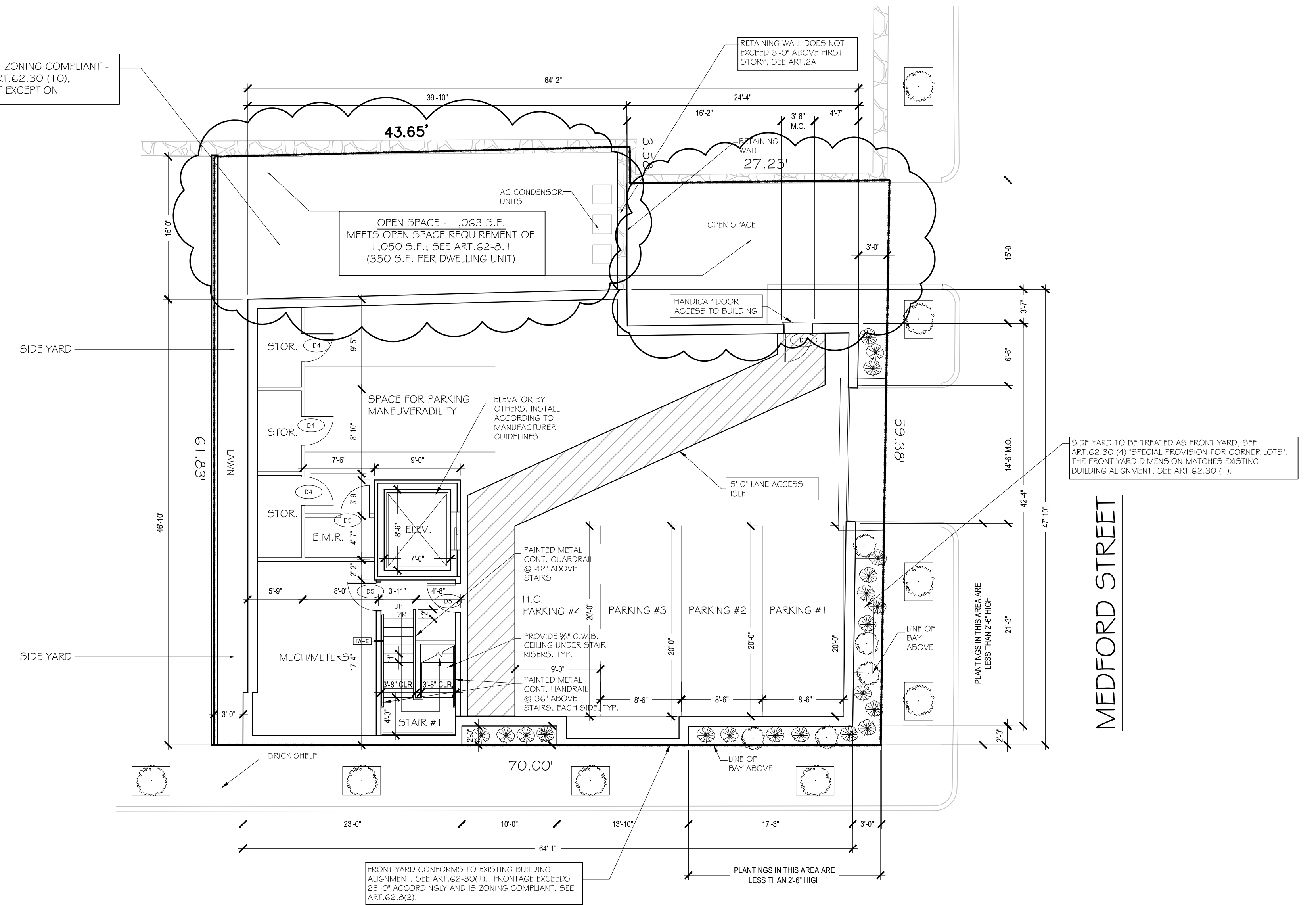


ZONING ANALYSIS

54-56 Belmont St. - Charlestown, MA
 New Construction -3 Condominium Units - 6 Parking Spaces
 Zoning District: Charlestown Neighborhood District: 3F - 2,000
 Lot Area: 4,276 s.f.
 Allowable Use: 3 Family Detached Dwelling - "Allowed"

ZONING ITEM	REQUIRED	PROVIDED	MEETS REQUIRMT: YES/NO
1. LOT AREA MIN.	2,000 S.F. (FOR 2 UNITS)	2,000 S.F.	YES
2.ADDITIONAL LOT AREA - PER DWELLING UNIT	1,000 S.F. FOR 1 UNIT	1,000 S.F.	YES
3. LOT WIDTH MIN. FT.	25'	70'	YES
4. LOT FRONTAGE MIN. FT.	25'	70'	YES
5. MAXIMUM FLOOR AREA RATIO (F.A.R.)	2.0 (2.0 X 4276 S.F. = 8552 G.S.F.)	8532 G.S.F. 1,995 F.A.R.	YES
6. BLDG. HEIGHT - STORIES	3 STORIES	3 STORIES	YES
6A. BLDG. HEIGHT- FEET	35' MAX.	35'	YES
7. USABLE OPEN SPACE PER D.U.	350 S.F. per D.U. (350 S.F. X 3 D.U. = 1050 S.F.)	1,063 S.F.	YES
8. FRONT YARD MIN. DEPTH	0' SECTION 62-30.1	0'	YES
9. SIDE YARD MIN. WIDTH	2-1/2'	3'	YES
10. REAR YARD MIN. DEPTH	15' SECTION 67-30.10	15'	YES
11. REAR YARD MAX. OCCUPANCY ACCESSORY BLDG.	N/A	NO REQUIREMENT	YES
13. PARKING:	1.5 SPACE PER D.U. 1.5X3=4.5 OR 4 (SEE ART.2A RULE FOR ROUNDING NUMBERS)	4	YES

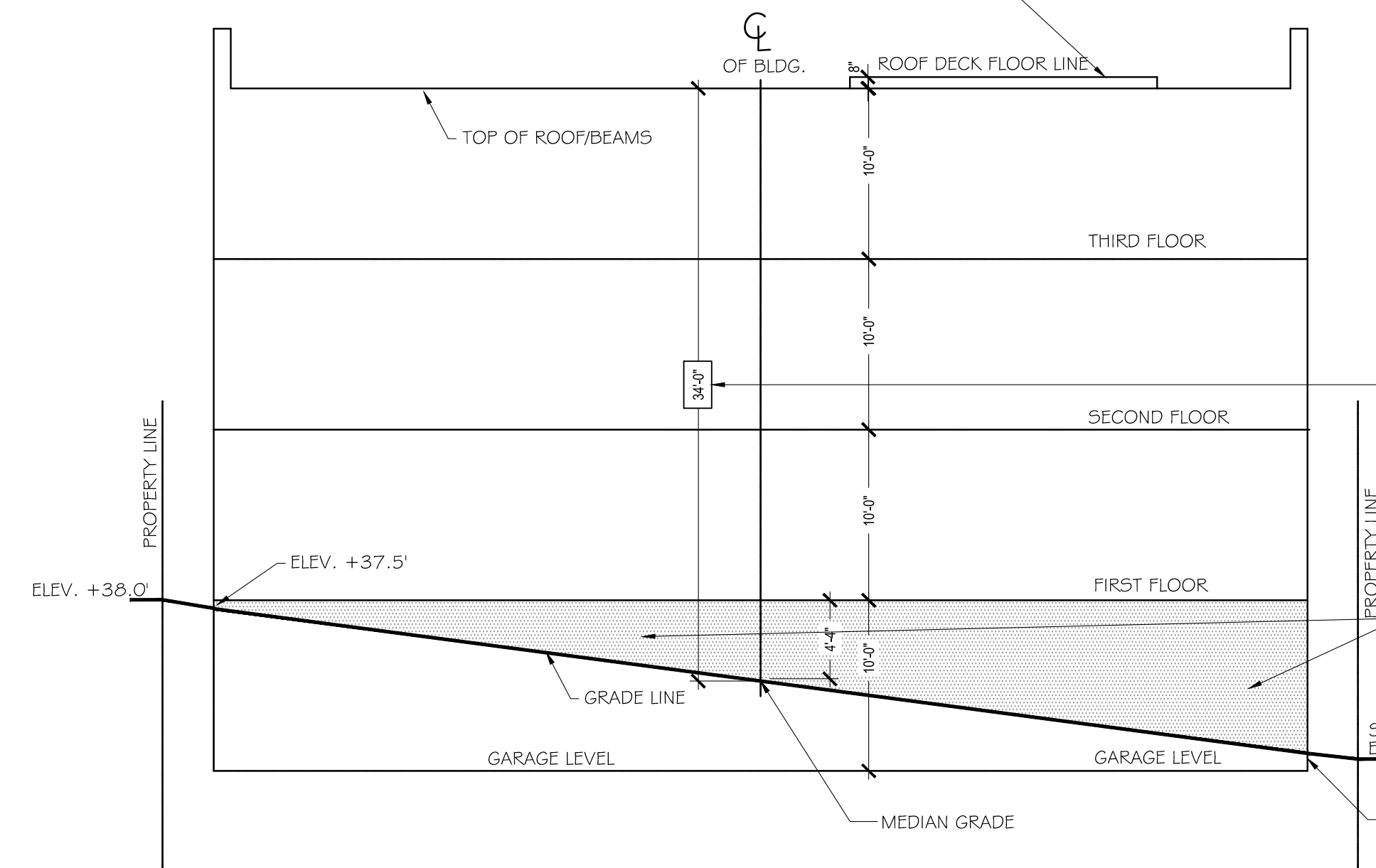


○ GROUND FLOOR PLAN
 1/8" = 1'-0" 150 G.S.F.

BELMONT STREET

MEDFORD STREET

ROOF DECK CONFORMS TO ROOF STRUCTURE RESTRICTIONS, SEE ARTICLE 62-25.



○ FRONT ELEVATION @ BELMONT STREET- BUILDING HEIGHT COMPLIANCE DRAWING
 1/8" = 1'-0"

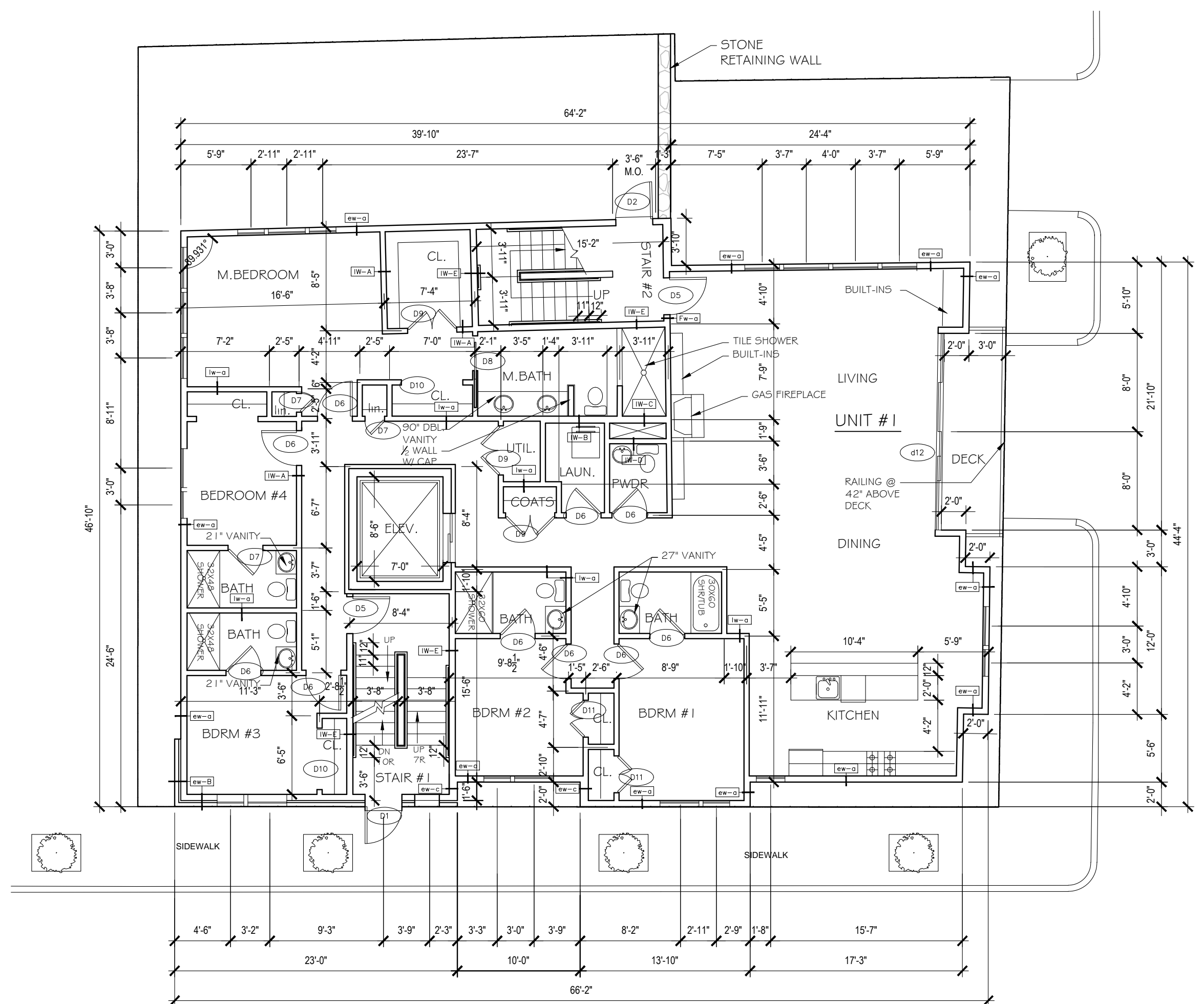
BUILDING HEIGHT - BY DEFINITION FROM ARTICLE 2A: THE VERTICAL DISTANCE FROM GRADE TO THE TOP OF THE HIGHEST POINT OF THE ROOF BEAMS OF A FLAT ROOF, OR THE MEAN LEVEL OF THE HIGHEST GABLE OR OF THE SLOPE OF A HIP ROOF, EXCLUDING ROOF STRUCTURES AND PENTHOUSES NORMALLY BUILT ABOVE THE ROOF AND NOT USED OR DESIGNED TO BE USED FOR HUMAN OCCUPANCY, PROVIDED THAT THE TOTAL AREA OF SUCH ROOF STRUCTURES AND PENTHOUSES DOES NOT EXCEED 33-1/3 PERCENT OF THE ROOF AREA. A MANSARD ROOF SHALL BE CONSIDERED A FLAT ROOF.

BUILDING HEIGHT CONFORMS BECAUSE IT IS 3 STORIES 4 LESS THAN 35'.
 1. HEIGHT = GRADE TO ROOF BEAMS = 34'-0". GRADE DEFINED BY ART.2A, BUILDING HEIGHT CONFORMS ACCORDINGLY
 2. STORIES - BY DEFINITION FROM ARTICLE 2A: "STORY", THAT PORTION OF A BUILDING INCLUDED BETWEEN THE UPPER SURFACE OF A FLOOR AND THE UPPER SURFACE OF THE FLOOR OR ROOF NEXT ABOVE, EXCEPT THAT A SPACE USED EXCLUSIVELY FOR THE HOUSING ABOVE THE ROOF OF MECHANICAL EQUIPMENT OF A BUILDING SHALL NOT BE CONSIDERED TO BE A STORY IF ACCESS TO SUCH SPACE MAY BE HAD ONLY FOR MAINTENANCE OF SUCH EQUIPMENT.

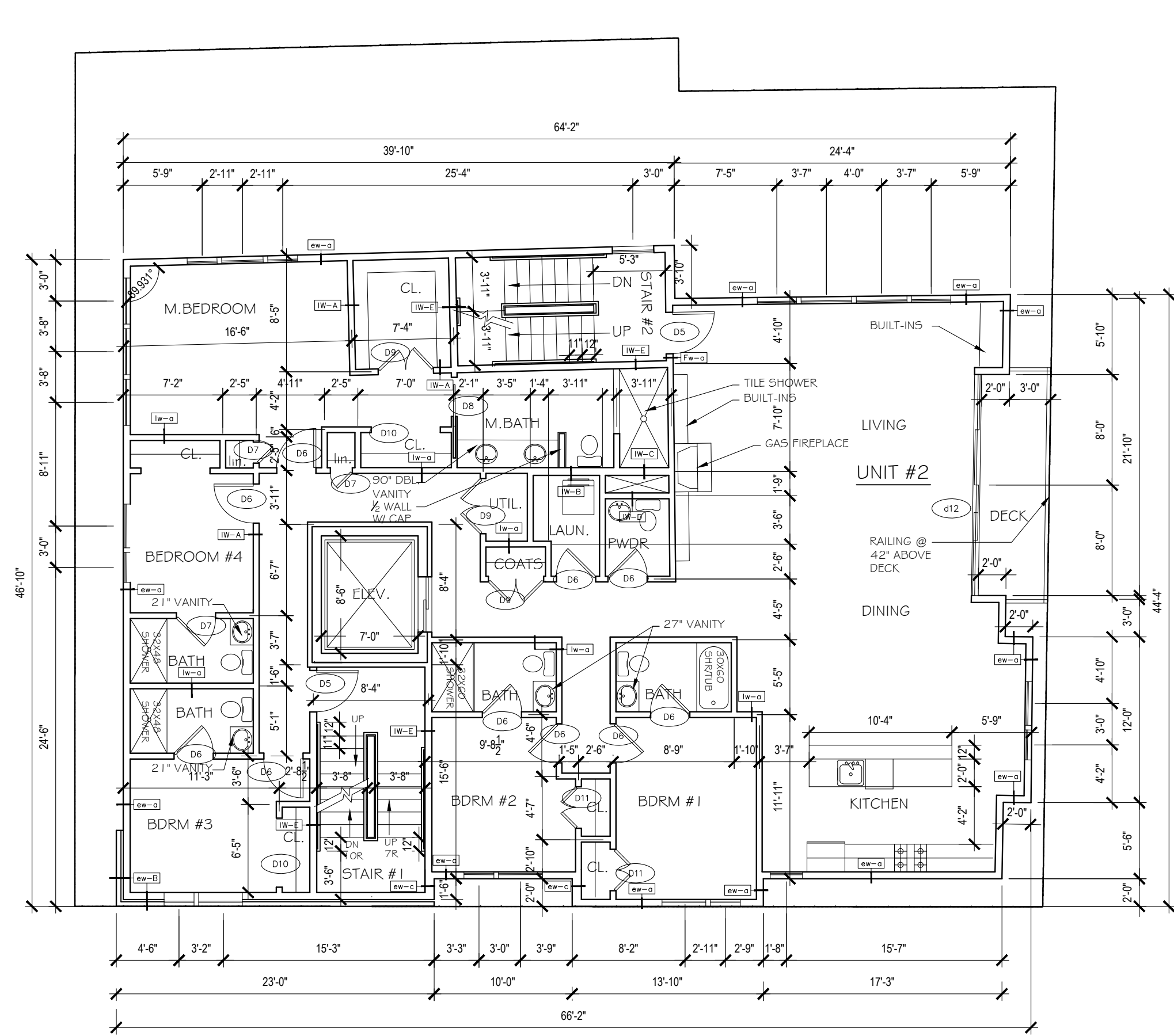
BECAUSE THE FIRST LEVEL IS NOT 65% ABOVE GRADE, THE PROPOSED BUILDING IS 3 STORIES. ACCORDINGLY, THE PROPOSED BUILDING CONFORMS TO ZONING HEIGHT REQUIREMENT.
 THIS AREA LESS THAN 50% ABOVE GROUND

3 UNIT CONDOMINIUM 54-56 BELMONT STREET CHARLESTOWN, BOSTON

REVISED 9-12-2016
 CONSTRUCTION DRAWINGS 9-2-2016



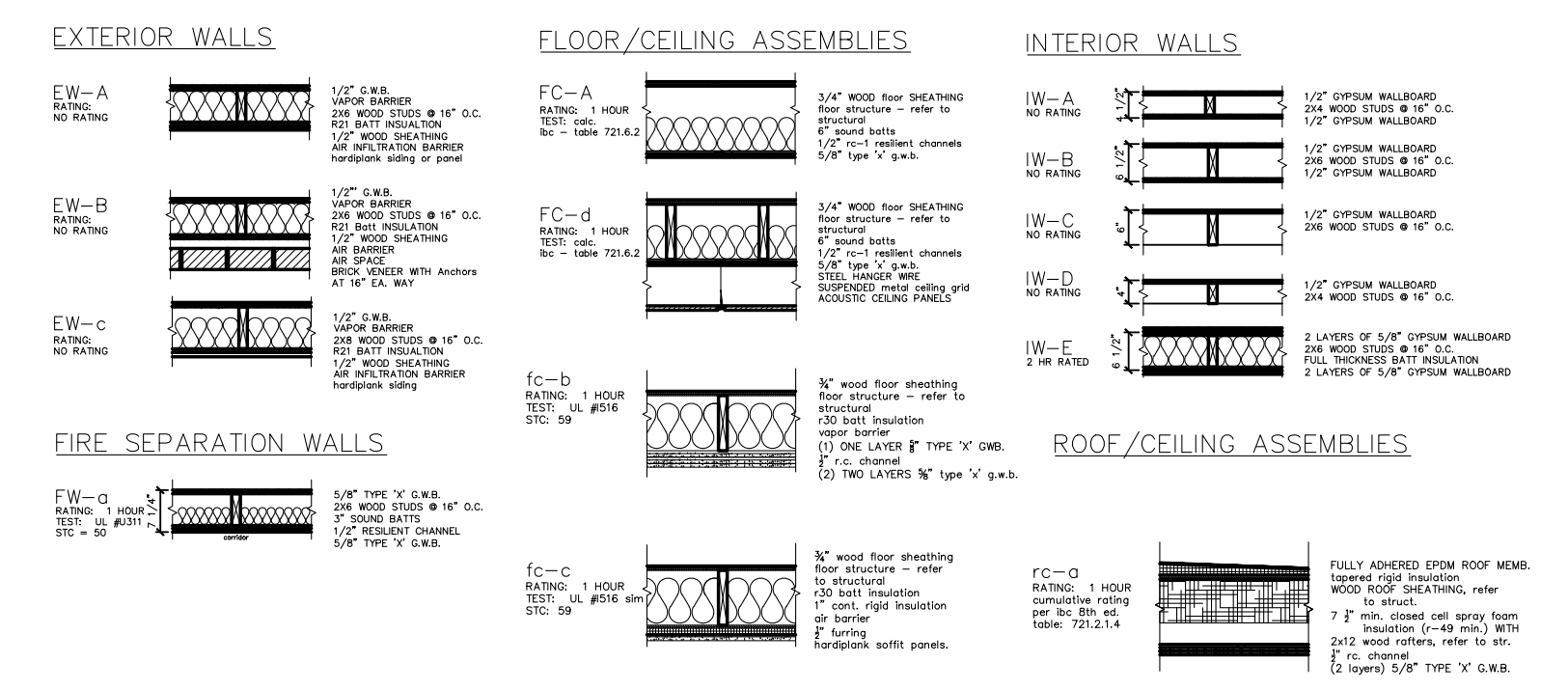
FIRST FLOOR PLAN
1/8" = 1'-0" 2794 G.S.F.



SECOND FLOOR PLAN
1/8" = 1'-0" 2794 G.S.F.

Stair #1 & stair #2:
1. provide 5/8" g.w.b. ceiling under stair risers, typ.
2. painted metal cont. handrail @ 36" above stairs on each side, typ.

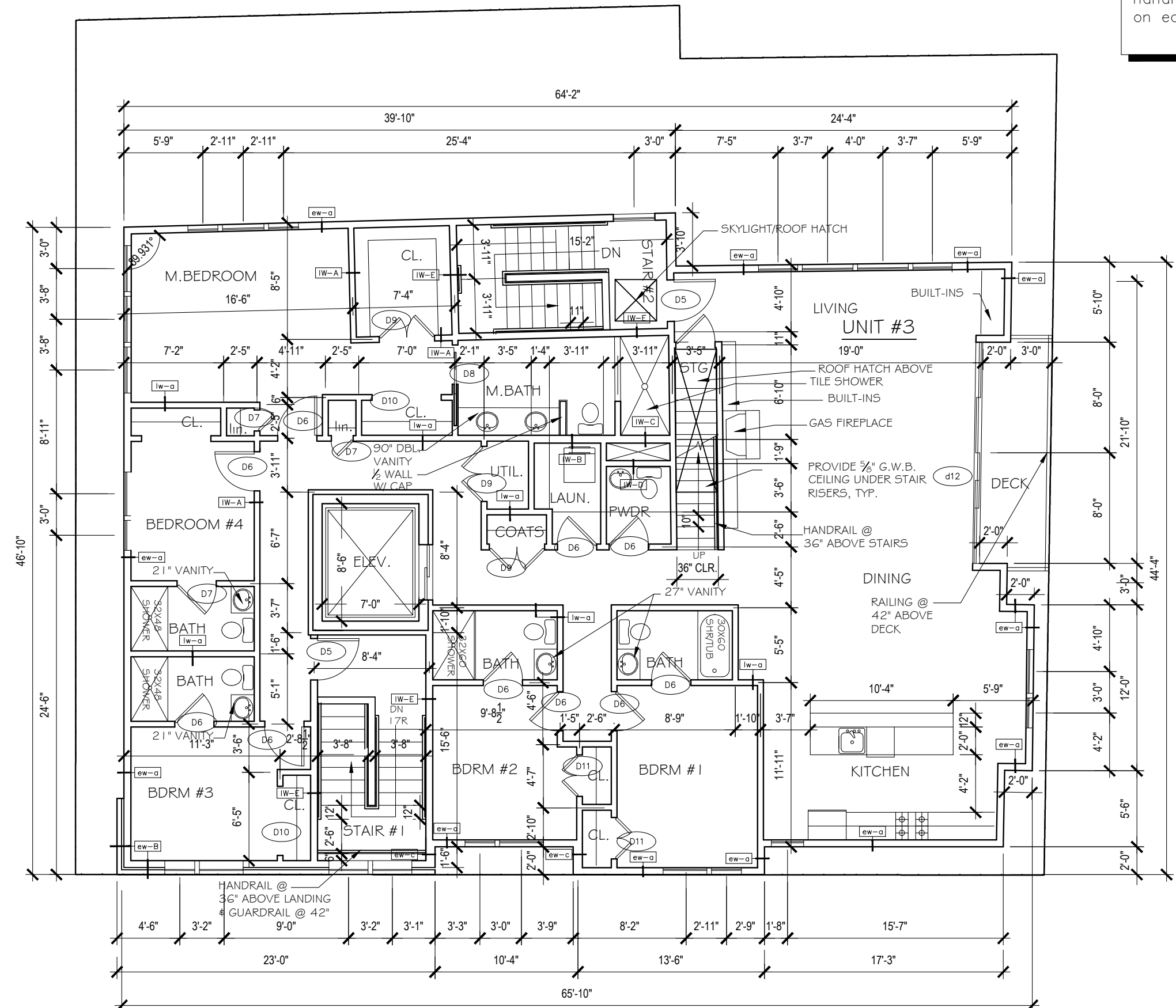
ASSEMBLIES



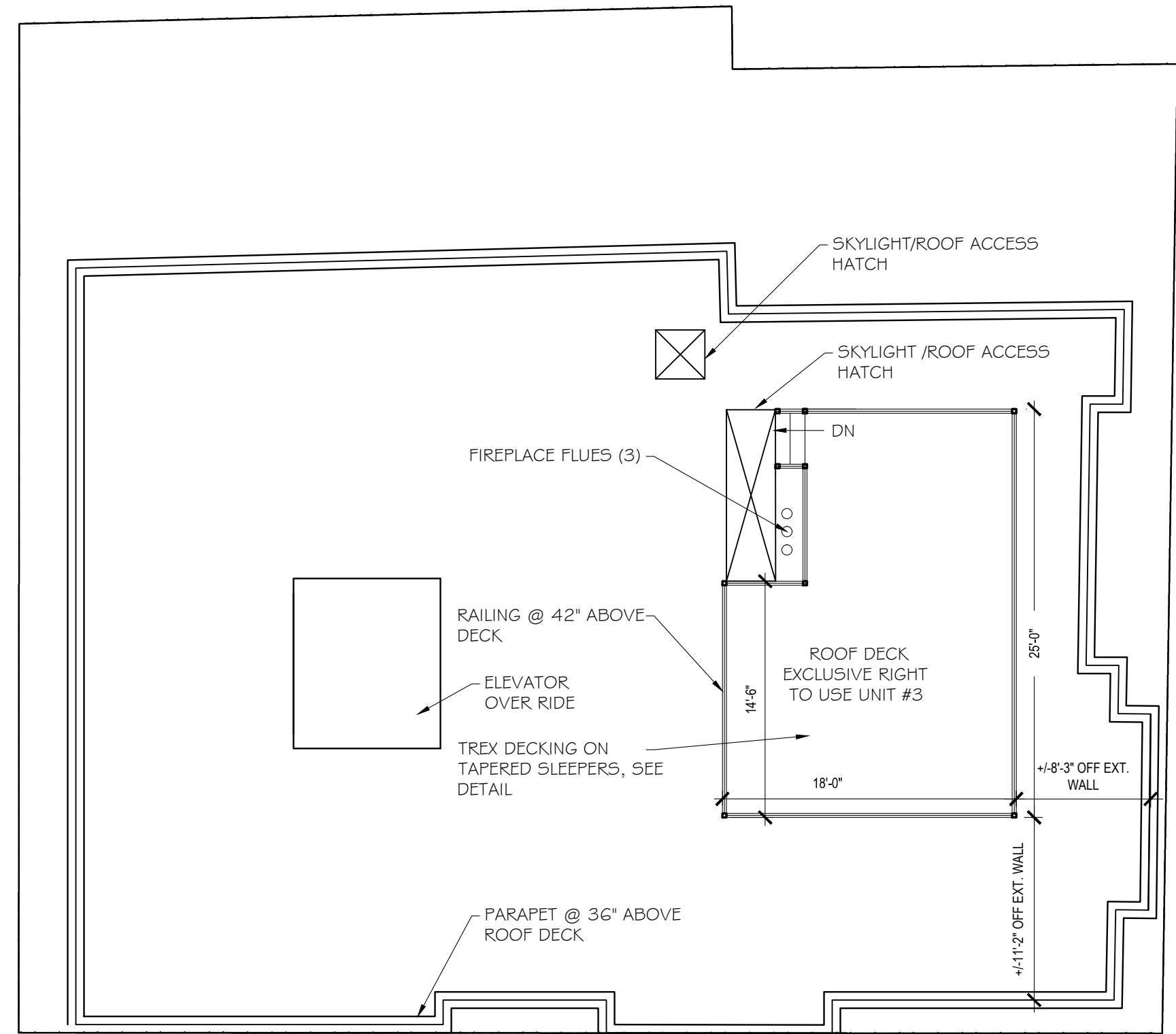
DOOR SCHEDULE

NUMBER	TYPE	MATERIAL	WIDTH	HEIGHT	THICKN'S	REMARKS
D1	ENTRY	MTL./INSUL.	3'-0"	7'-0"	1 3/4	45 min rated, STOREFRONT
D2	SINGLE	MTL./INSUL.	3'-0"	6'-8"	1 3/4	Metal & insulated
D3	GARAGE	MTL./INSUL.	14'-0"	7'-0"	1 1/2"	Metal OVERHEAD DOOR
D4	SINGLE	metal	3'-0"	6'-8"	1 3/8"	90 MIN. RATED W/ SELF-CLOSING HINGES
D5	SINGLE	MTL./INSUL.	3'-0"	6'-8"	1 3/8"	90 MIN. RATED W/ SELF-CLOSING HINGES
D6	SINGLE	WOOD	2'-10"	6'-8"	1 3/8"	-
D7	SINGLE	WOOD	1'-6"	6'-8"	1 3/8"	-
D8	POCKET	WOOD	3'-0"	6'-8"	1 3/8"	-
D9	dbl. swing	WOOD	(2) 2'-0"	6'-8"	1 3/8"	-
D10	dbl. swing	WOOD	(2) 2'-6"	6'-8"	1 3/8"	-
D11	DBL. SWING	WOOD	(2) 1'-6"	6'-8"	1 3/8"	-
D12	slider	vinyl	16'-0"	6'-8"	1 3/4"	Jeldwren patio door ppdn18980-4

- NOTES:
1. PROVIDE COMPLETE WEATHERSTRIPPING AT ALL EXTERIOR DOORS
 2. 2 HOUR RATED DOOR AND FRAME AT ALL STAIRWAYS AND EGRESS PATHWAYS
 3. PROVIDE VISION PANEL
 4. GARAGE DOOR TO BE CLOPAY: RESIDENTIAL GARAGE DOORS, COACHMAN COLLECTION, STEEL INSULATED DOORS, SERIES 1, DESIGN 11 WITH TOP TRANSM RAC 1, ALMOND COLOR.
 5. PERMASHIELD BY ANDERSON, GLIDING PATIO DOORS
 6. JELDWEN ENTRY DOORS: SMOOTH PRO FIBERGLASS, MADISON SERIES, CRAFTSMAN SP7-86GM1 W/ CRAFTSMAN FULL VIEW SIDELIGHTS ON EACH SIDE. SP7-819M1 1'-2" WIDE



THIRD FLOOR PLAN
1/8" = 1'-0" 2794 G.S.F.

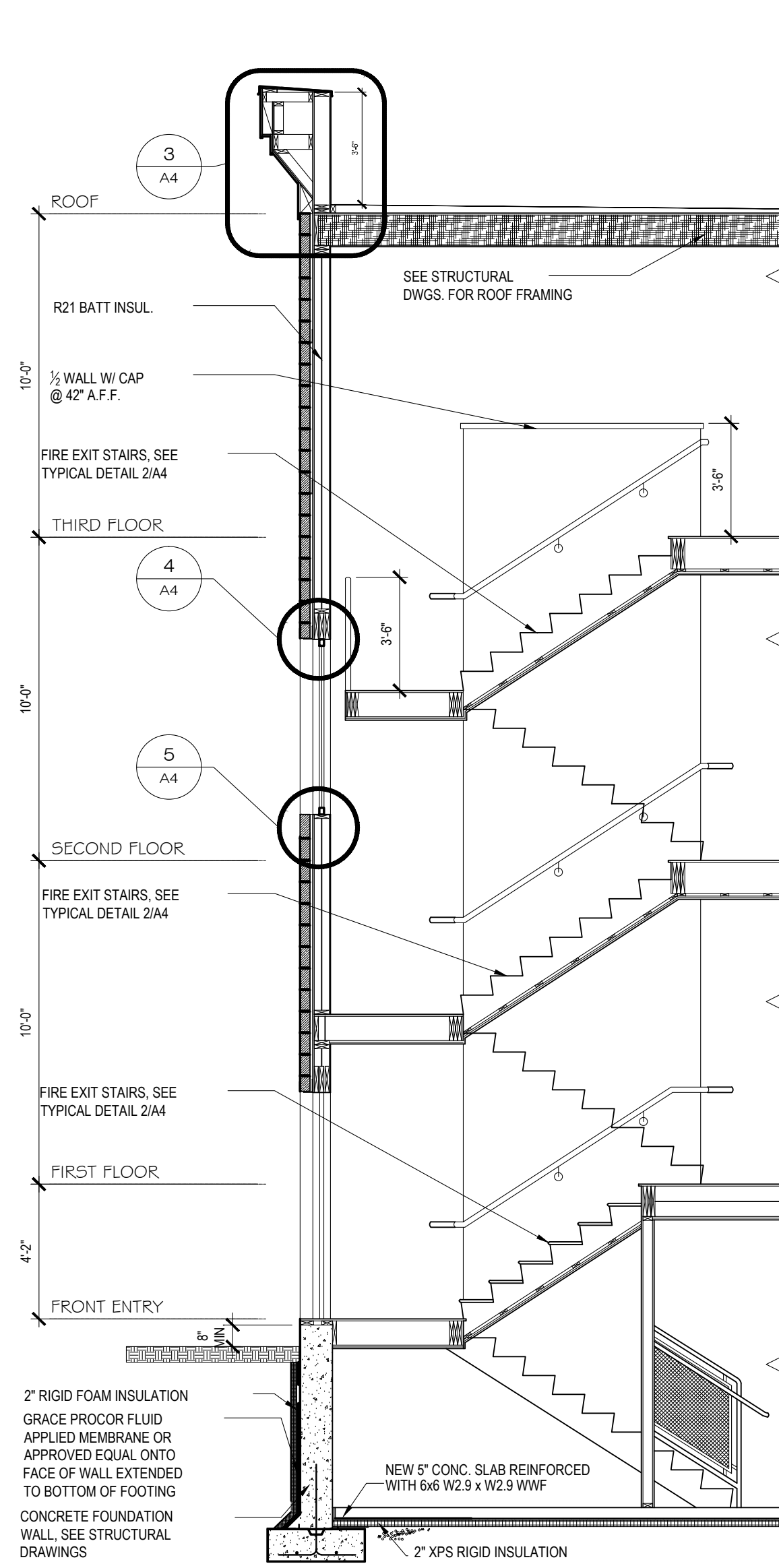


ROOF PLAN
1/8" = 1'-0"

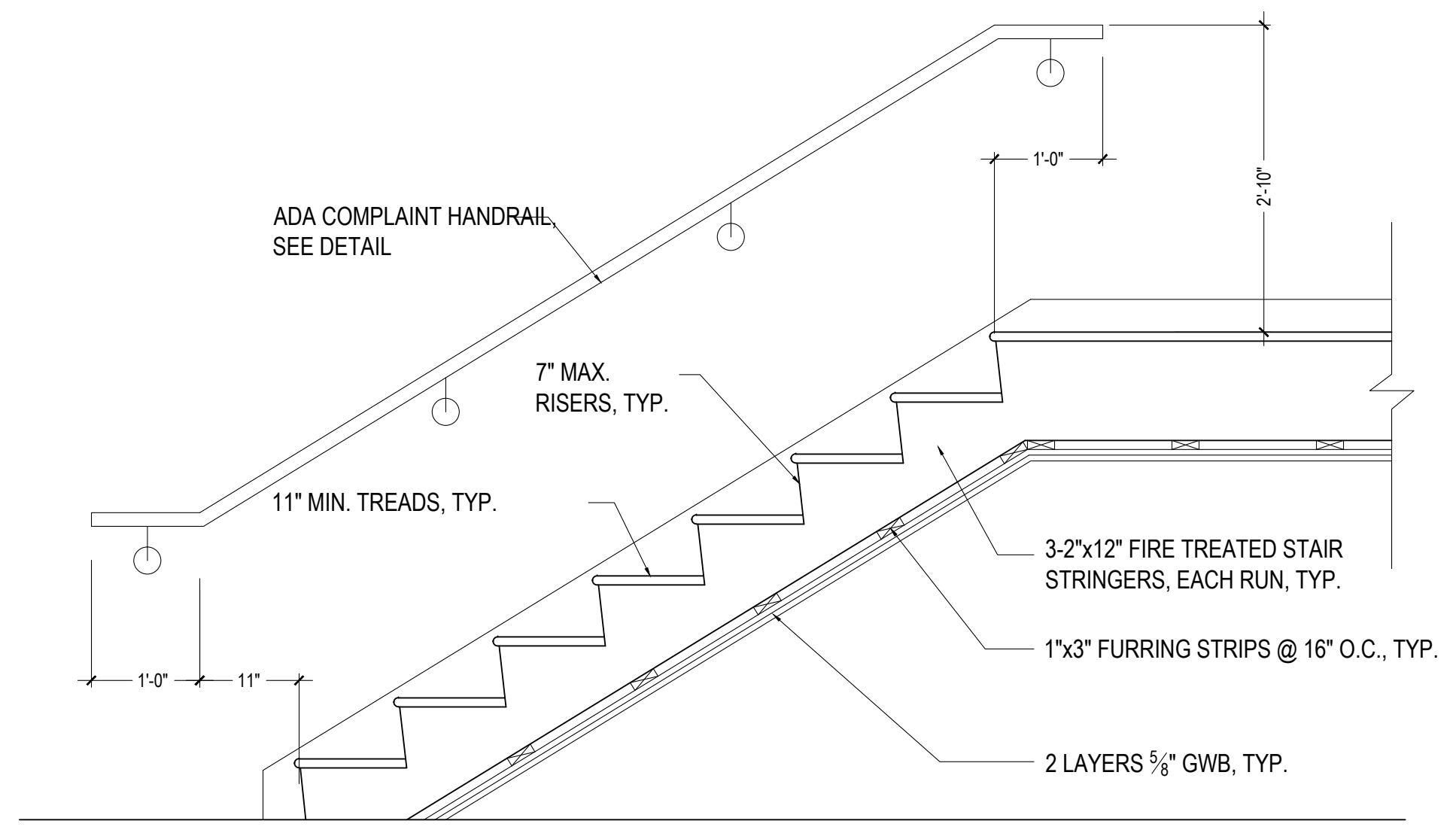
ROOM FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
GARAGE	CONC. SLAB	-----	PTD. G.W.B.	PTD. G.W.B.	
STAIR #1	RED OAK	WOOD	PTD. G.W.B.	PTD. G.W.B.	
STAIR #2	RED OAK	WOOD	PTD. G.W.B.	PTD. G.W.B.	
MECH. TRASH	CONC. SLAB	-----	PTD. G.W.B.	PTD. G.W.B.	
SPRINKLER	CONC. SLAB	-----	PTD. G.W.B.	PTD. G.W.B.	
LOBBY	2X2X1/4" QUARRY TILE	WOOD	PTD. G.W.B.	PTD. G.W.B.	
STORAGE	RED OAK	WOOD	PTD. G.W.B.	PTD. G.W.B.	
CORRIDOR	RED OAK	WOOD	PTD. G.W.B.	PTD. G.W.B.	
LIVING ROOM	RED OAK	WOOD	PTD. G.W.B.	PTD. G.W.B.	
DINING ROOM	RED OAK	WOOD	PTD. G.W.B.	PTD. G.W.B.	
KITCHEN	RED OAK	WOOD	PTD. G.W.B.	PTD. G.W.B.	
MASTER BEDROOM	RED OAK	WOOD	PTD. G.W.B.	PTD. G.W.B.	
BEDROOM	RED OAK	WOOD	PTD. G.W.B.	PTD. G.W.B.	
BATH	CER. TILE	WOOD	PTD. G.W.B.	PTD. G.W.B.	STONE THRESHOLD
MASTER BATH	CER. TILE	WOOD	PTD. G.W.B.	PTD. G.W.B.	STONE THRESHOLD
WD	RED OAK	WOOD	PTD. G.W.B.	PTD. G.W.B.	
CLOSET	RED OAK	WOOD	PTD. G.W.B.	PTD. G.W.B.	SEE NOTE 1
LINEN	RED OAK	WOOD	PTD. G.W.B.	PTD. G.W.B.	SEE NOTE 2
COATS	RED OAK	WOOD	PTD. G.W.B.	PTD. G.W.B.	SEE NOTE 1
CORRIDOR	RED OAK	WOOD	PTD. G.W.B.	PTD. G.W.B.	
HVAC	RED OAK	WOOD	PTD. G.W.B.	PTD. G.W.B.	

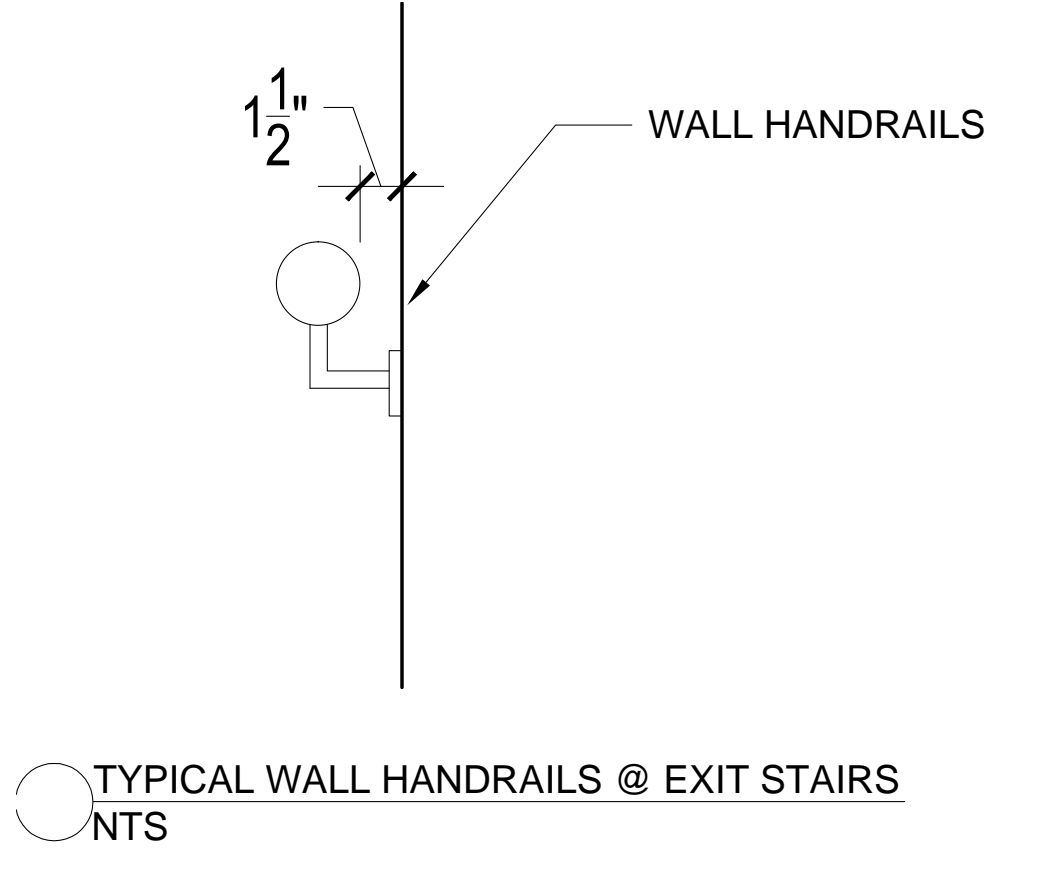
- GENERAL ROOM FINISH NOTES:
1. Provide rod and shell in all closets.
 2. Provide 5 shelves in all Linen closets.
 3. Wood base to be decorative 1x6 wood base, pld. white pine



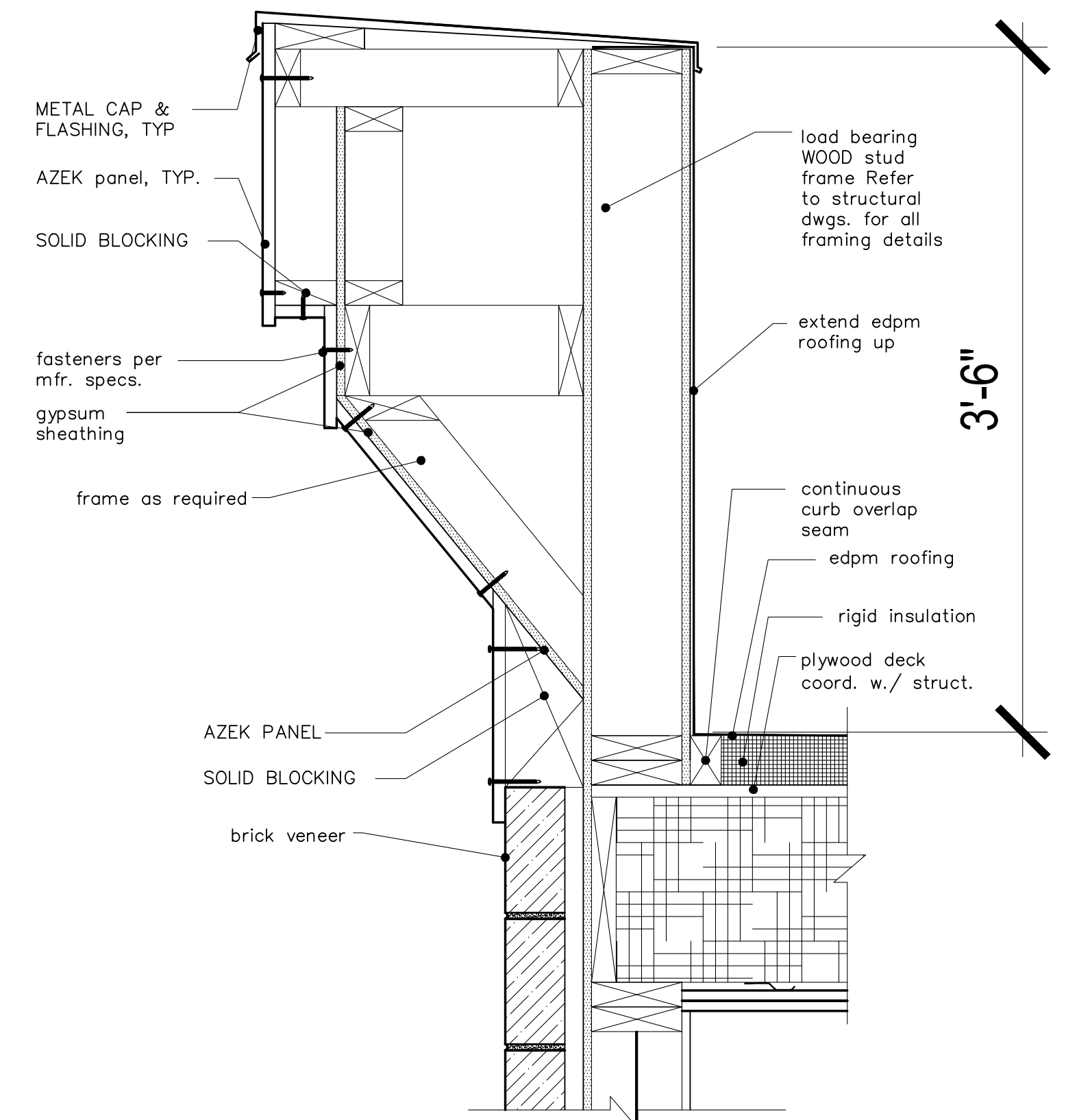
1 PARTIAL SECTION @ STAIR #1
A-4 SCALE: 1/4" = 1'-0"



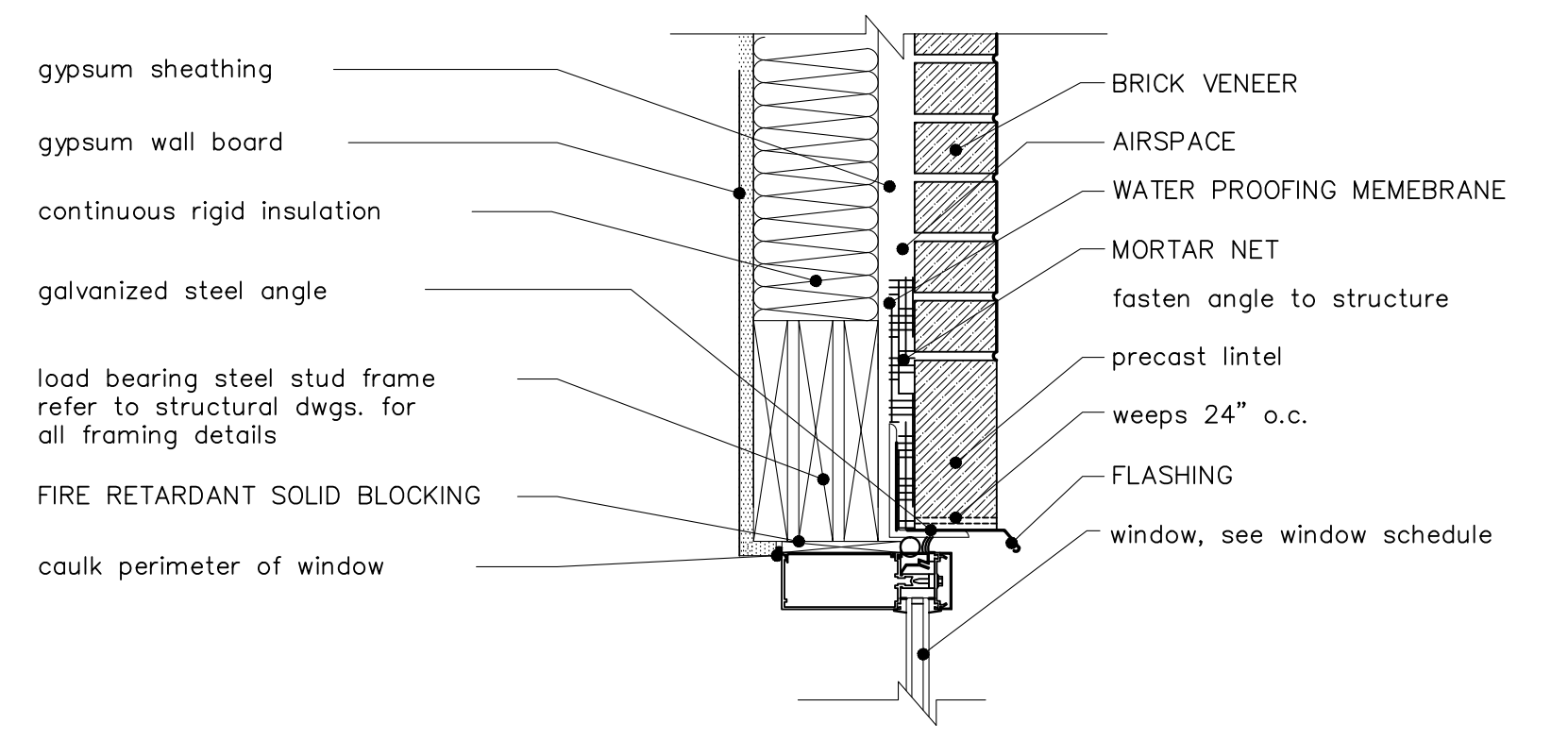
2 TYPICAL DETAIL @ EXIST STAIRS - 2HR FIRE RATED CONSTRUCTION
A-4 SCALE: NTS



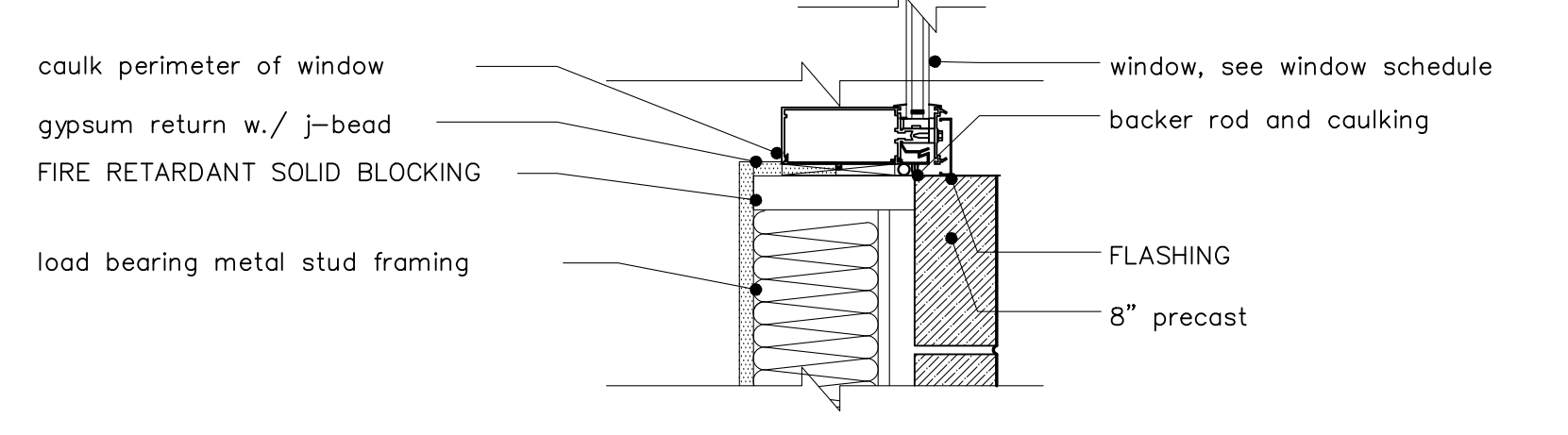
TYPICAL WALL HANDRAILS @ EXIT STAIRS
NTS



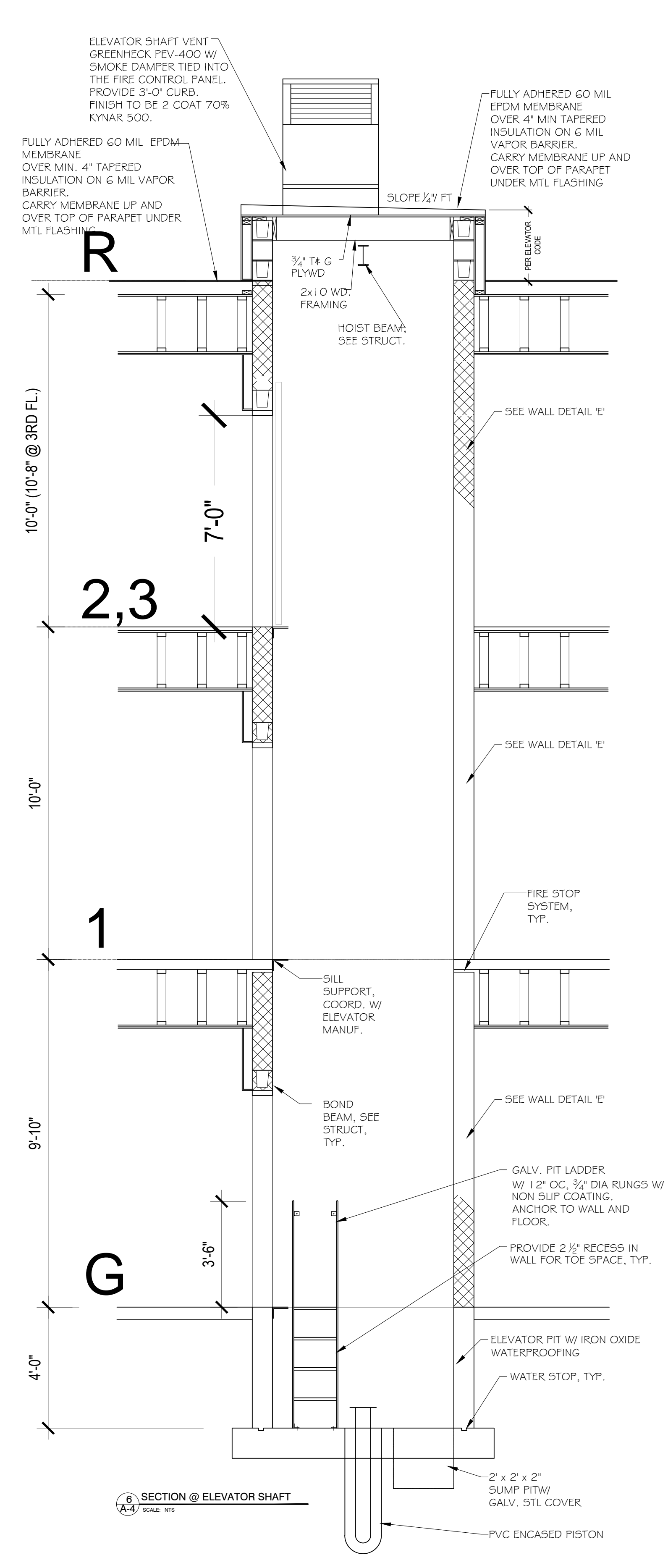
3 TYPICAL PARAPET DETAIL
A-4 SCALE: 1 1/2" = 1'-0"



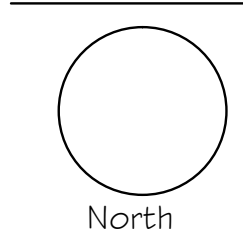
4 TYPICAL BRICK DETAIL
A-4 SCALE: 1 1/2" = 1'-0"

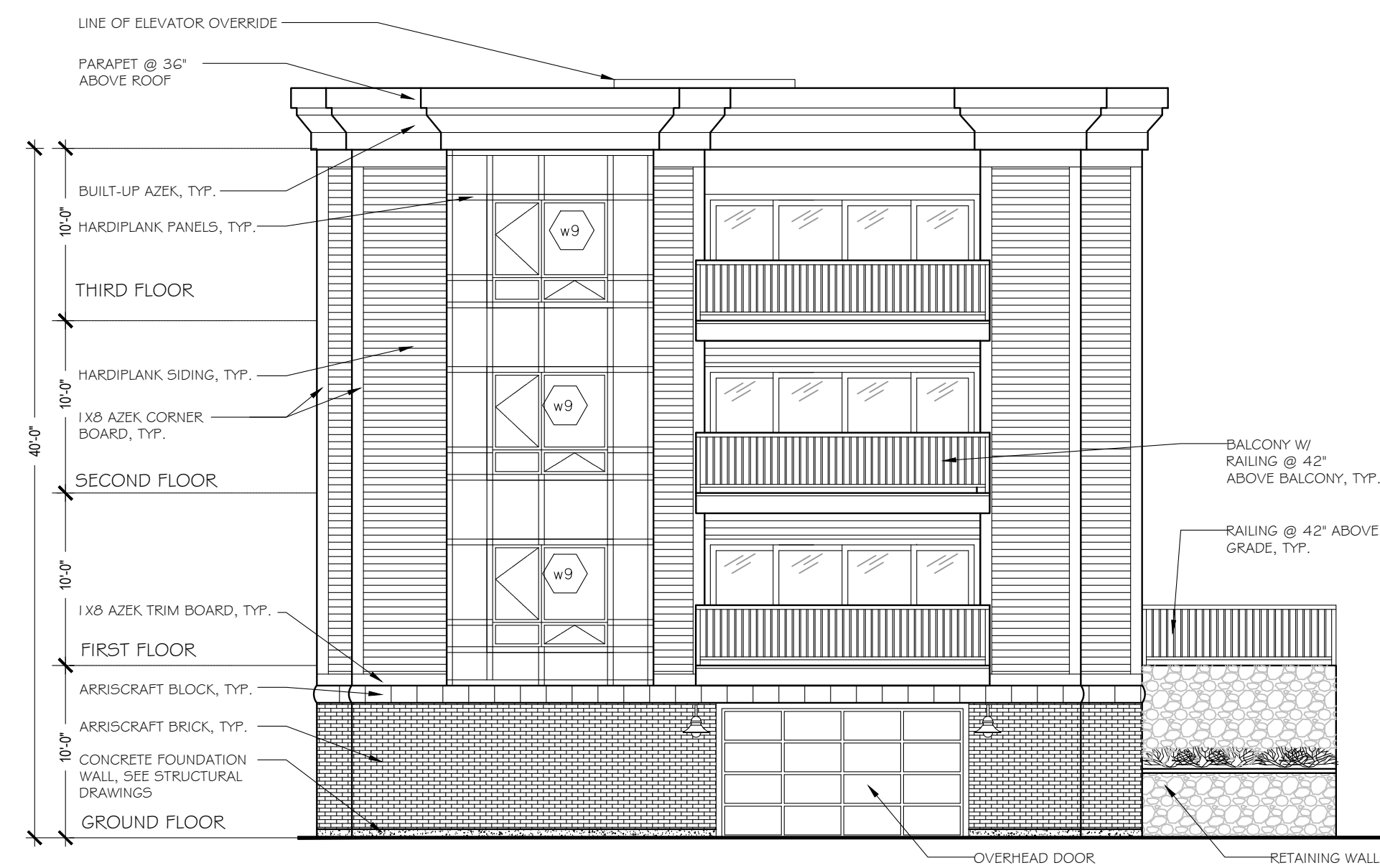


5 TYPICAL BRICK DETAIL
A-4 SCALE: NTS

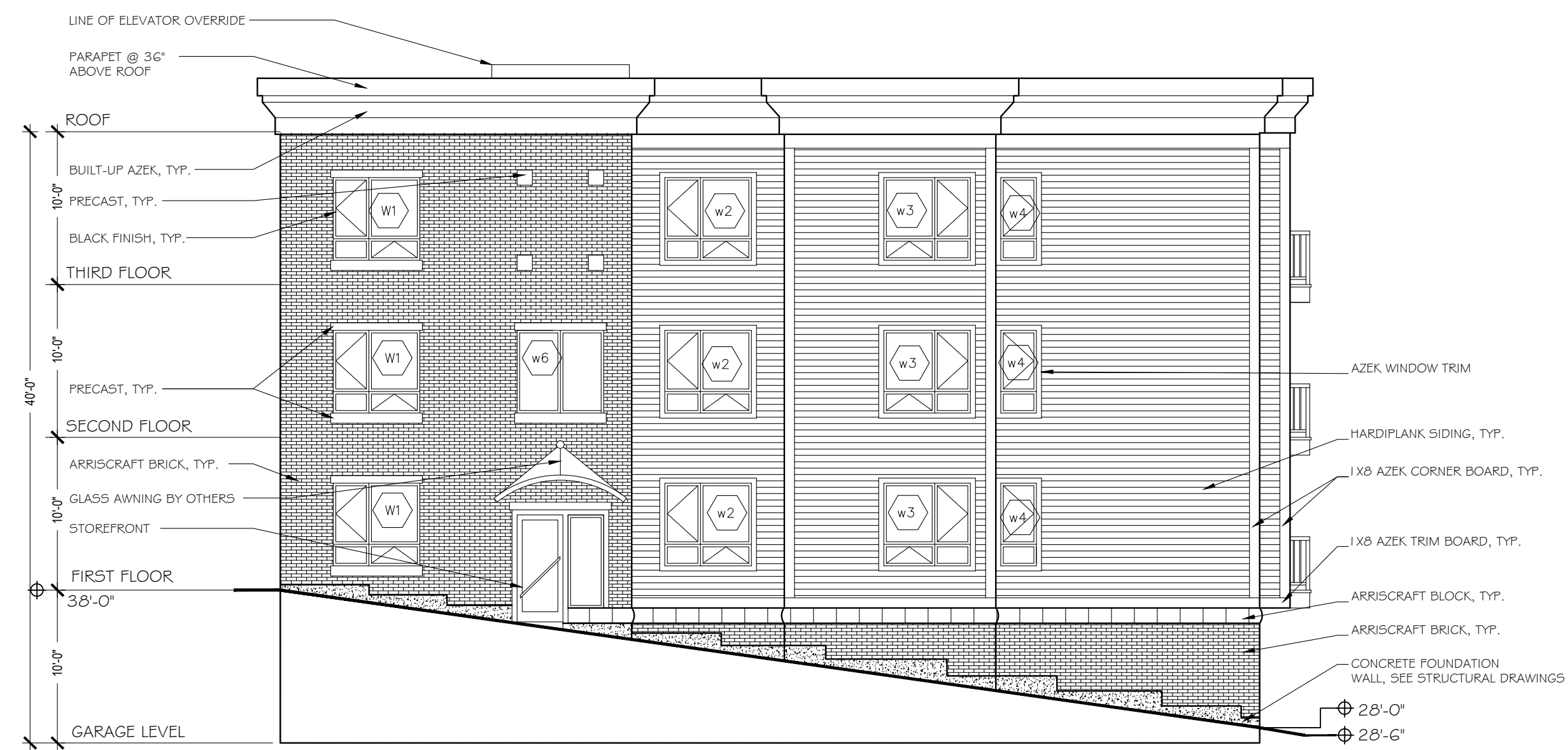


6 SECTION @ ELEVATOR SHAFT
A-4 SCALE: NTS

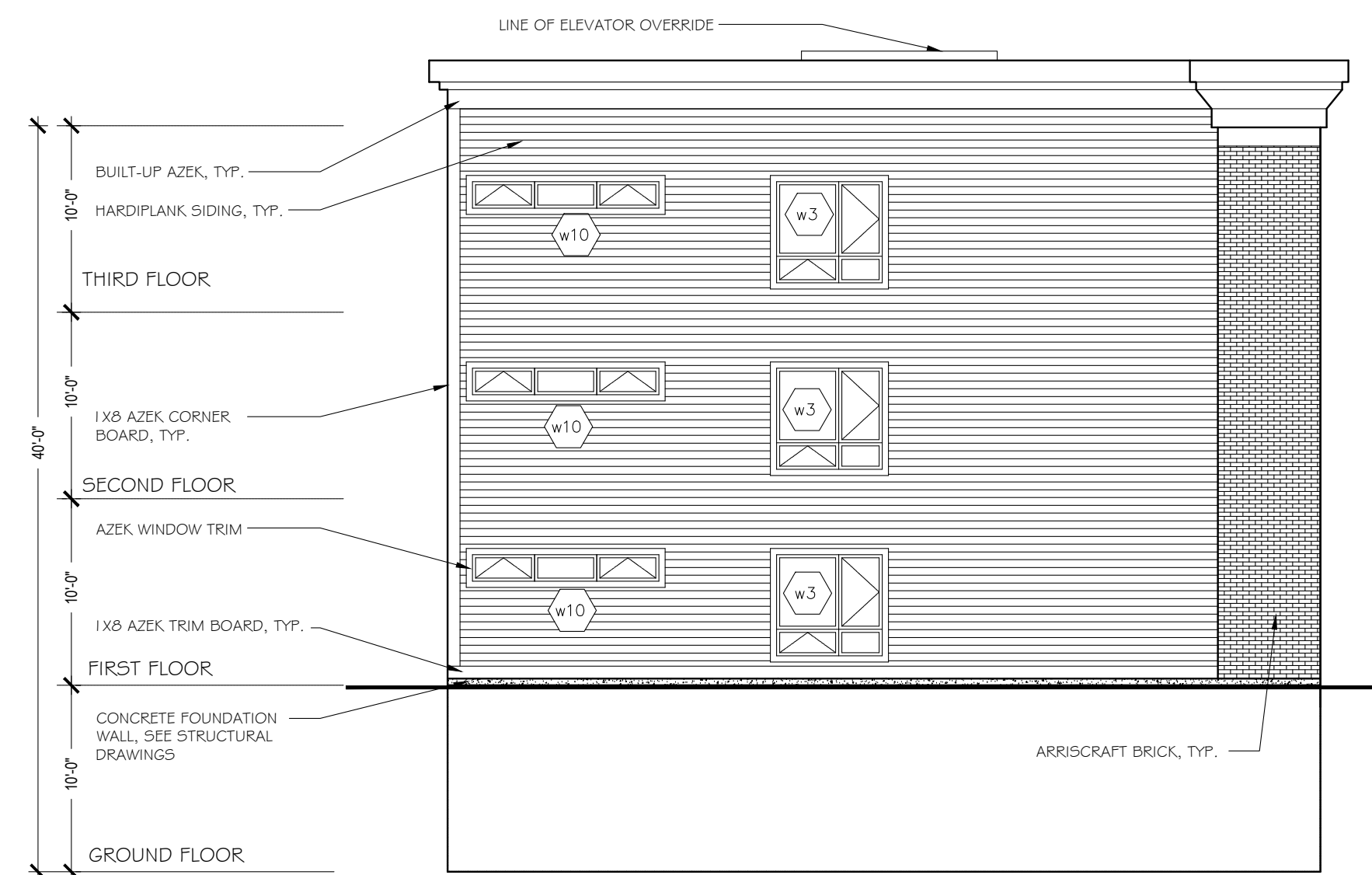
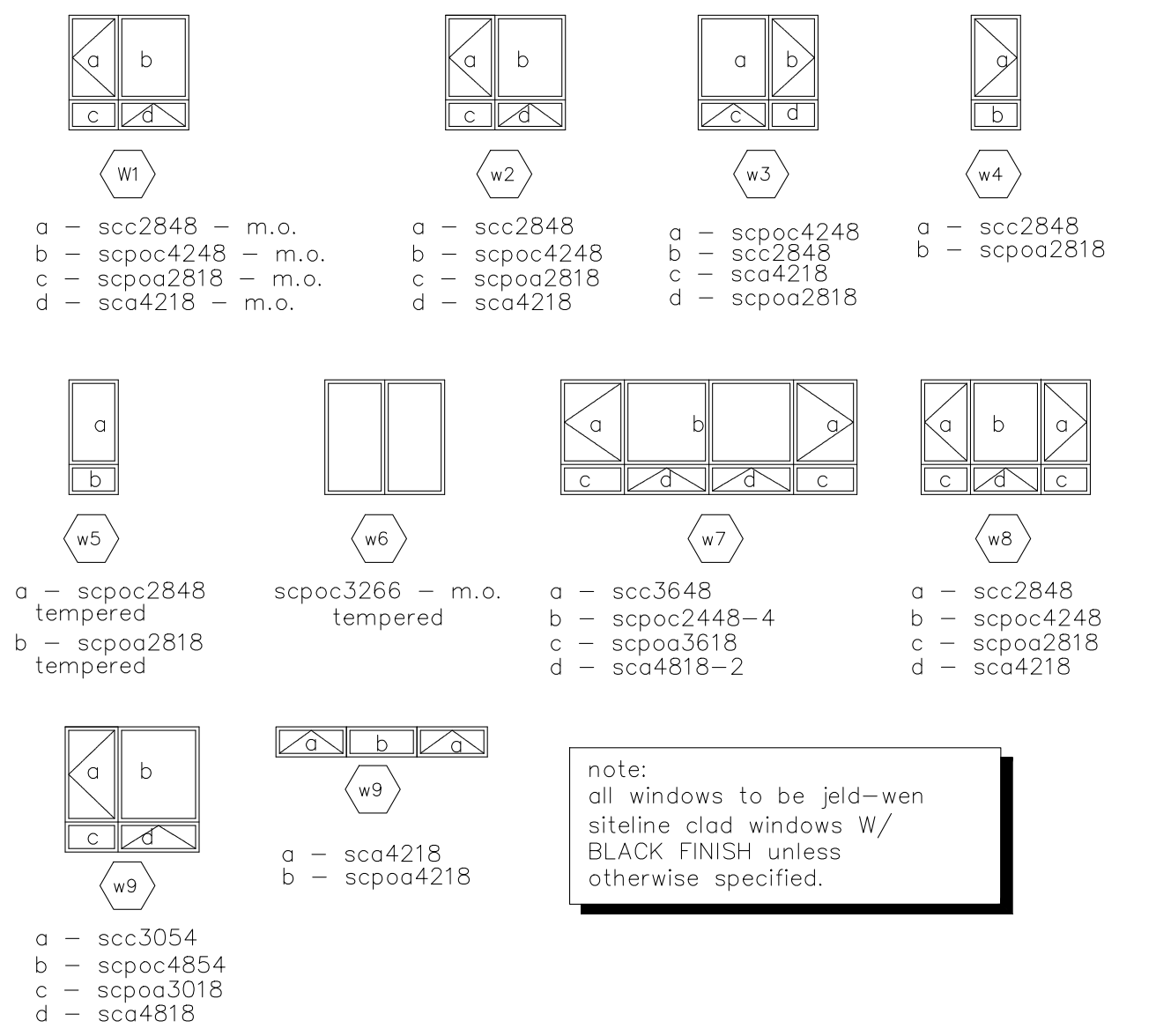




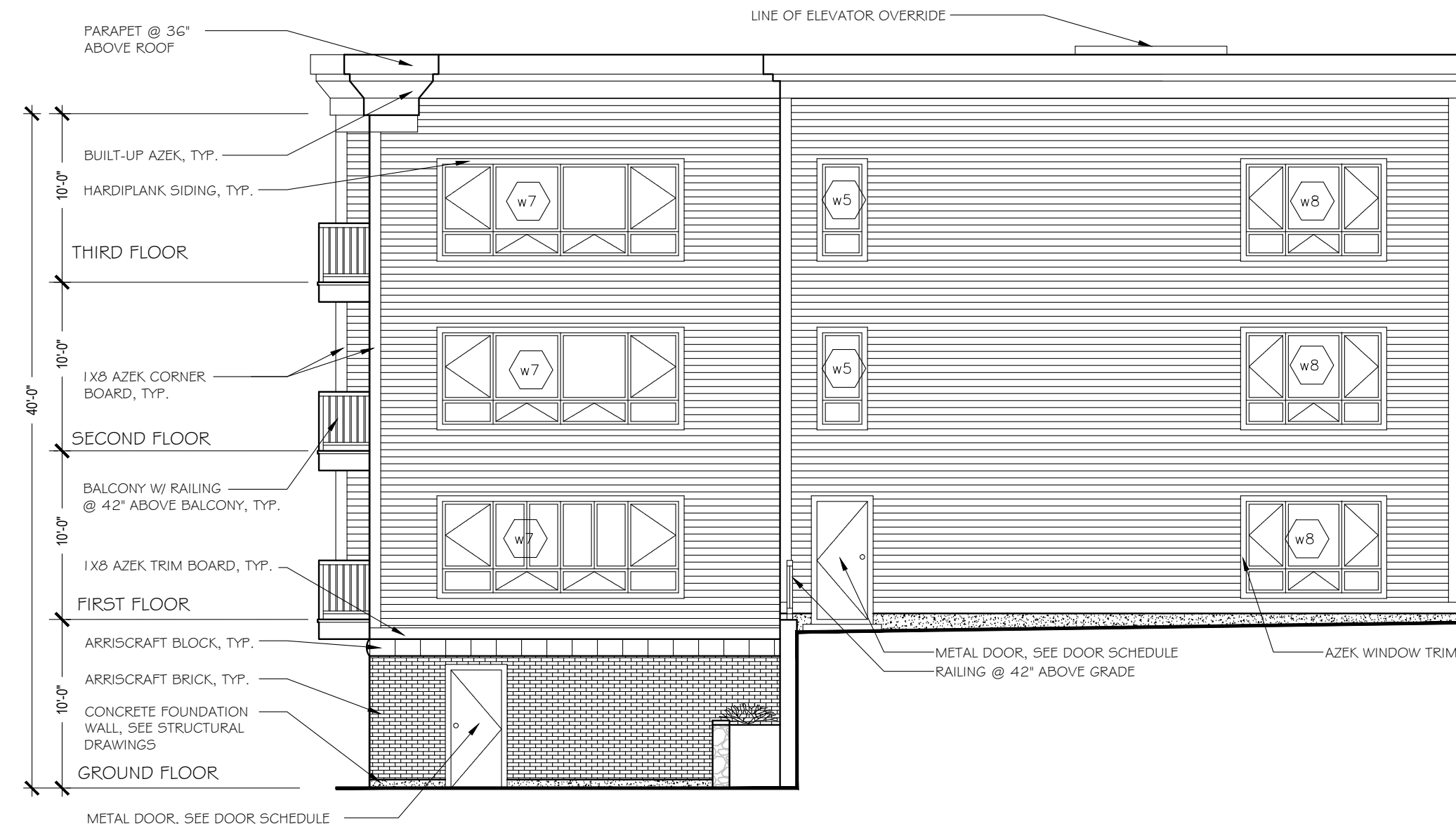
RIGHT SIDE ELEVATION (MEDFORD ST)
1/8" = 1'-0"



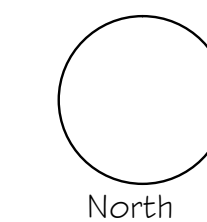
FRONT ELEVATION (BELMONT ST)
1/8" = 1'-0"



LEFT SIDE ELEVATION
1/8" = 1'-0"

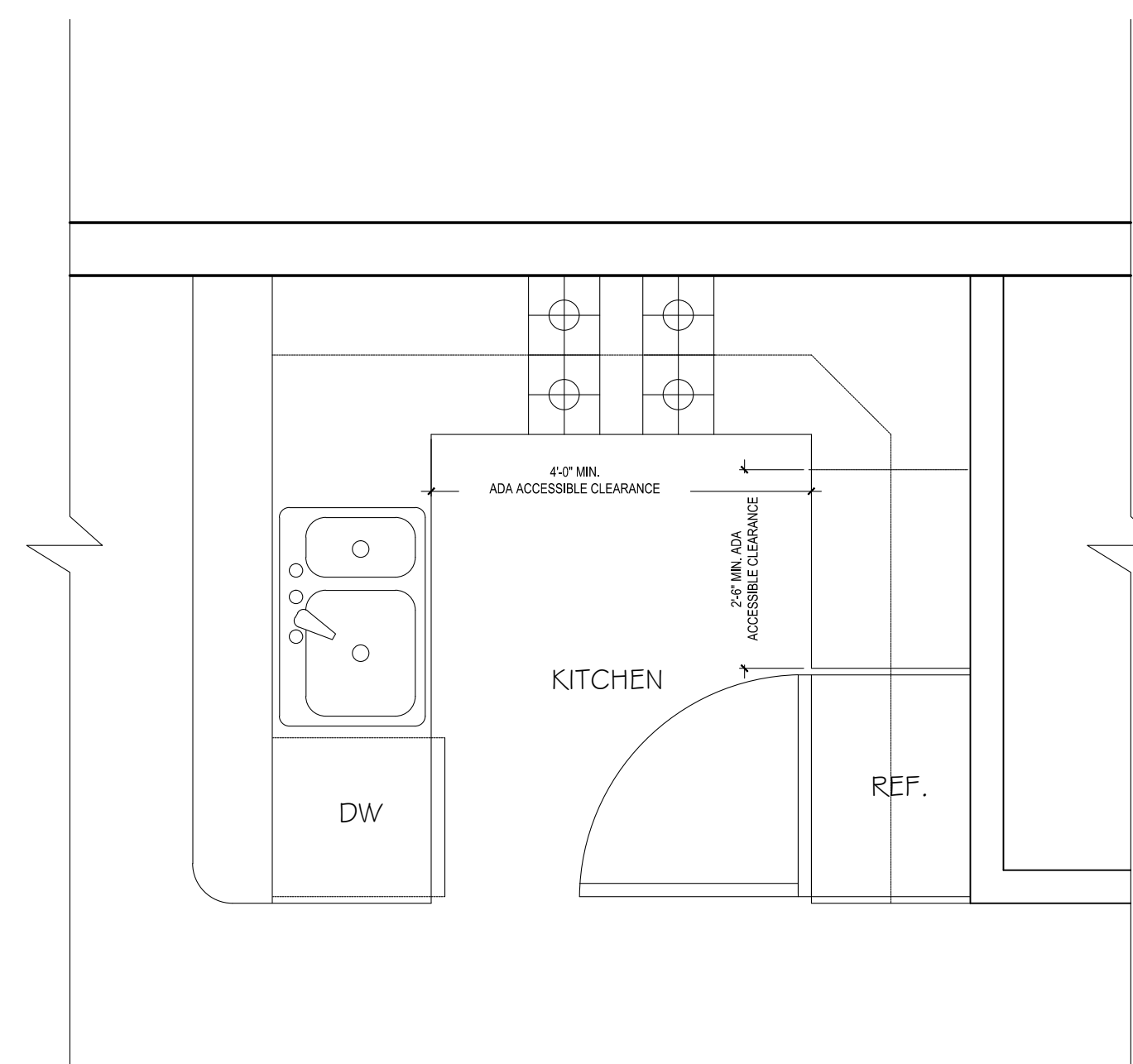


REAR ELEVATION
1/8" = 1'-0"

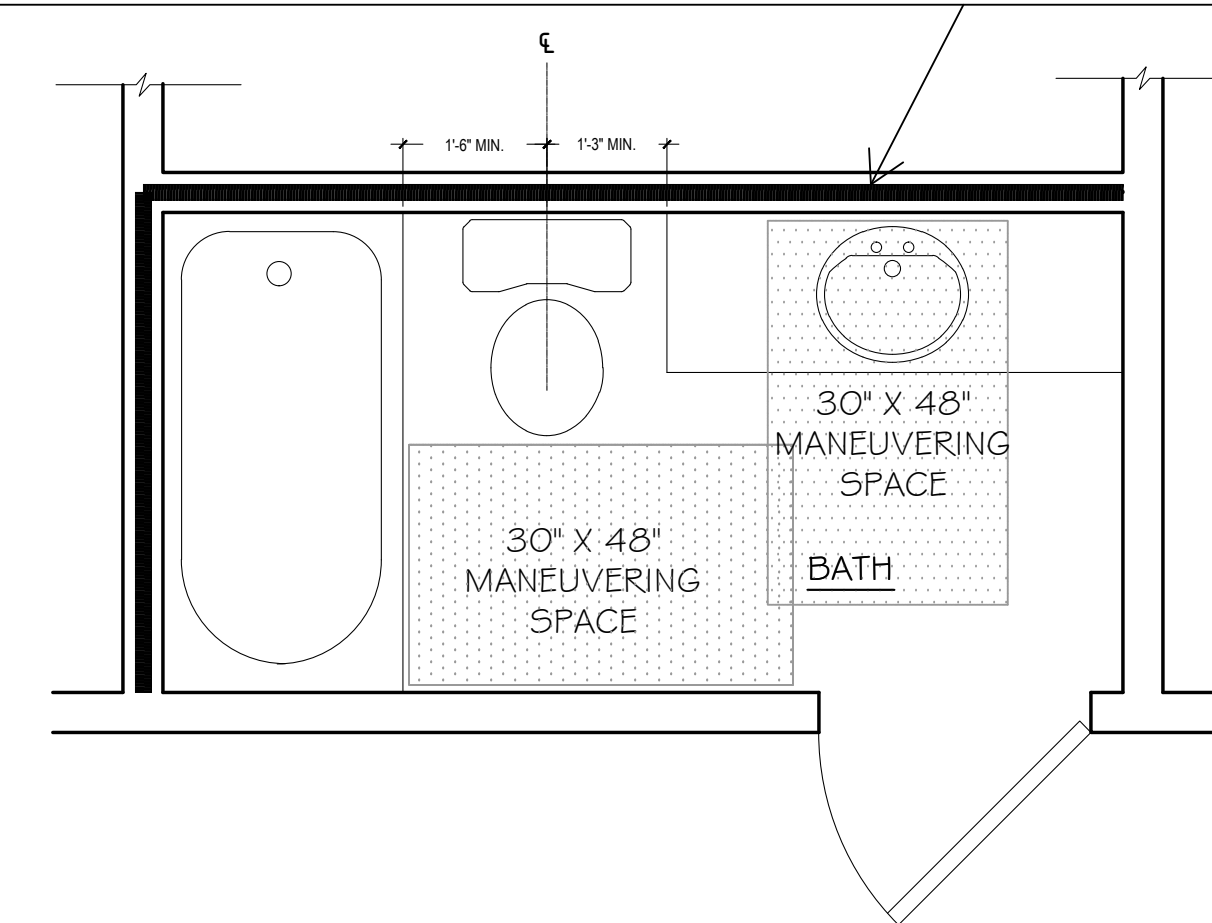


NOTE: When a bathroom is adapted in the future ("Future Adaptations"), all clear floor spaces will be provided. Please note that all bathroom doors are a MINIMUM of 2'-10" wide which allows wheelchair access. Doors swing out into corridors so that they do not interfere with maneuvering space.

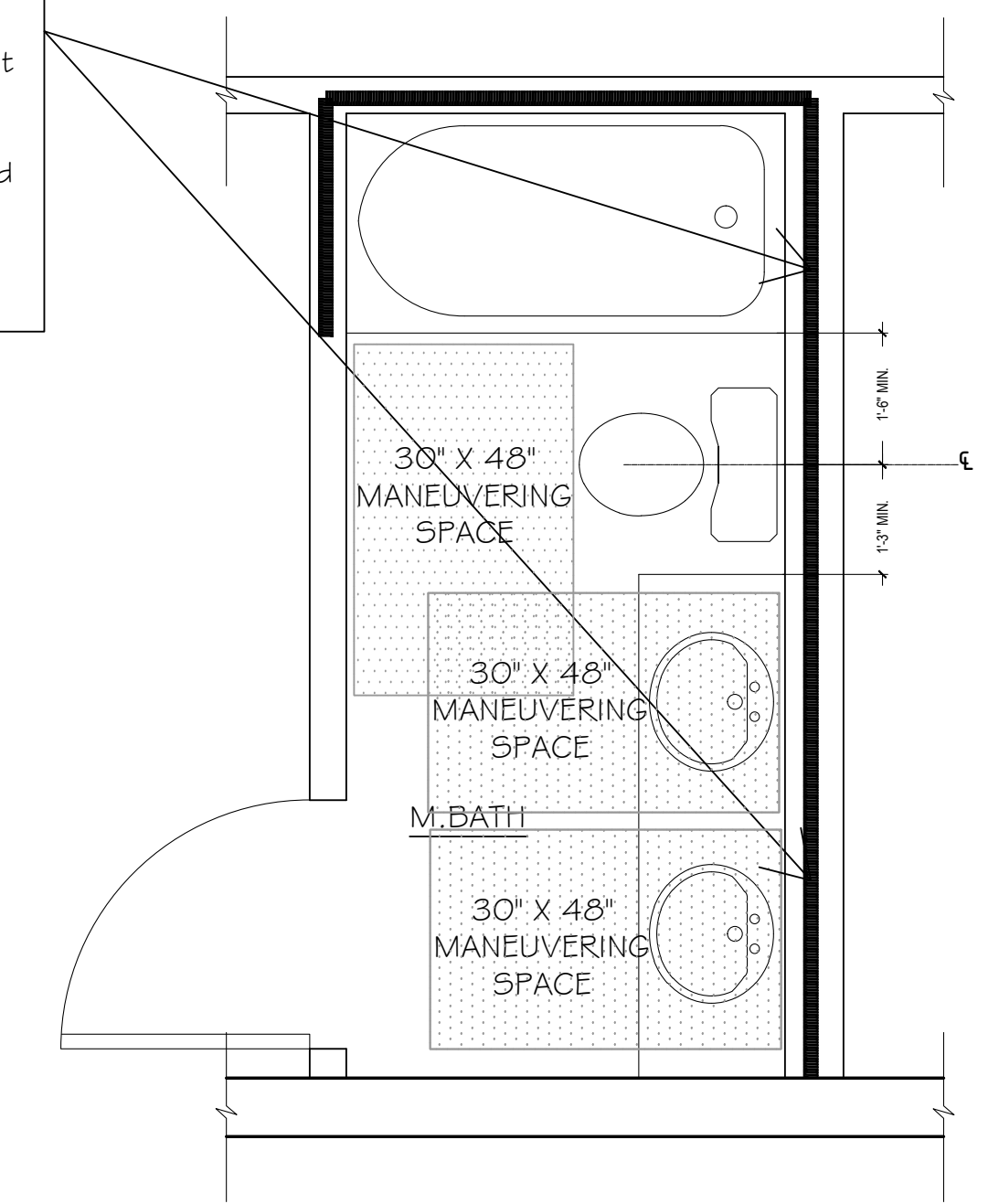
From 521 CMR 42.5.3 "Wall Reinforcement": Walls adjacent to and behind the water closet shall be capable of structurally supporting the future installation of grab bars from 32" - 38" above the floors. The back wall shall have reinforcement from the interior corner to a distance of six inches beyond the widest part of the water closet. The side wall shall have reinforcement from the interior corner to a distance of six inches beyond the front edge of the water closet, unless interrupted by a door or other fixture, then the reinforcement shall be installed as far as possible. When the water closet is located between two fixtures, the wall reinforcement behind the water closet shall be extended at least six inches beyond the widest part of the water closet..



GROUP 1 - KITCHENS; TYPICAL KITCHEN PLAN
SCALE: 1/2" = 1'-0"



GROUP 1 - BATHROOMS; TYPICAL BATHROOM PLAN
SCALE: 1/2" = 1'-0"

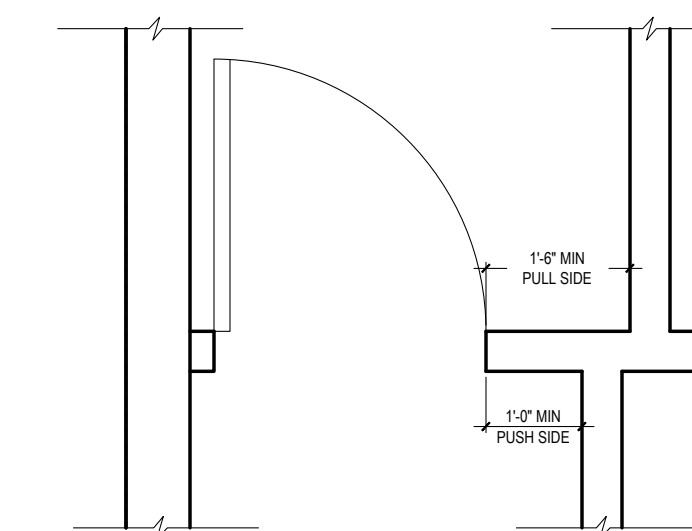


GROUP 1 - BATHROOMS; TYPICAL BATHROOM PLAN
SCALE: 1/2" = 1'-0"

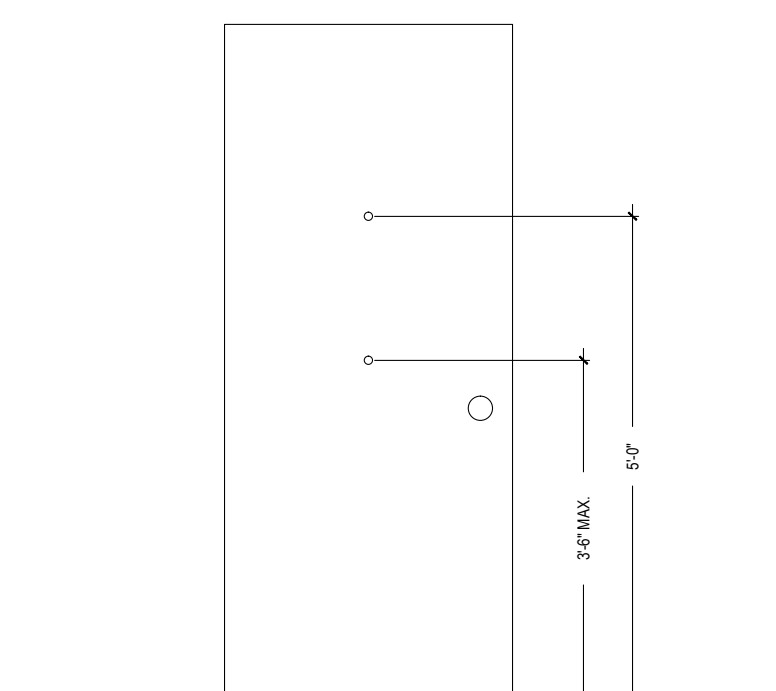
NOTE: ALL EXPOSED DECKING AND ACCESSORIES TO BE WEATHERBEST COMPOSITE DECKING IN WESTERN REDWOOD

- 5/4 X 6 WEATHERBEST HANDRAIL @ 42" HIGH
- 2X2 WEATHERBEST BALUSTERS
- 4" P.T. SQUARE POSTS W/ WEATHERBEST COVERS & CAPS
- 5/4X6 WEATHERBEST COMPOSITE DECKING IN WESTERN REDWOOD
- 5/4 X 6 WEATHERBEST BOTTOM RAIL
- (2)-2X10 P.T.
- WEATHERBEST COVER @ EXPOSED SIDE OF BEAM
- STAINLESS STEEL "BLIND" DECK FASTENERS 1/8" MAX./ FASTEN PER MANUFACTURER'S INSTRUCTIONS
- SEE STRUCTURAL DRAWINGS FOR SUPPORT STRUCTURE
- PITCH POCKET
- 6" WIDE ROOFING FELT @ TOP OF ALL JOISTS, CONTINUOUS, TYP.
- 2X10 P.T. JOISTS @ 16" O.C., TYP.

HANDRAIL DETAIL @ DECK
NTS



GROUP 1 - DOORWAYS; TYPICAL DOORWAYS
SCALE: 1/2" = 1'-0"



GROUP 1 - DOORWAYS; TYPICAL UNIT ENTRY DOOR
SCALE: 1/2" = 1'-0"

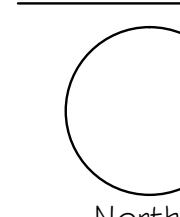
CONSTRUCTION DRAWINGS 9-2-2016



SUTPHIN ARCHITECTS
197 8TH STREET, SUITE 2000
P.O. BOX 290006
CHARLESTOWN, MA 02129
PHONE: 617-337-5265
FAX: 617-337-5191
E-MAIL: SUTPHINARCH@GMAIL.COM

Project **3-FAMILY CONDOMINIUM**
54-56 Belmont Street
Charlestown, MA

Date
9-2-2016
Scale
AS NOTED
Project No



Revisions	Title
	DETAILS

Drawing No
A-6

NOTES:

1. ALL WORK TO COMPLY WITH CURRENT MASSACHUSETTS BUILDING CODE. ALL APPLICABLE RULES AND REGULATIONS, AND BE PERFORMED IN SUCH A MANNER AS TO INSURE HUMAN SAFETY.
2. REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS.
3. FIELD VERIFY ALL DIMENSIONS
4. ALL PRODUCTS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
5. GC TO COORDINATE REQUIREMENTS AND LOCATIONS OF ELECTRICAL DEVICES AND MECHANICAL SYSTEMS AS REQUIRED .
ALL RECESSED LIGHT FIXTURES TO BE "UL FIRE RATED- TYPE IC" TYPE. PROVIDE SMOKE DETECTORS PER CODE.
6. ALL FLOOR PENETRATIONS TO BE SMOKE SEALED W/ UL RATED PRODUCTS.
7. ANY CLAPBOARD AND WD TRIM TO BE PRIMED ON ALL SIDES, TYP.
8. ALL NEW EXTERIOR WINDOWS ARE BASED ON YKK ALUM WINDOWS, FIXED AND DOUBLE HUNG WINDOWS
PROVIDE INSECT SCREENS AND SNAP -ON GRILLES
PROVIDE STANDARD LOCK AND KEEPER
CLEAR PINE STOOL, PTD
GC TO COORDINATE ROUGH OPENING DIMENSIONS.
VERIFY W/ OWNER WINDOW SIZES ,FINISHES AND OPTIONS PRIOR TO ORDERING ALL WINDOWS TO HAVE WD TRIM AND MOULDING, PTD.
9. PAINT ALL NEW ROOMS:
2 L.A. ACRYLIC LATEX FINISH COAT OVER 1 COAT OF ACRYLIC PRIMER AT GWB AREAS
FLAT SHEEN AT CEILINGS
EGGSHELL SHEEN AT WALLS
SEMIGLOSS SHEEN AT BATHROOM WALLS
2 L.A. ACRYLIC LATEX FINISH COAT OVER 1 COAT OF OIL PRIMER AT EXT. WOOD TRIM, SEMI-GLOSS.
10. ALL PLUMBING FIXTURES TO BE AS SELECTED BY OWNER
BATHROOM ACCESSORIES AS SELECTED BY OWNER.
11. PROVIDE 1/4" CEMENT BOARD UNDER FLOOR TILES, TYP.
ATTACH WITH CONSTRUCTION ADHESIVE AND EPOXY COVERED SCREWS TO SUBFLOOR
PROVIDE FIBERMESH TAPE COVERED WITH THINSET AT JOINTS.
TILE AS SELECTED BY OWNER. SET IN THINSET MORTAR W/ POLYMER FORTIFIED GROUT.
PROVIDE 1/2" CEMENT BOARD AT SHOWER WALLS ATTACHED W/ EPOXY COVERED SCREWS.
12. PROVIDE COPOLYMER SEALANT AT INSIDE CORNERS AND TUB-TILE JOINT.
13. PROVIDE NON PAPER FACED MOISTURE RESISTANT GWB AT NON TILE AREAS IN BATHROOMS.
14. CUTTING , CORING AND NOTCHING OF WOOD JOISTS TO CONFORM TO MASS. BUILDING CODE CURRENT EDITION.
15. BATHROOM VENTILATION: BATHROOMS TO BE EQUIPPED WITH VENTILATION TO CONFORM TO MASS. BUILDING CODE CURRENT EDITION.
PROVIDE BIRD SCREENS AT VENTS
16. DRYWALL:
5/8" ON WALLS, 5/8" ON CEILINGS. PROVIDE TYPE "X" AT RATED ASSEMBLIES
PROVIDE 1 1/4" COARSE TREAD SCREWS.
TREAT JOINTS WITH PAPER TAPE AND 3 APPLICATIONS OF JOINT COMPOUND.
17. FLOORING:
LAMINATE OR ENGINEERED HARDWOOD FLOORING AS SELECTED BY OWNER.
ALLOW 1/2" EXPANSION GAP AT WALLS.
STAGGER JOINTS BY AT LEAST 2 ROWS AND 18" LENGTHWISE.
TILES: AS SELECTED BY OWNER. INSTALL W/ EPOXY GROUT
CARPET: AS SELECTED BY OWNER.
SEE DETAILS AT DWELLING SEPARATIONS.
18. CLEAR FINISHED TRIM:
SEALER COAT
STAIN
3 COATS SATIN OIL BASE POLYURETHANE
19. LIGHT FIXTURES AS SELECTED BY OWNER.
20. PROVIDE R-30 MIN. TAPERED INSUL AT ROOF.
R-19 KRAFT FACED BATT INSUL AT 2x6 WALLS
21. SIDING TO BE PREPRIMED FIBER CEMENT CLAPBOARD/ SHINGLES
EXTERIOR TRIM TO BE PVC BOARDS OR PREPRIMED WD. TRIM
22. PROVIDE COPPER PAN AT SHOWER.
INSTALL SCHLUTER SHOWER SYSTEM INCLUDING WATERPROOFING MEMBRANE, SHOWER TRAYS, CURB, DRAIN AND PREFABRICATED CORNERS.
23. REFER TO STRUCTURAL DRAWINGS BY OTHERS FOR FRAMING INFORMATION AND STRUCTURAL WORK.
24. BUILDING WILL BE COMPLETELY SPRINKLERED, PER CODE.

GENERAL NOTES II :

BEFORE CONSTRUCTION, VERIFY THE LOCATION AND INVERT ELEVATION AT POINTS OF CONNECTION OF SANITARY SEWER, STORM WATER AND WATER-SERVICE PIPING, AND UNDERGROUND ELECTRICAL SERVICES.
FURNISH LOCATION OF DATA FOR WORK RELATED TO PROJECT THAT MUST BE PERFORMED BY PUBLIC UTILITIES SERVING PROJECT SITE.

EXAMINE ROUGHING-IN FOR MECHANICAL AND ELECTRICAL SYSTEMS TO VERIFY ACTUAL LOCATIONS OF CONNECTIONS BEFORE EQUIPMENT AND FIXTURE INSTALLATION.

EXAMINE WALLS, FLOORS AND ROOFS FOR SUITABLE CONDITIONS WHERE PRODUCTS AND SYSTEMS ARE TO BE INSTALLED.

PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. PROCEEDING WITH THE WORK INDICATES ACCEPTANCE OF SURFACES AND CONDITIONS.

FIELD MEASUREMENTS:
TAKE FIELD MEASUREMENTS AS REQUIRED TO FIT THE WORK PROPERLY.
RECHECK MEASUREMENTS BEFORE INSTALLING EACH PRODUCT.
WHERE PORTIONS OF THE WORK ARE INDICATED TO FIT TO OTHER CONSTRUCTION, VERIFY DIMENSIONS OF OTHER CONSTRUCTION BY FIELD MEASUREMENTS BEFORE FABRICATION.
VERIFY SPACE REQUIREMENTS AND DIMENSIONS OF ITEMS SHOWN DIAGRAMATICALLY ON DRAWINGS.

INSTALLATION:
GENERAL: LOCATE THE WORK AND COMPONENTS OF THE WORK ACCURATELY, IN CORRECT ALIGNMENT AND ELEVATION AS INDICATED.

1. MAKE VERTICAL WORK PLUMB AND MAKE HORIZONTAL WORK LEVEL.
2. WHERE SPACE IS LIMITED, INSTALL COMPONENTS TO MAXIMIZE SPACE AVAILABLE FOR MAINTENANCE AND EASE OF REMOVAL FOR REPLACEMENT.
3. WHERE MOUNTING HEIGHTS ARE NOT DETAILED OR DIMENSIONED, INSTALL SYSTEMS, MATERIALS, AND EQUIPMENT TO PROVIDE THE MAXIMUM HEADROOM POSSIBLE.
4. COORDINATE THE CONNECTION OF MECHANICAL SYSTEMS WITH EXTERIOR UNDERGROUND AND OVERHEAD UTILITIES AND SERVICES.
PROVIDE REQUIRED CONNECTION FOR EACH SERVICE.
COMPLY WITH REQUIREMENTS OF GOVERNING REGULATIONS AND CONTROLLING AGENCIES.
5. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLING PRODUCTS IN APPLICATIONS INDICATED.
6. CONDUCT CONSTRUCTION OPERATIONS SO NO PART OF WORK IS SUBJECTED TO DAMAGING OPERATIONS OR LOADING IN EXCESS OF THAT EXPECTED DURING NORMAL CONDITIONS OF OPERATION.
7. PROVIDE ANCHORS AND FASTENERS AS REQUIRED TO ANCHOR EACH COMPONENT SECURELY IN PLACE, ACCURATELY LOCATED AND ALIGNED WITH OTHER PORTIONS OF THE WORK. ALLOW FOR BUILDING MOVEMENT, INCLUDING THERMAL EXPANSION AND CONTRACTION.
8. MAKE JOINTS OF UNIFORM WIDTH. ARRANGE JOINT LOCATIONS IN EXPOSED WORK FOR BEST VISUAL EFFECT. FIT EXPOSED CONNECTIONS TOGETHER TO FORM HAIRLINE JOINTS.

COORDINATE CONSTRUCTION AND OPERATIONS OF WORK WITH WORK PERFORMED BY OWNER'S CONSTRUCTION FORCES.

CLEAN PROJECT SITE AND WORK AREAS DAILY, INCLUDING COMMON AREAS.
DISPOSE OF MATERIALS LAWFULLY. MAINTAIN SITE FREE FROM WASTE MATERIALS AND DEBRIS.
CLEAN AREAS WHERE WORK IS IN PROGRESS TO THE LEVEL OF CLEANLINESS NECESSARY FOR PROPER EXECUTION OF WORK.
REMOVE DEBRIS FROM CONCEALED SPACES BEFORE ENCLOSING THE SPACE.

CLEAN EXPOSED SURFACES AND PROTECT AS NECESSARY UNTILL PROJECT IS COMPLETE.

REMOVE AND REPLACE DAMAGED SURFACES THAT ARE EXPOSED TO VIEW IF SURFACES CANNOT BE REPAIRED WITHOUT VISIBLE EVIDENCE OF REPAIR.

REPAIR COMPONENTS THET DO NOT OPERATE PROPERLY. REMOVE AND REPLACE OPERATING COMPONENTS THAT CAN NOT BE REPAIRED.

REMOVE AND REPLACE CHIPPED, SCRATCHED AND BROKEN GLASS.

DO NOT CUT AND PATCH STRUCTURAL ELEMENTS IN A MANNER THAT COULD CHANGE THEIR LOAD CARRYING CAPACITY OR LOAD- DEFLECTION RATIO.

DO NOT CUT AND PATCH ELEMENTS OR RELATED COMPONENTS THAT RESULTS IN REDUCING THEIR CAPACITY TO PERFORM AS INTENDED, INCREASED MAINTENANCE OR DECREASED OPERATIONAL LIFE:
WATER, MOISTURE OR VAPOR BARRIERS.
MEMBRANES AND FLASHINGS.

Packaging, Storage and Protection

All Homasote products having a maximum 4' width are packaged in plastic covered units. However, when stored outside, all materials should be stored above grade on wooden pallets and covered by waterproof tarpaulins. Packaging material is not intended for exterior job site protection.

Interior Applications General Requirements:

Temperature and humidity conditions closely approximating those which will exist when building is occupied shall be maintained before, during, and after the application of panels. Installation shall not be made when building is excessively dry, cold, hot or damp. All panels shall be removed from plastic covered units and separated not less than 24 hours prior to installation to allow material to acclimate.

Applications as a Floor Underlayment

During installation, leave a 3/16" space between each panel. All panels must be spaced 3/8" from all walls and partitions at all times. This will allow for the natural expansion and contraction of the Homasote® panels. On runs over 50', provide 1/2" expansion joint. All panel joints must be staggered regardless of panel size. When installing, hold annular threaded nails or screws back a minimum of 3/4" from all panel edges.

E. Homasote installations for use with Tile Flooring

Homasote installed to wood sub-floor.

Tile NOT directly adhered to the Homasote panels.

1) Follow 2, 3, 4, 5 of "A. Homasote installations for use with Carpet and Pad - Method 1" but screw and glue with one screw per square foot. Do not nail. Use 4' x 4' panels only. Allow 24 hours for sub-floor adhesive to set.

2) After a minimum of 24 hours, install cementitious backer board (or plywood or approved substrate) over Homasote panels. Install cement board in strict accordance with manufacturer's installation instructions.

If plywood is used as underlayment, refer to "C. Homasote installations for use with glue-down applications" for applying plywood over Homasote panels.

3) Cementitious board must be installed following manufacturer's recommended method and pattern of attachment. Fasteners must be of sufficient length to penetrate through Homasote panels and into wood sub-floor a minimum of 1/2".

4) Install tile flooring in strict accordance of tile manufacturer's installation instructions.

SPECIAL NOTE: Use 4'x4' panels only, screwed and glued to the wood sub-floor, with minimum 3/16" expansion joint on all sides.

H. Homasote installations for use with Hardwood Flooring

1) Cut panels into 4' x 4's; leaving 3/16" gaps between adjoining panels and 3/8" from walls and partitions. Install Homasote panels to wood subfloor.

Use an APA-approved adhesive with annular-threaded (ring shank) nails or screws to secure Homasote panels to wood sub-floor. (Follow 2, 3, 4, & 5 of "A. Homasote installations for use with Carpet and Pad - Method 1" and "Glue-Nail/Screw Pattern Over Wood Sub-floor" as per Homasote's basic installation instructions over wood sub-floor).

2) Install hardwood flooring as per manufacturer's installation instructions. Attach hardwood flooring using 2" staples or cleats, sufficient in length to toenail through Homasote panels and penetrate sub-floor a minimum of 1/2". Follow the wood floor manufacturer's recommendations for nailing pattern.

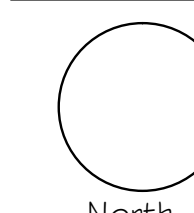
3) In new construction, rosin paper or a minimum 15-pound felt paper should be placed over the Homasote panels when recommended by a hardwood flooring manufacturer.



SUTPHIN ARCHITECTS
197 8TH STREET, SUITE 2000
P.O. BOX 290006
CHARLESTOWN, MA 02129
PHONE: 617-337-5265
FAX: 617-337-5191
E-MAIL: SUTPHINARCH@GMAIL.COM

Project **3-FAMILY CONDOMINIUM**
54-56 Belmont Street
Charlestown, MA

Date
9-2-2016
Scale
AS NOTED
Project No



Revisions	Title
	NOTES

Drawing No

A-7