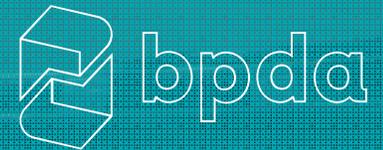# Charlestown Zoning Workshop #1

June 25, 2018

bpda

Agenda

1. Introduction

2. Tools for zoning fluency

3. Question & answer

4. Time for conversations
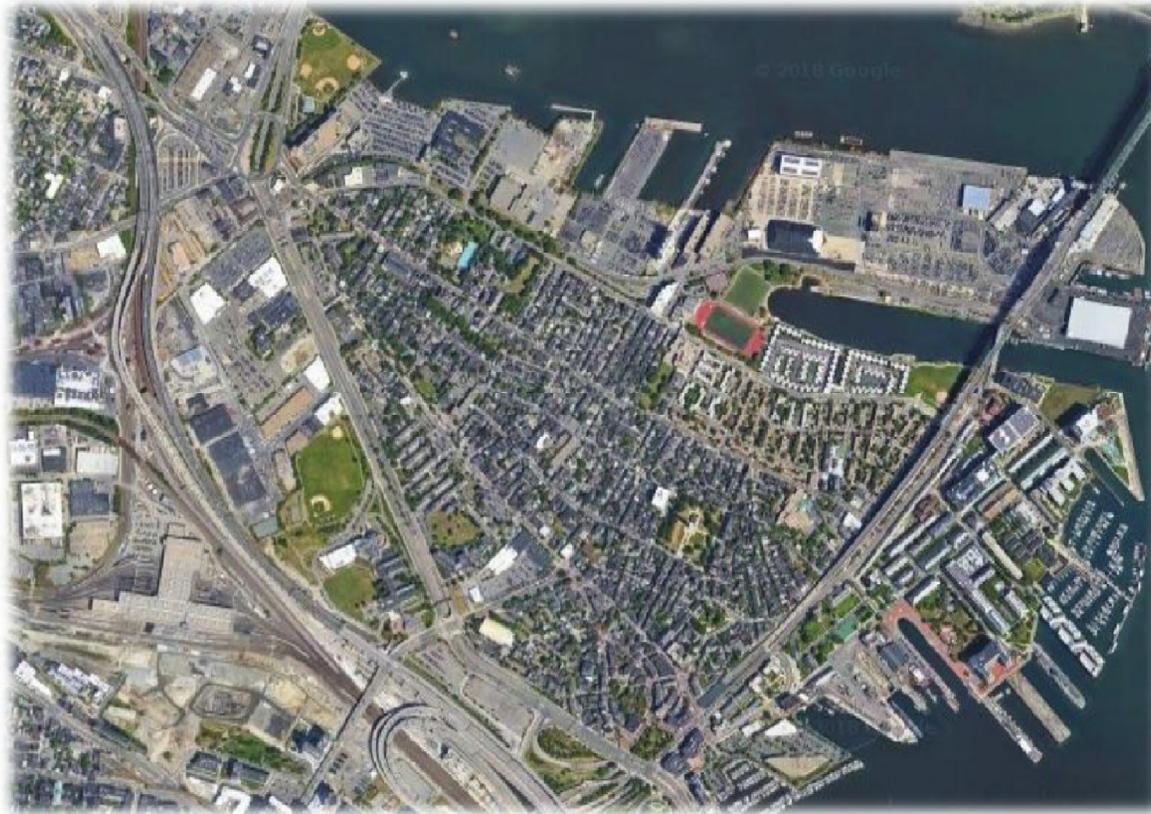   with City Hall staff

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01
Tools for Zoning Fluency

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Use and Dimension: Article 62

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5

Zoning Regulates Uses

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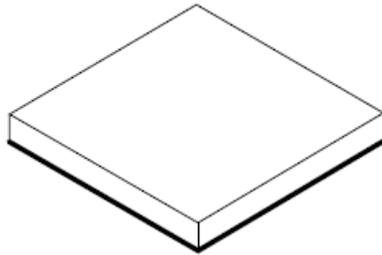# Zoning Regulates Uses
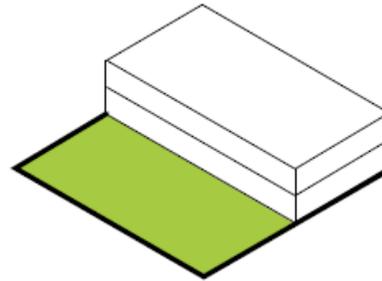
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Zoning Regulates Dimension: FAR

Floor Area Ratio

FAR = 1.0

1 story
covers
100% of the lot

2 stories
covers
50% of the lot

4 stories
covers
25% of the lot

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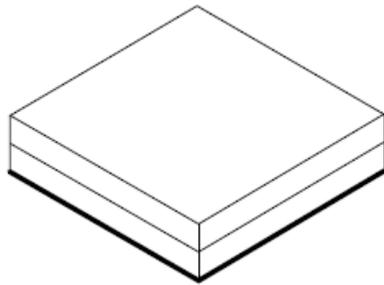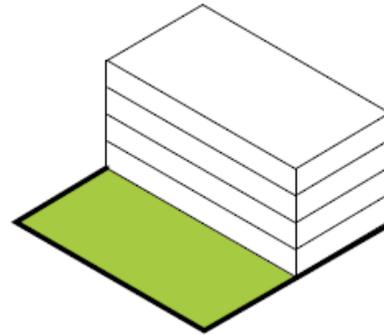
8
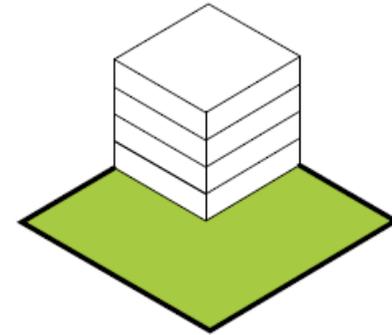
Zoning Regulates Dimension: FAR
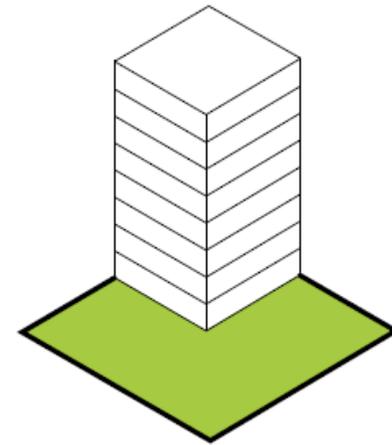
Floor Area Ratio

FAR = 2.0

2 stories
covers
100% of the lot

4 stories
covers
50% of the lot
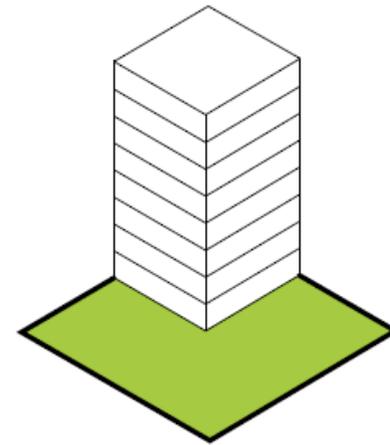
8 stories
covers
25% of the lot

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Zoning Regulates Dimension: FAR

Floor Area Ratio

FAR = 2.0

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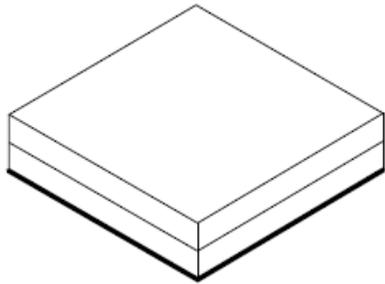
Example of Typical FAR
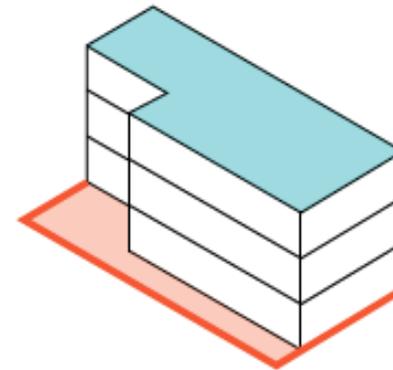
Lot area 1600sf
Living area 3,160sf

Typical Residential 3-family
FAR 2.0

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Planned Development Areas (PDA's)

What is it?

- **A PDA is an overlay zoning district that establishes land use controls for large or complex projects. Allows for community driven discussion on appropriate open space, height, FAR, and public amenities.**
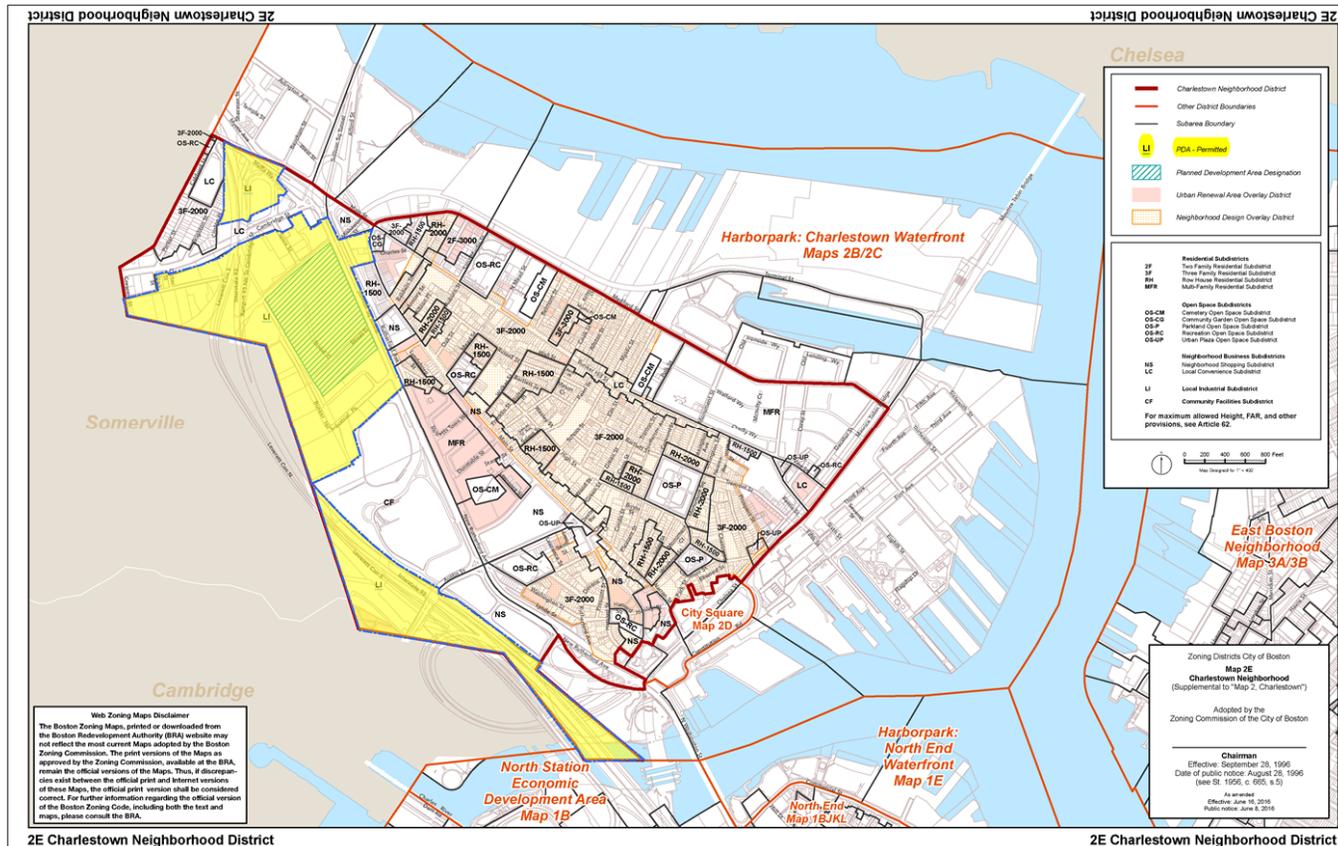
Where are they?

- **A PDA may be established for an area comprising at least one acre and where they are not explicitly forbidden by the underlying zoning.**

How does the community participate?

- **Any new PDA, any change to an existing PDA, and all associated Development Plans must undergo a public review process.**

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PDA's in Charlestown

PDA's in Charlestown

- **Shaded areas depict where PDA's are allowed**

- **PDA's are only allowed in Local Industrial (LI) zoning districts**

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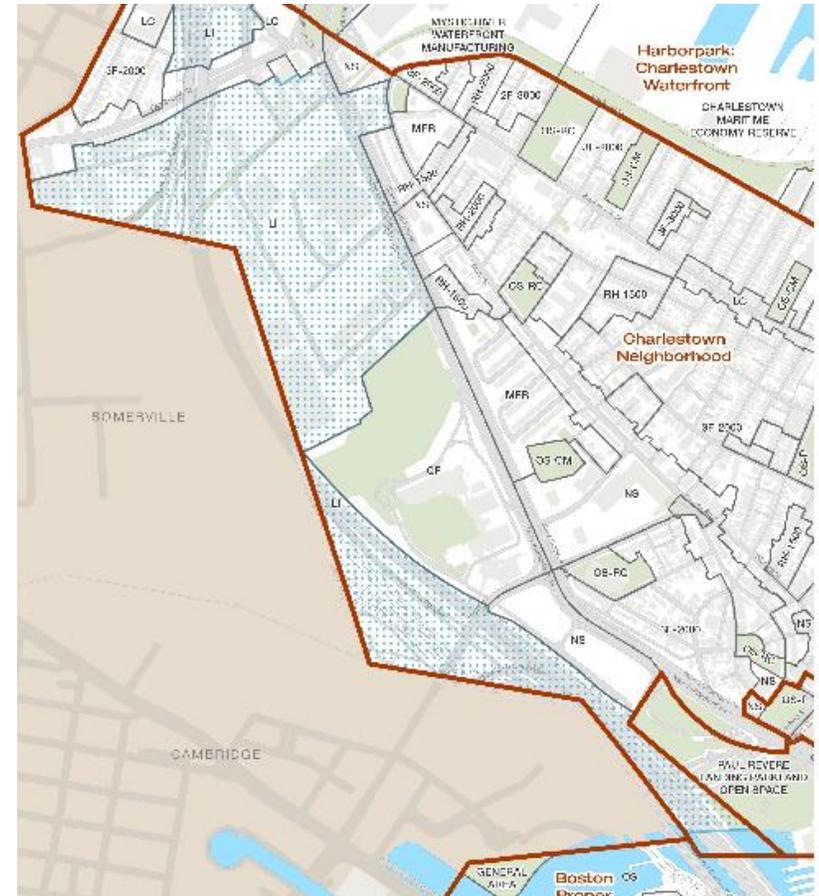
PDA's in Charlestown

PDA 108

32 Cambridge Street

PDA 51

Hood Business Park

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02
Question and Answer

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Question and Answer

03
Open Conversations

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Open Conversations

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