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April 28, 2017

Marie Mercurio  
Senior Planner II  
Boston Planning and Development Agency  
1 City Hall Plaza, Ninth Floor  
Boston, MA 02201

Dear Ms. Mercurio,

The Trust for Public Land is pleased to present our application for a Comprehensive Farm Review per Article 89 for the Fowler Clark Epstein Farm (FCE). We are working in partnership with Historic Boston, Inc. and the Urban Farming Institute of Boston, Inc.(UFI) to redevelop this historic Boston Landmark, containing an 18<sup>th</sup> century farmhouse and 19<sup>th</sup> century farm. Our intent is to transform this property into a 20<sup>th</sup> century, innovative center for urban agriculture in Boston.

Historic Boston Inc, owns the property and is in the process of rebuilding and restoring the historic structures. The Trust for Public Land has led the design with our partners, the farmers, and the community and intends to develop the landscape on the site into a commercial farm. UFI will be the main occupant of the site making it the center of its operations. In addition to growing and selling organically grown food for neighborhood farmers markets and commercial purposes, UFI will provide programming opportunities for the neighborhood and beyond on cultivating food in urban environments, training Boston residents on urban farming, connecting people to nature and locally grown food, and cultivating a culture of health.

We look forward to your review and endorsement of the project. Please don't hesitate to contact me if you have any questions or require additional information.

Sincerely,

A handwritten signature in cursive script that reads "Darci Schofield".

Darci Schofield,  
Urban Program Director, MA/RI

Article 89 Review  
Fowler Clark Epstein Farm



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# **Section I:**

## **Property Description**

## **2. Property Description**

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### **2.1 Property Location and Legal Description**

The approximately 30,000 square-foot (ft<sup>2</sup>) Property is located in the Mattapan section of Boston, Massachusetts (Figs. 1 and 2) and consists of six individual parcels between Hosmer, Norfolk, and Clarkwood Streets (Table 1). The Property address is 487 Norfolk Street and each of the parcels is owned by the Ida G. Epstein Trust. According to the City of Boston Assessor, five of the six parcels are classified as residential land and one of the parcels is classified as a single family residence. The Property is zoned in a three-family residential sub-district.

The latitude and longitude of the Property are 42°16'48.00"N and 71°05'21.12"W, and UTM coordinates for the Property are 4,682,764.5 mN and 327,729.5 mE.

### **2.2 Site Vicinity and General Characteristics**

The Property is zoned in a three-family residential sub-district. The address, assessor's parcel identification number, and owner of each of the abutting properties are summarized in Table 2. The abutters are all residences.

### **2.3 Current Use of the Property**

A single family residence is located on the Property, but it is currently vacant.

### **2.4 Description of Structures, Roads, and Other Improvements on the Property**

The Property is improved with a two-story, wood-framed residence constructed between 1786 and 1806, a stable constructed circa 1860, a stone and concrete foundation, a cobblestone driveway, an outdoor brick chimney, a concrete and brick patio, and stone and slate terraces.

### **2.5 Current Use of the Adjoining Properties**

Adjoining properties include two- and three-family residences on Norfolk, Hosmer, and Clarkwood Streets. The addresses, assessor's parcel identification numbers, and owners of the adjoining properties are summarized in Table 2.

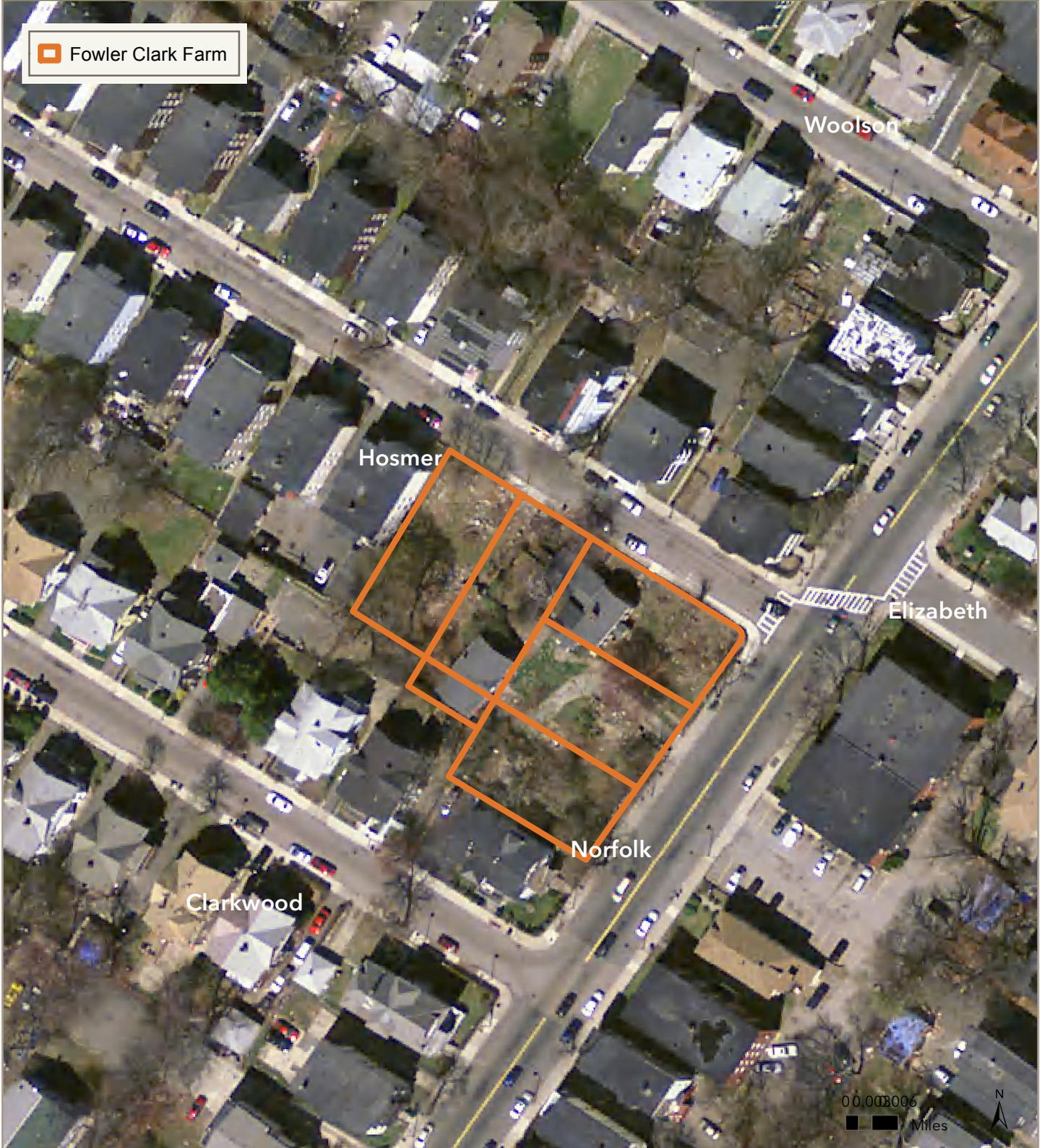
# **Section II:**

## **Maps**

# FOWLER CLARK FARM

SUFFOLK COUNTY, MASSACHUSETTS

 Fowler Clark Farm



THE TRUST *for* PUBLIC LAND

LAND FOR PEOPLE



**REFERENCES**

SUFFOLK COUNTY REGISTRY OF DEEDS  
 BOOK 4077 PAGE 511  
 BOOK 8859 PAGE 191  
 BOOK 23975 PAGE 033  
 BOOK 34632 PAGE 277  
 BOOK 38176 PAGE 280  
 BOOK 43773 PAGE 137  
 BOOK 52587 PAGE 168

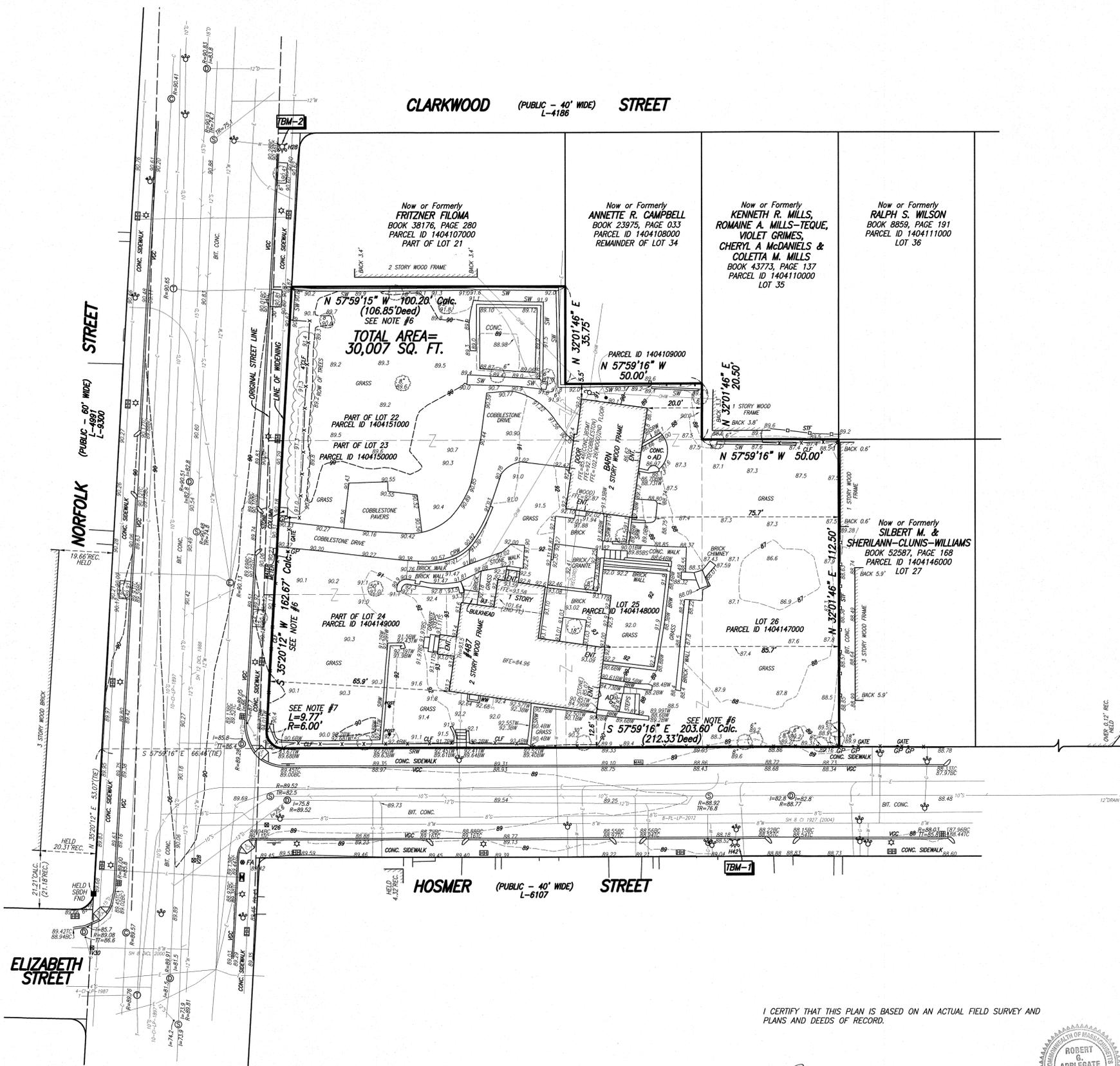
PLAN IN BOOK 2470 PAGE 123

CITY OF BOSTON ENGINEERING DEPARTMENT  
 FIELD BOOK 1012 PAGES 92-93  
 FIELD BOOK 1209 PAGES 27-29  
 CALC. BOOK 148 PAGES 346-348

LAYOUT NO. L-4186, L-4991, L-6107, L-9300

**NOTES:**

- 1) BENCH MARK INFORMATION:  
 BENCH MARKS USED:  
 RIGHT OUTER CORNER LOWER CONCRETE STEP (R.O.C.L.C.S.) AT 494 NORFOLK STREET. ELEVATION=90.98  
 LEFT OUTER CORNER LOWER CONCRETE STEP (L.O.C.L.C.S.) AT 511 NORFOLK STREET. ELEVATION=90.44  
 TEMPORARY BENCH MARKS SET:  
 TBM-1: RIGHT FRONT HYDRANT BONNET BOLT ON THE NORTHERLY SIDE OF HOSMER STREET APPROXIMATELY 175' NORTHWESTERLY FROM THE INTERSECTION OF NORFOLK STREET AND HOSMER STREET AS SHOWN HEREON. ELEVATION=91.13  
 TBM-2: RIGHT FRONT HYDRANT BONNET BOLT ON THE EASTERLY SIDE OF NORFOLK STREET NEAR THE INTERSECTION OF NORFOLK STREET AND CLARKWOOD STREET AS SHOWN HEREON. ELEVATION=93.04
- 2) ELEVATIONS REFER TO BOSTON CITY BASE.
- 3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- 4) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUB-SURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUB-SURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL TOLL FREE THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
- 5) THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.
- 6) SUBJECT TO WIDENING OF NORFOLK STREET BY THE CITY OF BOSTON RECORDED IN BOOK 4077, PAGE 511.
- 7) SUBJECT TO WIDENING OF HOSMER STREET BY THE CITY OF BOSTON SHOWN ON LAYOUT PLAN NO. 9300 (L-9300).



**LEGEND**

- ⊙ SEWER MANHOLE
- ⊕ DRAIN MANHOLE
- ⊖ ELECTRIC MANHOLE
- ⊗ TELEPHONE MANHOLE
- ⊘ CABLE TV MANHOLE
- ⊙ HYDRANT
- ⊙ BOSTON WATER VALVE
- ⊙ WATER SHUT OFF/WATER GATE
- ⊙ GAS SHUT OFF/GAS GATE
- ⊙ CATCH BASIN
- ⊙ UTILITY POLE
- ⊙ LIGHT POLE
- ⊙ ELECTRIC HANDHOLE
- ⊙ MAIL BOX
- ⊙ SIGN
- AD AREA DRAIN
- ⊙ FA FIRE ALARM
- BOUND FOUND
- GP GATE POST
- ⊔ L INDICATES COMMON OWNERSHIP
- ⊔ BC BOTTOM OF CURB
- ⊔ BIT BITUMINOUS
- BS BOTTOM OF STEPS
- BW BOTTOM OF WALL
- CALC CALCULATED
- CLF CHAIN LINK FENCE
- CONC CONCRETE
- DH DRILL HOLE
- ENT ENTRANCE
- FTE FINISH FLOOR ELEVATION
- FND FOUND
- I= INVERT ELEVATION
- INACC. INACCESSIBLE
- L= LENGTH
- R= RADIUS OR RIM ELEVATION
- RET RETAINING
- SB STONE BOUND
- SQ. FT. SQUARE FEET
- STF STOCKADE FENCE
- TBM TEMPORARY BENCH MARK
- TC TOP OF CURB
- TR= CENTERLINE OF TROUGH
- TS TOP OF STEPS
- TT= TOP OF TRAP
- TW TOP OF WALL
- TYP TYPICAL
- VGC VERTICAL GRANITE CURB
- WF WOOD FENCE
- WW WINDOW WELL
- BFE BASEMENT FLOOR ELEVATION
- BRW BRICK RETAINING WALL
- SRW STONE RETAINING WALL
- CRW CONC. RETAINING WALL
- SW STONE WALL
- THRESHOLD
- C CABLE TELEVISION
- D DRAIN
- E ELECTRIC
- G GAS
- L STREET LIGHTING
- OHW OVERHEAD WIRES
- S SEWER
- T TELEPHONE
- W WATER
- X-X METAL FENCE
- WOOD FENCE
- EDGE OF WOODS
- DECIDUOUS TREE
- HANDICAP RAMP
- INTERIOR LOT LINE

**EXISTING CONDITIONS PLAN OF LAND**  
 487 NORFOLK STREET  
 "FOWLER-CLARK FARM"  
**BOSTON, (DORCHESTER DISTRICT) MASS.**

FELDMAN LAND SURVEYORS SEPTEMBER 3, 2014  
 112 SHAWMUT AVENUE PHONE: (617)357-9740  
 BOSTON, MASS. 02118 www.feldmansurveyors.com

**FELDMAN**  
LAND SURVEYORS

SCALE: 1"=20'

RESEARCH RDN	FIELD CHIEF JF	PROJ MGR SMD	APPROVED <i>RCA</i>	SHEET NO. 1 OF 1
CADD RDN	CADD RDN	FIELD CHECKED JF	CRD FILE 14347	JOB NO. 14347

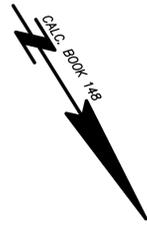
FILENAME: S:\PROJECTS\143000\14347\DWG\14347-EC.dwg

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND PLANS AND DEEDS OF RECORD.

*Robert C. Applegate*  
 ROBERT C. APPLGATE PLS (MA# 28514)  
 rapplegate@feldmansurveyors.com

11/3/14  
 DATE





**CLARKWOOD STREET** (PUBLIC - 40' WIDE) L-4186

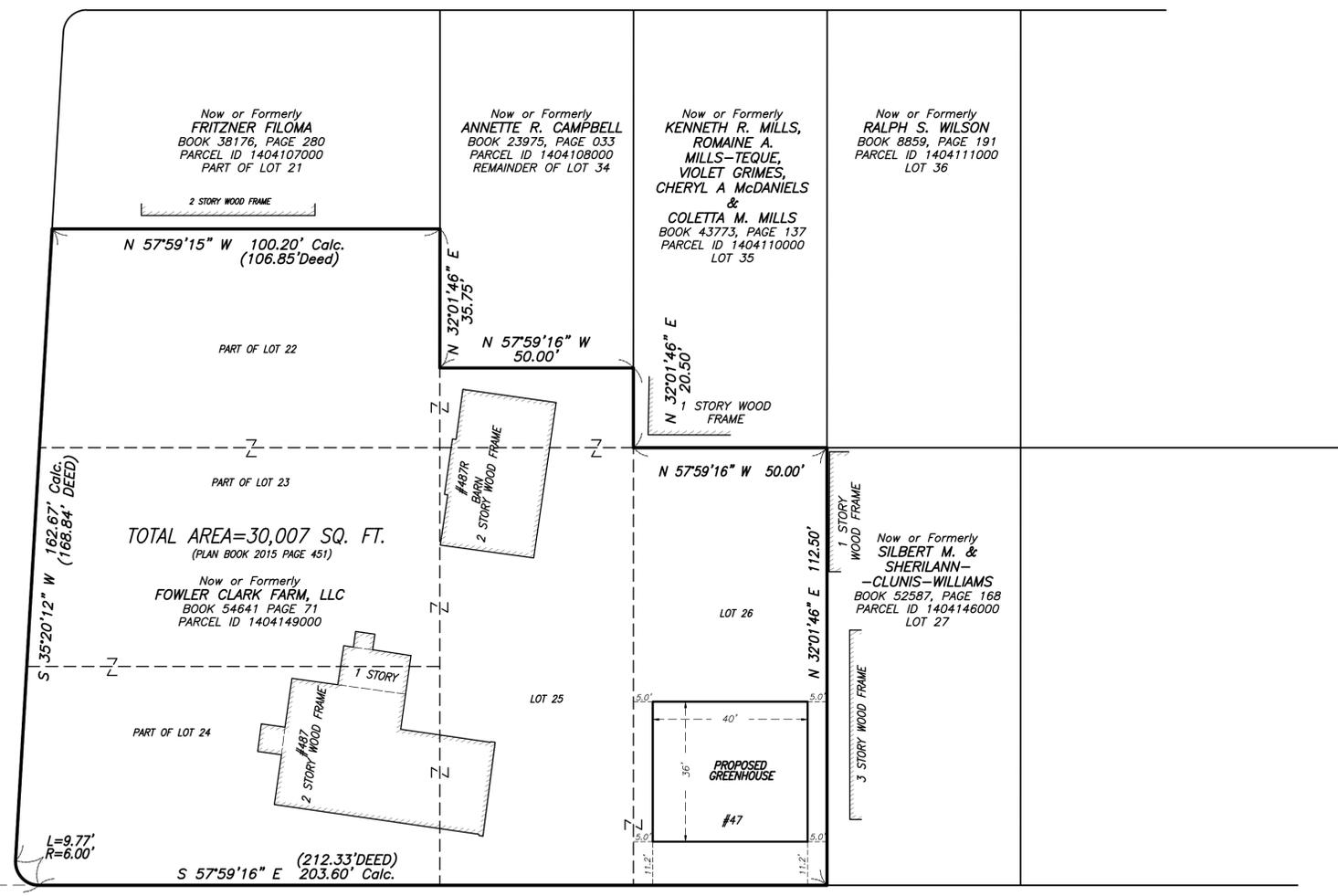
**NORFOLK STREET** (PUBLIC - 60' WIDE) L-4991, L-6107, L-9300

**HOSMER STREET** (PUBLIC - 40' WIDE) L-6107

**ELIZABETH STREET**

- REFERENCES**
- SUFFOLK COUNTY REGISTRY OF DEEDS
    - BOOK 5963 PAGE 236
    - BOOK 6088 PAGE 292
    - BOOK 6874 PAGE 127
    - BOOK 4077 PAGE 511
    - BOOK 8859 PAGE 191
    - BOOK 23975 PAGE 033
    - BOOK 34632 PAGE 277
    - BOOK 38176 PAGE 280
    - BOOK 43773 PAGE 137
    - BOOK 52587 PAGE 168
    - BOOK 54641 PAGE 71 (LOCUS)
  - PLAN IN BOOK 2470 PAGE 123
  - PLAN IN BOOK 2015 PAGE 451
  - CITY OF BOSTON ENGINEERING DEPARTMENT
    - FIELD BOOK 1012 PAGES 92-93
    - FIELD BOOK 1209 PAGES 27-29
    - CALC. BOOK 148 PAGES 346-348
  - LAYOUT NO. L-4186, L-4991, L-6107, L-9300

- LEGEND**
- SB.....STONE BOUND
  - DH.....DRILL HOLE
  - REC.....RECORD
  - CALC.....CALCULATED
  - SQ. FT.....SQUARE FEET



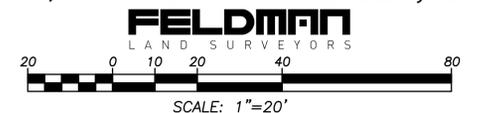
**NOTE:**

- PROPOSED GREENHOUSE TAKEN FROM CAD FILE; DESIGN\_FCE\_RDG-160610.DWG PREPARED BY REGENERATIVE DESIGN GROUP.

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

DAMIEN J. RAFFLE, PLS (MA# 49629)  
djr@feldmansurveyors.com

**PLOT PLAN**  
SHOWING PROPOSED GREENHOUSE  
487 & 487R NORFOLK STREET AND  
47 HOSMER STREET  
"FOWLER-CLARK FARM"  
**BOSTON, (DORCHESTER DISTRICT) MASS.**  
FELDMAN LAND SURVEYORS JUNE 20, 2016  
112 SHAWMUT AVENUE PHONE: (617)357-9740  
BOSTON, MASS. 02118 www.feldmansurveyors.com



RESEARCH RDN	FIELD CHIEF	PROJ MGR SMD	APPROVED	SHEET NO. 1 OF 1
CALC RDN	CADD TMT	FIELD CHECKED	CRD FILE 14917	JOB NO. 14917A

FILENAME: S:\PROJECTS\149008\14917\14917 A\DWG\14917A.dwg

## **Section III:**

# Photographs

# Before



# After



## **Section IV:**

# Summary of Public Meetings and Permits

## Permits

<b>Date</b>	<b>Description</b>
11/9/2016	Zoning Board of appeals, change in zoning recieved
2/28/2017	BWSC approval
3/2017	Inspection Services Division, building permit issued
3/28/2017	Boston Landmarks Commission Meeting, Landscape Design Review
3/29/2017	Boston Landmarks Commission approval of design

## Public Meetings

<b>Date</b>	<b>Description</b>
8/5/2015	Neighborhood barbeque kick off, Fowler Clark Epstein Farm
8/20/2015	Mayoral kick-off event, FCE Farm, 300+ Attendees
3/2016	Informational neighborhood conversation, Fowler Clark Epstein Farm, Boys and Girls Club
5/23/2016	Landscape ad building design review neighborhood meeting, Mattapan Boys and Girls Club
8/23/2016	Public meeting for feedback on the change of zoning, Mattapan Boys and Girls Club
3/17/2017	Neighborhood meeting, construction updates, Mattapan Public Library



CITY OF BOSTON  
**BOARD OF APPEAL**

OFFICE OF THE BOARD OF APPEAL

Decision of the Board of Appeal on the Appeal of

47 Hosmer Street, Ward - 14  
 BOA-621157  
 Date of Hearing: October 4, 2016  
 Permit # ERT 608784  
 Page # 2

This appeal seeks a variance from the provisions of Article 60 Sec. 9 and Sec. 41 of the Boston Zoning Code ("Code") to erect a new, ground level Greenhouse on the same property as an existing house at 487 Norfolk Street. The subject premises is located at 47 Hosmer Street, Boston (Greater Mattapan Neighborhood District), MA, Ward 14 ("Premises"). The Premises is part of a larger parcel of land identified on "Plan of Land, 487 Norfolk Street, "Fowler-Clark Farm", Boston, (Dorchester District) Mass." dated October 28, 2015 and recorded with the Suffolk County Registry of Deeds in Plan Book 2015, Page 451 and consisting of approximately 30,007 s/f +/- according to said plan (the "Consolidation Plan") and further being the subject of a "Request for Consolidation" approved by the City of Boston Assessing Department on January 21, 2016 and which consolidated parcel has an assigned parcel no. 14-04149-000 (with the Premises, the "Consolidated Parcel").

The requested relief is part of a larger project which includes the rehabilitation of an existing, adjacent Single Family House at 487 Norfolk Street into to an "Office" with one (1) residential Apartment, with appurtenant uses being the subject of BOA 621141/Application No. ALT 608776 the decision for which is filed herewith, and the rehabilitation of an existing, adjacent barn at 487 R Norfolk Street into a so-called "Community Center" and "Office", with appurtenant uses being the subject of BOA 621149/Application No. ALT 608779 the decision for which is filed herewith (with the construction of the Greenhouse requiring the requested relief as detailed herein, collectively, the "Proposed Project"). The intended use of the Consolidated Parcel, including the Premises, is for Urban Farm purposes subject to the Urban Agricultural provisions of Article 89 of the Code. Specifically, the intended use of the Consolidated Parcel is for an "Urban Farm, Ground Level, Medium" pursuant to the provisions of Code Article 89, Section 89-4. The project is more particularly depicted on a set of plans, in 16 sheets, submitted with the underlying application and on file with the City of Boston Inspectional Services Department ("ISD"), entitled "Fowler Clark Epstein Farm, 487 Norfolk Street, Boston, Massachusetts 02126 + 487R Norfolk Street + 47 Hosmer Street, Zoning Refusal Set" dated June 29, 2016 as amended (including the Consolidation Plan, collectively the "Project Plans") to which reference is made and which Project Plans are incorporated herein and made a part hereof.

This appeal was filed by Lisa Lewis on behalf of Historic Boston, Inc. ("Appellant") in connection with the Appellant's request to develop the Premises for the project described in the application to ISD being the subject of the instant decision, BOA 621157/Application No. ERT

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608784 (“Application No. ERT 608784”) and companion applications BOA 621141/Application No. ALT 608776 and BOA 621149/Application No. ERT 608779 (collectively, the “Applications”) which Applications are incorporated herein and made a part hereof. The Premises has frontage on Hosmer Street and is located within the Consolidated Parcel which is located at the intersection of Norfolk and Hosmer Streets and the Premises directly abuts, at its easterly bound, residential single and/or multi-family dwellings. The Consolidated Parcel is located in the zoning “Residential Subdistrict”, designated “3F-6000” and is governed by the applicable provisions of Article 60 – Greater Mattapan Neighborhood District of the Code.

The Consolidated Parcel is presently occupied by a two-story, wood frame “Barn” (the “Barn”) being the subject of BOA 661149/Application No. 608779 and a two-story, wood frame dwelling house (the “Dwelling House”, with the Barn, the “Buildings”) being subject of BOA 621141/Application No. ALT 608776 (the “Dwelling House”, with the Barn, the “Buildings”). The Consolidated Parcel is owned by the Fowler Clark Farm LLC, which duly consented to the filing of the instant Appeal, and the Buildings were constructed between 1786 and 1806 and modified over time.<sup>1</sup> The Consolidated Parcel, including the Buildings, were designated as a “Landmark” by the Boston Landmarks Commission (the “BLC”) on January 10, 2006. The Buildings were abandoned prior to acquisition of the Consolidated Parcel by Fowler Clark Farm LLC and became a blight to the surrounding neighborhood. Since its acquisition in June, 2015, Fowler Clark Farm LLC, through Historic Boston, Inc., has significantly improved the Consolidated Parcel and the Buildings by engaging in extensive clean up and maintenance activities.

The Appellant caused to be filed with ISD the Applications seeking to develop the Proposed Project for the uses described in said Applications and pursuant to the Project Plans submitted with the Applications. The Project Plans show the proposed allocation of apartment, community center, urban agricultural, office and accessory greenhouse uses on the Consolidated Parcel and in the Buildings and further depict the proposed exterior and interior renovations and construction of the proposed greenhouse.

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<sup>1</sup> For a more complete description of the Buildings, reference is made to the “Fowler-Clark Farm Study Report” prepared and approved by the Boston Landmarks Commission, Environment Department, City of Boston on September 6, 2005 which is on file with said Boston Landmarks Commission and is incorporated herein and made a part hereof.

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The Appeal results from the issuance of a “Zoning Refusal Letter” dated July 19, 2016 (“Turndown Letter”) from ISD denying the Appellant’s request and citing the following Boston Zoning Code (“Code”) provisions:

<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Art. 60, Sec. 41	Appl. Of Dimensional Regs.	Accessory Buildings in Rear Yards <sup>2</sup>
Art. 60, Sec. 9	Dimensional Regulations	Side Yard Insufficient <sup>3</sup>

The Appellant requested that the Board of Appeal (the “Board”) approve the zoning relief from such provisions (“Zoning Relief”) in accordance with Article 7 of the Code and Section 8 of Chapter 665 of the Acts of 1956 (“Enabling Act”). At the Board’s hearing held on October 4, 2016, the Appellant presented to the Board the Applications and the Board viewed the renderings, drawings and the Project Plans of the Premises and the Consolidated Parcel and all materials submitted in connection therewith. (All of the above referenced documents or those documents otherwise referenced herein this decision are hereinafter referred to as “Documentary Materials”). In rendering its Decision, the Board has reviewed, considered and incorporates by reference the Documentary Materials.

The Appellant informed the Board that the Proposed Project is located within the Greater Mattapan Neighborhood District, under the jurisdiction of Article 60 of the Code and is shown on Map 8B of the Greater Mattapan Neighborhood District Zoning Map. As shown on the Zoning Map, the Premises is located within 3F-6000 Residential Subdistrict.

As cited by ISD, the Proposed Project, including the construction of a Greenhouse at the location depicted on the Project Plans, requires the dimensional relief relative to rear and side yards pursuant to Article 60, Sec. 9 and Sec. 41 as detailed above. The Appellant noted to the

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<sup>2</sup> Percentage of rear yard exceeds that allowable pursuant to Code Article 10, Sec. 10-1 and other applicable provisions of the Code.

<sup>3</sup> Code Article 60, Sec. 9 requires a Side Yard Minimum Width of seven (7) feet while the applicable provisions of Code Article 89, Sec. 89-4 applicable to Urban Agriculture uses as intended in the instant case, requires “Farm Structures” including “Greenhouses” to be set back five (5) feet from all property lines in all Districts and Subdistricts.



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Board, however, that given the placement of the Buildings on the Consolidated Parcel, the construction of a Greenhouse at the location depicted on the Project Plans is necessary for use of the Consolidated Parcel as an “Urban Farm, Ground Level, Medium” under the Urban Agriculture Code provisions of Article 89, Section 89-4, a use allowed by right, and the Appellant will be deprived of such use of the Consolidated Parcel without being granted the relief requested pursuant to this Appeal because the construction of a Greenhouse is an essential element for the proper function of an Urban Farm. Further the Proposed Project, including the construction of the Greenhouse, will further support the intended Urban Agriculture uses through conducting education and outreach activities geared toward school aged students and their families from the greater Mattapan neighborhood and Boston community for the purpose of teaching the value and promoting the importance of good nutrition and fitness through on-site farming of produce activities.

The Appellant informed the Board and the Board so finds that after several community meetings and events with, and attended by, Mayor Walsh, neighbors, community leaders and activists, the City’s commitment of \$150,000 for the Proposed Project from its allocation of Community Development Block Grant funds, and through reviews, which are continuing, by the BLC, in combination, represent a clear indication of the appropriate use of the Premises and the Consolidated Parcel and design of the Buildings and their compatibility with the controls, purpose, goals and objectives of the Greater Mattapan Neighborhood District. The existing condition of the Buildings, and the potential for a blighting influence on the neighborhood does not contribute to the health, safety and morals of the neighborhood. The Board also finds that relief is necessary for the construction of the Greenhouse at its proposed location because of the placement of the Buildings on the Consolidated Parcel impacting and limiting available space for its placement. These are special circumstances and conditions which the Board has considered in granting the requested variances. Additionally, the Board notes that as requested in the appeal for variances as set forth in Application No. ERT 608784, the design of the Proposed Project does not substantially derogate from, and is consistent with the overall controls, purpose, goals and objectives of the Code. The Appellant noted to the Board, and the Board finds, that the construction of the Greenhouse on the Premises, an essential element of a working Urban Farm, with the uses and redesign of the Consolidated Parcels and the rehabilitation of the Buildings thereon will restore the use of the Consolidated Parcel to its historic use as a working farm and will preserve the significant architectural and historic elements of the Consolidated Parcel and the Buildings located thereon as noted by the BLC, and to conform the Consolidated Parcel to



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the strict requirements of the Code would deprive the Appellant of the reasonable use of the Premises. The Appellant also noted that the Proposed Project is subject to further review by the BLC.

Furthermore, as presented by the Appellant, the Board finds that, with the community support and support of City offices and elected representatives, as noted herein, the granting of the variances will be in harmony with the general purposes and intent of the Code and the neighborhood and that it will not be injurious to the neighborhood but be beneficial to the neighborhood as evidenced by the broad indication of community support.

At the hearing, representatives of the Mayor's Office of Neighborhood Services and City Councilor McCarthy stood in support of the Proposed Project. There was no opposition voiced at the hearing. This showing of support further supports the Board's finding that the requested relief will have no negative impact on the surrounding area, and is in harmony with the general purpose and intent of the Code.

The Board of Appeal finds that all of the following conditions are met:

- (a) That there are special circumstances or conditions, fully described in the findings, applying to the land or structure for which the variance is sought (such as, but not limited to, the exceptional narrowness, shallowness or shape of the lot, or exceptional topographical conditions thereof), which circumstances or conditions are peculiar to such land or structure but not the neighborhood, and that said circumstances or conditions are such that the application of the provisions of this Code would deprive the appellant of the reasonable use of such land or structure; and
- (b) That for reasons of practical difficulty and demonstrable and substantial hardship fully described in the findings, the granting of the variance is necessary for the reasonable use of the land or structure and that the variance as granted by the Board is the minimum variance that will accomplish this purpose; and



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- (c) That the granting of the variance will be in harmony with the general purposes and intent of this Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

In determining its findings, the Board of Appeal has taken into account: (1) the number of persons residing or working upon such land or in such structure; (2) the character and use of adjoining lots and those in the neighborhood; and (3) traffic conditions in the neighborhood.

Furthermore, the Board of Appeal makes the following findings:

- (a) the specific site is an appropriate location for such uses;
- (b) the uses will not adversely affect the neighborhood;
- (c) there will be no serious hazard to vehicles or pedestrians from the uses;
- (d) no nuisance will be created by the uses; and
- (e) adequate and appropriate facilities will be provided for the proper operation of the uses.

The Board is of the opinion that all conditions required for the granting of Variances under Article 7, Section 7-3 of the Zoning Code have been met and the varying of the terms of the Zoning Code, as detailed above, will not conflict with the intent and spirit of the Zoning Code.



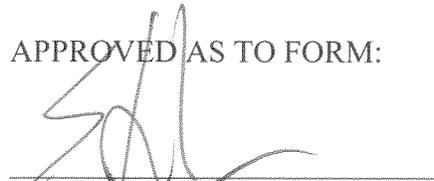
CITY OF BOSTON  
**BOARD OF APPEAL**  
OFFICE OF THE BOARD OF APPEAL

Decision of the Board of Appeal on the Appeal of

47 Hosmer Street, Ward - 14  
BOA-621157  
Date of Hearing: October 4, 2016  
Permit # ERT 608784  
Page # 8

Therefore, acting under its discretionary power, the Board (the members and/or substitute members sitting on this appeal) unanimously voted to grant the requested variances, as described above, annuls the refusal of the Building Commissioner as set forth in the Turn Down Letter, in accordance with this decision with the following proviso(s), which if not complied with, shall render this decision null and void.

APPROVED AS TO FORM:

  
\_\_\_\_\_  
Assistant Corporation Counsel

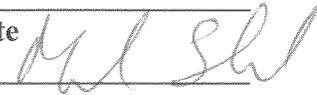
Signed, November 1, 2016

\_\_\_\_\_  
**Christine Araujo - Chairperson**

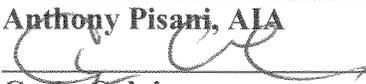
  
\_\_\_\_\_  
**Mark Fortune - Secretary**

  
\_\_\_\_\_  
**Peter Chin**

\_\_\_\_\_  
**Benito Tauro - Alternate**

  
\_\_\_\_\_  
**Mark Erlich**

\_\_\_\_\_  
**Anthony Pisani, AIA**

  
\_\_\_\_\_  
**Craig Galvin**

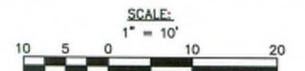
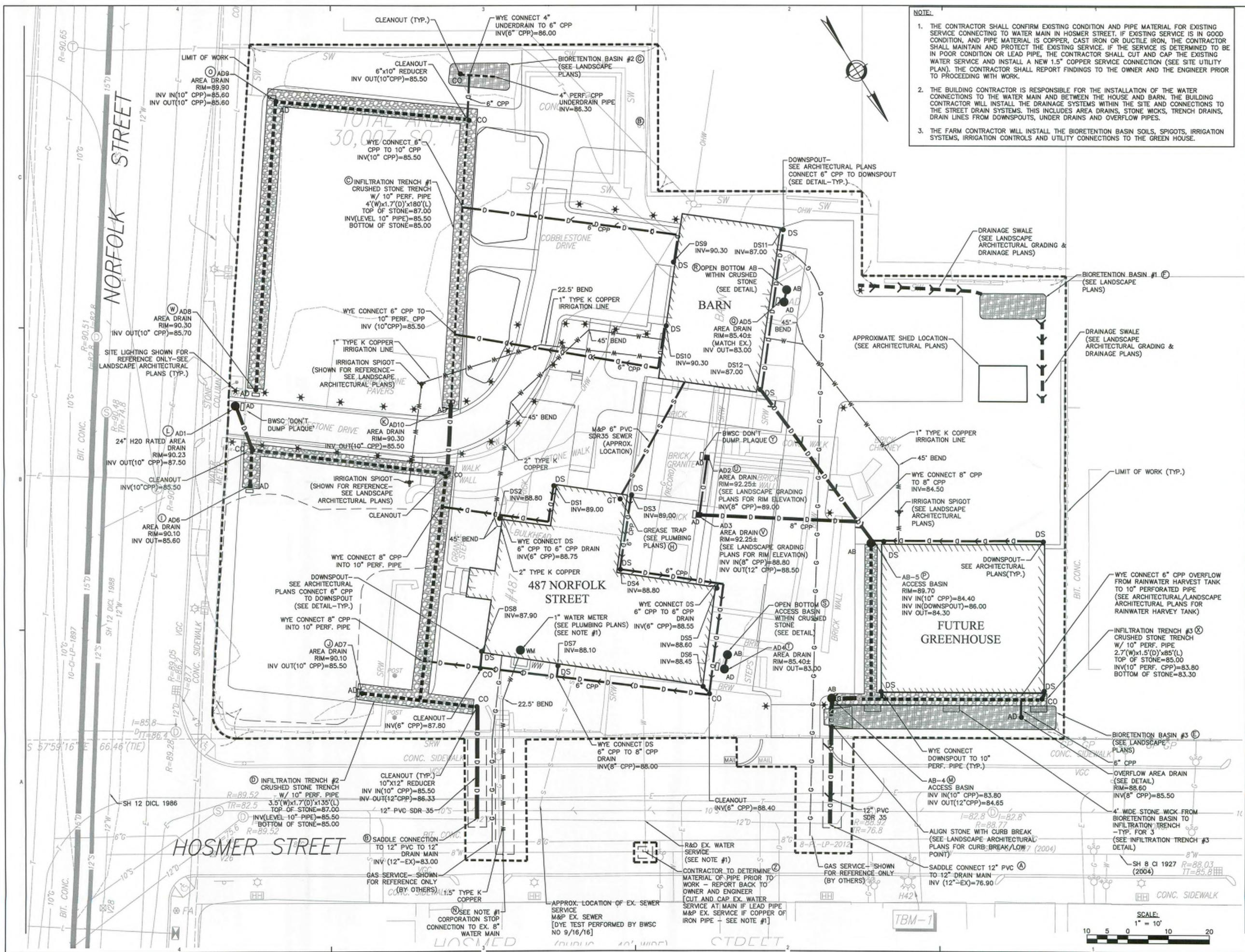
## **Section V:**

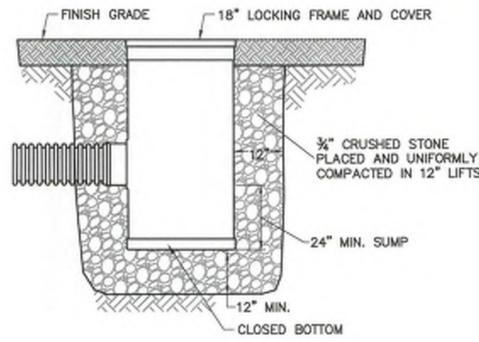
# Civil Engineering Design and Construction Documents

NO	ISSUE	DATE
Job Number		000035.015
Checked		SV
Approved		SV

**NOTE:**

1. THE CONTRACTOR SHALL CONFIRM EXISTING CONDITION AND PIPE MATERIAL FOR EXISTING SERVICE CONNECTING TO WATER MAIN IN HOSMER STREET. IF EXISTING SERVICE IS IN GOOD CONDITION, AND PIPE MATERIAL IS COPPER, CAST IRON OR DUCTILE IRON, THE CONTRACTOR SHALL MAINTAIN AND PROTECT THE EXISTING SERVICE. IF THE SERVICE IS DETERMINED TO BE IN POOR CONDITION OR LEAD PIPE, THE CONTRACTOR SHALL CUT AND CAP THE EXISTING WATER SERVICE AND INSTALL A NEW 1.5" COPPER SERVICE CONNECTION (SEE SITE UTILITY PLAN). THE CONTRACTOR SHALL REPORT FINDINGS TO THE OWNER AND THE ENGINEER PRIOR TO PROCEEDING WITH WORK.
2. THE BUILDING CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF THE WATER CONNECTIONS TO THE WATER MAIN AND BETWEEN THE HOUSE AND BARN. THE BUILDING CONTRACTOR WILL INSTALL THE DRAINAGE SYSTEMS WITHIN THE SITE AND CONNECTIONS TO THE STREET DRAIN SYSTEMS. THIS INCLUDES AREA DRAINS, STONE WICKS, TRENCH DRAINS, DRAIN LINES FROM DOWNSPOUTS, UNDER DRAINS AND OVERFLOW PIPES.
3. THE FARM CONTRACTOR WILL INSTALL THE BIORETENTION BASIN SOILS, SPIGOTS, IRRIGATION SYSTEMS, IRRIGATION CONTROLS AND UTILITY CONNECTIONS TO THE GREEN HOUSE.





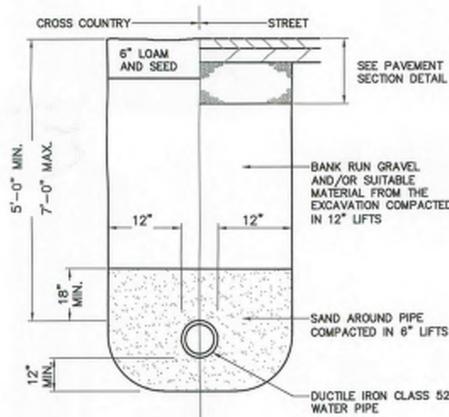
**SOLID COVER**

**NOTES:**

- COVER AND FRAME SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05 AND SHALL MEET H-20 LOAD RATING AND SHALL BE THE LOCKING TYPE.
- ACCESS BASINS SHALL BE NYLOPLAST MODEL 2824 AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC.
- ACCESS BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.
- COVER SHALL BE PROVIDED PAINTED BLACK.
- SEE PLANS FOR LAYOUT OF DRAIN PIPES TO ACCESS BASINS.

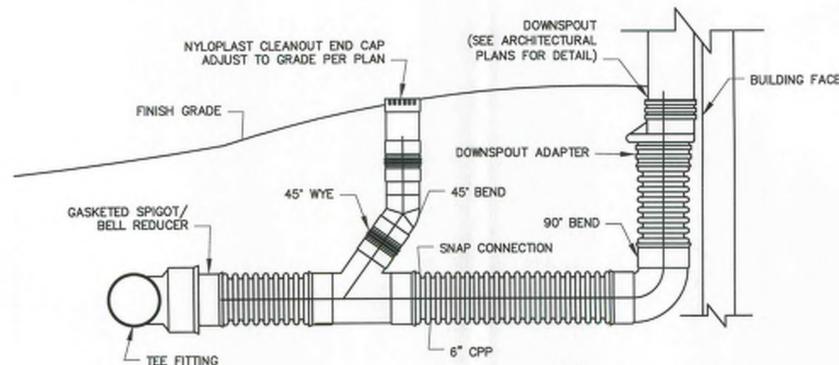
**18" ACCESS BASIN DETAIL**

NOT TO SCALE



**WATER TRENCH DETAIL**

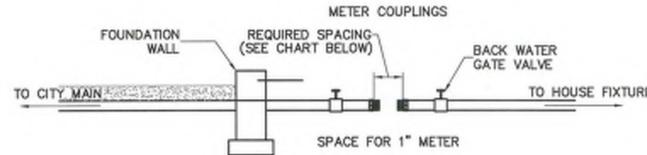
NOT TO SCALE



**CLEANOUT DETAIL**

NOT TO SCALE

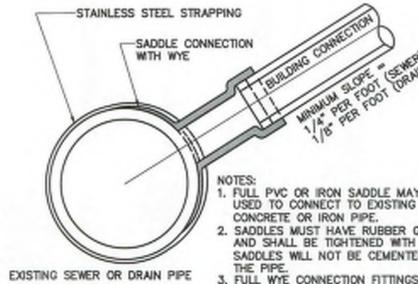
- NOTE: \*INJECTION MOLDED FITTINGS ARE AVAILABLE IN TEES, WYES, REDUCERS, 45° BENDS AND BELL/BELL COUPLINGS.
- \*WT INJECTION MOLDED FITTINGS AND WT PIPE CAN BE SUBSTITUTED FOR WATER TIGHT APPLICATIONS.



**BWSC METER SPACING**

NOT TO SCALE

SIZE OF METER (INCHES)	REQUIRED SPACING
1	10.75"

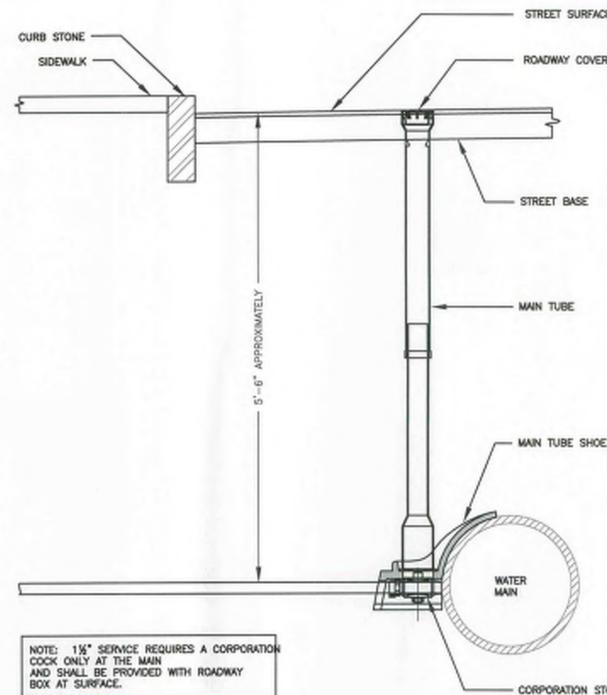


EXISTING SEWER OR DRAIN PIPE

- NOTES:
- FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE OR IRON PIPE.
  - SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
  - FULL WYE CONNECTION FITTINGS MAY BE USED.
  - PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
  - CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.

**TYPICAL SADDLE CONNECTION DETAIL TO EXISTING DRAIN OR SEWER (6" TO 15")**

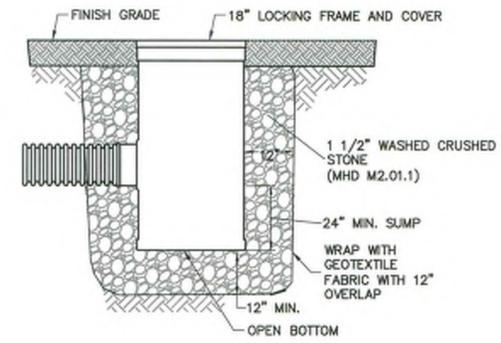
NOT TO SCALE



**WATER CONNECTION**

NOT TO SCALE

NOTE: 1 1/2" SERVICE REQUIRES A CORPORATION COCK ONLY AT THE MAIN AND SHALL BE PROVIDED WITH ROADWAY BOX AT SURFACE.



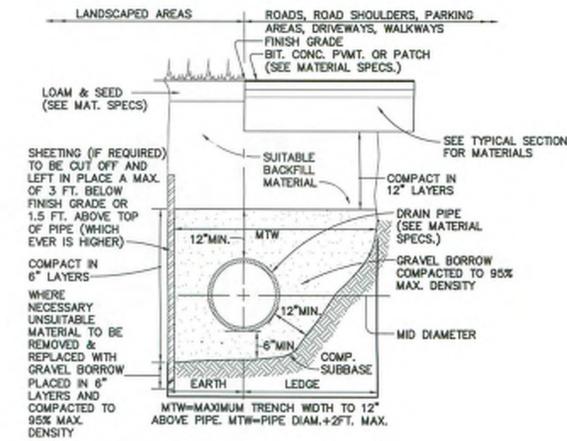
**SOLID COVER**

**NOTES:**

- COVER AND FRAME SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05 AND SHALL MEET H-20 LOAD RATING AND SHALL BE THE LOCKING TYPE.
- ACCESS BASINS SHALL BE NYLOPLAST MODEL 2824 AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC.
- ACCESS BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.
- COVER SHALL BE PROVIDED PAINTED BLACK.
- SEE PLANS FOR LAYOUT OF DRAIN PIPES TO ACCESS BASINS.

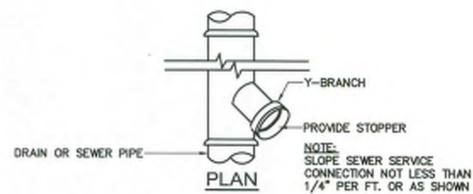
**INFILTRATION ACCESS BASIN**

NOT TO SCALE



**STANDARD TRENCH DETAIL FOR UTILITY PIPE**

NOT TO SCALE



**WYE BRANCH FOR PIPE SERVICE CONNECTION DETAIL**

NOT TO SCALE

**PERKINS + WILL**

225 Franklin Street, Suite 1100  
Boston, MA 02110  
1 617 478 6300  
1 617 478 0321  
www.perkinswill.com

**PROJECT**

**Fowler Clark  
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487 Norfolk Street Boston,  
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**Fowler Clark Farm LLC**  
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**CONSULTANTS**



www.nitschengineering.com  
7 Center Plaza, Suite 400  
Boston, MA 02209  
T: (617) 338-0063  
F: (617) 338-6472



**Construction Documents**

October 3, 2016

**ISSUE CHART**

NO	ISSUE	DATE
Job Number		000035.015
Checked		SV
Approved		SV

**TITLE**

**CIVIL DETAILS  
SHEET 1**

**SHEET NUMBER**

**C11-06**



**PROJECT**

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F: (617) 558-6472

- Civil Engineering
- Land Surveying
- Transportation Engineering
- Sustainable Site Consulting
- Planning
- GIS



**Construction Documents**

October 3, 2016

**ISSUE CHART**

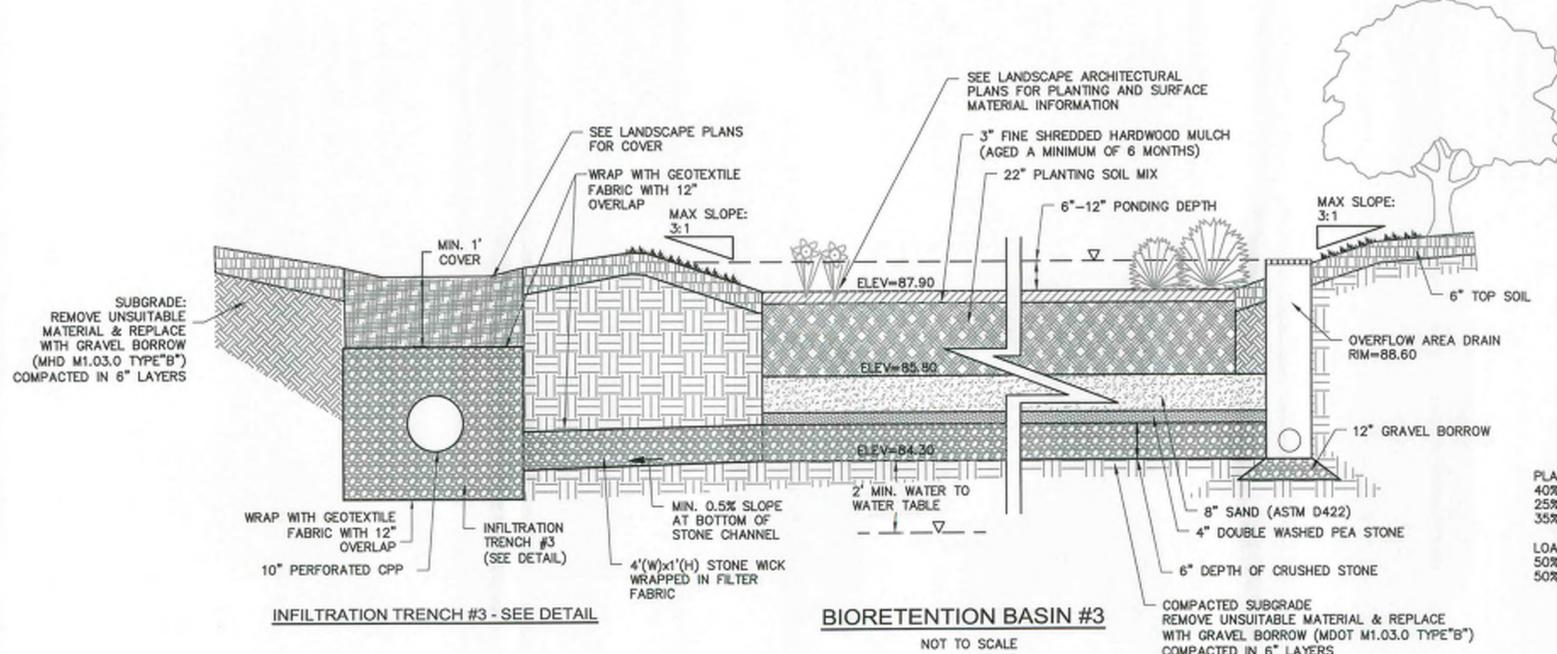
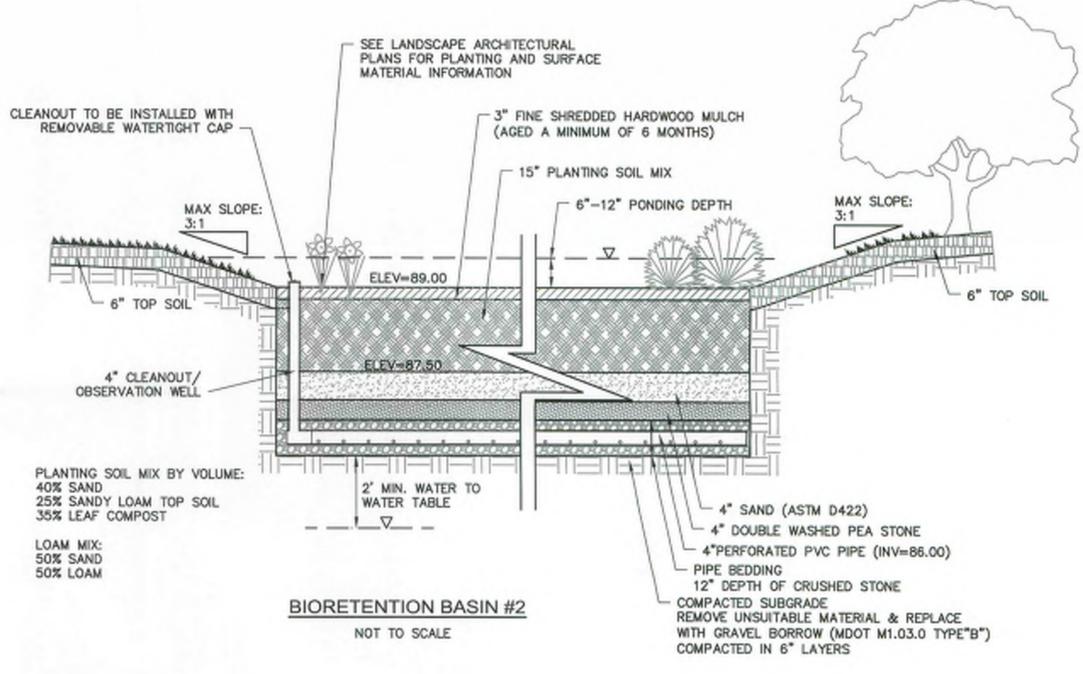
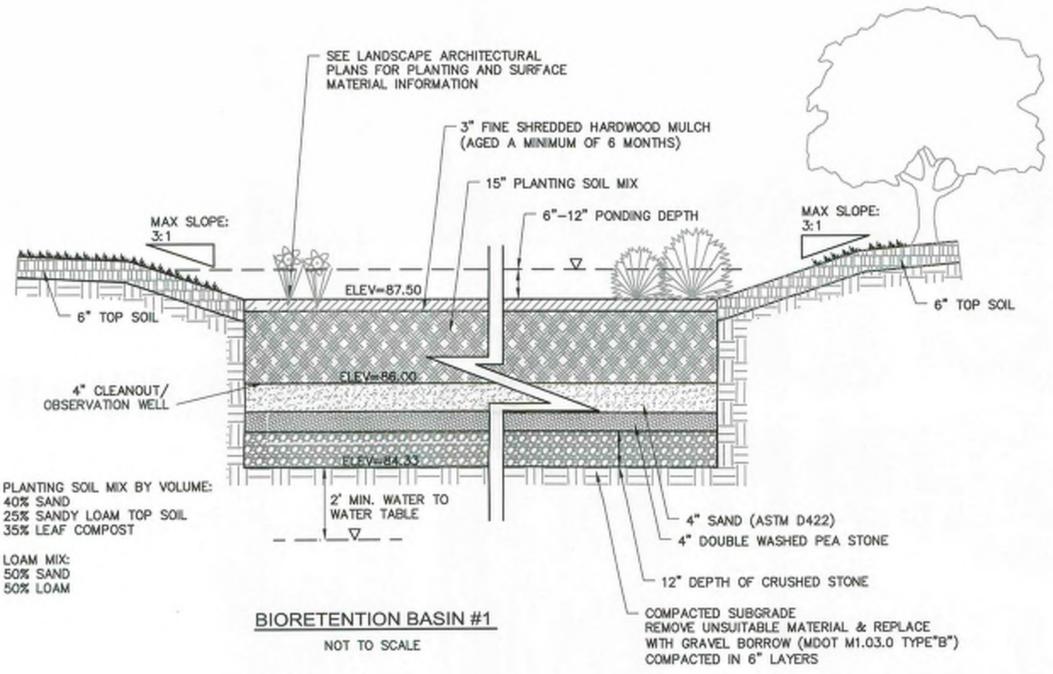
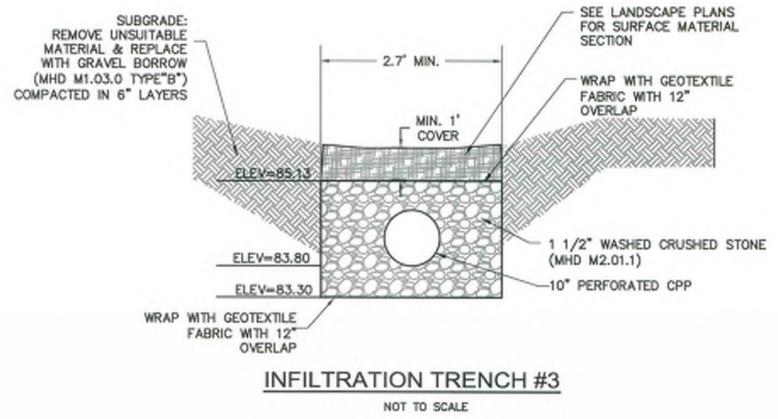
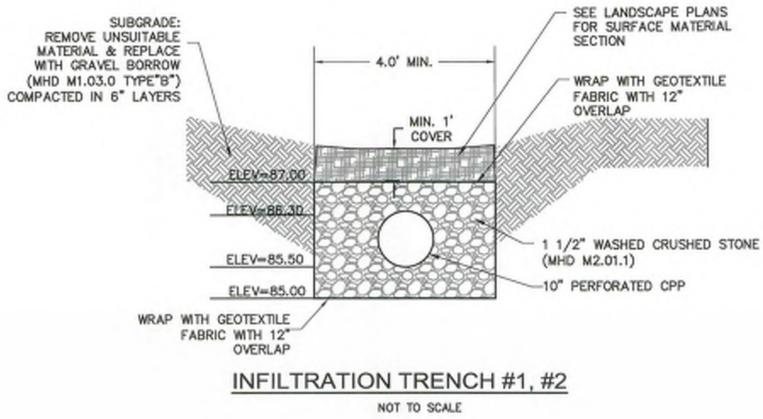
NO	ISSUE	DATE
Job Number		000035.015
Checked		SV
Approved		SV

**TITLE**

**CIVIL DETAILS  
SHEET III**

**SHEET NUMBER**

**C11-08**



PLANTING SOIL MIX BY VOLUME:  
40% SAND  
25% SANDY LOAM TOP SOIL  
35% LEAF COMPOST

LOAM MIX:  
50% SAND  
50% LOAM

## **Section VI:**

Landscaping Design and  
Construction Documents



**PROJECT**

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**Fowler Clark Farm LLC**  
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Landscape Architect

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Greenfield, Massachusetts 01301  
1.413.325.7968  
www.regenerativedesigngroup.com



**CONSTRUCTION DOCUMENTS**

FEBRUARY 1, 2017

**ISSUE CHART**

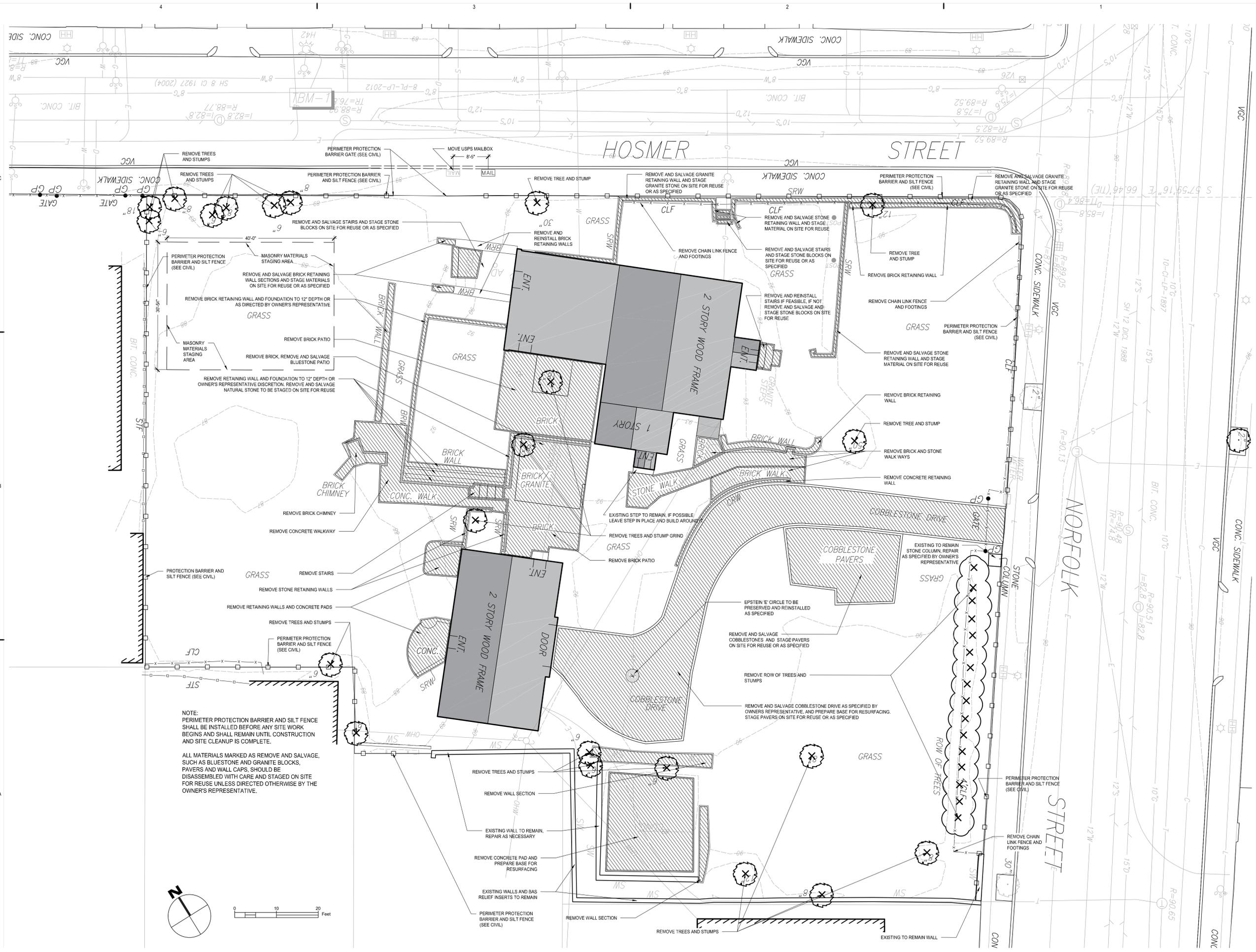
NO	ISSUE	DATE
Job Number		000035.015
Checked		TB
Approved		KZ

**TITLE**

**DEMOLITION**

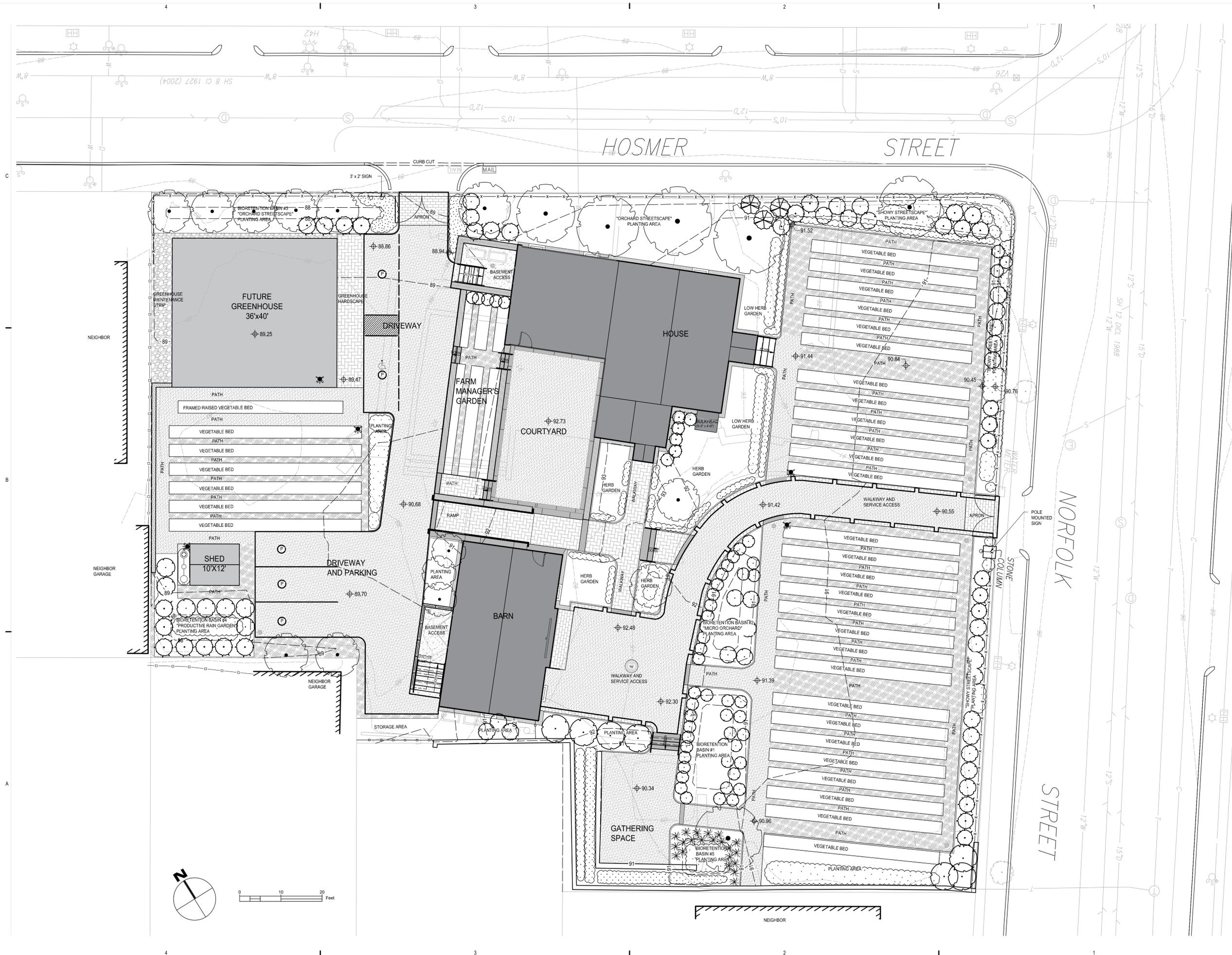
**SHEET NUMBER**

**L04-00**



NOTE:  
PERIMETER PROTECTION BARRIER AND SILT FENCE SHALL BE INSTALLED BEFORE ANY SITE WORK BEGINS AND SHALL REMAIN UNTIL CONSTRUCTION AND SITE CLEANUP IS COMPLETE.

ALL MATERIALS MARKED AS REMOVE AND SALVAGE, SUCH AS BLUESTONE AND GRANITE BLOCKS, PAVERS AND WALL CAPS, SHOULD BE DISASSEMBLED WITH CARE AND STAGED ON SITE FOR REUSE UNLESS DIRECTED OTHERWISE BY THE OWNER'S REPRESENTATIVE.



# PERKINS + WILL

225 Franklin Street, Suite 1100  
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1.617.478.0321  
www.perkinswill.com

## PROJECT

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## CONSULTANTS



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Greenfield, Massachusetts 01301  
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## CONSTRUCTION DOCUMENTS

FEBRUARY 1, 2017  
**ISSUE CHART**

NO	ISSUE	DATE
Job Number		000035-015
Checked		TB
Approved		KZ

## OVERVIEW LANDSCAPE PLAN

## SHEET NUMBER

# L11-00

**PROJECT**

**Fowler Clark  
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**Fowler Clark Farm LLC**  
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CONSTRUCTION DOCUMENTS  
FEBRUARY 1, 2017

**ISSUE CHART**

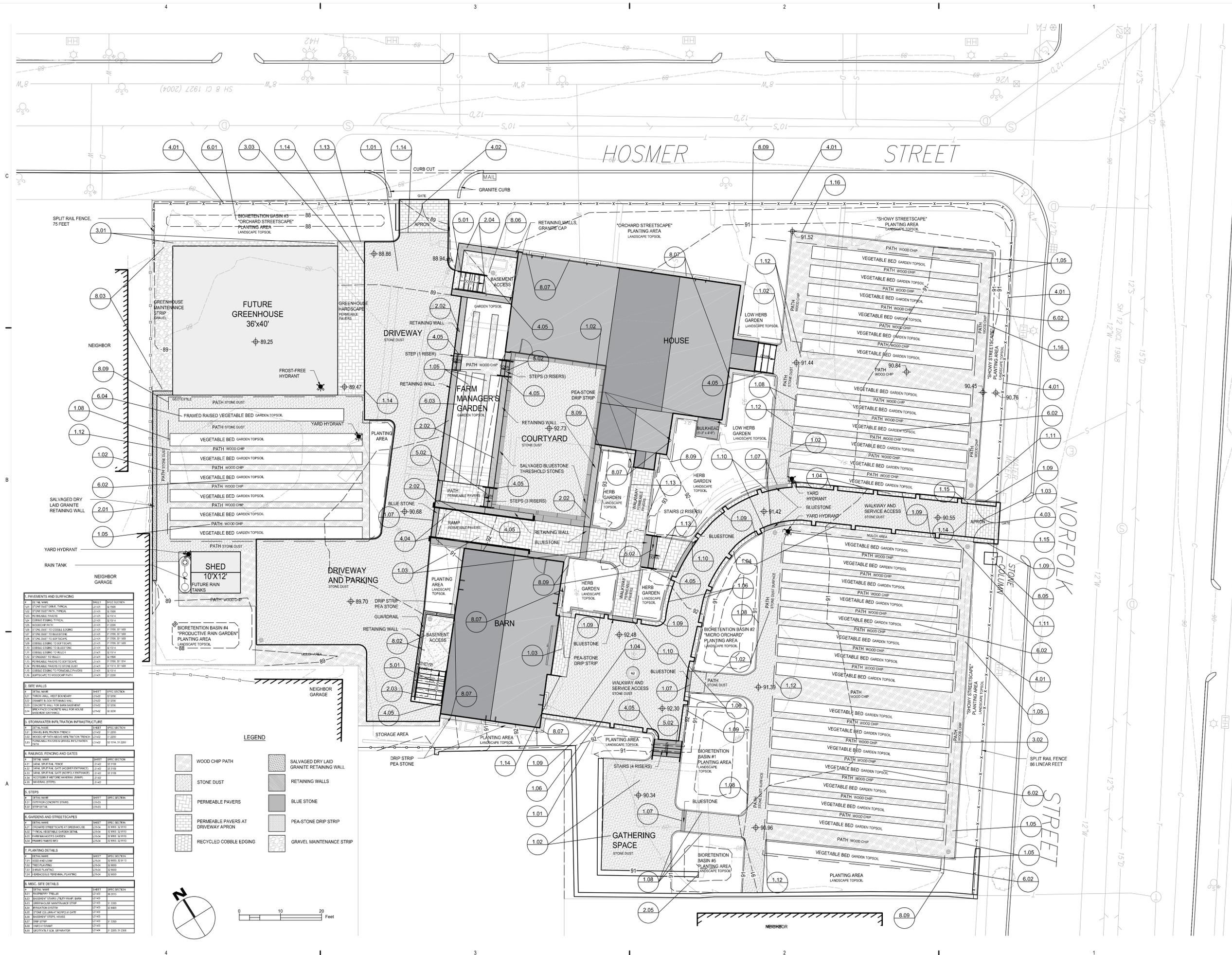
NO	ISSUE	DATE
Job Number	000035.015	
Checked	TB	
Approved	KZ	

**TITLE**

**SURFACING & MATERIALS**

**SHEET NUMBER**

**L11-01**



**1. PAVEMENTS AND SURFACING**

NO	DETAIL NAME	SHEET	SPICE SECTION
1.01	STONE DUST DRIVEWAY, TYPICAL	11-01	11-01.01
1.02	STONE DUST PATH, TYPICAL	11-01	11-01.02
1.03	PERMEABLE PAVERS	11-01	11-01.03
1.04	CONCRETE TYPICAL	11-01	11-01.04
1.05	WOODCHIP PATH	11-01	11-01.05
1.06	STONE DUST TO COBBLE EDGING	11-01	11-01.06
1.07	STONE DUST TO BLUESTONE	11-01	11-01.07
1.08	STONE DUST TO PEA STONE	11-01	11-01.08
1.09	COBBLE EDGING TO DRIP STRIP	11-01	11-01.09
1.10	COBBLE EDGING TO BLUE STONE	11-01	11-01.10
1.11	COBBLE EDGING TO MULCH	11-01	11-01.11
1.12	PERMEABLE PAVERS TO BOX FISCAL	11-01	11-01.12
1.13	PERMEABLE PAVERS TO STONE DUST	11-01	11-01.13
1.14	COBBLE EDGING TO PERMEABLE PAVERS	11-01	11-01.14
1.15	BOX FISCAL TO WOODCHIP PATH	11-01	11-01.15

**2. RETAINING WALLS**

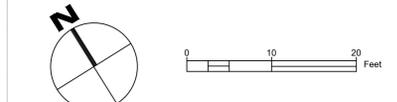
NO	DETAIL NAME	SHEET	SPICE SECTION
2.01	CONCRETE WALL WITH FINISH	11-02	11-02.01
2.02	CONCRETE WALL FOR BARN BASEMENT	11-02	11-02.02
2.03	RETAINING WALL FOR HOUSE BASEMENT	11-02	11-02.03

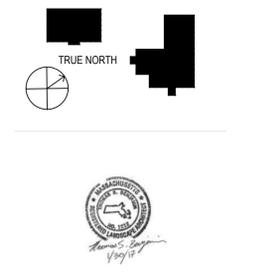
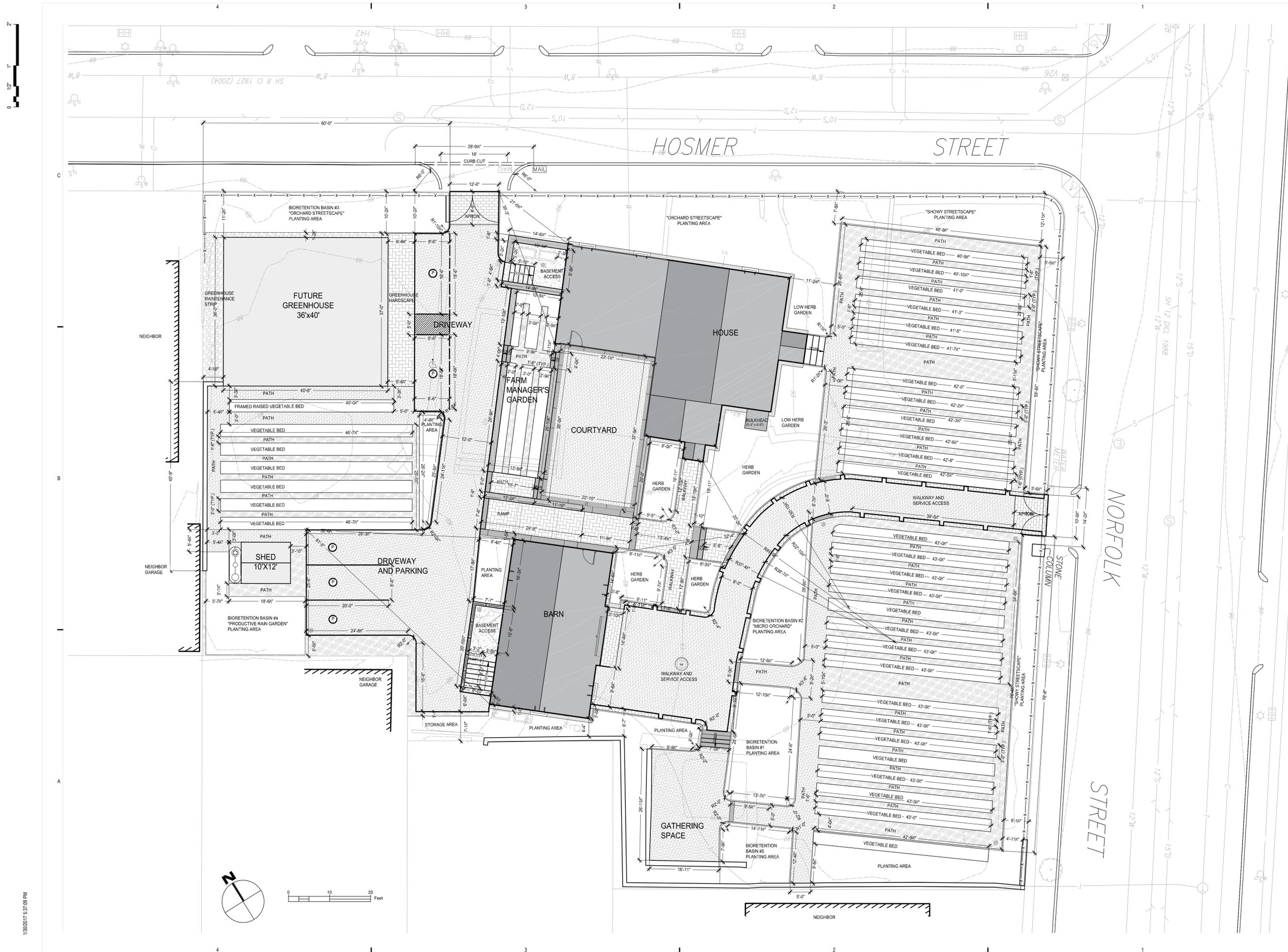
**3. STORMWATER INFILTRATION INFRASTRUCTURE**

NO	DETAIL NAME	SHEET	SPICE SECTION
3.01	GRAVEL MAINTENANCE STRIP	11-03	11-03.01
3.02	WOODCHIP PATH ABOVE WALKWAY TRENCH	11-03	11-03.02
3.03	PERMEABLE PAVERS SURFACE INFILTRATION	11-03	11-03.03

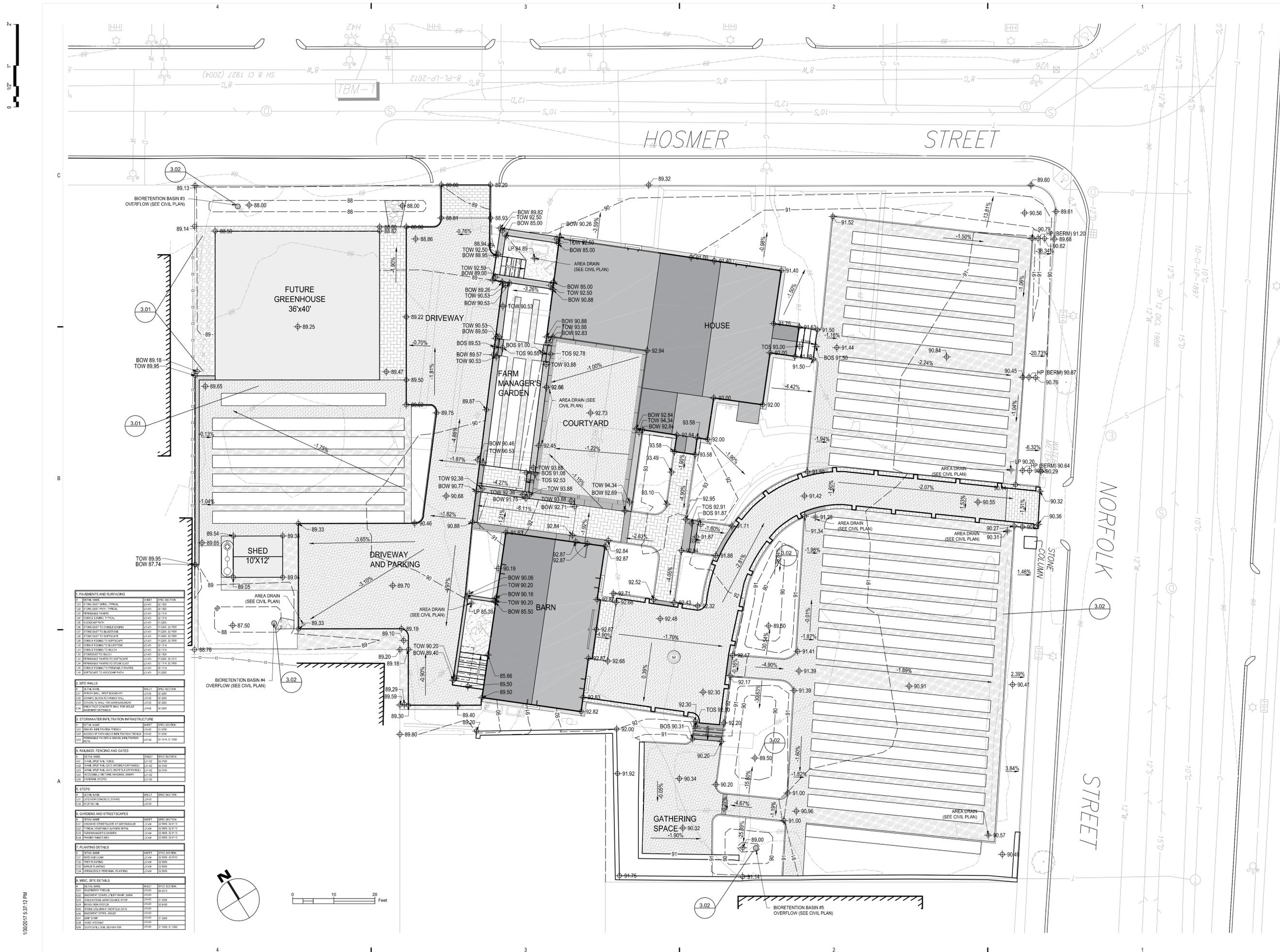
**4. FENCING AND GATES**

NO	DETAIL NAME	SHEET	SPICE SECTION
4.01	WOOD CHIP FENCE	11-04	11-04.01
4.02	STEEL BRUSH GATE PROGRAM ENTRANCE	11-04	11-04.02
4.03	STEEL BRUSH GATE BACKSTOP ENTRANCE	11-04	11-04.03
4.04	ACCESSIBLE WOODCORE WALKWAY GATE	11-04	11-04.04
4.05	WOODCORE WALKWAY GATE	11-04	11-04.05





NO	ISSUE	DATE
Job Number		000035.015
Checked		TB
Approved		KZ



SECTION	DETAIL NAME	DATE	SPEC SECTION
1. PAVEMENTS AND SURFACING	1.01	ASPH/CON	12.1000
	1.02	ASPH/CON	12.1000
	1.03	ASPH/CON	12.1000
	1.04	ASPH/CON	12.1000
	1.05	ASPH/CON	12.1000
	1.06	ASPH/CON	12.1000
	1.07	ASPH/CON	12.1000
	1.08	ASPH/CON	12.1000
	1.09	ASPH/CON	12.1000
	1.10	ASPH/CON	12.1000
	1.11	ASPH/CON	12.1000
	1.12	ASPH/CON	12.1000
	1.13	ASPH/CON	12.1000
2. SITE WALLS	2.01	CONCRETE	12.1000
	2.02	CONCRETE	12.1000
	2.03	CONCRETE	12.1000
	2.04	CONCRETE	12.1000
3. STORMWATER INFILTRATION INFRASTRUCTURE	3.01	CONCRETE	12.1000
	3.02	CONCRETE	12.1000
	3.03	CONCRETE	12.1000
	3.04	CONCRETE	12.1000
4. RAILINGS, FENCING AND GATES	4.01	WROUGHT IRON	12.1000
	4.02	WROUGHT IRON	12.1000
	4.03	WROUGHT IRON	12.1000
	4.04	WROUGHT IRON	12.1000
5. STEPS	5.01	CONCRETE	12.1000
	5.02	CONCRETE	12.1000
	5.03	CONCRETE	12.1000
6. GARDENS AND STREETSCAPES	6.01	CONCRETE	12.1000
	6.02	CONCRETE	12.1000
	6.03	CONCRETE	12.1000
	6.04	CONCRETE	12.1000
7. PLANTING DETAILS	7.01	CONCRETE	12.1000
	7.02	CONCRETE	12.1000
	7.03	CONCRETE	12.1000
	7.04	CONCRETE	12.1000
8. MISC. SITE DETAILS	8.01	CONCRETE	12.1000
	8.02	CONCRETE	12.1000
	8.03	CONCRETE	12.1000
	8.04	CONCRETE	12.1000

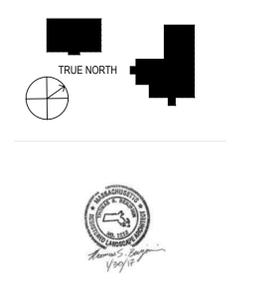
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**PERKINS + WILL**  
 225 Franklin Street, Suite 1100  
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 617.478.0321  
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**PROJECT**  
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CONSTRUCTION DOCUMENTS  
 FEBRUARY 1, 2017

**ISSUE CHART**

NO	ISSUE	DATE
Job Number		000035.015
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Approved		KZ

**GRADING & DRAINAGE**

**SHEET NUMBER**  
**L11-03**

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**PROJECT**

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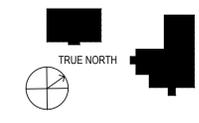
**CONSULTANTS**



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CONSTRUCTION DOCUMENTS  
FEBRUARY 1, 2017

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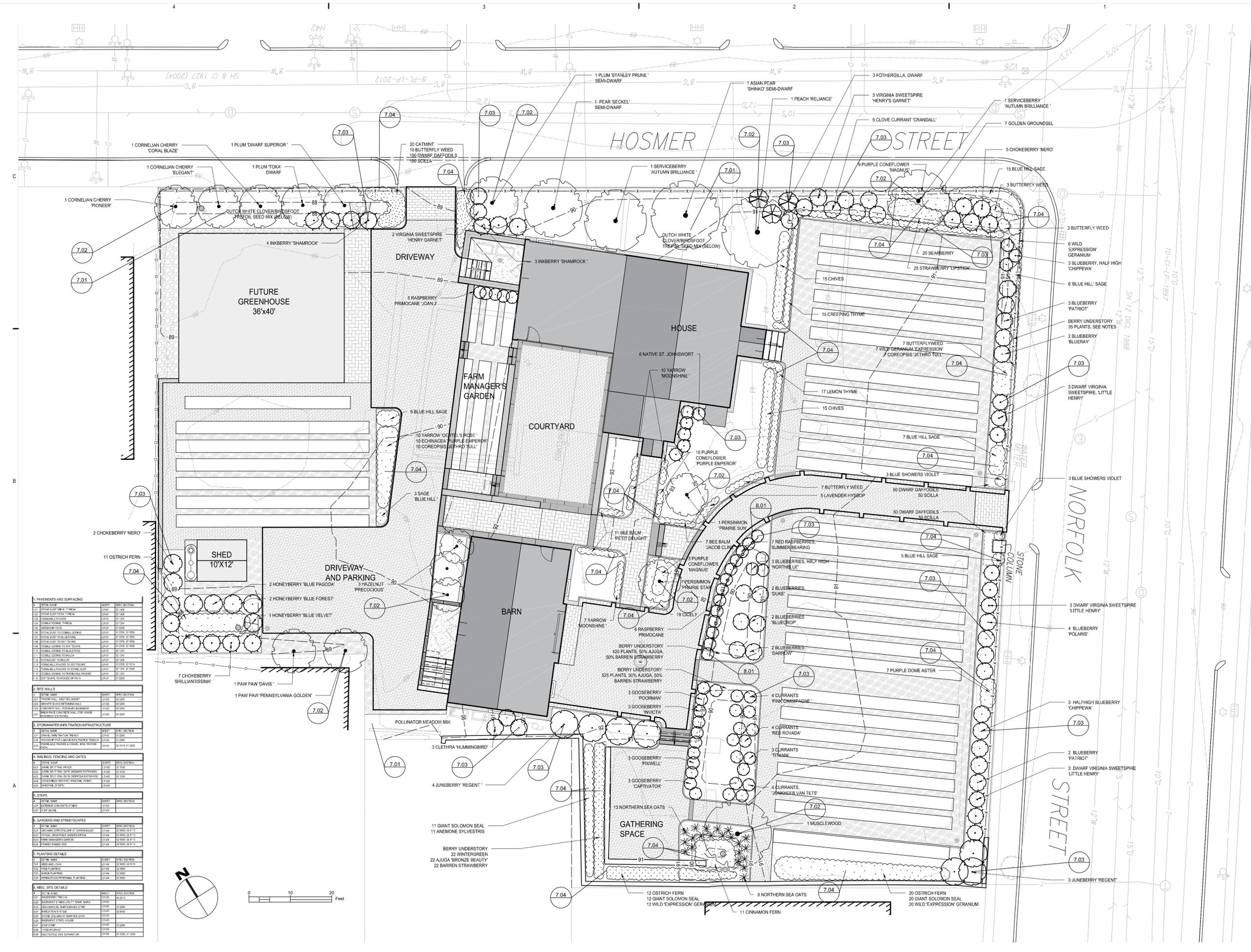
NO	ISSUE	DATE
Job Number		000035.015
Checked		TB
Approved		KZ

TITLE

**PLANTING**

SHEET NUMBER

**L11-04**



**1. PAVEMENTS AND SURFACING**

NO	DETAIL NAME	SHEET	SPEC. SECTION
1.01	DETAIL NAME		
1.02	DETAIL NAME		
1.03	DETAIL NAME		
1.04	DETAIL NAME		
1.05	DETAIL NAME		
1.06	DETAIL NAME		
1.07	DETAIL NAME		
1.08	DETAIL NAME		
1.09	DETAIL NAME		
1.10	DETAIL NAME		
1.11	DETAIL NAME		
1.12	DETAIL NAME		
1.13	DETAIL NAME		
1.14	DETAIL NAME		
1.15	DETAIL NAME		
1.16	DETAIL NAME		
1.17	DETAIL NAME		
1.18	DETAIL NAME		
1.19	DETAIL NAME		
1.20	DETAIL NAME		

**2. SITE WALLS**

NO	DETAIL NAME	SHEET	SPEC. SECTION
2.01	DETAIL NAME		
2.02	DETAIL NAME		
2.03	DETAIL NAME		
2.04	DETAIL NAME		
2.05	DETAIL NAME		

**3. STORMWATER INFILTRATION INFRASTRUCTURE**

NO	DETAIL NAME	SHEET	SPEC. SECTION
3.01	DETAIL NAME		
3.02	DETAIL NAME		
3.03	DETAIL NAME		
3.04	DETAIL NAME		

**4. RAILINGS, FENCING AND GATES**

NO	DETAIL NAME	SHEET	SPEC. SECTION
4.01	DETAIL NAME		
4.02	DETAIL NAME		
4.03	DETAIL NAME		
4.04	DETAIL NAME		
4.05	DETAIL NAME		
4.06	DETAIL NAME		

**5. STEPS**

NO	DETAIL NAME	SHEET	SPEC. SECTION
5.01	DETAIL NAME		
5.02	DETAIL NAME		
5.03	DETAIL NAME		

**6. GARDENS AND STREETSCAPES**

NO	DETAIL NAME	SHEET	SPEC. SECTION
6.01	DETAIL NAME		
6.02	DETAIL NAME		
6.03	DETAIL NAME		
6.04	DETAIL NAME		
6.05	DETAIL NAME		
6.06	DETAIL NAME		
6.07	DETAIL NAME		
6.08	DETAIL NAME		
6.09	DETAIL NAME		
6.10	DETAIL NAME		
6.11	DETAIL NAME		
6.12	DETAIL NAME		
6.13	DETAIL NAME		
6.14	DETAIL NAME		
6.15	DETAIL NAME		
6.16	DETAIL NAME		
6.17	DETAIL NAME		
6.18	DETAIL NAME		
6.19	DETAIL NAME		
6.20	DETAIL NAME		

**7. PLANTING DETAILS**

NO	DETAIL NAME	SHEET	SPEC. SECTION
7.01	DETAIL NAME		
7.02	DETAIL NAME		
7.03	DETAIL NAME		
7.04	DETAIL NAME		
7.05	DETAIL NAME		
7.06	DETAIL NAME		
7.07	DETAIL NAME		
7.08	DETAIL NAME		
7.09	DETAIL NAME		
7.10	DETAIL NAME		
7.11	DETAIL NAME		
7.12	DETAIL NAME		
7.13	DETAIL NAME		
7.14	DETAIL NAME		
7.15	DETAIL NAME		
7.16	DETAIL NAME		
7.17	DETAIL NAME		
7.18	DETAIL NAME		
7.19	DETAIL NAME		
7.20	DETAIL NAME		

**8. MISCELLANEOUS SITE DETAILS**

NO	DETAIL NAME	SHEET	SPEC. SECTION
8.01	DETAIL NAME		
8.02	DETAIL NAME		
8.03	DETAIL NAME		
8.04	DETAIL NAME		
8.05	DETAIL NAME		
8.06	DETAIL NAME		
8.07	DETAIL NAME		
8.08	DETAIL NAME		
8.09	DETAIL NAME		
8.10	DETAIL NAME		
8.11	DETAIL NAME		
8.12	DETAIL NAME		
8.13	DETAIL NAME		
8.14	DETAIL NAME		
8.15	DETAIL NAME		
8.16	DETAIL NAME		
8.17	DETAIL NAME		
8.18	DETAIL NAME		
8.19	DETAIL NAME		
8.20	DETAIL NAME		

**PROJECT**

**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
Massachusetts 02126

**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119

**CONSULTANTS**



Landscape Architect

1 Chevalier Avenue  
Greenfield, Massachusetts 01301  
1.413.325.7968  
www.regenerativedesigngroup.com



CONSTRUCTION DOCUMENTS  
FEBRUARY 1, 2017

**ISSUE CHART**

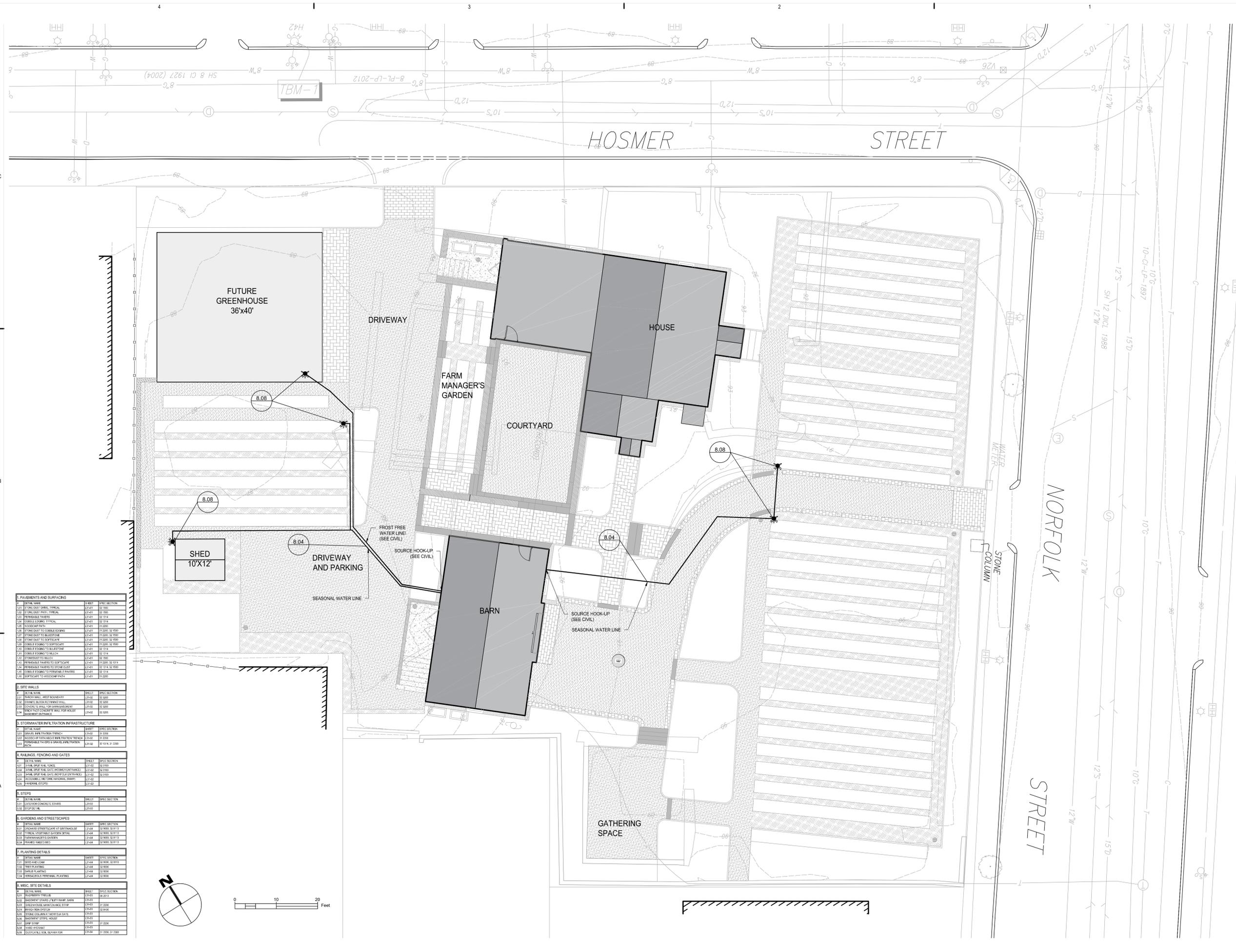
NO	ISSUE	DATE
Job Number	000035.015	
Checked	TB	
Approved	KZ	

TITLE

**IRRIGATION PLAN**

SHEET NUMBER

**L11-05**



**1. PAVEMENTS AND SURFACING**

ITEM NAME	QTY	UNIT	SECTION
1.01 ASPHALT DRIVE	12,100	SQ FT	12.1000
1.02 ASPHALT DRIVE PAVEMENT	12,100	SQ FT	12.1000
1.03 PERMEABLE PAVEMENT	12,100	SQ FT	12.1000
1.04 CORRIBLE EDGING	12,100	LN	12.1000
1.05 WOODCHIP PATH	12,100	SQ FT	12.1000
1.06 ASPHALT DRIVE TO CORRIBLE EDGING	12,100	SQ FT	12.1000
1.07 ASPHALT DRIVE TO WALKWAY	12,100	SQ FT	12.1000
1.08 ASPHALT DRIVE TO DRIVEWAY	12,100	SQ FT	12.1000
1.09 ASPHALT DRIVE TO DRIVEWAY	12,100	SQ FT	12.1000
1.10 ASPHALT DRIVE TO WALKWAY	12,100	SQ FT	12.1000
1.11 PERMEABLE PAVEMENT TO DRIVEWAY	12,100	SQ FT	12.1000
1.12 PERMEABLE PAVEMENT TO DRIVEWAY	12,100	SQ FT	12.1000
1.13 ASPHALT DRIVE TO WOODCHIP PATH	12,100	SQ FT	12.1000

**2. SITE WALLS**

ITEM NAME	QTY	UNIT	SECTION
2.01 CONCRETE BLOCK RETAINING WALL	12,100	LN	12.1000
2.02 CONCRETE WALL FOR GARAGE/SHED	12,100	SQ FT	12.1000
2.03 PERMEABLE PAVEMENT FOR DRIVEWAY	12,100	SQ FT	12.1000

**3. STORMWATER INFILTRATION INFRASTRUCTURE**

ITEM NAME	QTY	UNIT	SECTION
3.01 PERMEABLE PAVEMENT INFILTRATION	12,100	SQ FT	12.1000
3.02 PERMEABLE PAVEMENT INFILTRATION	12,100	SQ FT	12.1000

**4. RAILINGS, FENCING AND GATES**

ITEM NAME	QTY	UNIT	SECTION
4.01 WOODEN FENCE	12,100	LN	12.1000
4.02 WOODEN FENCE GATE	12,100	LN	12.1000
4.03 WOODEN FENCE GATE	12,100	LN	12.1000
4.04 WOODEN FENCE GATE	12,100	LN	12.1000
4.05 WOODEN FENCE GATE	12,100	LN	12.1000

**5. STEPS**

ITEM NAME	QTY	UNIT	SECTION
5.01 CONCRETE STEPS	12,100	LN	12.1000
5.02 CONCRETE STEPS	12,100	LN	12.1000

**6. GARDENS AND STREETSCAPES**

ITEM NAME	QTY	UNIT	SECTION
6.01 GARDEN STREETSCAPE AT DRIVEWAY	12,100	SQ FT	12.1000
6.02 TYPICAL VEGETABLE GARDEN DETAIL	12,100	SQ FT	12.1000
6.03 FARM MANAGER'S GARDEN	12,100	SQ FT	12.1000
6.04 FARM MANAGER'S GARDEN	12,100	SQ FT	12.1000

**7. PLANTING DETAILS**

ITEM NAME	QTY	UNIT	SECTION
7.01 PLANTING DETAIL	12,100	SQ FT	12.1000
7.02 PLANTING DETAIL	12,100	SQ FT	12.1000
7.03 PLANTING DETAIL	12,100	SQ FT	12.1000
7.04 PLANTING DETAIL	12,100	SQ FT	12.1000

**8. MISC. SITE DETAILS**

ITEM NAME	QTY	UNIT	SECTION
8.01 CONCRETE STEPS	12,100	LN	12.1000
8.02 CONCRETE STEPS	12,100	LN	12.1000
8.03 CONCRETE STEPS	12,100	LN	12.1000
8.04 CONCRETE STEPS	12,100	LN	12.1000
8.05 CONCRETE STEPS	12,100	LN	12.1000
8.06 CONCRETE STEPS	12,100	LN	12.1000
8.07 CONCRETE STEPS	12,100	LN	12.1000
8.08 CONCRETE STEPS	12,100	LN	12.1000
8.09 CONCRETE STEPS	12,100	LN	12.1000
8.10 CONCRETE STEPS	12,100	LN	12.1000

**PROJECT**

**Fowler Clark  
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487 Norfolk Street Boston,  
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Roxbury, Massachusetts 02119

**CONSULTANTS**



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**ISSUE CHART**

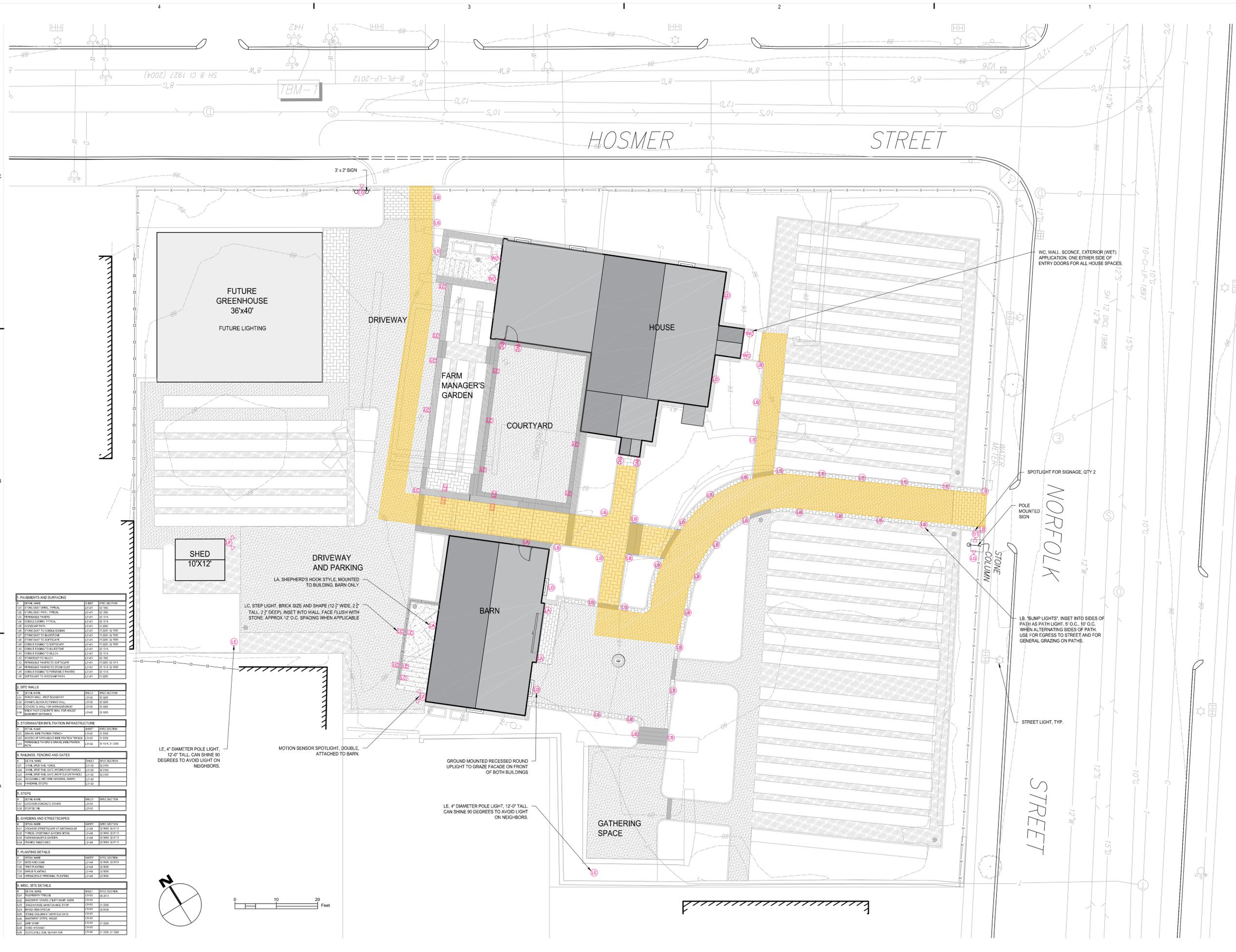
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Job Number		000035.015
Checked		
Approved		

TITLE

**LIGHTING PLAN**

SHEET NUMBER

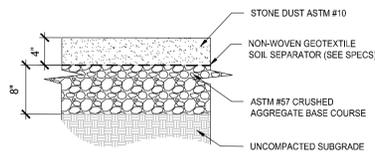
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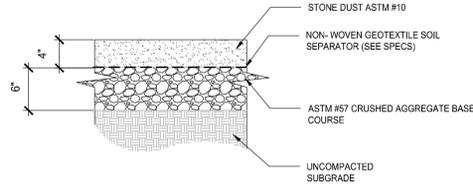
**1. PAVEMENTS AND SURFACING**

ITEM	DETAIL NAME	SPEC SECTION
1.01	GRAVEL DRIVEWAY	12-1000
1.02	GRAVEL DRIVEWAY	12-1000
1.03	GRAVEL DRIVEWAY	12-1000
1.04	GRAVEL DRIVEWAY	12-1000
1.05	GRAVEL DRIVEWAY	12-1000
1.06	GRAVEL DRIVEWAY	12-1000
1.07	GRAVEL DRIVEWAY	12-1000
1.08	GRAVEL DRIVEWAY	12-1000
1.09	GRAVEL DRIVEWAY	12-1000
1.10	GRAVEL DRIVEWAY	12-1000
1.11	GRAVEL DRIVEWAY	12-1000
1.12	GRAVEL DRIVEWAY	12-1000
1.13	GRAVEL DRIVEWAY	12-1000
1.14	GRAVEL DRIVEWAY	12-1000
1.15	GRAVEL DRIVEWAY	12-1000
1.16	GRAVEL DRIVEWAY	12-1000
1.17	GRAVEL DRIVEWAY	12-1000
1.18	GRAVEL DRIVEWAY	12-1000
1.19	GRAVEL DRIVEWAY	12-1000
1.20	GRAVEL DRIVEWAY	12-1000
1.21	GRAVEL DRIVEWAY	12-1000
1.22	GRAVEL DRIVEWAY	12-1000
1.23	GRAVEL DRIVEWAY	12-1000
1.24	GRAVEL DRIVEWAY	12-1000
1.25	GRAVEL DRIVEWAY	12-1000
1.26	GRAVEL DRIVEWAY	12-1000
1.27	GRAVEL DRIVEWAY	12-1000
1.28	GRAVEL DRIVEWAY	12-1000
1.29	GRAVEL DRIVEWAY	12-1000
1.30	GRAVEL DRIVEWAY	12-1000
1.31	GRAVEL DRIVEWAY	12-1000
1.32	GRAVEL DRIVEWAY	12-1000
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1.38	GRAVEL DRIVEWAY	12-1000
1.39	GRAVEL DRIVEWAY	12-1000
1.40	GRAVEL DRIVEWAY	12-1000
1.41	GRAVEL DRIVEWAY	12-1000
1.42	GRAVEL DRIVEWAY	12-1000
1.43	GRAVEL DRIVEWAY	12-1000
1.44	GRAVEL DRIVEWAY	12-1000
1.45	GRAVEL DRIVEWAY	12-1000
1.46	GRAVEL DRIVEWAY	12-1000
1.47	GRAVEL DRIVEWAY	12-1000
1.48	GRAVEL DRIVEWAY	12-1000
1.49	GRAVEL DRIVEWAY	12-1000
1.50	GRAVEL DRIVEWAY	12-1000
1.51	GRAVEL DRIVEWAY	12-1000
1.52	GRAVEL DRIVEWAY	12-1000
1.53	GRAVEL DRIVEWAY	12-1000
1.54	GRAVEL DRIVEWAY	12-1000
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1.56	GRAVEL DRIVEWAY	12-1000
1.57	GRAVEL DRIVEWAY	12-1000
1.58	GRAVEL DRIVEWAY	12-1000
1.59	GRAVEL DRIVEWAY	12-1000
1.60	GRAVEL DRIVEWAY	12-1000
1.61	GRAVEL DRIVEWAY	12-1000
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1.63	GRAVEL DRIVEWAY	12-1000
1.64	GRAVEL DRIVEWAY	12-1000
1.65	GRAVEL DRIVEWAY	12-1000
1.66	GRAVEL DRIVEWAY	12-1000
1.67	GRAVEL DRIVEWAY	12-1000
1.68	GRAVEL DRIVEWAY	12-1000
1.69	GRAVEL DRIVEWAY	12-1000
1.70	GRAVEL DRIVEWAY	12-1000
1.71	GRAVEL DRIVEWAY	12-1000
1.72	GRAVEL DRIVEWAY	12-1000
1.73	GRAVEL DRIVEWAY	12-1000
1.74	GRAVEL DRIVEWAY	12-1000
1.75	GRAVEL DRIVEWAY	12-1000
1.76	GRAVEL DRIVEWAY	12-1000
1.77	GRAVEL DRIVEWAY	12-1000
1.78	GRAVEL DRIVEWAY	12-1000
1.79	GRAVEL DRIVEWAY	12-1000
1.80	GRAVEL DRIVEWAY	12-1000
1.81	GRAVEL DRIVEWAY	12-1000
1.82	GRAVEL DRIVEWAY	12-1000
1.83	GRAVEL DRIVEWAY	12-1000
1.84	GRAVEL DRIVEWAY	12-1000
1.85	GRAVEL DRIVEWAY	12-1000
1.86	GRAVEL DRIVEWAY	12-1000
1.87	GRAVEL DRIVEWAY	12-1000
1.88	GRAVEL DRIVEWAY	12-1000
1.89	GRAVEL DRIVEWAY	12-1000
1.90	GRAVEL DRIVEWAY	12-1000
1.91	GRAVEL DRIVEWAY	12-1000
1.92	GRAVEL DRIVEWAY	12-1000
1.93	GRAVEL DRIVEWAY	12-1000
1.94	GRAVEL DRIVEWAY	12-1000
1.95	GRAVEL DRIVEWAY	12-1000
1.96	GRAVEL DRIVEWAY	12-1000
1.97	GRAVEL DRIVEWAY	12-1000
1.98	GRAVEL DRIVEWAY	12-1000
1.99	GRAVEL DRIVEWAY	12-1000
1.100	GRAVEL DRIVEWAY	12-1000

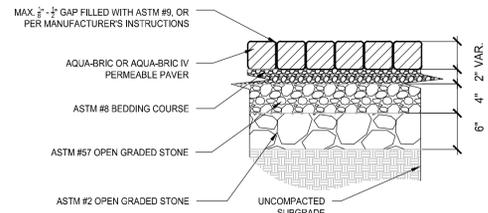
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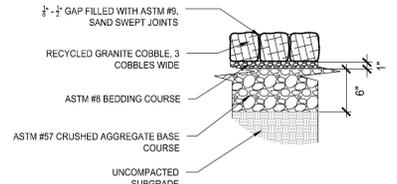
1.01 STONE DUST DRIVE (TYPICAL)  
SCALE: N.T.S.



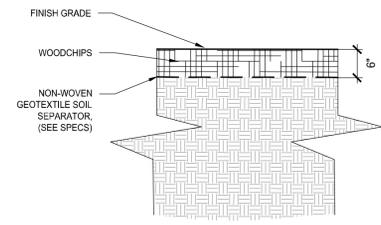
1.02 STONE DUST PATH (TYPICAL)  
SCALE: N.T.S.



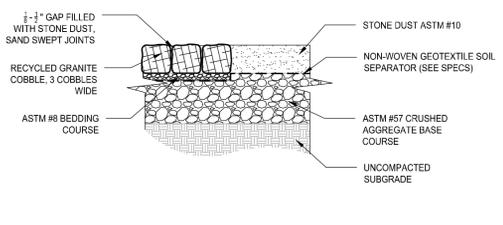
1.03 PERMEABLE PAVER TYPICAL  
SCALE: N.T.S.



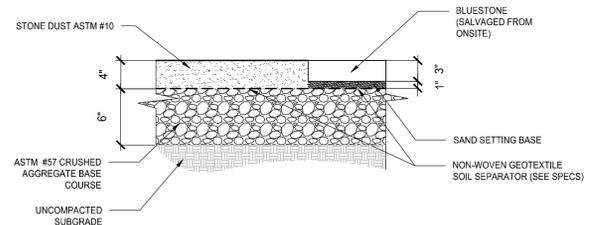
1.04 COBBLE EDGING TYPICAL  
SCALE: 1"=1'



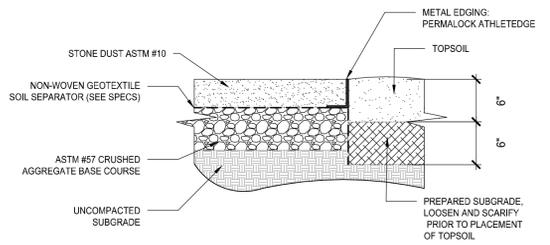
1.05 WOOD CHIP PATH DETAIL  
SCALE: N.T.S.



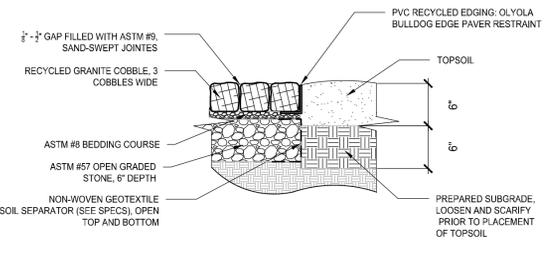
1.06 STONE DUST DRIVE TO COBBLE EDGING  
SCALE: 1"=1'



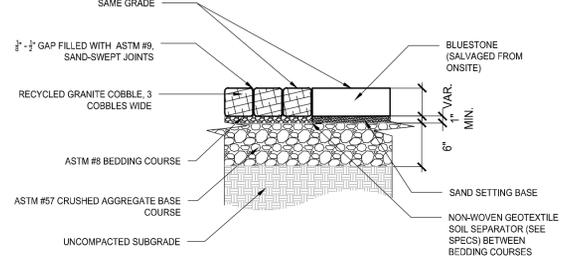
1.07 STONE DUST TO BLUESTONE  
SCALE: 1"=1'



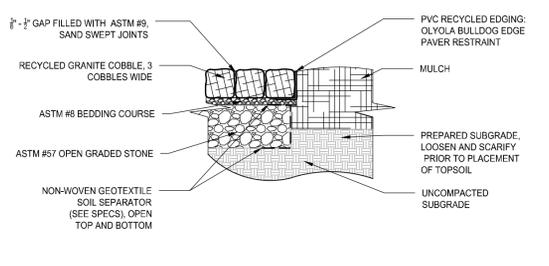
1.08 STONE DUST TO SOFTSCAPE  
SCALE: 1"=1'



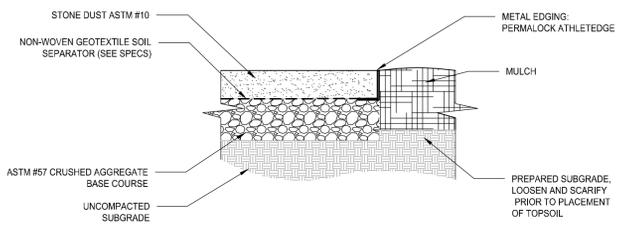
1.09 COBBLE EDGING TO SOFTSCAPE  
SCALE: 1"=1'



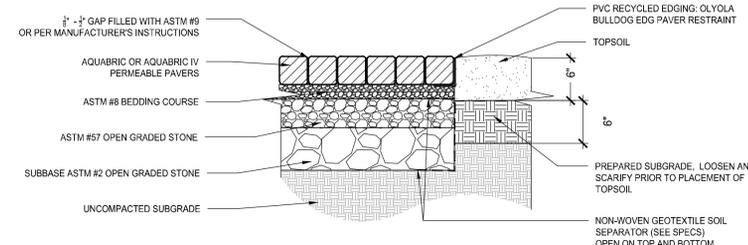
1.10 COBBLE EDGING TO BLUESTONE  
SCALE: 1"=1'



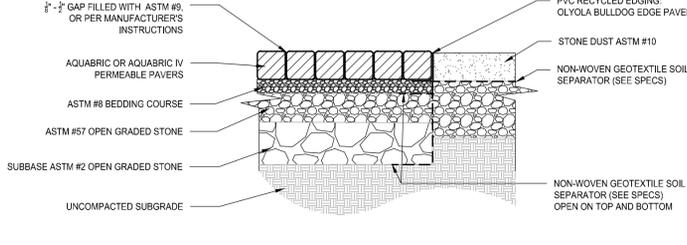
1.11 COBBLE EDGING TO MULCH  
SCALE: 1"=1'



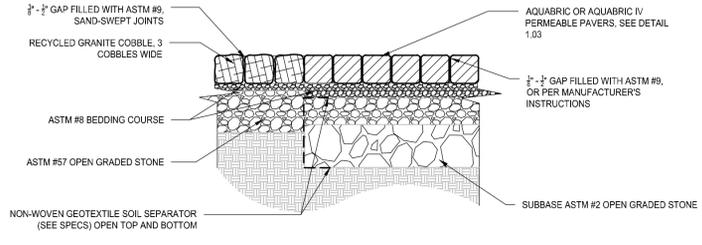
1.12 STONE DUST TO MULCH  
SCALE: 1"=1'



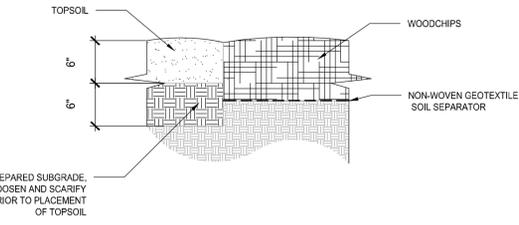
1.13 PERMEABLE PAVERS TO SOFTSCAPE  
SCALE: 1"=1'



1.14 PERMEABLE PAVERS TO STONE DUST  
SCALE: 1"=1'



1.15 COBBLE EDGING TO PERMEABLE PAVERS  
SCALE: 1"=1'

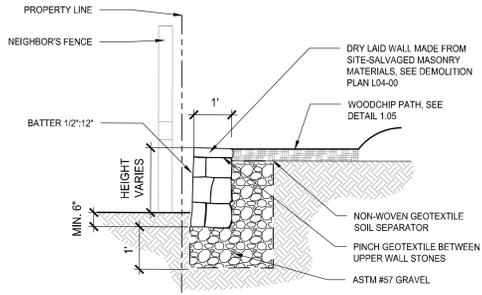


1.16 SOFTSCAPE TO WOODCHIP PATH  
SCALE: 1"=1'

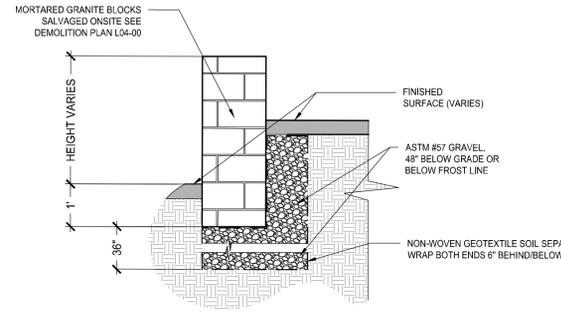


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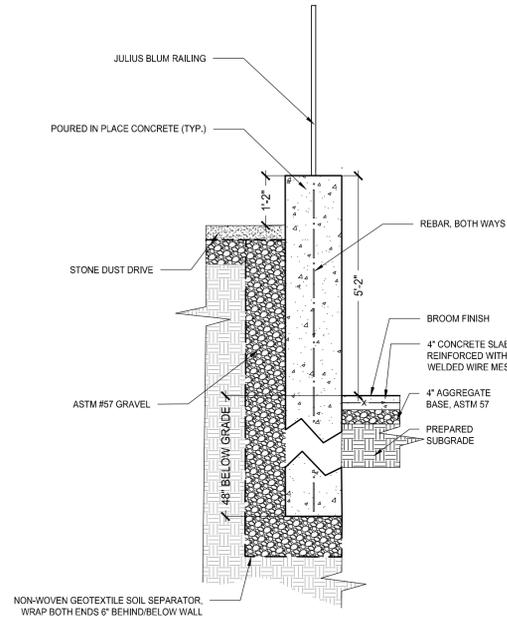
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2.01 THROW WALL, WEST BOUNDARY  
SCALE: 1/2"=1'

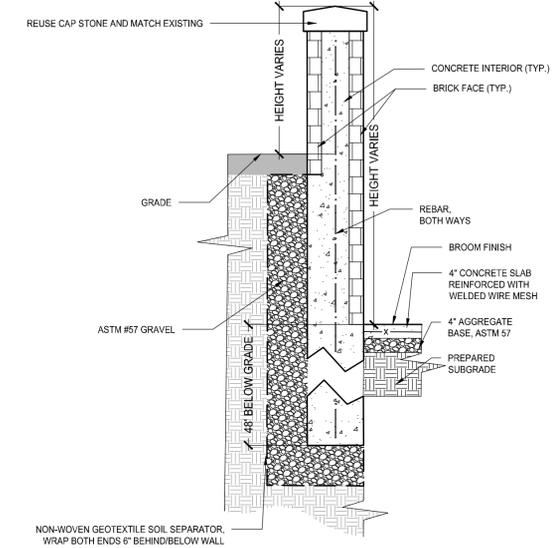


2.02 GRANITE BLOCK RETAINING WALL  
SCALE: 1/2"=1'



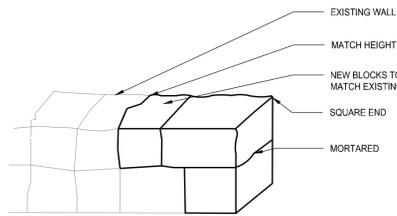
2.03 CONCRETE WALL (BARN BASEMENT ENTRANCE)  
SCALE: 1/2"=1'

NOTE: NEEDS REVIEW BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

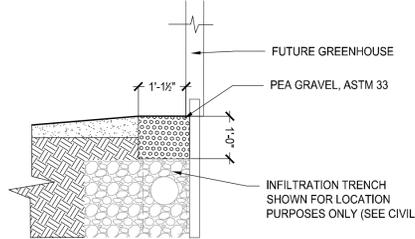


2.04 BRICK FACE CONCRETE WALL (HOUSE BASEMENT ENTRANCE)  
SCALE: 1/2"=1'

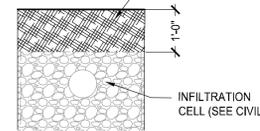
NOTE: NEEDS REVIEW BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION



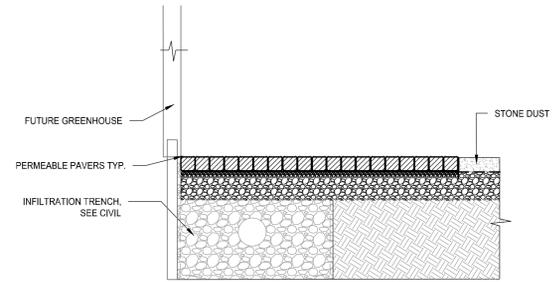
2.05 SUNKEN GARDEN WALL END  
N.T.S.



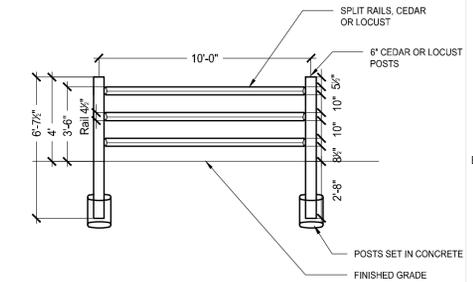
3.01 GRAVEL INFILTRATION TRENCH  
SCALE: 1/2"=1'



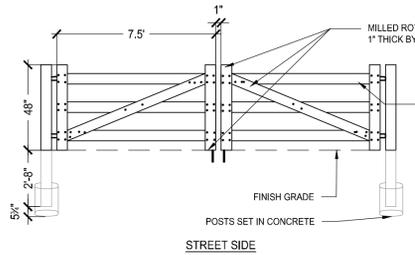
3.02 WOODCHIP PATH ABOVE INFILTRATION TRENCH  
SCALE: 1/2"=1'



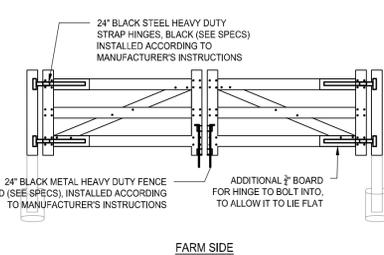
3.03 PERMEABLE PAVERS ABOVE INFILTRATION TRENCH  
SCALE: 1/2"=1'



4.01 3-RAIL SPLIT RAIL FENCE  
SCALE: 1/4"=1'

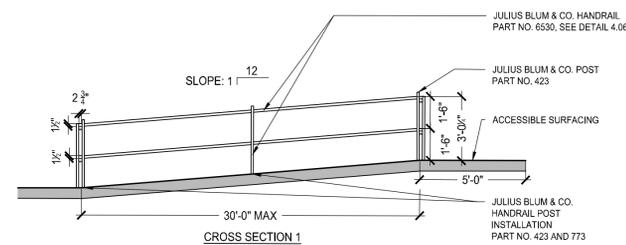


4.02 BOARD GATE (HOSMER ENTRANCE)  
SCALE: N.T.S.

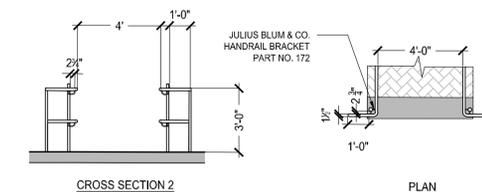


FARM SIDE

BOARD JOINING DETAIL

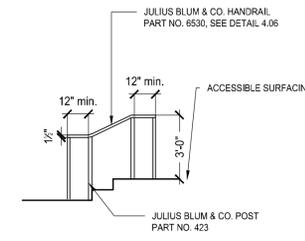


CROSS SECTION 1

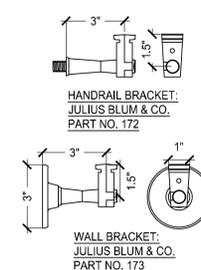


CROSS SECTION 2

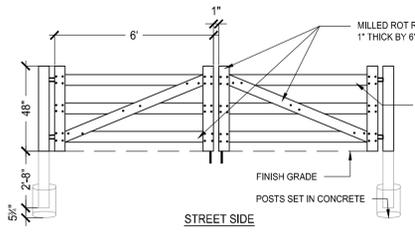
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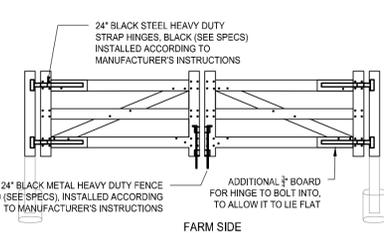
4.05 HANDRAIL FOR STEPS  
SCALE: 1/4"=1'



4.06 RAILING PARTS  
SCALE: 1"=1'



4.03 BOARD GATE (NORFOLK ENTRANCE)  
SCALE: N.T.S.

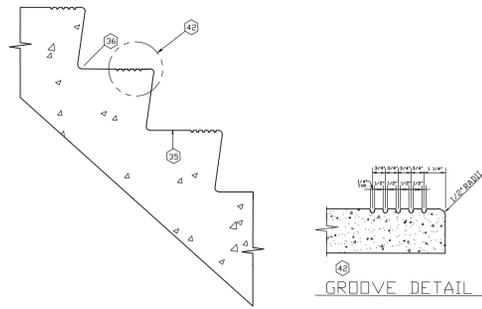


FARM SIDE

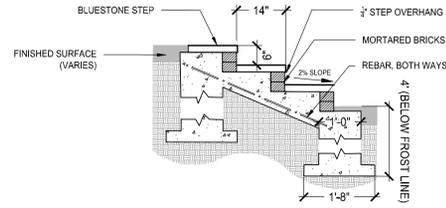
BOARD JOINING DETAIL



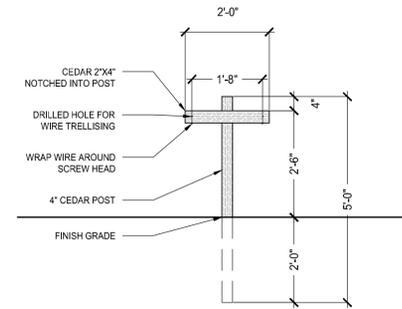
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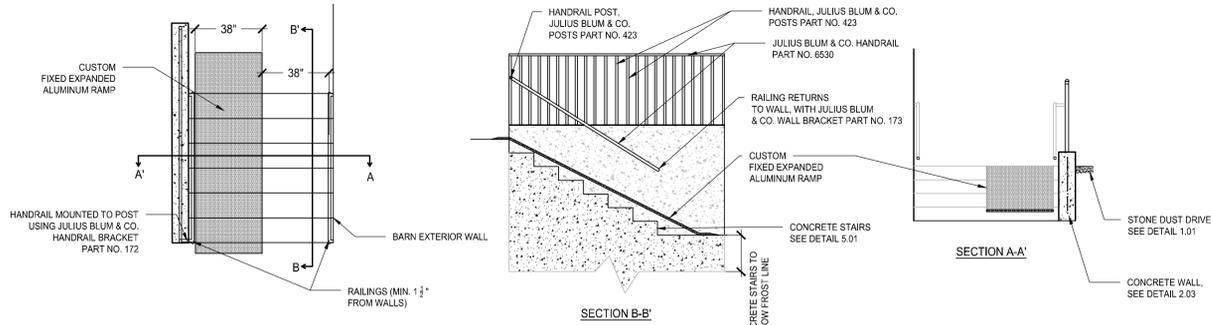
5.01 EXTERIOR CONCRETE STAIRS  
SCALE: 1/8"=1'



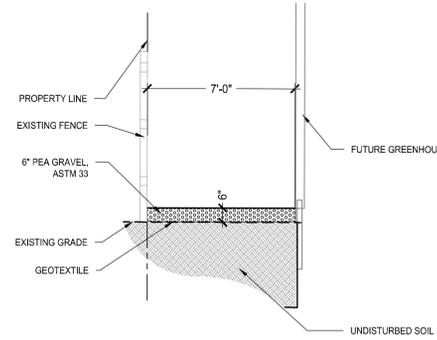
5.02 STEP DETAIL  
SCALE: 1/2"=1'  
NOTE: NEEDS REVIEW BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION



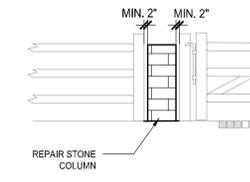
8.01 RASPBERRY TRELLIS  
SCALE: 1/2"=1'



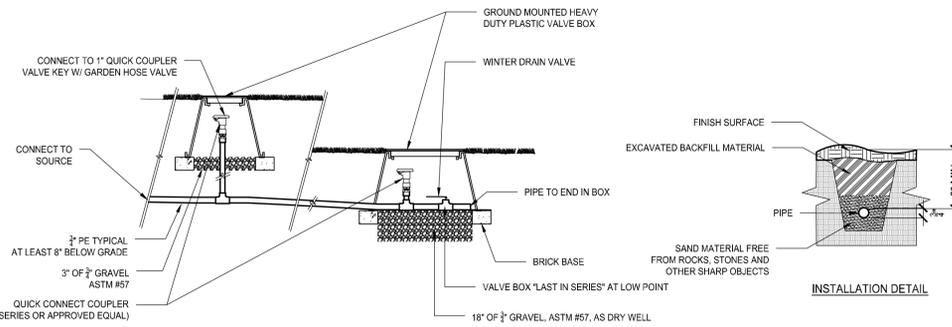
8.02 BASEMENT STAIRS UTILITY RAMP (BARN)  
SCALE: 1/4"=1'



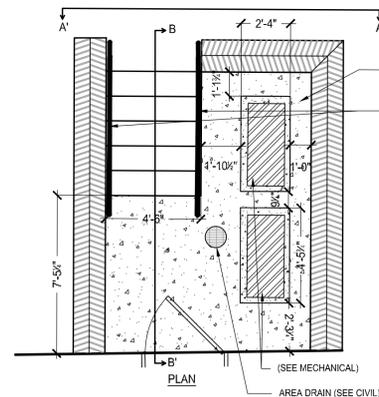
8.03 GREENHOUSE MAINTENANCE STRIP  
SCALE: 1/4"=1'



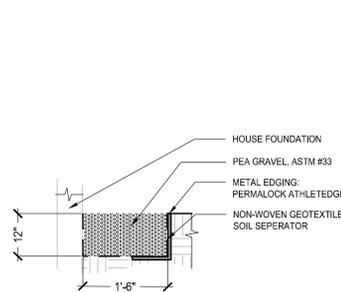
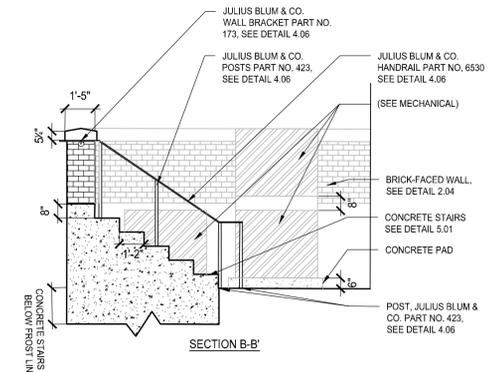
8.05 STONE COLUMN AT NORFOLK GATE  
SCALE: 1/4"=1'



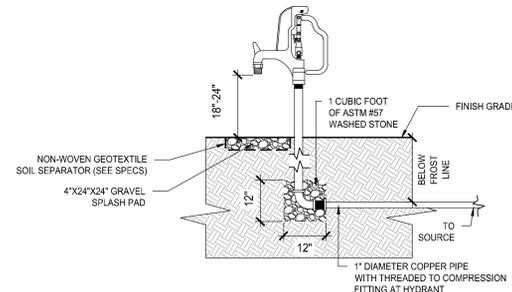
8.04 IRRIGATION SYSTEM  
SCALE: N.T.S.



8.06 BASEMENT STEPS (HOUSE)  
SCALE: 1/4"=1'



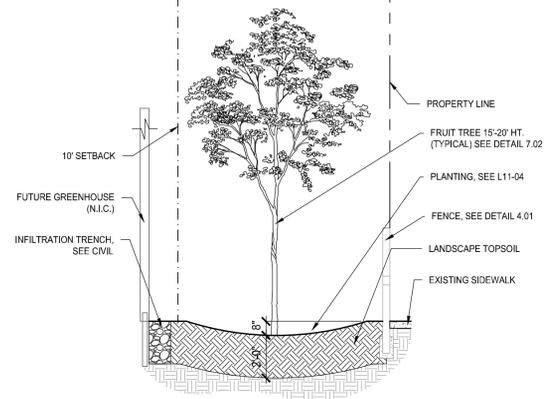
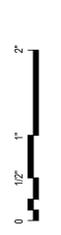
8.07 HOUSE DRIP STRIP  
SCALE: 1"=1'



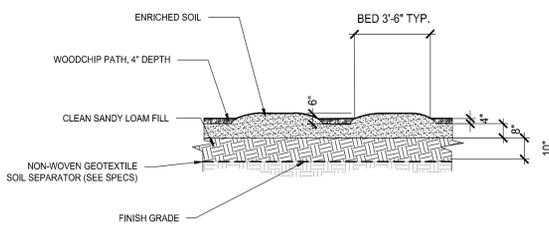
8.08 YARD HYDRANT  
SCALE: 1/2"=1'  
1. HOSE BIB SHALL ACCOMMODATE STANDARD 3/4\"/>



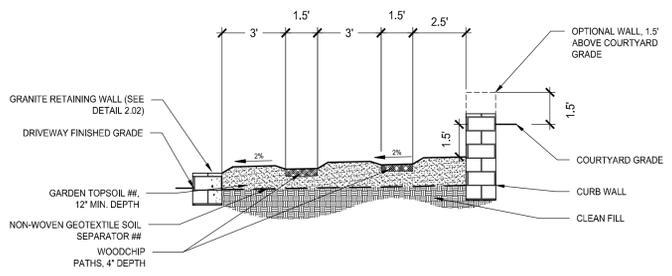
NO	ISSUE	DATE
Job Number	000035.015	
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Approved	TB	



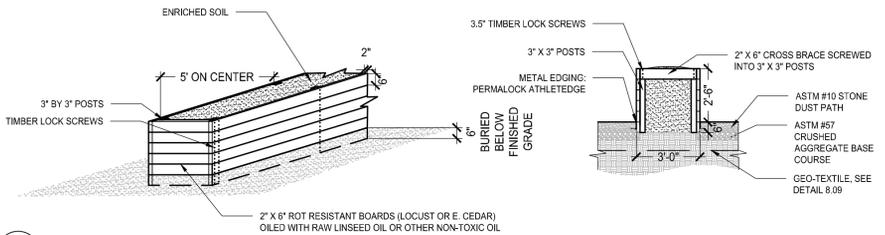
6.01 ORCHARD STREETSCAPE AT GREENHOUSE  
SCALE: 1/4"=1'



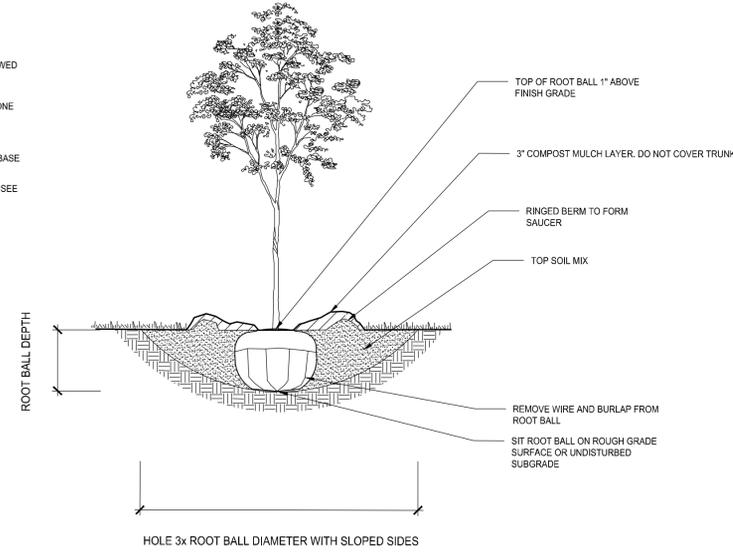
6.02 TYPICAL VEGETABLE GARDEN DETAIL  
SCALE: 1/4"=1'



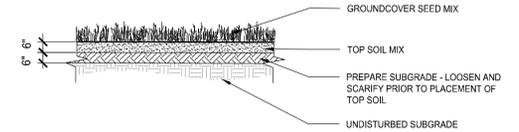
6.03 TERRACED GARDEN  
SCALE: 1/4"=1'



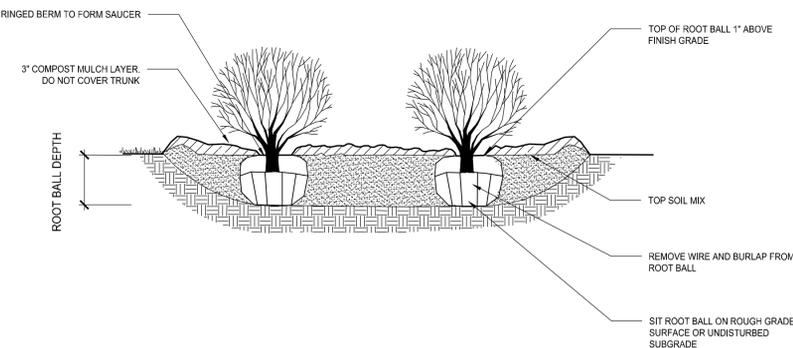
6.04 FRAMED RAISED BED  
SCALE: 1/4"=1'



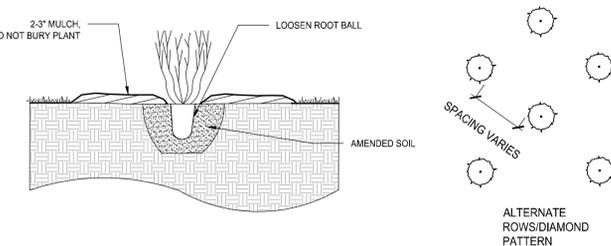
7.02 TREE PLANTING  
SCALE: 1"=10'



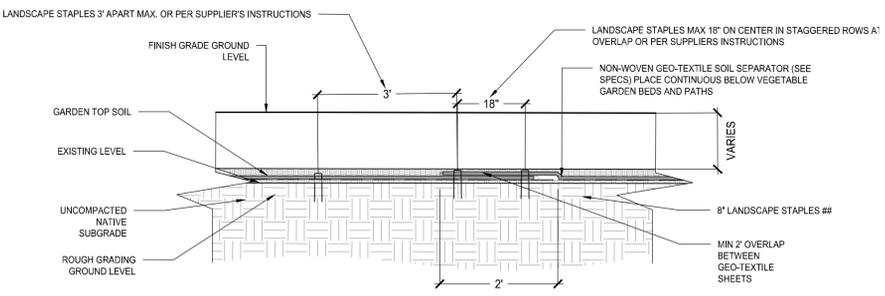
7.01 SEED AND LOAM  
SCALE: 1/4"=1'



7.03 SHRUB PLANTING  
SCALE: 1/4"=1'



7.04 HERBACEOUS PERENNIAL PLANTING  
SCALE: 1/4"=1'



6.09 GEO-TEXTILE SOIL SEPARATOR INSTALLATION  
SCALE: 1/4"=1'

Common Name	Botanical Name	#	Type	Size/Form	Spacing
Ajuga	<i>Ajuga reptans</i>	373	Ground cover	5" Plug or #1 Pot	6-12" o.c.
Anemone	<i>Anemone sylvestris</i>	11	Perennial	5" Plug or #1 Pot	12-18" o.c.
Asian pear	<i>Pyrus pyrifolia</i> 'Shinko'	1	Tree: fruit	1" caliper	As shown
Aster, purple dome	<i>Aster novae-angliae</i> 'Purple Dome'	7	Perennial	5" Plug or #1 Pot	12-18" o.c.
Barren strawberry	<i>Waldstenia fragarioides</i>	373	Ground cover	5" Plug or #1 Pot	6-12" o.c.
Bearberry	<i>Arctostaphylos uva-ursi</i>	20	Shrub: small	#1 Pot	8-12" o.c.
Beebalm	<i>Monarda spp.</i> 'Jacob Cline'	7	Perennial	5" Plug or #1 Pot	8-12" o.c.
Beebalm	<i>Monarda spp.</i> 'Pettit Delight'	11	Perennial	5" Plug or #1 Pot	8-12" o.c.
Black Chokeberry	<i>Aronia melanocarpa</i> 'Nero'	7	Shrub: medium	#7 Pot, 2-3" Ht./Spread	5-6' o.c.
Blueberry	<i>Vaccinium corymbosum</i> 'Blue Crop'	2	Shrub: medium	#7 Pot, 2-3" Ht./Spread	5-6' o.c.
Blueberry	<i>Vaccinium corymbosum</i> 'Darrow'	2	Shrub: medium	#7 Pot, 2-3" Ht./Spread	5-6' o.c.
Blueberry	<i>Vaccinium corymbosum</i> 'Duke'	2	Shrub: medium	#7 Pot, 2-3" Ht./Spread	5-6' o.c.
Blueberry	<i>Vaccinium corymbosum</i> 'Blue Ray'	2	Shrub: medium	#7 Pot, 2-3" Ht./Spread	5-6' o.c.
Blueberry	<i>Vaccinium corymbosum</i> 'Patriot'	5	Shrub: medium	#7 Pot, 2-3" Ht./Spread	5-6' o.c.
Blueberry	<i>Vaccinium corymbosum</i> 'Polaris'	4	Shrub: medium	#7 Pot, 2-3" Ht./Spread	5-6' o.c.
Blueberry, half-high	<i>Vaccinium corymbosum</i> 'North Blue'	3	Shrub: medium	#7 Pot, 2-3" Ht./Spread	4-5' o.c.
Blueberry, half-high	<i>Vaccinium corymbosum</i> 'Chippewa'	6	Shrub: medium	#7 Pot, 2-3" Ht./Spread	4-6' o.c.
Butterfly weed	<i>Asclepias tuberosa</i>	30	Perennial	5" Plug or #1 Pot	18-30" o.c.
Catmint	<i>Nepeta mussini</i> 'Walker's Low'	20	Shrub: small	5" Plug or #1 Pot	18-30" o.c.
Chives	<i>Allium schoenoprasum</i>	30	Perennial	5" Plug or #1 Pot	12-18" o.c.
Cicely	<i>Myrrhis odorata</i>	19	Perennial	5" Plug or #1 Pot	18-30" o.c.
Cinnamon fern	<i>Osmundastrum cinnamomeum</i>	11	Fern	5" Plugs or 1 Qt. Pots	18-30" o.c.
Clethra	<i>Clethra alnifolia</i> 'Hummingbird'	3	Shrub: medium	#5 Pot, 2-3" Ht./Spread	3-4' o.c.
Clove currant	<i>Ribes aureum</i> 'Crandall'	5	Shrub: medium	#5 Pot, 2-3" Ht./Spread	3-4' o.c.
Coneflower, purple	<i>Echinacea spp.</i> 'Maeanus'	14	Perennial	5" Plug or #1 Pot	12-18" o.c.
Coneflower, purple	<i>Echinacea spp.</i> 'Purple Emperor'	20	Perennial	5" Plug or #1 Pot	12-18" o.c.
Coreopsis	<i>Coreopsis auriculata</i> 'Jethro Tull'	17	Perennial	5" Plug or #1 Pot	12-18" o.c.
Cornelian cherry	<i>Cornus mas</i> 'Elegant'	1	Tree: fruit	1" caliper	As shown
Cornelian cherry	<i>Cornus mas</i> 'Coral Blaze'	1	Tree: fruit	1" caliper	As shown
Cornelian cherry	<i>Cornus mas</i> 'Pioneer'	1	Tree: fruit	1" caliper	As shown
Currant	<i>Ribes spp.</i> 'Jonikees Van Tets'	4	Shrub: medium	#5 Pot, 2-3" Ht./Spread	3-4' o.c.
Currant	<i>Ribes spp.</i> 'Pink Champagne'	4	Shrub: medium	#5 Pot, 2-3" Ht./Spread	3-4' o.c.
Currant, black	<i>Ribes spp.</i> 'Titania'	3	Shrub: medium	#5 Pot, 2-3" Ht./Spread	4-5' o.c.
Currant, red	<i>Ribes spp.</i> 'Rovada'	4	Shrub: medium	#5 Pot, 2-3" Ht./Spread	3-4' o.c.
Daffodil, dwarf	<i>Narcissus spp.</i>	200	Bulb	Bulbs	10-12" o.c.
Fothergilla, dwarf	<i>Fothergilla gardenii</i>	3	Shrub: medium	#7 Pot, 2-3" Ht./Spread	5-6' o.c.
Geranium, wild	<i>Geranium maculatum</i> 'Espresso'	45	Perennial	5" Plug or #1 Pot	12-18" o.c.
Giant Solomon Seal	<i>Polygonatum commutatum</i>	43	Perennial	5" Plug or #1 Pot	12-18" o.c.
Golden groundsel	<i>Pachera obovata</i>	7	Perennial	5" Plug or #1 Pot	12-18" o.c.
Gooseberry	<i>Ribes uva-urspa</i> 'Captivator'	3	Shrub: medium	#5 Pot, 2-3" Ht./Spread	4-5' o.c.
Gooseberry	<i>Ribes uva-urspa</i> 'Invicta'	3	Shrub: medium	#5 Pot, 2-3" Ht./Spread	4-5' o.c.
Gooseberry	<i>Ribes uva-urspa</i> 'Pixwell'	3	Shrub: medium	#5 Pot, 2-3" Ht./Spread	4-5' o.c.
Gooseberry	<i>Ribes uva-urspa</i> 'Poorman'	3	Shrub: medium	#5 Pot, 2-3" Ht./Spread	4-5' o.c.
Hazelnut	<i>Corylus spp.</i> 'Precocious'	3	Shrub: tall	#7 Pot, 2-3" Ht./Spread	8-10' o.c.
Honeyberry	<i>Lonicera caerulea</i> 'Blue Forest'	2	Shrub: medium	#5 Pot, 2-3" Ht./Spread	4-5' o.c.
Honeyberry	<i>Lonicera caerulea</i> 'Blue Pagoda'	2	Shrub: medium	#5 Pot, 2-3" Ht./Spread	4-5' o.c.
Honeyberry	<i>Lonicera caerulea</i> 'Blue Velvet'	1	Shrub: medium	#5 Pot, 2-3" Ht./Spread	4-5' o.c.
Inkberry	<i>Ilex glabra</i> 'Shamrock'	7	Shrub: tall	#7 Pot, 2-3" Ht./Spread	6-8' o.c.
Junberry	<i>Amelanchier alnifolia</i> 'Regent'	7	Shrub: tall	#7 Pot, 2-3" Ht./Spread	6-8' o.c.
Lavender baysop	<i>Agastache paniculata</i>	5	Perennial	5" Plug or #1 Pot	12-18" o.c.
Musclemood	<i>Coprinus caroliniana</i>	1	Tree	1" caliper	As shown
Northern Sea Oats	<i>Chasmodon latifolium</i>	21	Grass	5" Plug or #1 Pot	12-18" o.c.
Ostrich Fern	<i>Matteuccia struthiopteris</i>	43	Fern	5" Plugs or 1 Qt. Pots	3-4' o.c.
Paw Paw	<i>Asimina triloba</i> 'Davis'	1	Tree: fruit	1" caliper	As shown
Paw Paw	<i>Asimina triloba</i> 'Pennsylvania Golden'	1	Tree: fruit	1" caliper	As shown
Peach	<i>Prunus persica</i> 'Reliance'	1	Tree: fruit	1" caliper	As shown
Pear	<i>Pyrus spp.</i> 'Seckel'	1	Tree: fruit	1" caliper	As shown
Persimmon, American	<i>Diospyros virginiana</i> 'Prairie Star'	1	Tree: fruit	1" caliper	As shown
Persimmon, American	<i>Diospyros virginiana</i> 'Prairie Sun'	1	Tree: fruit	1" caliper	As shown
Plum, dwarf	<i>Prunus x hybrid</i> 'Supenor'	1	Tree: fruit	1" caliper	As shown
Plum, dwarf	<i>Prunus salicina</i> 'Toka'	1	Tree: fruit	1" caliper	As shown
Plum, semi-dwarf	<i>Prunus x hybrid</i> 'Stanley Prune'	1	Tree: fruit	1" caliper	As shown
Raspberry, primocane	<i>Rubus spp.</i>	6	Shrub: medium	Root stock	14-18" o.c.
Raspberry, primocane	<i>Rubus spp.</i> 'Joan 1'	5	Shrub: medium	Root stock	14-18" o.c.
Raspberry, summer bearing	<i>Rubus spp.</i>	7	Shrub: medium	Root stock	14-18" o.c.
Red Chokeberry	<i>Aronia arbutifolia</i> 'Brilliantissima'	7	Shrub: medium	#7 Pot, 2-3" Ht./Spread	5-6' o.c.
Sage	<i>Salvia nemorosa</i> 'Blue Hill'	40	Perennial	5" Plug or #1 Pot	12-18" o.c.
Scilla	<i>Scilla spp.</i>	200	Bulb	Bulbs	6-12" o.c.
Serri caberry	<i>Amelanchier grandiflora</i> 'Autumn Brilliance'	2	Shrub: tall	#7 Pot, 3-4" Ht./Spread	As shown
Shrubby St. Johnswort	<i>Hypericum perforatum</i>	6	Shrub: small	#5 Pot, 1-2" Ht./Spread	2.5-3' o.c.
Strawberry	<i>Fragaria x ananassa</i> 'Lipstick'	25	Perennial	5" Plug or #1 Pot	8-16" o.c.
Sweetspire, dwarf	<i>Itea virginica</i> 'Little Henry'	6	Shrub: medium	#5 Pot, 1-2" Ht./Spread	2.5-3' o.c.
Sweetspire, dwarf	<i>Itea virginica</i> 'Hummingbird'	3	Shrub: medium	#5 Pot, 1-2" Ht./Spread	2.5-3' o.c.
Thyme, creeping	<i>Thymus serpyllus</i>	15	Perennial	5" Plug or #1 Pot	12-18" o.c.
Thyme, lemon	<i>Thymus citradonus</i>	17	Perennial	5" Plug or #1 Pot	12-18" o.c.
Violet	<i>Viola</i> 'Purple Showers'	6	Perennial	5" Plug or #1 Pot	12-18" o.c.
Virginia Sweetspire	<i>Itea virginica</i> 'Henry's Garnet'	5	Shrub: medium	#5 Pot, 1-2" Ht./Spread	4-5' o.c.
Wintergreen	<i>Gaultheria procumbens</i>	373	Ground cover	5" Plug or #1 Pot	6-12" o.c.
Yarrow	<i>Achillea millefolium</i> 'Moonshine'	17	Perennial	5" Plug or #1 Pot	12-18" o.c.
Yarrow	<i>Achillea millefolium</i> 'Dart's Rose'	10	Perennial	5" Plug or #1 Pot	12-18" o.c.

Seed Mixes  
Orchard seed mix see specs



NO	ISSUE	DATE
	Job Number	000035.015
	Checked	GH
	Approved	TB

## **Section VII:**

**Farmhouse and Barn Design  
and Construction Documents**

GENERAL

- G1. WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 8TH EDITION OF THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE.
G2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE JOB.
G3. FURNISH AND PLACE ALL SUPPORTS, TEMPORARY AND PERMANENT, NECESSARY TO BRACE WALLS TO REMAIN, PARTY WALLS AND EXISTING ADJACENT STRUCTURES AND GRADES SO THAT NO HORIZONTAL OR VERTICAL SETTLEMENT OCCURS TO THESE WALLS, STRUCTURES OR GRADES. BRACING SHALL BE LEFT IN PLACE UNTIL PERMANENT SUPPORTS ARE INSTALLED.
G4. UNLESS SHOWN, NOTED OR REQUIRED ELSEWHERE IN CONTRACT DOCUMENTS, REQUIREMENTS NOTED BELOW SHALL APPLY.
G5. SUBMIT SHOP DRAWINGS FOR REINFORCING STEEL FOR CONCRETE, STRUCTURAL STEEL, MISCELLANEOUS STRUCTURAL PRODUCTS AND FABRICATIONS, AND MANUFACTURED WOOD PRODUCTS. SUBMITTALS SHALL ALSO A MIX DESIGN FOR EACH TYPE OF MORTAR, GROUT, AND CONCRETE, AND GROUTED ANCHOR PRODUCTS AND SYSTEMS. WORK SHALL BE DONE FROM APPROVED SUBMITTALS ONLY.
G6. DETAILS SHOWN ON ANY DRAWING SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
G7. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT LISTED HEREIN.

TEMPORARY SHORING AND BRACING:

- B1. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION EMPLOYED ON THIS PROJECT, AND FOR ALL TEMPORARY BRACING, SUPPORT, AND PROTECTION OF THE EXISTING STRUCTURE. PROVIDE AND INSTALL SHORING DESIGNED TO SUPPORT THE TEMPORARY STRUCTURAL LOADS OF THE SUPPORTED ITEMS. SUBMIT SHORING PRODUCTS, CONFIGURATION, PROCEDURE, AND DESIGN CALCULATIONS STAMPED BY A MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER TO THE ARCHITECT FOR HIS REVIEW.
B2. SHORING SHALL BE OF ANY MATERIAL THAT IS SUITABLE FOR THE APPLICATION. TIMBER SHORING SHALL BE FULLY DRIED AND ALL END GRAIN SHALL BE SEALED TO PREVENT ABSORPTION OF WATER AND ASSOCIATED SWELLING. SHORING SHALL BE MADE STABLE, STIFF, AND SNUG FITTING SO AS NOT TO DEFLECT UNDER LOAD. PRE LOAD SUPPORTED ELEMENTS FOR SNUG FIT ONLY. SHORING SHALL DEFLECT NO MORE THAN THE GIVEN SPAN LENGTH DIVIDED BY 600.
B3. BEARING SURFACES OF SHORING SHALL BE REVIEWED WITH ARCHITECT IN FIELD AND SHALL PROVIDE FOR PROPER TRANSFER OF LOADS TO SUPPORTING AND SUPPORTED ELEMENTS.

FOUNDATIONS

- F1. FOOTINGS SHALL BE FOUNDED ON UNDISTURBED MATERIAL HAVING A MINIMUM BEARING CAPACITY OF 2 TONS PER SQUARE FOOT OR ON GRAVEL FILL, SELECTED AND COMPACTED AS REQUIRED BY THE SPECIFICATIONS.
F2. BACKFILL NO EXTERIOR WALLS UNTIL PERMANENT LATERAL STRUCTURAL SUPPORT SYSTEM IS IN PLACE AND OF FULL STRENGTH.
F3. CONTRACTOR SHALL CONTROL SURFACE AND SUBSURFACE WATER DURING CONSTRUCTION. MAINTAIN GROUND WATER ELEVATION OUTSIDE SITE TO AVOID SETTLEMENT AND DAMAGE OF NEARBY BUILDINGS AND STRUCTURES.

CONCRETE

- C1. CONCRETE WORK SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318) AND SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301), LATEST EDITIONS.
C2. CONCRETE SHALL BE CONTROLLED CONCRETE, PROPORTIONED, MIXED AND PLACED UNDER THE SUPERVISION OF AN APPROVED CONCRETE TESTING AGENCY.
C3. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 4,000 PSI AND A WATER TO CEMENT RATIO OF 0.40 BY WEIGHT MAXIMUM

STRUCTURAL WORK ON HISTORIC MASONRY

- HM1. PROVIDE THE FOLLOWING MATERIALS FOR STRUCTURAL WORK ON HISTORIC MASONRY:
HM2. PORTLAND CEMENT: TYPE 1 WHITE AND/OR GRAY CEMENT SATISFYING ASTM C150 AND COMPLYING WITH STAINING REQUIREMENTS OF ASTM C91 FOR NOT MORE THAN 0.03 PERCENT WATER SOLUBLE ALKALI. MORTAR SHALL SHOW NO EFFLORESCENCE WHEN CAST IN A 2" x 7" x 1/2" SLAB CONSISTING OF 1 PART OF THE CEMENT TO BE USED, 2 PARTS OTTAWA PLASTIC MORTAR SAND AND DISTILLED WATER, AND SUBJECTED TO A 7 DAY "WICK TEST" CONFORMING TO ASTM C67.
HM3. HYDRATED LIME: ASTM C207, TYPE S.
HM4. FINE AGGREGATE/SAND: SAND FOR MORTAR AND GROUT SHALL BE ASTM C144, WASHED, TO MATCH SURROUNDING IN COLOR WHERE VISIBLE. SAND FOR SURFACE FILL: CLEAN, FINE SAND FREE OF SALTS.
HM6. STONE: INTACT, UN-FRAGMENTED GRANITE SHARDS OF SMALL ANGULAR ORIENTATION AND SHAPE TO FIT INTO GROUTED VOID SPACES AS FILLERS OR LARGE, HAND PLACED AGGREGATE.
HM7. STRUCTURAL MORTAR FOR CONCEALED MASONRY RECONSTRUCTION AND RE-POINTING NOT DIRECTLY EXPOSED TO WEATHER - ASTM C1713, "PROPORTION SPECIFICATION" IN THE FORMULATION: 1 PART CEMENT, 1 PART TO 1.25 PARTS HYDRATED LIME, 6 PARTS SAND. MORTAR MIX SHALL BE ADJUSTED AS NECESSARY TO OBTAIN AN ULTIMATE COMPRESSIVE STRENGTH OF NOT LESS THAN 750 PSI AT 28 DAYS NOR MORE THAN 1,100 PSI AT 28 DAYS. MORTAR STRENGTHS SHALL BE DEMONSTRATED BY COMPRESSION TESTING. THE COST OF TESTING SHALL BE BORNE BY THE CONTRACTOR.
HM8. CEMENTITIOUS GROUT FOR CRACKS AND SPACES OF MINIMUM CLEAR DIMENSION OF LESS THAN 1/4"; WATER AND CEMENT SLURRY WITH 6 GALLONS OF MIXING WATER PER BAG OF CEMENT. ADD 1% GROUTING AID BY WEIGHT OF CEMENT. GROUT MIX SHALL BE DEMONSTRATED BY TEST TO HAVE A COMPRESSIVE STRENGTH OF BETWEEN 750 PSI AND 1400 PSI AT 28 DAYS.
HM9. CEMENTITIOUS GROUT FOR CRACKS AND SPACES OF CLEAR DIMENSION BETWEEN 1/4" AND 2". FINE GROUT WITH FOLLOWING PROPORTIONS: 1 PART PORTLAND CEMENT, 1 PART HYDRATED LIME, AND 3 PARTS TO 5 PARTS FINE SAND TO SUIT APPLICATION. MINIMUM MIXING WATER TO SUIT INJECTION OR GRAVITY PLACEMENT. ADD 1% GROUTING AID BY WEIGHT OF CEMENT. GROUT MIX SHALL BE DEMONSTRATED BY TEST TO HAVE A COMPRESSIVE STRENGTH OF BETWEEN 750 PSI AND 1400 PSI AT 28 DAYS.
HM10. CEMENTITIOUS GROUT FOR SPACES OF MINIMUM CLEAR DIMENSION OF MORE THAN 2" AND FOR SETTING OF SHEAR STUDS IN CORED HOLES: COARSE GROUT WITH FOLLOWING PROPORTIONS: 1 PART PORTLAND CEMENT, 1 PART HYDRATED LIME, 3 PARTS SAND, AND UP TO 2 PARTS PEA GRAVEL. ADD 1 PERCENTAGE GROUTING AID BY WEIGHT OF CEMENT. GROUT MIX SHALL BE DEMONSTRATED BY TEST TO HAVE A COMPRESSIVE STRENGTH OF BETWEEN 750 PSI AND 1400 PSI AT 28 DAYS.
HM11. COARSE AGGREGATE FOR GROUT: ASTM C33, 3/4" MINIMUM GRAVEL OR STONE.
HM12. ANCHORING SYSTEM FOR STANDARD THREADED RODS: HILTI HIT "HY70" EPOXY INJECTION SYSTEM FOR MASONRY (WITH SCREEN TUBES AS REQ'D) AS MANUFACTURED BY THE HILTI CORPORATION OF TULSA, OK.

- HM13. ANCHORING ADHESIVE FOR ANCHORING PINNING RODS: "SIKADUR INJECTION GEL" AS MANUFACTURED BY THE SIKA CORPORATION OF LYNDHURST, NJ OR "CINTEC" ANCHORING SYSTEM AS MANUFACTURED AND SUPPLIED BY CINTEC AMERICA INC., TOWSON, MD.
HM14. CRACK SEALANT FOR EPOXY INJECTION: "SIKADUR 33" AS MANUFACTURED BY THE SIKA CORPORATION OF LYNDHURST, NJ, ALONG WITH PORTS AS REQUIRED.
HM15. CHEMICAL CLEANING AGENT: "SURECLEAN 600" AS MANUFACTURED BY PROSOCCO CORP. AS NEEDED FOR COLOR MATCHING PATCH, AND AS MAY BE NEEDED FOR UNINTENTIONAL SPILLAGE OF MORTAR AND GROUT PRODUCTS ON EXPOSED SURFACE OF TOWER.
HM16. GROUTING AID: "INTERPLAST-N" EXPANDING/FLUIDIFYING GROUTING AID AS MANUFACTURED BY THE SIKA CORPORATION OF LYNDHURST, NJ.
HM17. CRACK SEAL FOR CEMENTITIOUS GROUT INJECTION: LIME CEMENT MORTAR TO STAY IN PLACE OR REMOVABLE CAULKING OR JUTE.
HM18. HISTORIC MASONRY WORK SHALL BE CONSIDERED THAT WHICH IS DONE TO EXISTING ELEMENTS TO REMAIN IN THE FORM OF REPAIRS OR ALTERATIONS.

STRUCTURAL STEEL

- S1. STRUCTURAL STEEL WORK SHALL CONFORM TO "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" (AISC 2005), "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" (AISC 2005); AND STRUCTURAL WELDING CODE - STEEL (AWS D1.1-04).
S2. STRUCTURAL STEEL SHALL BE NEW STEEL CONFORMING TO THE FOLLOWING:
ROLLED STEEL SHAPES: ASTM A992 GRADE 50
STEEL PLATES: ASTM A36
STRUCTURAL PIPES: ASTM A53
STRUCTURAL TUBES: ASTM A500, GRADE B
ANCHOR BOLTS: ASTM A307
HIGH STRENGTH BOLTS: ASTM A325
STAINLESS STEEL PINNING RODS: ASTM A276 TYPE 304, DEFORMED OR THREADED
WELDING ELECTRODES: AWS E60-XX, LOW HYDROGEN FOR EXISTING STEEL
AWS E70-XX FOR NEW METAL
S3. STRUCTURAL STEEL SHALL BE DETAILED AND, WHERE REQUIRED, DESIGNED IN ACCORDANCE WITH THE AISC SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS AND THE SHOP DRAFTING MANUAL, CURRENT EDITIONS.
S4. FIELD CONNECTIONS SHALL BE MADE BY 3/4" # ASTM A325 HIGH STRENGTH BOLTS UNLESS OTHERWISE NOTED ON THE DRAWINGS.
S5. WELDING SHALL BE DONE BY APPROVED CERTIFIED WELDERS, AND SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE. SEE SPECIFICATIONS. ALL FILLET WELDS SHALL BE MADE WITH A RETURN LEG ON THE WELD END. THE MINIMUM SIZE OF FILLET WELDS SHALL BE DETERMINED IN ACCORDANCE WITH PARAGRAPH J2.2B. OF THE AISC SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS.
S6. ANCHOR BOLTS, LEVELING PLATES, OR BEARING PLATES SHALL BE LOCATED AND BUILT INTO CONNECTING WORK, PRESET BY TEMPLATES OR SIMILAR METHODS. PLATES SHALL BE SET IN FULL BEDS OF NON-SHRINK GROUT.
S7. WHERE STRUCTURAL STEEL IS NOT SHOWN ON DRAWINGS PROVIDE STRUCTURAL STEEL IN ACCORDANCE WITH APPLICABLE TYPICAL DETAILS OR SIMILAR TO THAT SHOWN FOR MOST NEARLY SIMILAR CONDITIONS AS DETERMINED BY ARCHITECT.
S8. FIELD CUTTING OF STRUCTURAL STEEL OR ANY FIELD MODIFICATIONS TO STRUCTURAL STEEL SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL BY ARCHITECT FOR EACH SPECIFIC CASE.
S9. STRUCTURAL STEEL FRAMING SHALL BE TRUE AND PLUMB BEFORE CONNECTIONS ARE FINALLY BOLTED OR WELDED.
S10. TEMPORARY ERECTION BRACING AND SUPPORTS SHALL BE PROVIDED TO HOLD STRUCTURAL STEEL FRAMING SECURELY IN POSITION. SUCH TEMPORARY BRACING AND SUPPORTS SHALL NOT BE REMOVED UNTIL PERMANENT BRACING HAS BEEN INSTALLED AND FLOOR SLABS HAVE ATTAINED 75 PERCENT OF SPECIFIED CONCRETE STRENGTH.
S11. ALL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED AND SHALL CONFORM TO ASTM A123/A123M AND A153/A153M.

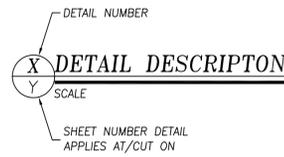
STRUCTURAL TIMBER CONSTRUCTION

- K1. TIMBER CONSTRUCTION SHALL CONFORM TO PART II "DESIGN SPECIFICATIONS" AS PUBLISHED IN THE "TIMBER CONSTRUCTION MANUAL" (AITC 2005) AND TO "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (2005).
K2. NEW TIMBER FOR STRUCTURAL USE SHALL HAVE A MOISTURE CONTENT AS SPECIFIED IN THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (2005 EDITION).
K3. TIMBER CONSTRUCTION SHALL CONFORM TO CHAPTER 23 OF IBC 2009.
K4. CONVENTIONAL LUMBER STUD AND BUILT-UP POST FRAMING SHALL BE SPF "STUD" GRADE OR BETTER.
K5. CONVENTIONAL LUMBER JOISTS, HEADERS, AND BEAMS SHALL BE SPF NO. 1 OR NO. 2.
K6. CONVENTIONAL LUMBER MEMBERS NOTED AS "P/T" AND/OR IN DIRECT CONTACT WITH EXTERIOR MASONRY OR CONCRETE, OR EXPOSED TO THE EXTERIOR ELEMENTS SHALL BE PRESSURE PRESERVATIVE TREATED WITH ACQ. EXTERIOR MASONRY OR CONCRETE IS DEFINED AS THAT WHICH IS NOT HEATED OR PROTECTED FROM WEATHER ON ALL SIDES OR SURFACES.
K7. "PSL" FRAMING AS NOTED SHALL BE "PARALLAM" PARALLEL STRAND LUMBER AS MANUFACTURED BY WEYERHAEUSER, OR EQUIVALENT (SOLID MEMBERS).
K8. "LVL" FRAMING AS NOTED SHALL BE "MICROLLAM" LAMINATED VENEER LUMBER AS MANUFACTURED BY WEYERHAEUSER OR EQUIVALENT (BUILT-UP MEMBERS).
K9. "PSL" LUMBER FRAMING NOTED AS "P/T" AND/OR IN DIRECT CONTACT WITH EXTERIOR MASONRY OR CONCRETE, OR EXPOSED TO THE EXTERIOR ELEMENTS SHALL BE PRESSURE PRESERVATIVE TREATED WITH CCA ("WOLMANIZED"). EXTERIOR MASONRY OR CONCRETE IS DEFINED AS THAT WHICH IS NOT HEATED OR PROTECTED FROM WEATHER ON ALL SIDES OR SURFACES.
K10. ALL SLEEPERS, SILLS, NAILERS, AND PLATES IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED SYP NO. 2 OR BETTER.
K11. PROVIDE STANDARD GALVANIZED METAL CONNECTORS FOR ALL FLUSH FRAMED BEAM AND JOIST APPLICATIONS. CAPACITIES SHALL BE SUITABLE FOR THE MEMBER AND SPAN AND SHALL BE NOTED ON THE SHOP DRAWINGS FOR ALL MANUFACTURED WOOD PRODUCTS AS WELL AS IN CUT SHEETS FOR GENERAL CONVENTIONAL FRAMING USE.
K12. PROVIDE "TIMBERLOK" SCREWS, RAFTER-TO-WALL PLATE CONNECTIONS PER THE FASTENMASTER TECHNICAL GUIDE (FMTECH-RAFTAIL), INCREASE LENGTH AS REQ'D TO ACCOMMODATE THE EXISTING OR REPLACEMENT TIMBER WALL PLATE.
K13. LAMINATE MULTI-PLY LVL BEAMS WITH 3 ROWS OF 16d NAILS AT 12" O.C. PER PLY, OR WITH TWO ROWS OF 1/2" # THROUGH BOLTS AT 12" O.C. AS PER MANUFACTURER'S REQUIREMENTS. PROVIDE 4 ADDITIONAL BOLTS EACH SIDE OF SIDE SUPPORTED BEAM CONNECTIONS.

- K14. AT ALL BLOCKED SHEAR WALLS: PROVIDE NAILING AT FLOOR LEVELS (FOR ALL HORIZONTAL PLATES, BLOCKING AND SILL) AT SPACING TO MATCH TIGHTER OF SPACING ON WALL ABOVE OR BELOW. PROVIDE BLOCKING BETWEEN HORIZONTAL PANEL JOINTS AND PROVIDE FOR UNINTERRUPTED SHEAR STRENGTH OF WALL BETWEEN CONCRETE DECK AND ROOF DECK.
K15. NAIL ALL OTHER FRAMING AND PLYWOOD SHEATHING AND DECKING IN ACCORDANCE WITH IBC 2009, CHAPTER 23.
K16. PROVIDE ALL FRAMING IN ACCORDANCE WITH PROPER AND STANDARD PRACTICE, AND ALL GOVERNING CODES. CONTRACTOR SHALL BE PREPARED TO CORRECT ANY UNSUITABLE CONDITIONS PER THE DIRECTION OF THE ARCHITECT.
K17. INSPECT ALL COMPLETED FRAMING AND REPORT ALL UNSOUND CONDITIONS TO THE ARCHITECT.
K18. INSPECT ALL FLOORING AND RE-FASTEN ALL LOOSE BOARDS WITH APPROVED 2" SCREWS.
K19. JOIST CONSTRUCTION SPANNING OVER 8' MUST HAVE SOLID 2x BRIDGING AT NO MORE THAN 8' O.C.
K20. NO JOIST SHALL BE NOTCHED OR DRILLED WITH HOLES WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER.
K21. JOIST SUPPORT BY NAILING IS NOT ALLOWED UNLESS USED WITH AN APPROVED HANGER.
K22. MULTI-PLY BUILT UP BEAMS SHALL BE FIRMLY BOLTED TOGETHER AT NOT MORE THAN FOUR x THE DEPTH OF THE BEAM.
K23. PLYWOOD SHALL BE LAID WITH FACE GRAIN PARALLEL TO SPAN; STAGGER ALL JOINTS.
K24. BOLTS ARE 3/4" # UNLESS NOTED. ALL BOLTS SHALL HAVE 1/2" WASHERS WHERE SPACERS ARE REQUIRED BETWEEN PIECES. SUCH WASHERS ARE SHOWN IN SECTION. AT OTHER LOCATIONS, HEADS AND NUTS, WHERE IN CONTACT WITH WOOD, USE STANDARD WASHERS.
K25. ANCHOR BOLTS AND BOLTS FOR STRUCTURAL TIMBER SHALL BE ASTM A307. STANDARD CUT WASHERS SHALL BE PROVIDED BETWEEN THE WOOD AND BOLT HEAD AND BETWEEN THE WOOD AND BOLT NUT, UNLESS STEEL PLATES OR PLATE WASHERS ARE USED, AS INDICATED ON STRUCTURAL DRAWINGS. BOLT HOLES IN STRUCTURAL TIMBER SHALL BE 1/8" LARGER THAN THE NOMINAL BOLT DIAMETER INDICATED.

ABBREVIATIONS

Table with 2 columns: ABBREVIATION and WORD. Includes terms like ADDL (ADDITIONAL), ALT (ALTERNATE), AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION), ARCHT (ARCHITECT), BEAM (BEAM), BRG (BEARING), DET (DETAIL), EQ (EQUAL), EXP (EXPANSION), FIN (FINISH), GALV (GALVANIZED), HVAC (HEATING, VENTILATING AND AIR CONDITIONING), INV (INVERT), JOINT (JOINT), KIP (KIP 1000 POUNDS), LWC (LIGHTWEIGHT CONCRETE), MANUF (MANUFACTURER), MASONRY (MASONRY), MECH (MECHANICAL), MISC (MISCELLANEOUS), REF (REFERENCE), SCHED (SCHEDULE), SPEC (SPECIFICATIONS), STD (STANDARD), STR (STRUCTURAL), TEMP (TEMPERATURE), UNO (UNLESS NOTED OTHERWISE), V (VERTICAL), W (WORKING).



CONSTRUCTION DOCUMENTS

PERKINS + WILL

225 Franklin Street, Suite 1100
Boston, MA 02110
1617.478.0300
1617.478.0321
www.perkinswill.com

PROJECT

Fowler Clark
Epstein Farm
487 Norfolk Street Boston,
Massachusetts 02126

Fowler Clark Farm LLC
Roxbury, Massachusetts 02119

CONSULTANTS

Structural Engineer
Structures North
60 Washington Street, Suite 401
Salem, Massachusetts 01970
1978.745.6817
1978.745.6067



Construction Documents

February 1, 2017

ISSUE CHART

Table with 3 columns: NO, ISSUE, DATE. Row 1: Job Number, 000035.015, .

Checked SAD

Approved JMW

TITLE

STRUCTURAL
GENERAL
NOTES

SHEET NUMBER

S00-00



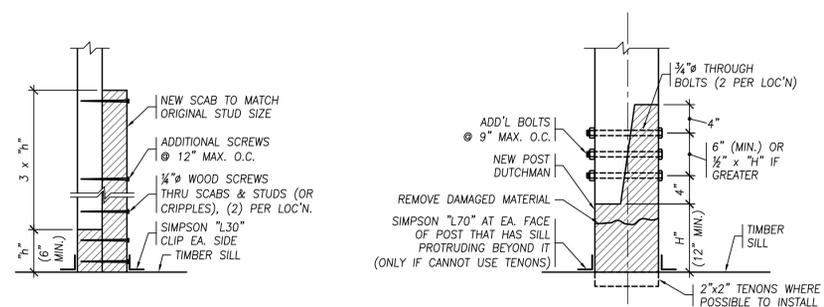
**PROJECT**

**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
Massachusetts 02126

**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119

**CONSULTANTS**

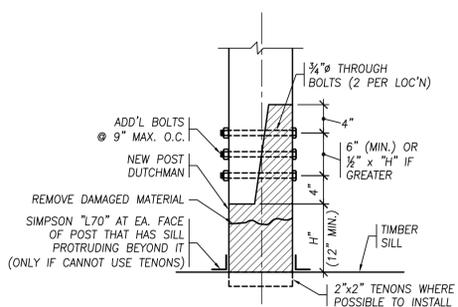
Structural Engineer  
**Structures North**  
60 Washington Street, Suite 401  
Salem, Massachusetts 01970  
1 978 745 6817  
1 978 745 6067



**TYPICAL STUD REPAIR DETAIL**

1" = 1'-0"

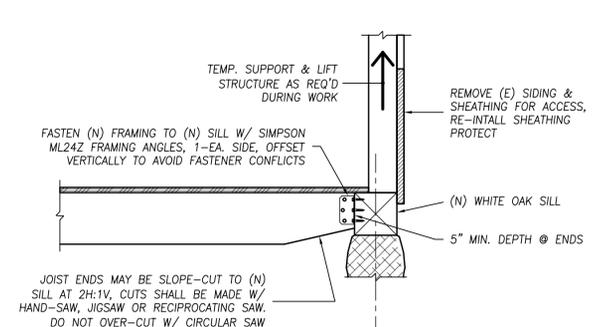
- NOTES:
- REPLACEMENT WOOD & SCAB TO BE WHITE OAK #2.
  - BORIC ACID-TREAT ALL WOOD.



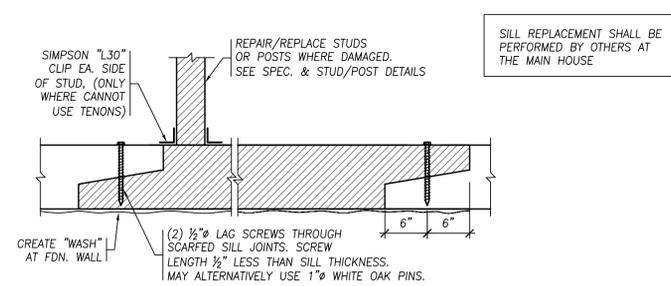
**TYPICAL POST DUTCHMAN DETAIL**

1" = 1'-0"

- NOTES:
- NEW WOOD TO BE WHITE OAK #2.
  - BORIC ACID-TREAT ALL WOOD



**5 SECTION**  
ST11-01 NTS

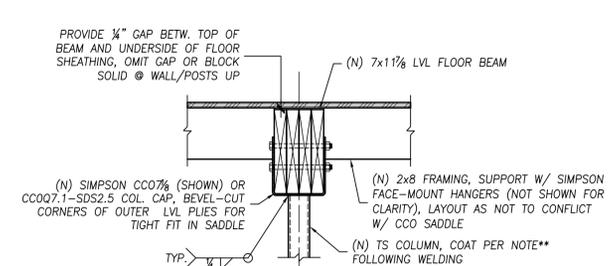


**TYPICAL SILL AND WALL PLATE REPLACEMENT DETAIL**

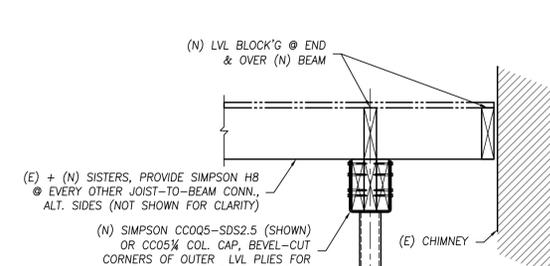
1" = 1'-0"

(AS NEEDED)

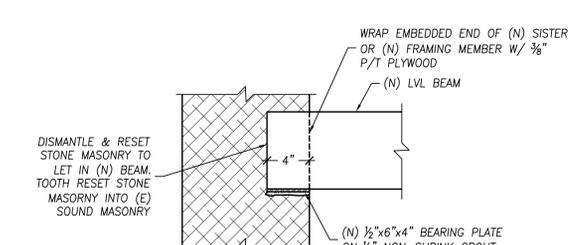
- NOTES:
- SILL MATERIAL TO BE WHITE OAK #2
  - CUT JOIST POCKETS OR TRIM AND HANGER-SUPPORT JOISTS ON FAR SIDE OR PAIR OF SIMPSON ML24 ANGLES (SIM. TO DETAIL 5/S32-11
  - BORIC ACID-TREAT ALL WOOD
  - WALL PLATES TO RUN CONT. BETW. POSTS OR BE SUFF. SUPPORTED BY STUD FRAMING TO ALLOW MID-SPAN SPLICES. REVIEW IN FIELD W/ ENGR.



**4 SECTION**  
ST11-01 NTS



**2 SECTION**  
ST11-01 NTS

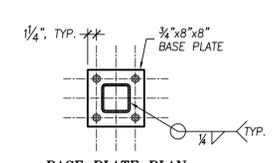


**6 SECTION**  
ST11-01 1 1/2" = 1'-0"

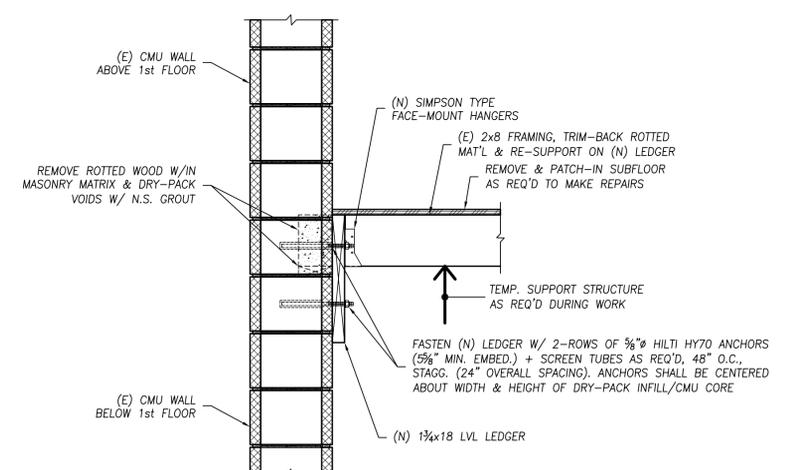
**\*\*COATING OPTIONS:**

- TWO HEAVY APPLICATIONS OF BAR-RUST 235 MULTIPURPOSE EPOXY
- TWO HEAVY APPLICATIONS OF DURAPLATE 235 MULTIPURPOSE EPOXY (REINFORCING STEEL FOR FOOTINGS & EMBEDDED SECTIONS OF ANCHOR BOLTS NOT INCLUDED) NOTE THE TEMPERATURES REQUIRED FOR THE SELECTED PRODUCT AND PROVIDE TEMPORARY HEAT AS REQUIRED.

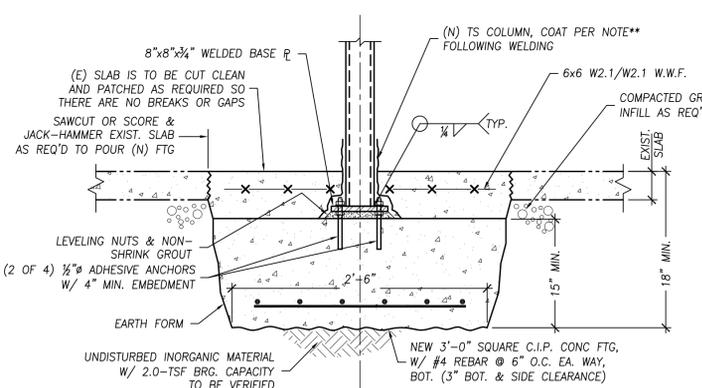
TOP-COAT W/ INTERTHANE 870 URETHANE TOPCOAT OR APPROVED EQUAL AT ARCHITECT'S & OWNER'S DISCRETION.



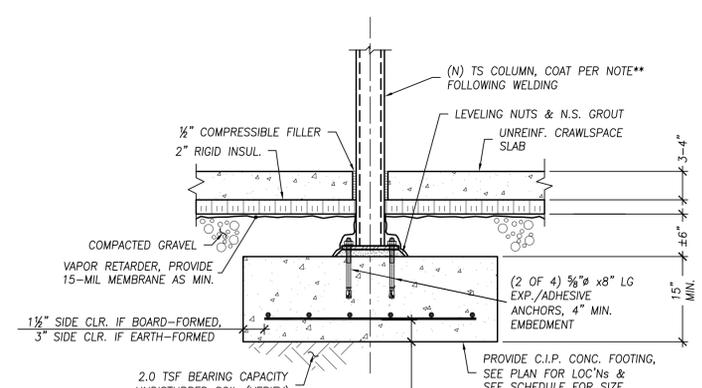
**BASE PLATE PLAN**



**7 SECTION**  
ST11-01 NTS



**1 SECTION**  
ST11-01 NTS



**3 COLUMN/FOOTING SECTION**  
ST11-01 NTS

NO HSS 6x6x6/8 UNWELDERED BEAM

**CONSTRUCTION DOCUMENTS**

Construction Documents  
February 1, 2017

**ISSUE CHART**

NO	ISSUE	DATE
Job Number		000035.015
Checked	SAD/GMN	
Approved	JMW	

**TITLE**

**HOUSE SECTIONS AND DETAILS**

**SHEET NUMBER**

**S31-01**

**PROJECT**

**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
Massachusetts 02126

**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119

**CONSULTANTS**

Structural Engineer  
**Structures North**  
60 Washington Street, Suite 401  
Salem, Massachusetts 01970  
1 978 745 6817  
1 978 745 6067



Construction Documents  
February 1, 2017  
**ISSUE CHART**

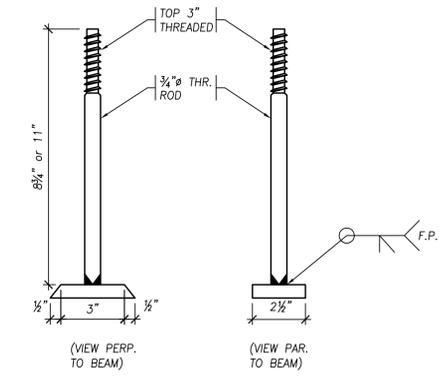
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Job Number		000035.015
Checked		SAD/GMN
Approved		JMW

**TITLE**

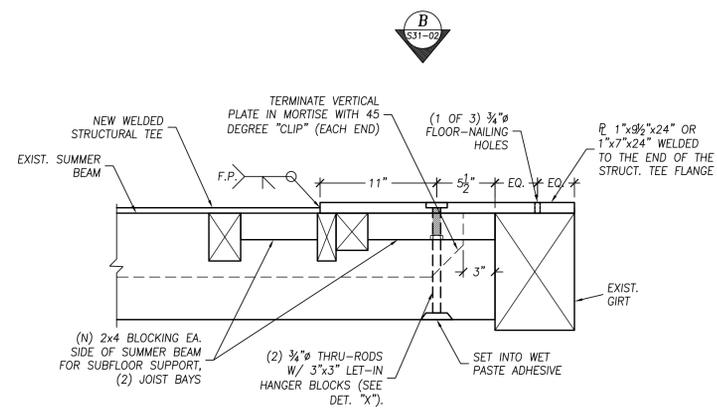
**MAIN HOUSE  
SECTIONS AND  
DETAILS**

**SHEET NUMBER**

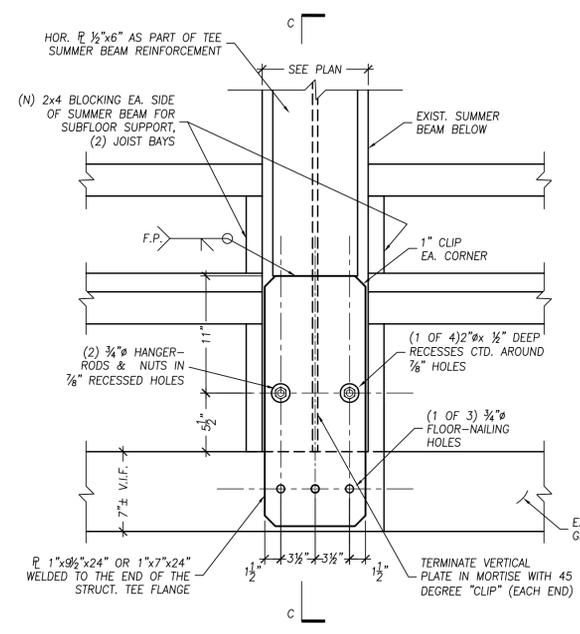
**S31-02**



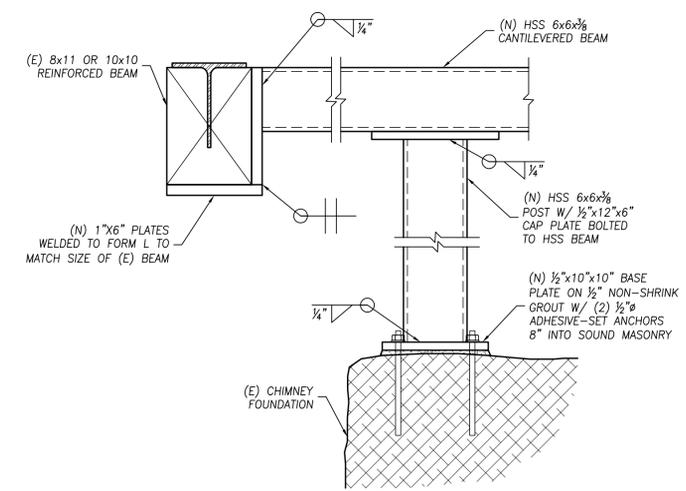
**DETAIL "X"**  
3" = 1'-0"



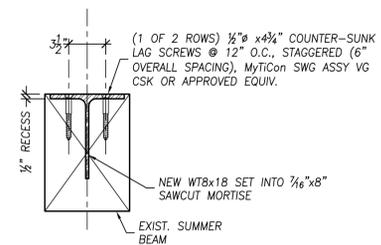
**CC SECTION**  
1 1/2" = 1'-0"



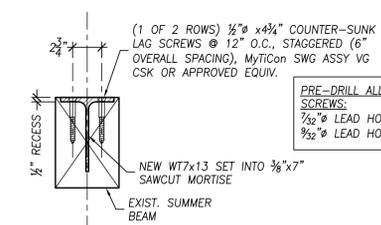
**B DETAIL**  
NTS



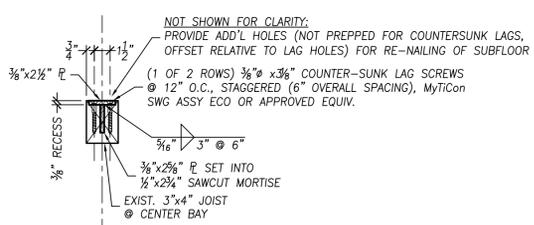
**11 SECTION**  
1 1/2" = 1'-0"



**9 SECTION**  
1 1/2" = 1'-0"



**8 SECTION**  
1 1/2" = 1'-0"



**10 SECTION**  
1 1/2" = 1'-0"

**NOTES (DETAILS 8, 9 & 10):**  
TEE SHALL HAVE REDUCED REVERSE CAMBER IN ORDER TO PRE-LOAD TIMBER BEAM BY TIGHTENING SCREWS  
  
COORDINATE REMOVAL AND TEMPORARY STORAGE OF EXISTING FLOORING WITH ARCHITECT AND OWNER

**PRE-DRILL ALL LEAD HOLES FOR ASSY SCREWS:**  
3/32" LEAD HOLES FOR 3/8" SCREWS  
5/32" LEAD HOLES FOR 1/2" SCREWS

**CONSTRUCTION  
DOCUMENTS**

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### ABBREVIATIONS

NOTE 1: ABBREVIATIONS WHEN USED IN COMPOSITION MAY INCLUDE PERIODS FOR CLARIFICATION  
NOTE 2: ABBREVIATIONS MAY BE DIFFERENT WHEN A PART OF A LEGEND

A/C	AIR CONDITION(ING)ED	F/	FACE OF	M	METER	TO	TOP OF
ACC	ACCESSIBLE	F/F	FACE TO FACE	MACH	MACHINE	TOPO	TOPOGRAPHY, TOPOGRAPHIC
ACST	ACUSTICAL	FA	FIRE ALARM	MAINT	MAINTENANCE	TRTD	TREATED
AD	AREA DRAIN	FAAP	FIRE ALARM ANNUNCIATOR PANEL	MATL	MATERIAL	TS	TUBE STEEL
ADA	AMERICANS WITH DISABILITIES	FACP	FIRE ALARM CONTROL PANEL	MAX	MAXIMUM	TV	TELEVISION
ADJ	ADJUSTABLE/ ADJACENT	FCO	FLOOR CLEANOUT	MECH	MECHANICAL	TYP	TYPICAL
AF	ABOVE FINISHED COUNTER	FD	FLOOR DRAIN	MEMB	MEMBRANE	U	HEAT TRANSFER COEFFICIENT
AFB	ABOVE FINISHED FLOOR	FDC	FIRE DEPARTMENT CONNECTION	MEC	MESSENGER	UH	UNIT HEATER
AFG	ABOVE FINISHED GRADE	FDC	FIRE DEPARTMENT CONNECTION CABINET	MEP	METAL, ELECTRICAL, PLUMBING	UL	UNDERWRITERS LABORATORIES
AGGR	AGGREGATE	FDTN	FOUNDATION	MEZZ	MEZZANINE	UNEX	UNEXCAVATED
AHU	AIR HANDLING UNIT	FE	FIRE EXTINGUISHER	MFR	MANUFACTURER	UNFIN	UNFINISHED
ALT	ALTERNATE	FEC	FIRE EXTINGUISHER CABINET	MH	MANHOLE	UNO	UNLESS NOTED OTHERWISE
ALUM	ALUMINUM	FF	FINISH FACE	MHO	MAGNETIC HOLD OPEN	UTIL	UTILITY
ANOD	ANODIZE(D)	FH	FIRE HYDRANT	MIN	MINIMUM	VB	VINYL BASE
APC	ACOUSTICAL PANEL CEILING	FHC	FIRE HOSE CABINET	MISC	MISCELLANEOUS	VENT	VENTILATION
APPROX	APPROXIMATE	FHR	FIRE HOSE RACK	MKR BD	MARKER BOARD	VERT	VERTICAL
ARCH	ARCHITECT(URAL), ARCHITECT	FIN	FINISHED	MM	MILLIMETER	VEST	VESTIBULE
ASPH	ASPHALT	FF EL	FINISHED FLOOR ELEVATION	MO	MASONRY OPENING	VIF	VERIFY IN FIELD
ATC	ACOUSTICAL TILE CEILING	FLR	FLOOR	MTG	MEETING	VNR	VENER
AUTO	AUTOMATIC	FLUOR	FLUORESCENT	MTL	METAL	VOL	VOLUME
AWT	ACCOUSTICAL WALL TREATMENT	FO	FINISHED OPENING	MULL	MULLION	VWC	VINYL WALL COVERING
B/	BOTTOM OF	FOF	FACE OF CURB	N	NORTH	W	WEST
BB	BACK TO BACK	FOF	FACE OF FINISH	NIC	NOT IN CONTRACT	W/	WITH
BC	BACK OF CURB	FOM	FACE OF MASONRY	NO	NO	W/O	WITHOUT
BD	BOARD	FOS	FACE OF SLAB/ FACE OF STUD	NOM	NOMINAL	WC	WATER CLOSET
BITUM	BITUMINOUS	FP	FIRE PROTECTION FIREPROOF	NTS	NOT TO SCALE	WD	WOOD
BLDG	BUILDING	FRMG	FRAMING	O/O	OUT TO OUT	WG	WALL GUARD
BM	BEAM BENCHMARK	FRTW	FIRE RETARDANT TREATED WOOD	OC	ON CENTER	WH	WATER HEATER
BOT/	BOTTOM OF	FT	FOOT (FEET) FIRE TREATED	OCC	OCCUPY, OCCUPANT	WI	WROUGHT IRON
BSMT	BASEMENT	FTG	FOOTING	OD	OUTSIDE DIAMETER	WP	WORKING POINT
BUR	BUILT-UP ROOFING	FURG	FURRING	OF	OWNER FURNISHED	WSCOT	WAINSCOT
CAB	CABINET	FURN	FURNISH, FURNITURE	OF/CI	OWNER FURNISHED, CONTRACTOR INSTALLED	WT	WEIGHT
CB	CATCH BASIN	FUT	FUTURE	OF/OI	OWNER FURNISHED, OWNER INSTALLED	WWF	WELODED WIRE FABRIC
CC	CENTER TO CENTER	FV	FIELD VERIFY	OFF	OWNER INSTALLED	WWM	WELODED WIRE MESH
CCTV	CLOSED CIRCUIT TELEVISION	GA	GAGE	OFF	OWNER INSTALLED	X	BY
CEM	CEMENT	GALV	GALVANIZED	OPH	OPPOSITE HAND	YD	YARD
CF/CI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	GEN	GENERAL	OPNG	OPENING	YR	YEAR
CF/OI	CONTRACTOR FURNISHED, OWNER INSTALLED	GFRG	GLASS FIBER REINFORCED CONCRETE	OPP	OPPOSITE	ZN	ZINC
CFM	CUBIC FEET PER MINUTE	GFRG	GLASS FIBER REINFORCED CONCRETE	ORD	OVERFLOW ROOF DRAIN	PA	PUBLIC ADDRESS
CFMF	COLD-FORMED METAL FRAMING	GL	GLASS	ORD	OVERFLOW ROOF DRAIN	PAR	PARAPET, PARALLEL
CG	CORNER GUARD	GLB	GLUED BLOCK	PA	PUBLIC ADDRESS	PCC	PRE-CAST CONCRETE
CI	CAST IRON, CURB INLET	GLU LAM	GLUED LAMINATED WOOD	PAR	PARAPET, PARALLEL	PERF	PERFORATED
CIP	CAST-IN-PLACE	GR LN	GRADE LINE	PCC	PRE-CAST CONCRETE	PERP	PERPENDICULAR
CJ	CONTROL JOINT	GRPL	GROUND FLOOR	PERF	PERFORATED	PLAM	PLASTIC LAMINATE
CL	CENTER LINE	GRSL	GROUND FLOOR	PERF	PERFORATED	PLAS	PLASTER
CLG	CEILING	GRSL	GROUND FLOOR	PERF	PERFORATED	PLB	PLYWOOD
CLQ	CLOSED	GRSL	GROUND FLOOR	PERF	PERFORATED	PLYWD	PLYWOOD
CLR	CLEAR	GRSL	GROUND FLOOR	PERF	PERFORATED	PNT	PAINT
CLRM	CLASSROOM	GRSL	GROUND FLOOR	PERF	PERFORATED	POL	POLISHED
CM	CENTIMETER	GRSL	GROUND FLOOR	PERF	PERFORATED	PR	PAIR
CMU	CONCRETE MASONRY UNIT	GRSL	GROUND FLOOR	PERF	PERFORATED	PREFAB	PREFABRICATED(D)
CO	CANOPY	GRSL	GROUND FLOOR	PERF	PERFORATED	PREFIN	PREFINISHED
COL	COLUMN	GRSL	GROUND FLOOR	PERF	PERFORATED	PRELIM	PRELIMINARY
COMM	COMMUNICATION	GRSL	GROUND FLOOR	PERF	PERFORATED	PROJ	PROJECT
CONC	CONCRETE	GRSL	GROUND FLOOR	PERF	PERFORATED	PROP	PROPERTY
CONF	CONFERENCE	GRSL	GROUND FLOOR	PERF	PERFORATED	PS	PULL STATION
CONT	CONTINUOUS	GRSL	GROUND FLOOR	PERF	PERFORATED	PSF	POUNDS PER SQUARE FOOT
COORD	COORDINATE	GRSL	GROUND FLOOR	PERF	PERFORATED	PSI	POUNDS PER SQUARE INCH
CORR	CORRIDOR	GRSL	GROUND FLOOR	PERF	PERFORATED	PT	POINT/ PRESSURE TREATED
CP	CARPET	GRSL	GROUND FLOOR	PERF	PERFORATED	PTD	PAPER TOWEL DISPENSER
CPT	CARPET TILES	GRSL	GROUND FLOOR	PERF	PERFORATED	PTN	PARTITION
CT	CERAMIC TILE	GRSL	GROUND FLOOR	PERF	PERFORATED	PTS	PNEUMATIC TUBE SYSTEM
CTR	CENTER/CONTOUR	GRSL	GROUND FLOOR	PERF	PERFORATED	PVC	POLYVINYL CHLORIDE
CU	CUBIC	GRSL	GROUND FLOOR	PERF	PERFORATED	PVG	PAVING
CUH	CABINET UNIT HEATER	GRSL	GROUND FLOOR	PERF	PERFORATED	QTY	QUANTITY
CUST	CUSTOMER	GRSL	GROUND FLOOR	PERF	PERFORATED	R	THERMAL RESISTANCE, RADIUS, RISER
CW	COLD WATER PIPING/ CHEMICAL WASTELINE	GRSL	GROUND FLOOR	PERF	PERFORATED	RB	RUBBER BASE
D	DEEP, DEPTH, PENNY (NAIL)	JAN	JANITOR	RC	REINFORCED CONCRETE	RC	REINFORCED CONCRETE
DBL	DOUBLE	JAN CLO	JANITOR'S CLOSET	RCP	REFLECTED CEILING PLAN	RCP	REFLECTED CEILING PLAN
DEG	DEGREE	KIT	KITCHEN	RD	RECEPTION	RD	RECEPTION
DEMO	DEMOLISH, DEMOLITION	L	LONG, LENGTH	REC	RECESSED	REC	RECESSED
DEPT	DEPARTMENT	LAB	LABORATORY	REF	REFERENCE, REFRIGERATOR	REF	REFERENCE, REFRIGERATOR
DF	DRINKING FOUNTAIN	LAM	LAMINATED(D)	REF	REFERENCE, REFRIGERATOR	REF	REFERENCE, REFRIGERATOR
DIA	DIAMETER (EXTERIOR)	LAU	LAUNDRY	REQ(D)	REQUIRE, REQUIRED	REQ(D)	REQUIRE, REQUIRED
DIAG	DIAGONAL	LAV	LAVATORY	RESIL	RESILIENT	RESIL	RESILIENT
DIFF	DIFFUSER DIFFERENCE	LB	POUND(S)	REV	REVISION	REV	REVISION
DIM	DIMENSION	LF	LINEAR FOOT, (FEET)	RF	RIGHT HAND	RF	RIGHT HAND
DISP	DISPENSER	LH	LEFT HAND	RM	ROOM	RM	ROOM
DIV	DIVISION	LIB	LIBRARY	RO	ROUGH OPENING	RO	ROUGH OPENING
DL	DEAD LOAD	LKR	LOCKER	ROW	RIGHT OF WAY	ROW	RIGHT OF WAY
DR	DOOR/ DRAIN	LL	LIVE LOAD	RTF	RUBBER TILE FLOOR	RTF	RUBBER TILE FLOOR
DS	DOWNSPOUT	LLH	LONG LEG HORIZONTAL	RVL	REVEAL	RVL	REVEAL
DW	DISHWASHER	LLV	LONG LEG VERTICAL	S	SOUTH	S	SOUTH
DWG	DRAWING	LONG	LONGITUDINAL	SAN	SANITARY	SAN	SANITARY
E	EAST	LOC	LOCATION	SC	SOLID CORE	SC	SOLID CORE
EA	EACH	LPT	LOW POINT	SCHED	SCHEDULE	SCHED	SCHEDULE
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	LT	LIGHT	SECT	SECTION	SECT	SECTION
EJ	EXPANSION JOINT	LTG	LIGHTING	SF	SQUARE FOOT(FEET)	SF	SQUARE FOOT(FEET)
EL	ELEVATION	LVR	LOUVER	SGL	SINGLE	SGL	SINGLE
ELAST	ELASTOMERIC	ENCL	ENCLOSURE	SHR	SHOWER	SHR	SHOWER
ELEC	ELECTRICAL	ENGR	ENGINEER	SHT	SHEET	SHT	SHEET
ELEV	ELEVATOR	ENTR	ENTRANCE	SIM	SIMILAR	SIM	SIMILAR
EMER	EMERGENCY	EO	ELECTRIC OUTLET	SJ	SLIP JOINT, SCORED JOINT	SJ	SLIP JOINT, SCORED JOINT
EMER SHR	EMERGENCY SHOWER	EOS	EDGE OF SLAB	SPEC	SPECIFICATION	SPEC	SPECIFICATION
ENCL	ENCLOSURE	EP	ELECTRICAL PANEL	SPKR	SPEAKER	SPKR	SPEAKER
ENGR	ENGINEER	EQ	EQUAL	SS	SERVICE SINK	SS	SERVICE SINK
ENTR	ENTRANCE	EQIP	EQUIPMENT	SST	STAINLESS STEEL	SST	STAINLESS STEEL
EO	ELECTRIC OUTLET	ETC	ET CETERA	STA	STATION	STA	STATION
EOS	EDGE OF SLAB	ETR	EXISTING TO REMAIN	STD	STANDARD	STD	STANDARD
EP	ELECTRICAL PANEL	EW	EACH WAY	STL	STEEL	STL	STEEL
EQ	EQUAL	EWIC	ELECTRIC WATER COOLER	STOR	STORAGE	STOR	STORAGE
EQIP	EQUIPMENT	EXH	EXHAUST	STRUCT	STRUCTURAL	STRUCT	STRUCTURAL
ETC	ET CETERA	EXIST	EXISTING	SUSP	SUSPENDED	SUSP	SUSPENDED
ETR	EXISTING TO REMAIN	EXP	EXPANSION	SYS	SYSTEM	SYS	SYSTEM
EW	EACH WAY	EXT	EXTERIOR, EXTERNAL	SYMM	SYMMETRICAL	SYMM	SYMMETRICAL
EWIC	ELECTRIC WATER COOLER			T	TOILET	T	TOILET
EXH	EXHAUST			T/	TOP OF	T/	TOP OF
EXIST	EXISTING			TA	TOILET ACCESSORY	TA	TOILET ACCESSORY
EXP	EXPANSION			T&B	TOP & BOTTOM	T&B	TOP & BOTTOM
EXT	EXTERIOR, EXTERNAL			T&G	TONGUE & GROOVE	T&G	TONGUE & GROOVE

### MATERIALS

	SOIL - COMPACTED
	POROUS FILL - COURSE (CRUSHED STONE)
	POROUS FILL - MEDIUM (GRAVEL)
	POROUS FILL - FINE (SAND)
	BITUMINOUS PAVING (ASPHALT)
	CONCRETE - CAST IN PLACE
	CONCRETE - LIGHTWEIGHT (TOPPING)
	STONE - CAST
	MASONRY - BRICK
	MASONRY - GLAZED BRICK
	MASONRY - CONCRETE MASONRY UNIT (CMU)
	MASONRY - GLAZED OR GROUND FACED CMU
	MASONRY - STRUCTURAL CLAY TILE (TERRA COTTA)
	METAL - STEEL
	METAL - ALUMINUM
	METAL - ORNAMENTAL
	CONTINUOUS WOOD FRAMING
	DISCONTINUOUS WOOD BLOCKING OR SHIM
	WOOD - FINISH WOODWORK
	WOOD - PLYWOOD
	WOOD - PARTICLE BOARD
	WOOD - FLOORING
	GYPSUM WALLBOARD
	GYPSUM WALLBOARD - LEAD LINED
	RIGID INSULATION
	BATT INSULATION
	SEALANT FIREPROOFING
	MINERAL WOOL FIREPROOFING
	RESILIENT FLOORING
	CARPETING
	INSULATED GLAZING
	ACOUSTICAL CEILING PANEL

### SYMBOLS LEGEND

**SHEET NUMBER**  
A10-01  
SHEET NUMBER  
SHEET GROUP  
DISCIPLINE CODE

**NORTH ARROW**  
PLAN NORTH  
TRUE NORTH

**GRAPHIC SCALE**  
0 2' 4' 8'  
SCALE: 1" = 4'-0"

**COLUMN SYMBOL & GRID LINES**  
1 2 A  
0

**VERTICAL ELEVATION**  
LEVEL 2  
118'-6"

**SPOT ELEVATION**  
LEVEL 2  
118'-6"

**DATUM POINT**  
118'-6"

**MATCH LINE**  
MATCHLINE  
SEE 1 / A101  
SHEET NUMBER ON WHICH CONTINUATION IS FOUND

**BREAK LINE**

**DRAWING TITLE**  
TITLE  
1A  
1/4" = 1'-0"  
PLAN OR DETAIL DESIGNATION  
SCALE

**KEY NOTE**  
00 00 00.00  
TEXT  
THE FIRST SIX DIGITS (00 00 00) REFER TO THE THE LAST TWO DIGITS (.00) ARE NON-SEQUENTIAL AND ARE USED FOR ARCHITECT'S INTERNAL ORGANIZATION ONLY.

**PLAN NOTE**  
P10

**ROOM NAME & NUMBER TAG**  
NAME  
A101A

**DOOR NUMBER TAG**  
NEW DOOR & FRAME  
EXISTING DOOR & FRAME

**BUILDING SECTION TAG**  
SECTION DESIGNATION  
1  
SIM  
SHEET NUMBER

**DETAIL OR WALL SECTION TAG**  
SECTION DESIGNATION  
1  
SIM  
SHEET NUMBER

**PARTIAL PLAN & DETAIL TAG**  
PLAN OR DETAIL DESIGNATION  
1  
SIM  
SHEET NUMBER

**EXTERIOR ELEVATION TAG**  
ELEVATION DESIGNATION  
00  
118'-6"  
SHEET NUMBER

**INTERIOR ELEVATION TAG**  
ELEVATION DESIGNATION  
19 SIM  
A01-00  
19 SIM  
SHEET NUMBER

**DRAWING REVISIONS**  
REVISION NUMBER  
3

**AREA OUT OF SCOPE**

**CONTROL JOINT**  
CJ

**EXPANSION JOINT**  
EJ

**FLOOR DRAIN**  
FD

**TOILET ACCESSORY TAG**  
TA1

**WINDOW TYPE TAGS**  
11  
A  
L1  
INTERIOR WINDOW TAG (NUMERIC)  
EXTERIOR WINDOW TAG (ALPHA)  
LOUVER TYPE IDENTIFIER (ALPHA AND NUMERIC)

### GENERAL PROJECT NOTES

- ALL DOCUMENTS WERE PREPARED BASED ON A REVIEW OF AVAILABLE INFORMATION ABOUT THE EXISTING CONDITIONS. IN THE EVENT THAT CONDITIONS ARE DISCOVERED DURING CONSTRUCTION THAT VARY FROM THESE DOCUMENTS, THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
- ARCHITECTURAL PROFILES INDICATED IN THE DOCUMENTS ARE APPROXIMATIONS OF EXISTING CONDITIONS; WHERE INDICATED TO BE RESTORED, CONTRACTOR SHALL MATCH EXISTING PROFILES.
- ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.
- PENETRATIONS IN RATED WALL, FLOOR, CEILING AND ROOF ASSEMBLIES SHALL BE SEALED WITH A RATED PENETRATION SEALANT SYSTEM MEETING OR EXCEEDING THE REQUIRED FIRE RESISTIVE RATING OF THAT ASSEMBLY.
- MAINTAIN THE FIRE RESISTIVE RATING OF CONSTRUCTION AROUND AND BEHIND CABINETS, ELECTRICAL PANELS, JUNCTION BOXES AND OTHER DEVICES OR EQUIPMENT RECESSED INTO RATED ASSEMBLIES.
- INSTALL CONTINUOUS PERIMETER FIRE SAFING AT RATED FLOORS AND ROOFS AND COORDINATE THE INSTALLATION WITH THE EXTERIOR WALL. FIRE RATING OF SAFING SYSTEM SHALL MATCH FIRE RATING OF FLOOR AND/OR ROOF ASSEMBLY.
- DO NOT SCALE THE DRAWING. IF DIMENSIONS ARE IN QUESTION OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING.
- ALL PENETRATIONS IN BUILDING ENVELOPE TO BE REVIEWED BY ARCHITECT FOR LOCATION. PENETRATIONS IN EXTERIOR BUILDING AIR/VAPOR BARRIERS ARE NOT ALLOWED. CONTRACTOR SHALL VERIFY LOCATION OF EXTERIOR AIR/VAPOR BARRIERS PRIOR TO WORK ON EXTERIOR WALLS. EXTERIOR WALLS WITH AIR/VAPOR BARRIERS LOCATED ON THE INTERIOR SIDE OF STUD FRAMING SHALL NOT BE MODIFIED, INCLUDING MODIFICATIONS INDICATED FOR ELECTRICAL DEVICES AND/OR BLOCKING, WITHOUT PRIOR APPROVAL OF THE ARCHITECT.
- FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE OR UNFINISHED FLOOR UNLESS NOTED OTHERWISE.
- CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXTERIOR WINDOW FRAMES, AND CABINET WORK WITH ADJACENT MATERIALS.
- ACOUSTICALLY SEAL ALL THROUGH-FLOOR ELECTRICAL DEVICES AND WALL MOUNTED JUNCTION BOXES WITH AN ACOUSTIC SEALANT OR PUTTY PAD.
- SEALANTS EXPOSED TO VIEW SHALL BE CUSTOM COLOR AS SELECTED BY THE ARCHITECT.
- COORDINATE LOCATION AND COMPATIBILITY OF SEALANTS WITH ADJACENT WORK, INCLUDING MATERIALS AND OTHER CONTIGUOUS SEALANTS.
- DRAWINGS INDICATE DESIGN INTENT; ACTUAL CONDITIONS MAY VARY & CONTRACTOR SHALL PROVIDE FURRING WHERE REQUIRED TO COMPLY WITH DOCUMENT INTENT.
- ALL EXISTING SURFACES TO BE CLEANED UNLESS NOTED OTHERWISE. ALL EXISTING SURFACE TREATMENTS TO BE REVIEWED BY OWNER.

### PARTITION & DOOR NOTES

- PARTITIONS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE UNFINISHED FACE OF THE WALL (FACE OF DRYWALL OR TILE BACKER BOARD) UNLESS NOTED OTHERWISE.
- PARTITIONS NOT DIMENSIONED ARE GENERALLY LOCATED BY ONE OF THE FOLLOWING CRITERIA:
  - CENTERLINE - CENTER OF PARTITION ALIGNS WITH THE CENTER OF GRIDLINE OR OBJECT CENTERLINE (SUCH AS A COLUMN OR WINDOW MULLION). CENTER THE OVERALL PARTITION WIDTH, RATHER THAN STUD WIDTH ON THE RELATED CENTERLINE.
  - ALIGN - LOCATE PARTITION FLUSH WITH FACE OF ANOTHER PARTITION OR ANOTHER SURFACE AS INDICATED.
  - SPECIFICALLY MAINTAIN DIMENSIONS NOTED AS "MINIMUM" OR "CLEAR".
- DOOR OPENINGS ARE DIMENSIONED TO CENTERLINE OF OPENING. IF NOT DIMENSIONED, THE HINGE SIDE OF DOOR SHALL BE SPACED 4" (INCLUDING THE JAMB) FROM THE ADJACENT WALL.
- VERIFY IN FIELD WITH ARCHITECT.

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1617.478.0321  
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**PROJECT**  
**Fowler Clark Epstein Farm**  
487 Norfolk Street Boston, Massachusetts 02126

**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119

**CONSULTANTS**  
**Structures North**  
Structural Consultant  
60 Washington Street, Suite 401  
Salem, Massachusetts 01970  
1978.745.6817  
1978.745.6067

Construction Documents  
February 1, 2017

NO	ISSUE	DATE
000035.015		
Checked	BT	
Approved	Approver	
<b>TITLE</b>		
<b>ARCHITECTURAL GENERAL NOTES, SYMBOLS AND ABBREVIATIONS</b>		
<b>SHEET NUMBER</b>		

**A00-00**



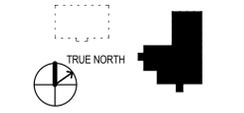
**PROJECT**

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Epstein Farm**  
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Massachusetts 02126

**Fowler Clark Farm LLC**  
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**CONSULTANTS**

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Construction Documents  
February 1, 2017

**ISSUE CHART**

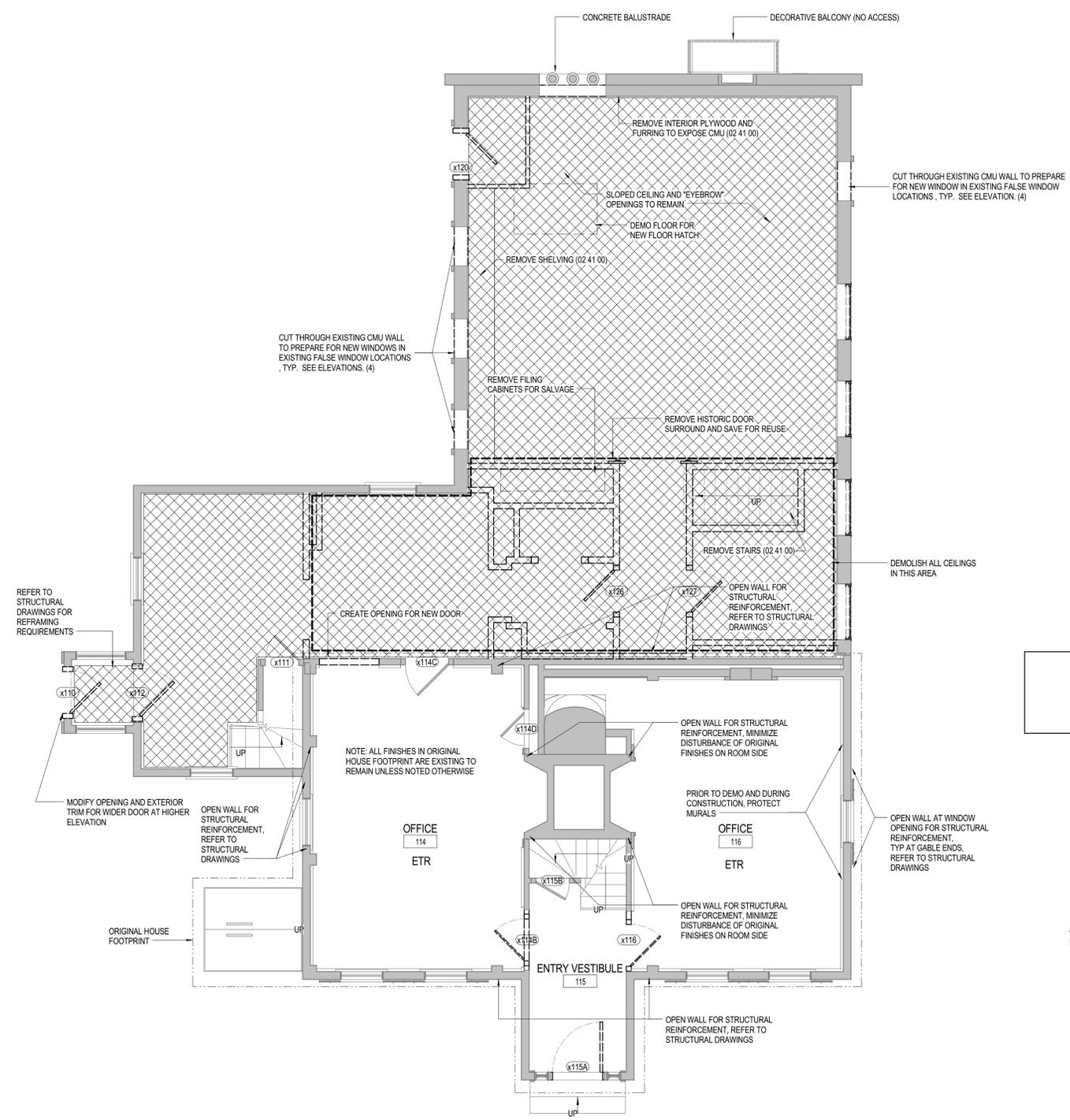
NO	ISSUE	DATE
Job Number		000035.015
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Approved		Approver

**TITLE**  
**HOUSE -  
DEMOLITION PLANS  
- BASEMENT AND  
LEVEL 01**

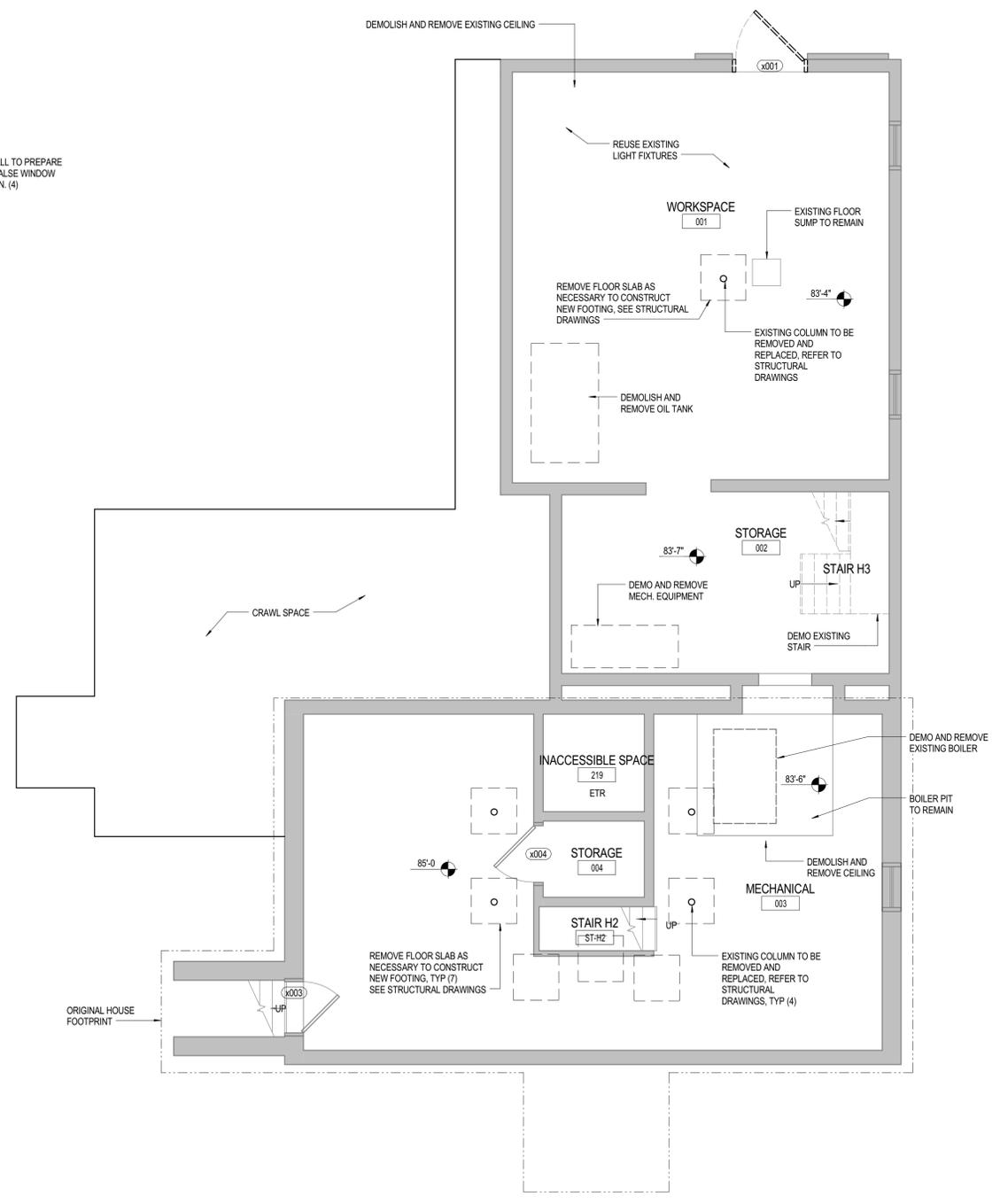
**SHEET NUMBER**

**A04-01**

**2 HOUSE - LEVEL 01 - DEMOLITION PLAN**  
1/4" = 1'-0"



**1 HOUSE - BASEMENT - DEMOLITION PLAN**  
1/4" = 1'-0"



**DEMOLITION LEGEND**

	EXISTING PARTITION TO REMAIN		REMOVE ALL FINISHES DOWN TO THE BARE STUDS, PRESERVE EXISTING FLOOR.
	EXISTING PARTITION TO BE DEMOLISHED		REMOVE ALL FINISHES DOWN TO BARE STUDS & SUBFLOOR. RETAIN AND REINSTALL EXISTING BASEBOARD AND WINDOWS IN FOYER 111 AND CASING AROUND DOOR IN VESTIBULE 110
	EXISTING DOOR AND FRAME TO REMAIN		
	EXISTING DOOR AND FRAME TO BE REMOVED		

**DEMOLITION PLAN NOTES**

- SAVE ALL DOORS, FRAMES AND TRIM SHOWN TO BE DEMOLISHED AND SAVE FOR REUSE. COORDINATE STORAGE WITH OWNER'S PROGRAM MANAGER.
- REVIEW ENTIRE BUILDING (INTERIOR AND EXTERIOR) WITH OWNER'S PROGRAM MANAGER TO CONFIRM ALL ITEMS TO BE REMOVED AND SAVED FOR THE OWNER'S USE.
- REFER TO STRUCTURAL DRAWINGS FOR DEMOLITION SCOPE NOT NOTED IN ARCH. DEMO DRAWINGS. WHERE EXISTING STRUCTURE REQUIRES REMOVAL AND REPLACEMENT, SELECTIVE DEMOLITION OF ADJACENT STRUCTURE AND FINISHES MAY BE REQUIRED.
- MINIMIZE DISTURBANCE OF ORIGINAL FINISHES TO REMAIN.
- CONTRACTOR TO REVIEW DEMOLITION, SALVAGE & PRESERVATION STRATEGY FOR ENTIRE PROJECT PRIOR TO CONSTRUCTION IN THE ORIGINAL HOUSE FOOTPRINT WHERE POSSIBLE. ACCESS TO CONSTRUCT NEW BLDG. STRUCTURE FROM EXTERIOR TO PRESERVE INTERIOR FINISHES.
- DEMOLISH AND REMOVE ALL ABANDONED MEP. EQUIPMENT, ASSOCIATED DUCTWORK AND PIPING.
- DEMOLISH/REMOVE ALL ROOFING MATERIALS ON ALL ROOFS. TYPICAL. REPAIR DAMAGED AND ROTTED SUBSTRATE AS NECESSARY. PROVIDE CEILING/ ROOF INSULATION AS REQUIRED BEFORE INSTALLING NEW ROOF MATERIALS. SEE ROOF DETAILS FOR CONSTRUCTION.
- CONTRACTOR AND OWNER TO PREPARE AN INVENTORY LIST OF ITEMS TO BE SALVAGED. PHOTOGRAPH ITEMS BEFORE DEMOLITION. ALL LOCATIONS, TYPICAL.

**DEMOLITION PLAN GENERAL NOTES**

- SAVE ALL DOORS, FRAMES AND TRIM SHOWN TO BE DEMOLISHED AND SAVE FOR REUSE. COORDINATE STORAGE WITH OWNER'S PROGRAM MANAGER.
- REVIEW ENTIRE BUILDING (INTERIOR AND EXTERIOR) WITH OWNER'S PROGRAM MANAGER TO CONFIRM ALL ITEMS TO BE REMOVED AND SAVED FOR THE OWNER'S USE.
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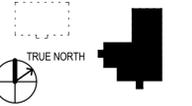
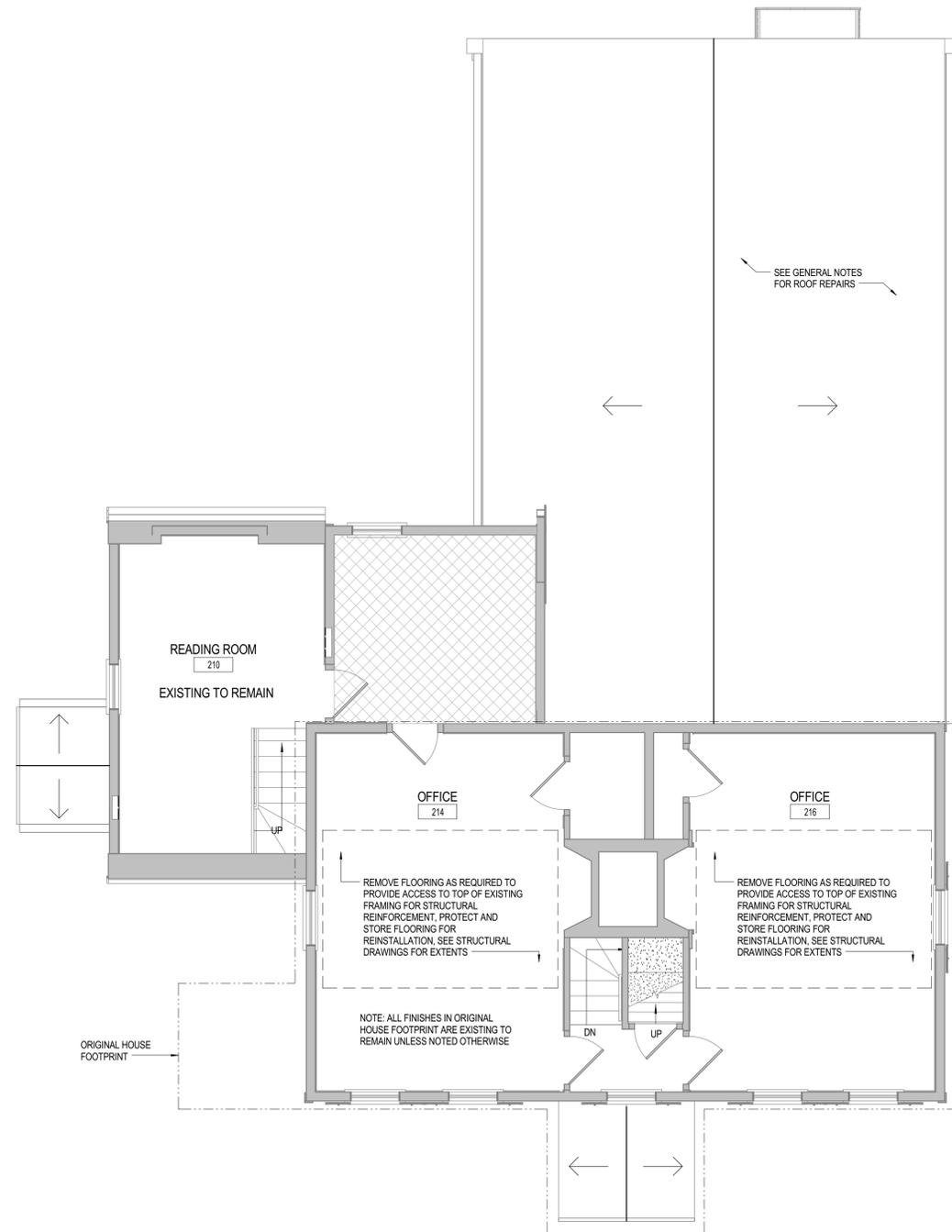
**PROJECT**

**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
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**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119

**CONSULTANTS**

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**1 HOUSE - LEVEL 02 - DEMOLITON PLAN**  
1/4" = 1'-0"

**DEMOLITION LEGEND**

- |                                       |   |
|---------------------------------------|---|
| EXISTING PARTITION TO REMAIN          | REMOVE ALL FINISHES DOWN TO THE BARE STUDS, PRESERVE EXISTING FLOOR.  |
| EXISTING PARTITION TO BE DEMOLISHED   | REMOVE ALL FINISHES DOWN TO BARE STUDS & SUBFLOOR. RETAIN AND REINSTALL EXISTING BASEBOARD AND WINDOWS IN FOYER 111 AND CASING AROUND DOOR IN VESTIBULE 110 |
| EXISTING DOOR AND FRAME TO REMAIN     |   |
| EXISTING DOOR AND FRAME TO BE REMOVED |   |

**DEMOLITION PLAN NOTES**

**DEMOLITION PLAN GENERAL NOTES**

- SAVE ALL DOORS, FRAMES AND TRIM SHOWN TO BE DEMOLISHED AND SAVE FOR REUSE. COORDINATE STORAGE WITH OWNER'S PROGRAM MANAGER.
- REVIEW ENTIRE BUILDING (INTERIOR AND EXTERIOR) WITH OWNER'S PROGRAM MANAGER TO CONFIRM ALL ITEMS TO BE REMOVED AND SAVED FOR THE OWNER'S USE.
- REFER TO STRUCTURAL DRAWINGS FOR DEMOLITION SCOPE NOT NOTED IN ARCH. DEMO DRAWINGS. WHERE EXISTING STRUCTURE REQUIRES REMOVAL AND REPLACEMENT, SELECTIVE DEMOLITION OF ADJACENT STRUCTURE AND FINISHES MAY BE REQUIRED.
- MINIMIZE DISTURBANCE OF ORIGINAL FINISHES TO REMAIN.
- CONTRACTOR TO REVIEW DEMOLITION, SALVAGE & PRESERVATION STRATEGY FOR ENTIRE PROJECT PRIOR TO CONSTRUCTION IN THE ORIGINAL HOUSE FOOTPRINT WHERE POSSIBLE. ACCESS TO CONSTRUCT NEW BLDG. STRUCTURE FROM EXTERIOR TO PRESERVE INTERIOR FINISHES.
- DEMOLISH AND REMOVE ALL ABANDONED MEP. EQUIPMENT, ASSOCIATED DUCTWORK AND PIPING.
- DEMOLISH/ REMOVE ALL ROOFING MATERIALS ON ALL ROOFS. TYPICAL. REPAIR DAMAGED AND ROTTED SUBSTRATE AS NECESSARY. PROVIDE CEILING/ ROOF INSULATION AS REQUIRED BEFORE INSTALLING NEW ROOF MATERIALS. SEE ROOF DETAILS FOR CONSTRUCTION.
- CONTRACTOR AND OWNER TO PREPARE AN INVENTORY LIST OF ITEMS TO BE SALVAGED. PHOTOGRAPH ITEMS BEFORE DEMOLITION. ALL LOCATIONS, TYPICAL.

Construction Documents

February 1, 2017

**ISSUE CHART**

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Job Number		000035.015
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Approved		Approver

**HOUSE -  
DEMOLITION PLANS  
LEVEL 02 AND ROOF**

**SHEET NUMBER**

**A04-02**



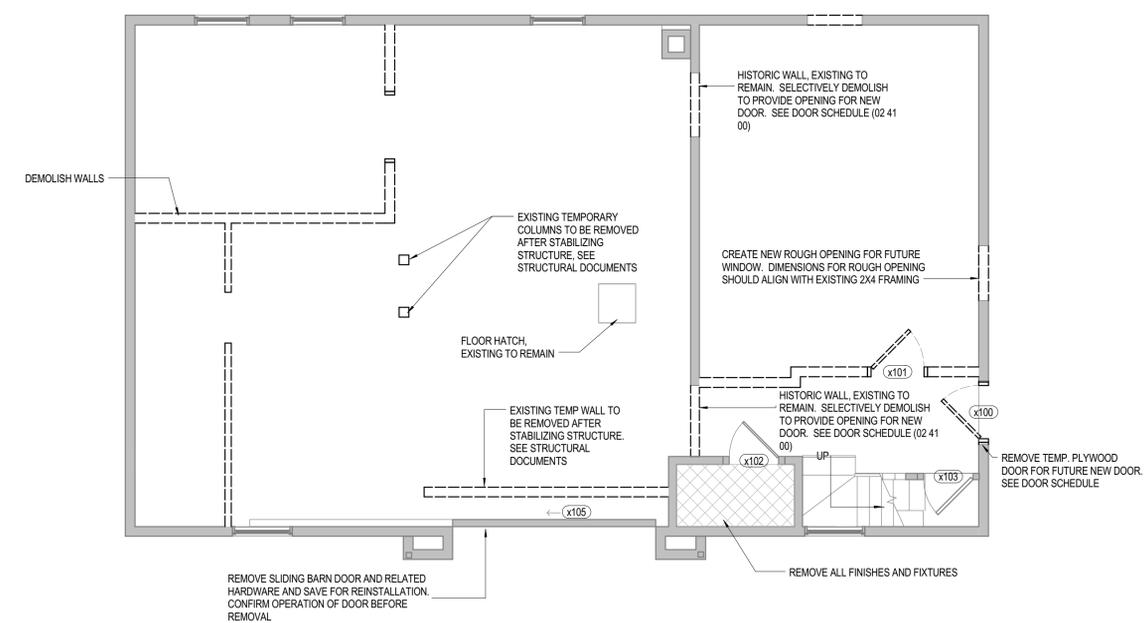
**PROJECT**

**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
Massachusetts 02126

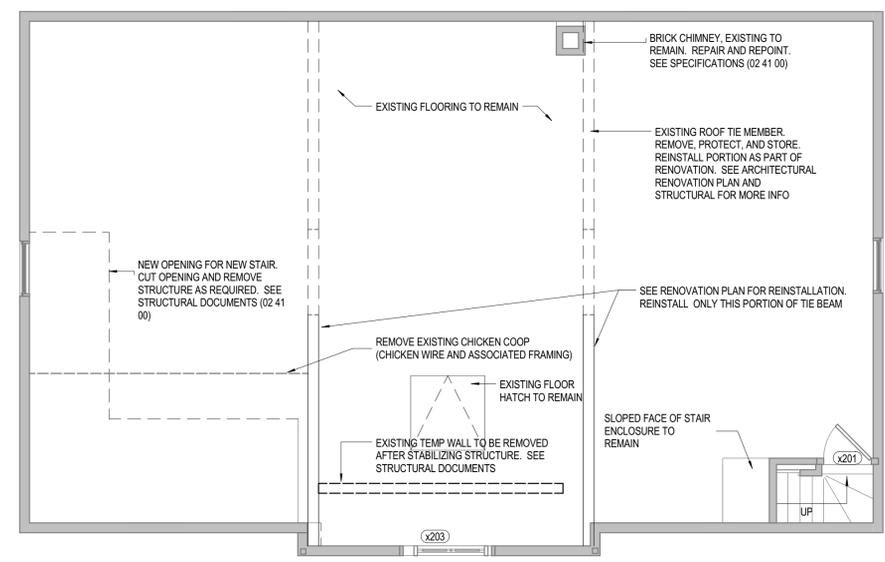
**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119

**CONSULTANTS**

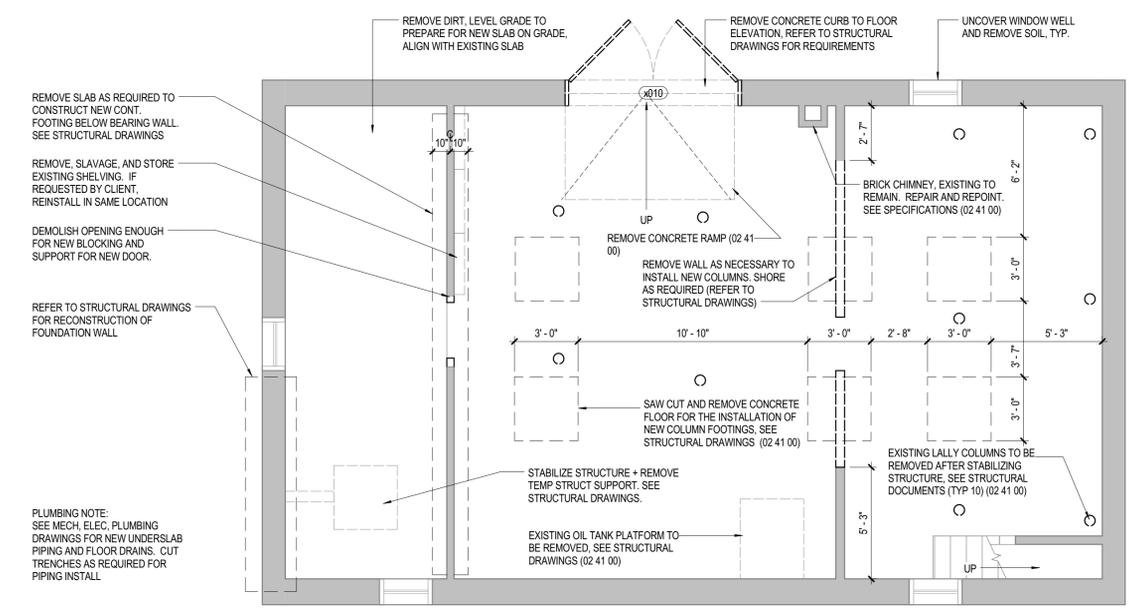
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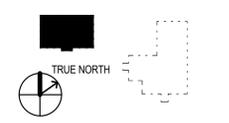
**2 BARN - LEVEL 01 - DEMOLITION PLAN**  
1/4" = 1'-0"



**3 BARN - LEVEL 02 - DEMOLITION PLAN**  
1/4" = 1'-0"



**1 BARN - BASEMENT - DEMOLITION PLAN**  
1/4" = 1'-0"



Construction Documents  
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<b>TITLE</b>		

**BARN - DEMOLITION PLANS**

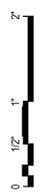
**SHEET NUMBER**

**A04-11**

DEMOLITION LEGEND	
	EXISTING PARTITION TO REMAIN
	EXISTING PARTITION TO BE DEMOLISHED
	EXISTING DOOR AND FRAME TO REMAIN
	EXISTING DOOR AND FRAME TO BE REMOVED
	REMOVE ALL FINISHES DOWN TO THE BARE STUDS, PRESERVE EXISTING FLOOR.
	REMOVE ALL FINISHES DOWN TO BARE STUDS & SUBFLOOR. RETAIN AND REINSTALL EXISTING BASEBOARD AND WINDOWS IN FOYER 111 AND CASING AROUND DOOR IN VESTIBULE 110

DEMOLITION PLAN NOTES
1. SEE MECH, ELEC, PLUMBING DRAWINGS FOR NEW UNDERSLAB PIPING AND FLOOR DRAINS. CUT TRENCHES AS REQUIRED FOR PIPING INSTALL.

DEMOLITION PLAN GENERAL NOTES
1. SAVE ALL DOORS, FRAMES AND TRIM SHOWN TO BE DEMOLISHED AND SAVE FOR REUSE. COORDINATE STORAGE WITH OWNER'S PROGRAM MANAGER.
2. REVIEW ENTIRE BUILDING (INTERIOR AND EXTERIOR) WITH OWNER'S PROGRAM MANAGER TO CONFIRM ALL ITEMS TO BE REMOVED AND SAVED FOR THE OWNER'S USE.
3. REFER TO STRUCTURAL DRAWINGS FOR DEMOLITION SCOPE NOT NOTED IN ARCH. DEMO DRAWINGS. WHERE EXISTING STRUCTURE REQUIRES REMOVAL AND REPLACEMENT, SELECTIVE DEMOLITION OF ADJACENT STRUCTURE AND FINISHES MAY BE REQUIRED.
4. MINIMIZE DISTURBANCE OF ORIGINAL FINISHES TO REMAIN.
5. CONTRACTOR TO REVIEW DEMOLITION, SALVAGE & PRESERVATION STRATEGY FOR ENTIRE PROJECT PRIOR TO CONSTRUCTION IN THE ORIGINAL HOUSE FOOTPRINT WHERE POSSIBLE. ACCESS TO CONSTRUCT NEW BLDG. STRUCTURE FROM EXTERIOR TO PRESERVE INTERIOR FINISHES.
6. DEMOLISH AND REMOVE ALL ABANDONED MEP, EQUIPMENT, ASSOCIATED DUCTWORK AND PIPING.
7. DEMOLISH/REMOVE ALL ROOFING MATERIALS ON ALL ROOFS. TYPICAL. REPAIR DAMAGED AND ROTTED SUBSTRATE AS NECESSARY. PROVIDE CEILING/ ROOF INSULATION AS REQUIRED BEFORE INSTALLING NEW ROOF MATERIALS. SEE ROOF DETAILS FOR CONSTRUCTION.
8. CONTRACTOR AND OWNER TO PREPARE AN INVENTORY LIST OF ITEMS TO BE SALVAGED. PHOTOGRAPH ITEMS BEFORE DEMOLITION. ALL LOCATIONS, TYPICAL.



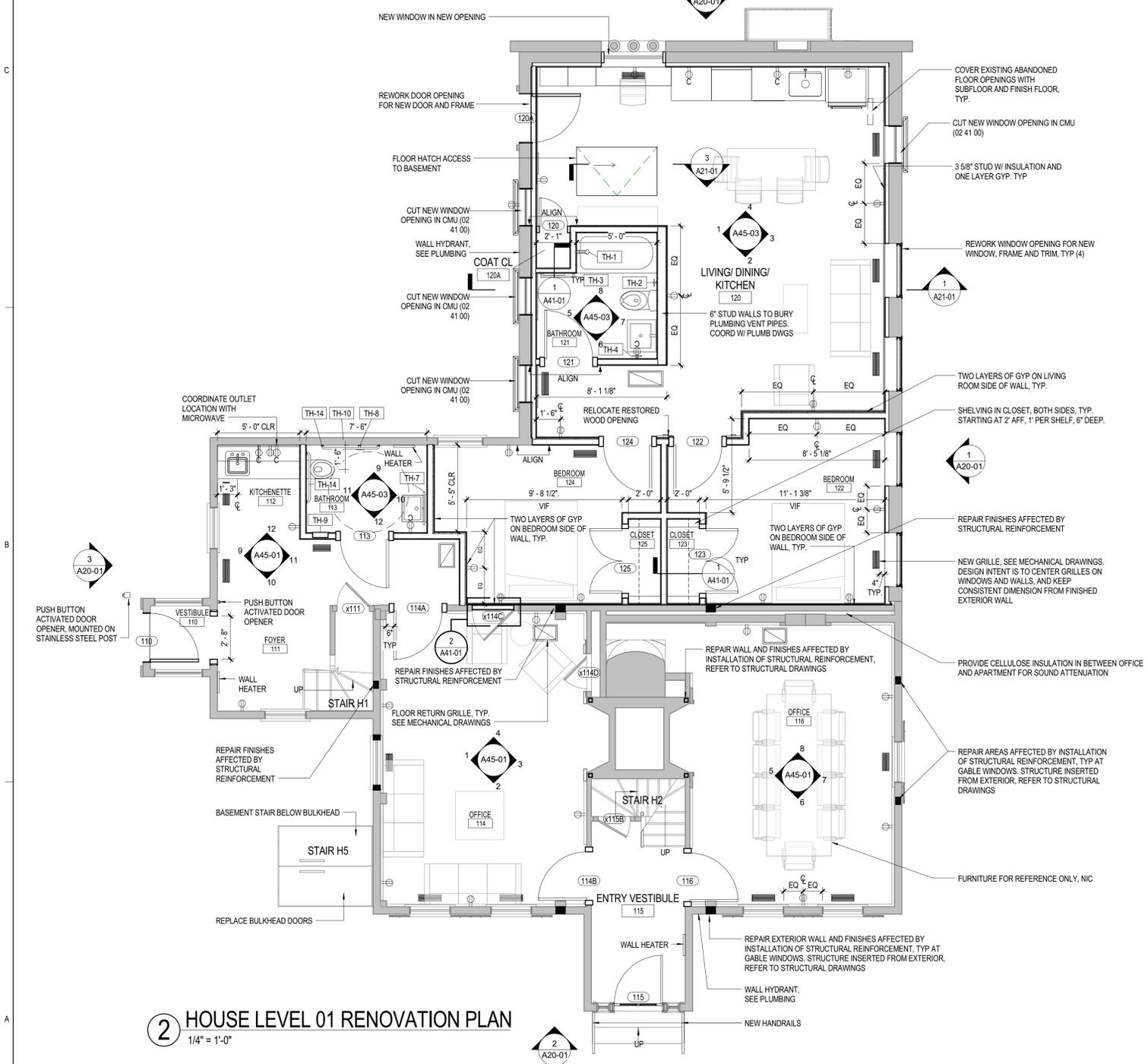
**PROJECT**

**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
Massachusetts 02126

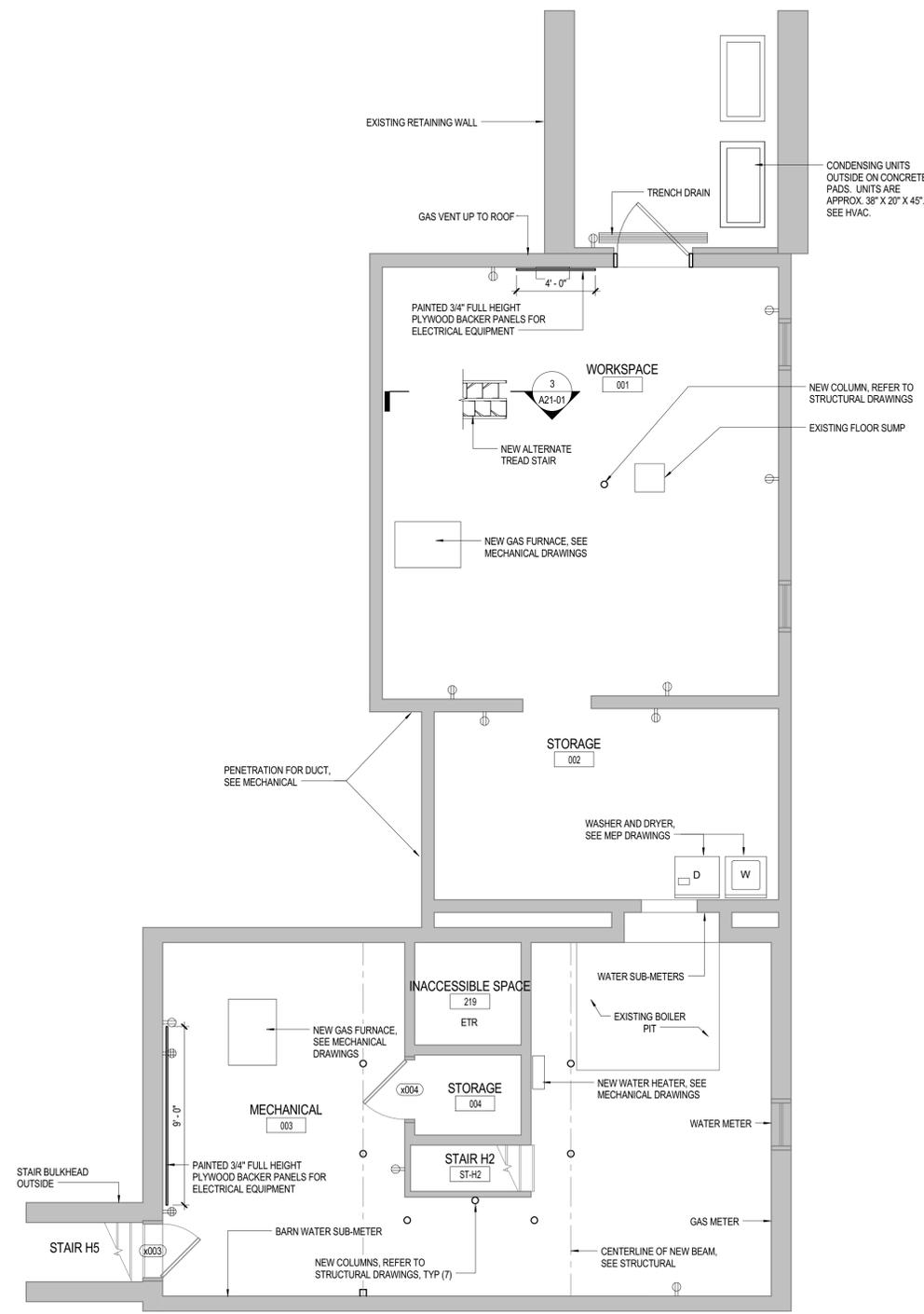
**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119

**CONSULTANTS**

Structural Consultant  
**Structures North**  
60 Washington Street, Suite 401  
Salem, Massachusetts 01970  
1978.745.6817  
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**2 HOUSE LEVEL 01 RENOVATION PLAN**  
1/4" = 1'-0"



**1 HOUSE BASEMENT RENOVATION PLAN**  
1/4" = 1'-0"

**PARTITION PLAN LEGEND**

- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- DOOR NUMBER, REFER TO DOOR AND HARDWARE SCHEDULE ON SHEET A62-01 FOR FURTHER INFORMATION
- LINEAR SUPPLY DIFFUSER, SEE MECHANICAL DRAWINGS
- RETURN DIFFUSER, SEE MECHANICAL DRAWINGS
- WALL OUTLET MOUNTED AT 18" U.O., SEE ELECTRICAL DRAWINGS
- COUNTER HEIGHT WALL OUTLET, SEE ELECTRICAL DRAWINGS
- FLOOR DRAIN

**PARTITION PLAN NOTES**

NOTE: CLOSED CELL SPRAY INSULATION WILL ONLY BE USED IN SINGLE STORY. ADDITION. NO SPRAY INSULATION IN MAIN HISTORIC PART OF THE HOUSE.

**PARTITION PLAN GENERAL NOTES**

1. ALL NEW WALLS ARE 2x4 WOOD STUD WITH ONE LAYER OF 5/8" TYPE X GYP ON EACH SIDE UNLESS NOTED OTHERWISE.
2. EXTERIOR OF HOUSE TO RECEIVE BLOWN IN CELLULOSE INSULATION FROM EXTERIOR.
3. ALL THE WALLS TO RECEIVE MOISTURE RESISTANT BOARD.
4. EXPOSED PIPES BELOW CABINETS ARE PROTECTED BY PIPE INSULATING COVERS, TYP.
5. WALLS TO BE THICKENED WHERE PIPING/VENTS ARE REQUIRED. WAIT FOR PLUMBER.
6. ALL ROOFS TO RECEIVE NEW ROOFING MATERIALS. REPAIR DAMAGED AND ROTTEN SUBSTRATE AS NECESSARY. PROVIDE CEILING/ROOF INSULATION AS REQUIRED BEFORE INSTALLING NEW ROOF MATERIALS. SEE ROOF DETAILS FOR CONSTRUCTION.
7. PATCH AND REPAIR FLOOR WHERE UNEVEN OR ROTTEN AS NECESSARY. CLEAR EPOXY TO MAINTAIN VISUAL OF UNEVENNESS IN FLOORING

Construction Documents  
February 1, 2017

**ISSUE CHART**

NO	ISSUE	DATE
Job Number		000035.015
Checked		BT
Approved		Approver

**HOUSE - FLOOR  
PLAN - BASEMENT  
AND LEVEL 01**

**SHEET NUMBER**

**A11-01**



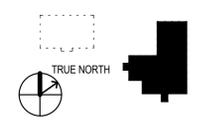
**PROJECT**

**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
Massachusetts 02126

**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119

**CONSULTANTS**

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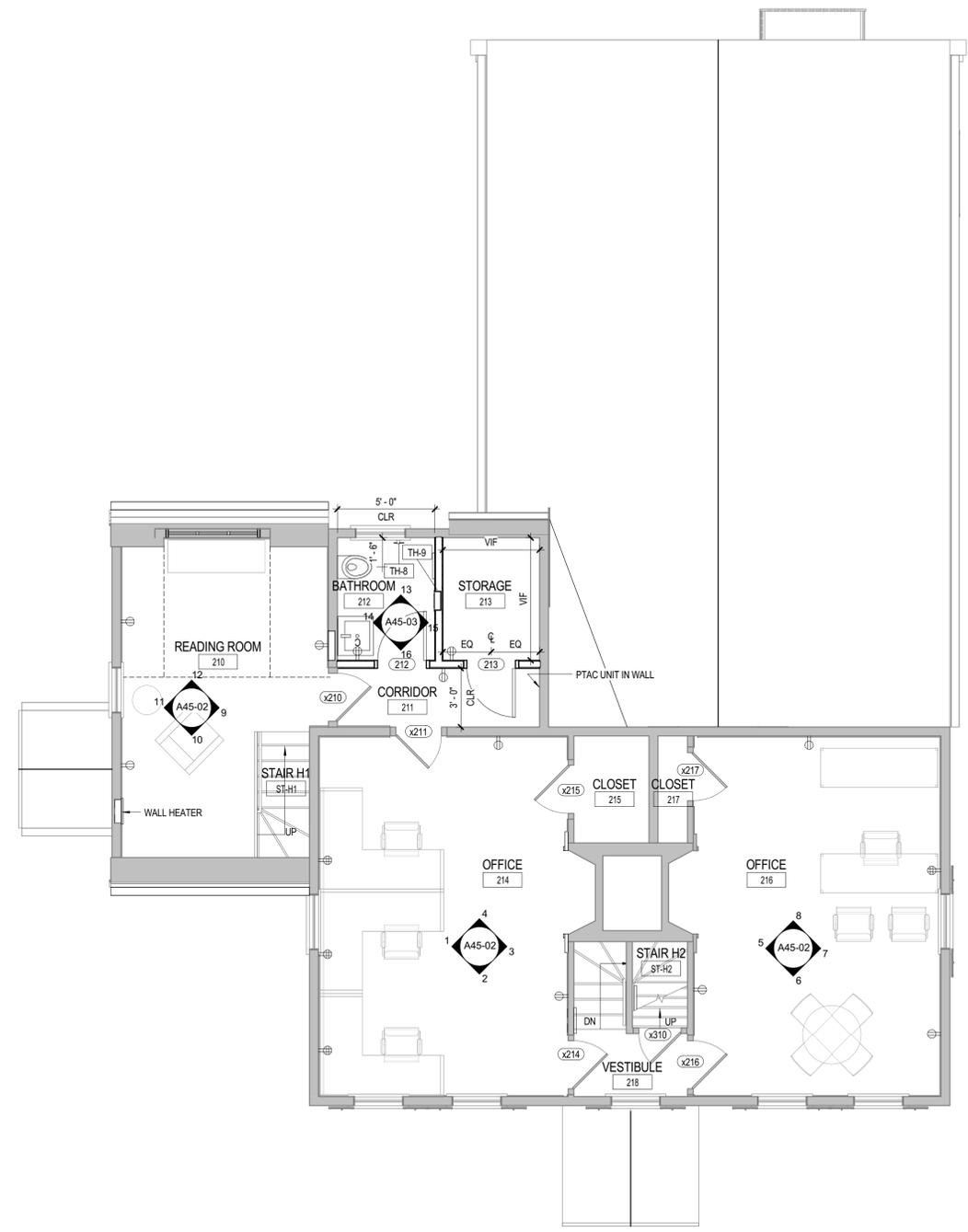
Construction Documents  
February 1, 2017  
**ISSUE CHART**

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Approved		Approver

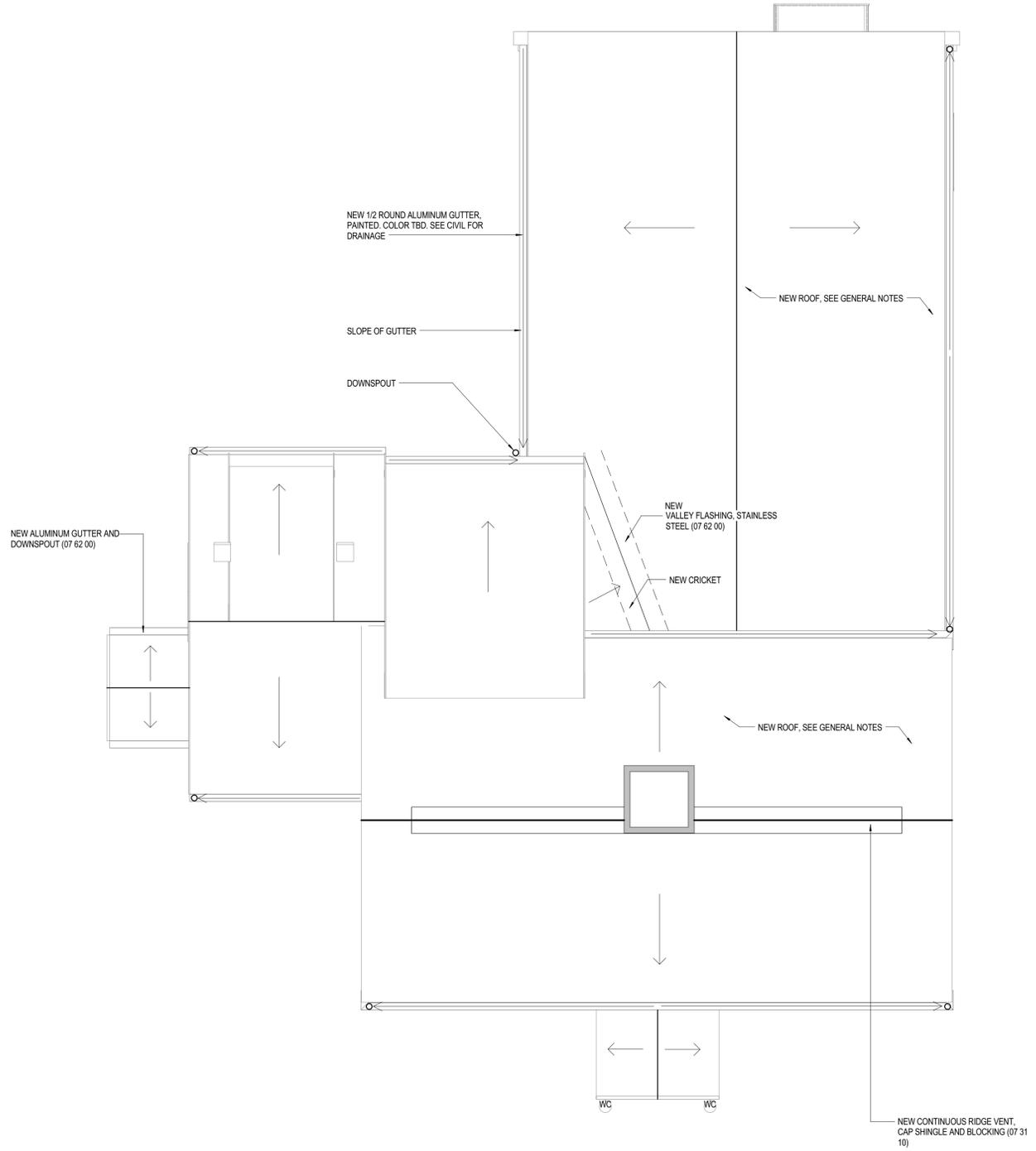
**HOUSE - FLOOR  
PLAN - LEVEL 02  
AND ROOF**

**SHEET NUMBER**

**A11-02**



**1 HOUSE LEVEL 02 RENOVATION PLAN**  
1/4" = 1'-0"



**2 HOUSE ROOF RENOVATION PLAN**  
1/4" = 1'-0"

**PARTITION PLAN LEGEND**

- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- DOOR NUMBER, REFER TO DOOR AND HARDWARE SCHEDULE ON SHEET A62-01 FOR FURTHER INFORMATION
- LINEAR SUPPLY DIFFUSER, SEE MECHANICAL DRAWINGS
- RETURN DIFFUSER, SEE MECHANICAL DRAWINGS
- WALL OUTLET MOUNTED AT 18" U.N.O, SEE ELECTRICAL DRAWINGS
- COUNTER HEIGHT WALL OUTLET, SEE ELECTRICAL DRAWINGS
- FLOOR DRAIN

**PARTITION PLAN NOTES**

NOTE: CLOSED CELL SPRAY INSULATION WILL ONLY BE USED IN SINGLE STORY ADDITION. NO SPRAY INSULATION IN MAIN HISTORIC PART OF THE HOUSE.

**PARTITION PLAN GENERAL NOTES**

1. ALL NEW WALLS ARE 2x4 WOOD STUD WITH ONE LAYER OF 5/8" TYPE X GYP ON EACH SIDE UNLESS NOTED OTHERWISE.
2. EXTERIOR OF HOUSE TO RECEIVE BLOWN IN CELLULOSE INSULATION FROM EXTERIOR.
3. ALL THE WALLS TO RECEIVE MOISTURE RESISTANT BOARD.
4. EXPOSED PIPES BELOW CABINETS ARE PROTECTED BY PIPE INSULATING COVERS, TYP.
5. WALLS TO BE THICKENED WHERE PIPING/VENTS ARE REQUIRED. WAIT FOR PLUMBER.
6. ALL ROOFS TO RECEIVE NEW ROOFING MATERIALS. REPAIR DAMAGED AND ROTTEN SUBSTRATE AS NECESSARY. PROVIDE CEILING/ROOF INSULATION AS REQUIRED BEFORE INSTALLING NEW ROOF MATERIALS. SEE ROOF DETAILS FOR CONSTRUCTION.
7. PATCH AND REPAIR FLOOR WHERE UNEVEN OR ROTTEN AS NECESSARY. CLEAR EPOXY TO MAINTAIN VISUAL OF UNEVENNESS IN FLOORING

**PROJECT**

**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
Massachusetts 02126

**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119

**CONSULTANTS**

**Structures North**  
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Construction Documents  
February 1, 2017

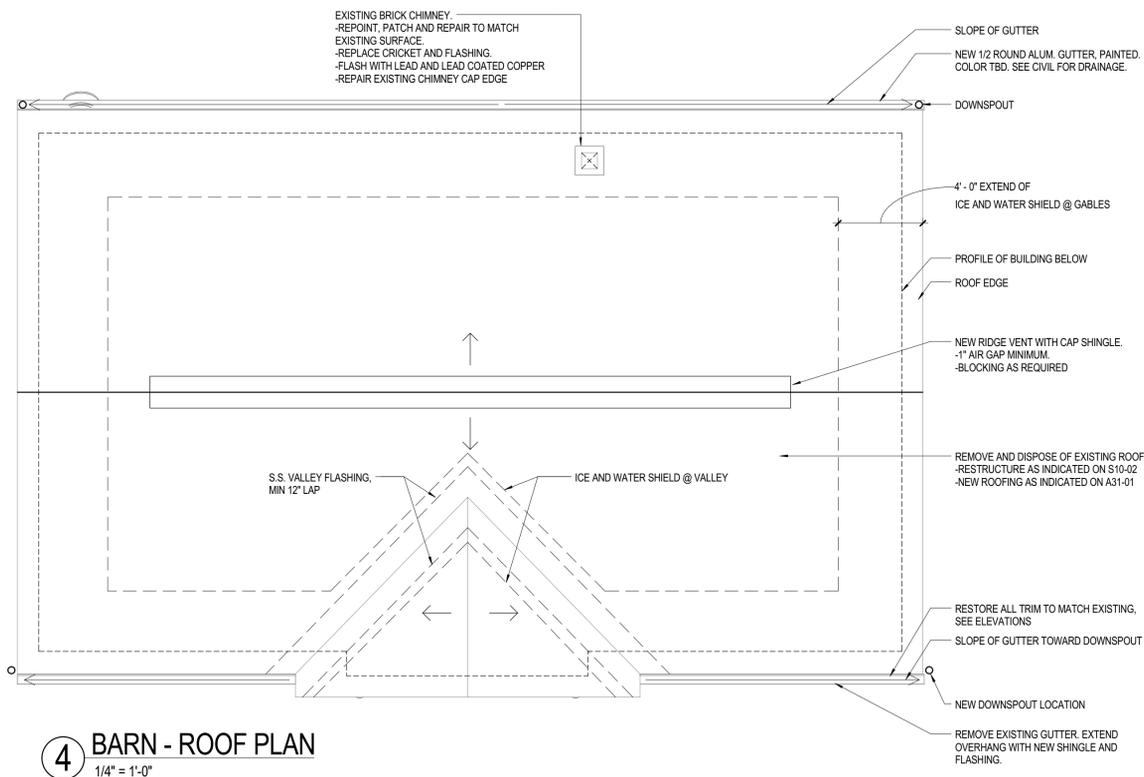
**ISSUE CHART**

NO	ISSUE	DATE
Job Number		000035.015
Checked		BT
Approved		Approver
<b>TITLE</b>		

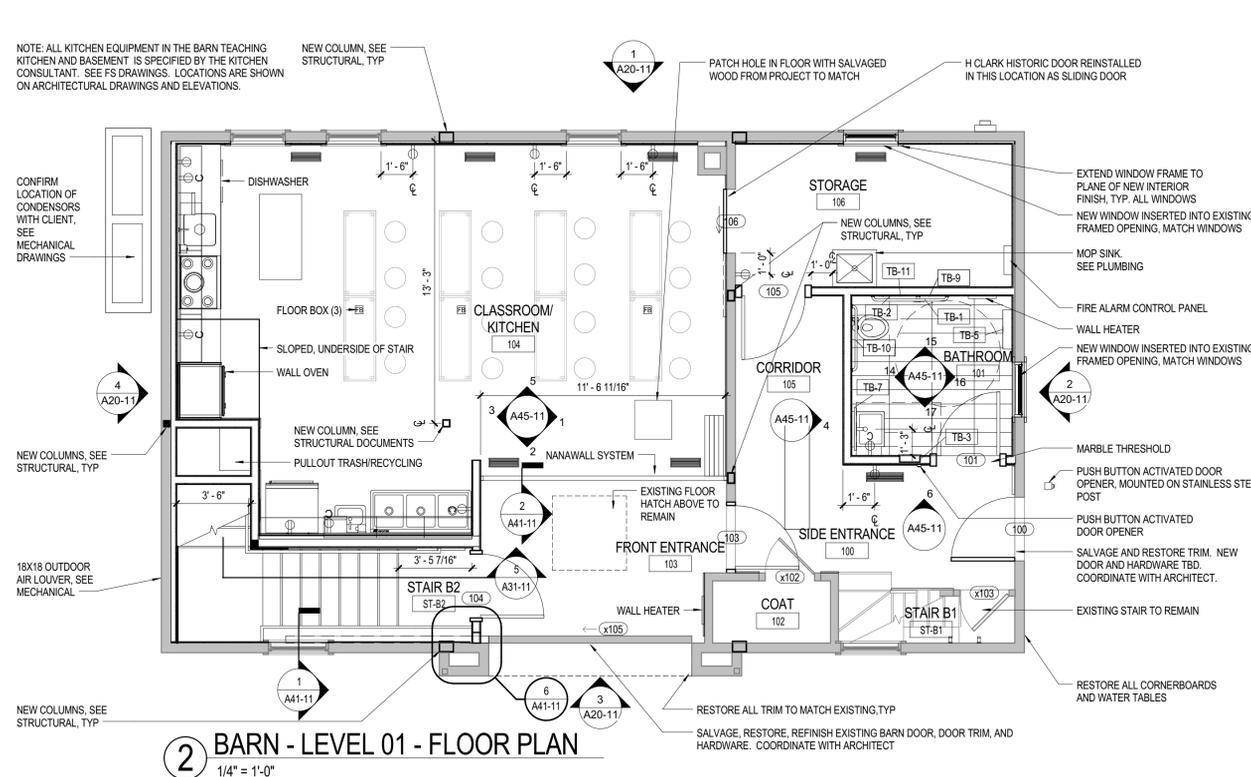
**BARN - FLOOR PLANS**

**SHEET NUMBER**

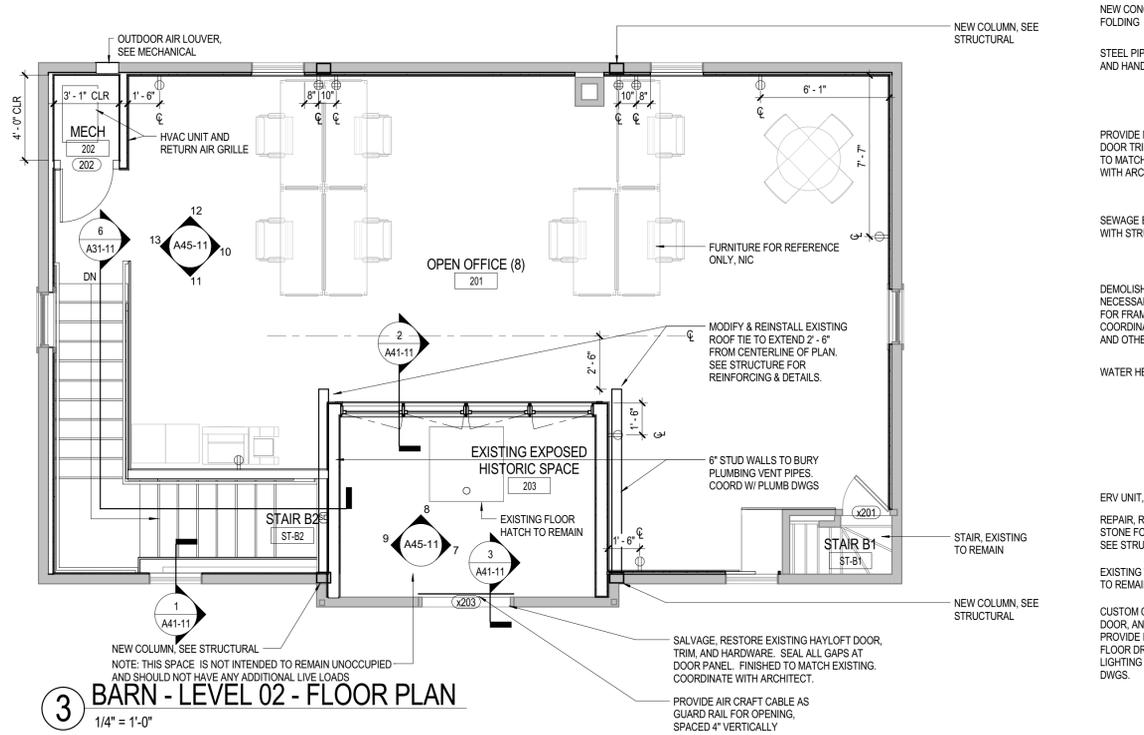
**A11-11**



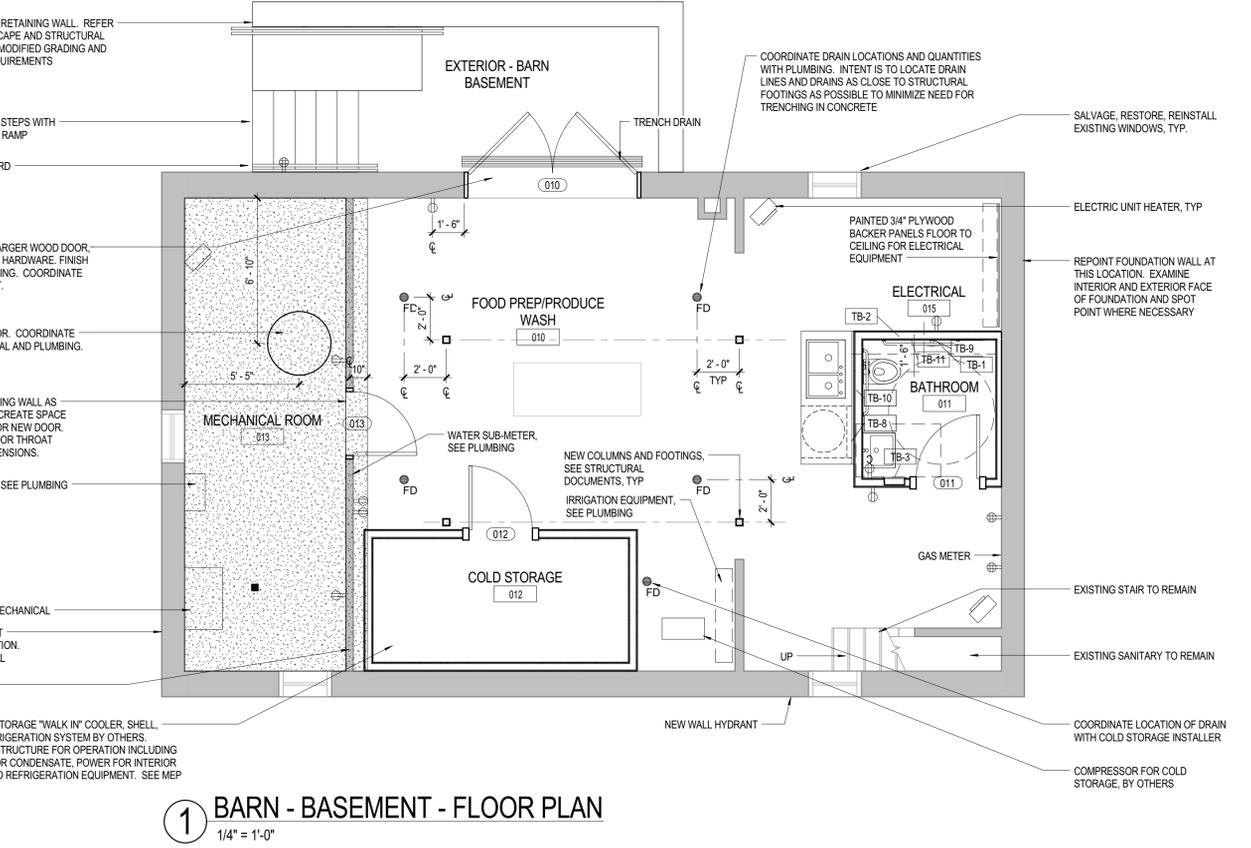
**4 BARN - ROOF PLAN**  
1/4" = 1'-0"



**2 BARN - LEVEL 01 - FLOOR PLAN**  
1/4" = 1'-0"



**3 BARN - LEVEL 02 - FLOOR PLAN**  
1/4" = 1'-0"



**1 BARN - BASEMENT - FLOOR PLAN**  
1/4" = 1'-0"

**PARTITION PLAN LEGEND**

	EXISTING PARTITION TO REMAIN		LINEAR SUPPLY DIFFUSER, SEE MECHANICAL DRAWINGS
	NEW PARTITION		RETURN DIFFUSER, SEE MECHANICAL DRAWINGS
	DOOR NUMBER, REFER TO DOOR AND HARDWARE SCHEDULE ON SHEET A62-01 FOR FURTHER INFORMATION		WALL OUTLET MOUNTED AT 18" U.O., SEE ELECTRICAL DRAWINGS
			COUNTER HEIGHT WALL OUTLET, SEE ELECTRICAL DRAWINGS
			FLOOR DRAIN

**PARTITION PLAN NOTES**

1. MAINTAIN OPERABILITY OF FLOOR/CEILING HATCH, TYP. SED IN SINGLE STORY ADDITION. NO SPRAY INSULATION IN MAIN HISTORIC PART OF THE HOUSE.

**PARTITION PLAN GENERAL NOTES**

1. ALL NEW WALLS ARE 2x4 WOOD STUD WITH ONE LAYER OF 5/8" TYPE X GYP ON EACH SIDE UNLESS NOTED OTHERWISE.
2. EXTERIOR OF HOUSE TO RECEIVE BLOWN IN CELLULOSE INSULATION FROM EXTERIOR.
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1 617 478 0321  
www.perkinswill.com

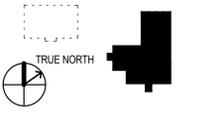
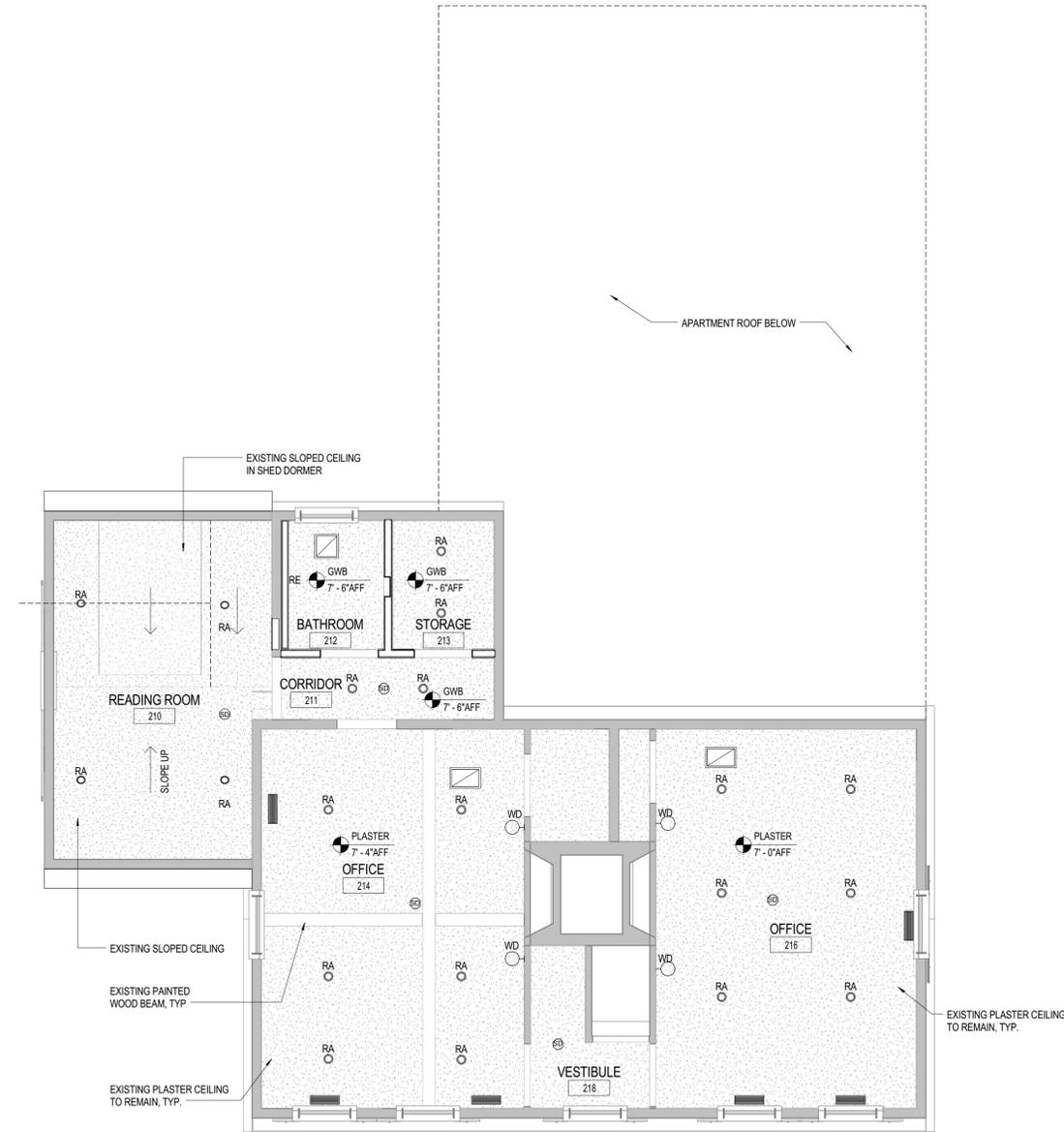
## PROJECT

**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
Massachusetts 02126

**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119

## CONSULTANTS

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1 978 745 6067



**1 LEVEL 02 REFLECTED CEILING PLAN**  
1/4" = 1'-0"

Construction Documents

February 1, 2017

## ISSUE CHART

NO	ISSUE	DATE
Job Number		000035.015
Checked	Checker	
Approved	Approver	
TITLE		

**HOUSE - RCP -  
LEVEL 02**

**SHEET NUMBER**

**A12-02**

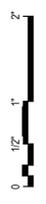
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## REFLECTED CEILING PLAN LEGEND


## REFLECTED CEILING PLAN NOTES

1. INSTALL ONE SWITCH AND TWO 4'-0" LINEAR CFL FIXTURES IN ATTIC
2. EXTERIOR LIGHTING NOT SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS INCLUDES POLE MOUNTED GENERAL SITE LIGHTING, RECESSED PATH LIGHTING, LIGHTING FOR SITE SIGNAGE, FACADE LIGHTING. SCONCES AT BUILDING ENTRIES ARE SHOWN ON RCPs.

## REFLECTED CEILING PLAN GENERAL NOTES



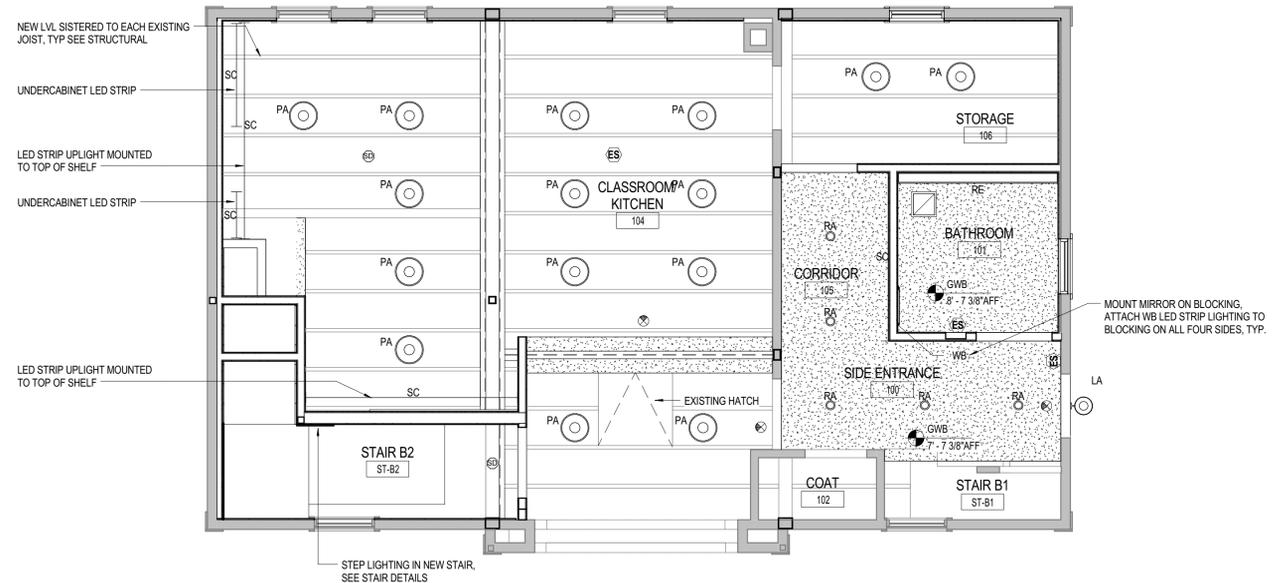
**PROJECT**

**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
Massachusetts 02126

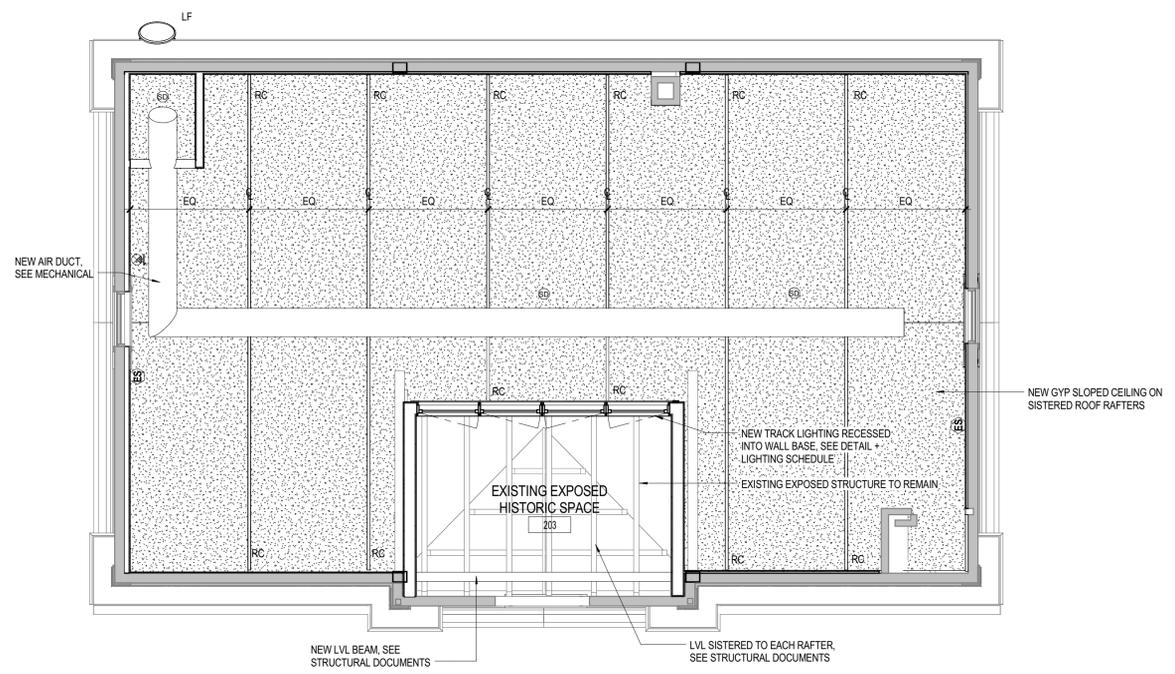
**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119

**CONSULTANTS**

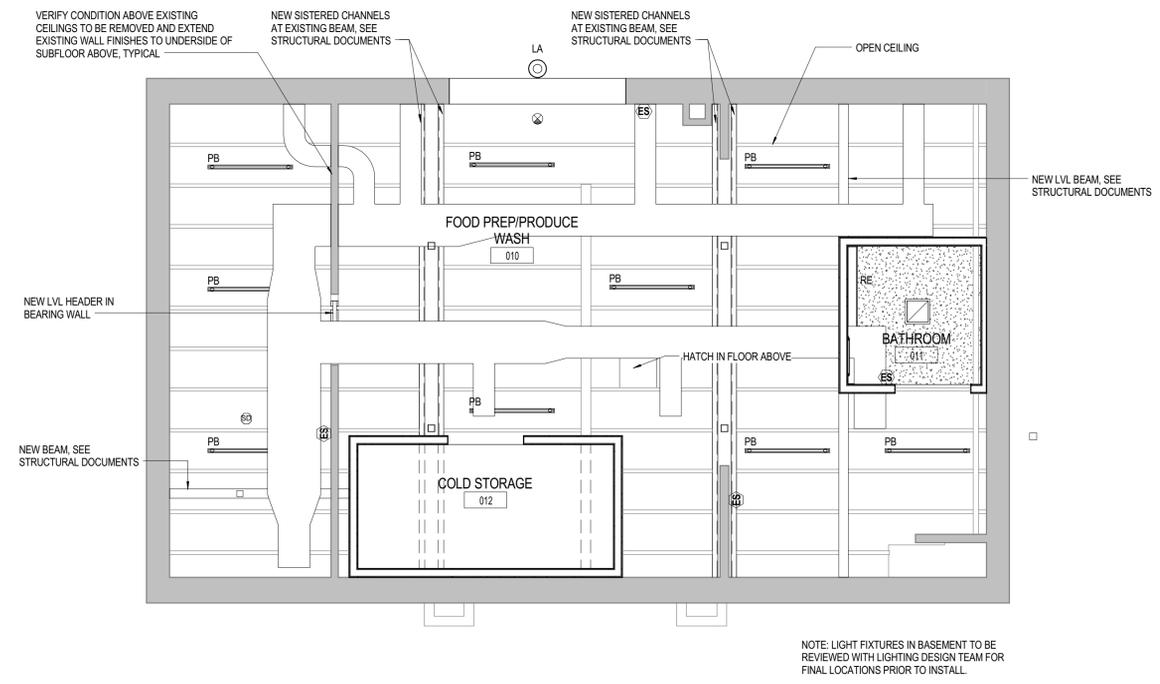
Structural Consultant  
**Structures North**  
60 Washington Street, Suite 401  
Salem, Massachusetts 01970  
1978.745.6817  
1978.745.6067



**2 BARN - LEVEL 01 - REFLECTED CEILING PLAN**  
1/4" = 1'-0"



**3 BARN - LEVEL 02 - REFLECTED CEILING PLAN**  
1/4" = 1'-0"



**1 BARN - BASEMENT - REFLECTED CEILING PLAN**  
1/4" = 1'-0"

**REFLECTED CEILING PLAN LEGEND**


**REFLECTED CEILING PLAN NOTES**

**REFLECTED CEILING PLAN GENERAL NOTES**

Construction Documents  
February 1, 2017  
**ISSUE CHART**

NO	ISSUE	DATE
Job Number		000035.015
Checked		BT
Approved		Approver

**BARN - RCP -  
BASEMENT, LEVEL  
01 AND LEVEL 02**

**SHEET NUMBER**

**A12-11**

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A13-00s - Finish Schedule								
Location	ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE MATL	WALL FINISH	FINISH NOTES	COMMENTS	
	107	EXTERIOR - BARN SIDE ENTRY						
	108	EXTERIOR - BARN DOOR ENTRY						
BARN	010	FOOD PREP/PRODUCE WASH	CONCRETE	INT	PT1	PROVIDE SLIP RESISTENT TEXTURE, COLOR SELECTED BY ARCHITECT		
BARN	011	BATHROOM	CONCRETE	CT2	CT2	PROVIDE EPOXY GROUT OR APPROVED EQUAL, COLOR SELECTED BY ARCHITECT	REFER TO ELEVATIONS	
BARN	012	COLD STORAGE	CONCRETE	INT	PT1	PROVIDE SLIP RESISTENT TEXTURE, COLOR SELECTED BY ARCHITECT		
BARN	013	MECHANICAL ROOM	CONCRETE	RB1	PT1			
BARN	015	ELECTRICAL	CONCRETE	INT	PT1			
BARN	100	SIDE ENTRANCE	EXWOOD REF	PTD WD	PT1	COORDINATE WALK OFF MAT WITH DOOR CLEARANCE	PROVIDE WALK OFF ENTRY MAT, BOUND ON EDGES, SIZE 3'-6" X 11'-0" LONG	
BARN	101	BATHROOM	CT1	CT2	CT2	PROVIDE EPOXY GROUT OR APPROVED EQUAL, COLOR SELECTED BY ARCHITECT	REFER TO ELEVATIONS	
BARN	102	COAT	EXWOOD REF	PTD WD	PT1			
BARN	103	FRONT ENTRANCE	EXWOOD REF2	PTD WD	PT1			
BARN	104	CLASSROOM/ KITCHEN	EXWOOD REF	PTD WD	PT1	COUNTERTOP AND BACKSPLASH TO BE DEKTON MATERIAL; REFER TO ELEVATION FOR EXTENT	NO WOOD BASE WHERE DEKTON MATERIAL ABUTTS FLOOR	
BARN	105	CORRIDOR	EXWOOD REF	PTD WD	PT1			
BARN	106	STORAGE	EXWOOD REF	PTD WD	PT1			
BARN	201	OPEN OFFICE (8)	EXWOOD REF	PTD WD	PT1			
BARN	202	MECH	ETR	RB1	PT1			
BARN	203	EXISTING EXPOSED HISTORIC SPACE	EXWOOD REF2	EXISTING	PT1			
BARN	ST-B1	STAIR B1	WOOD-1	PTD WD	PT1			
BARN	ST-B2	STAIR B2	EXWOOD REF	ETR	PT1			

BARN: 17

HOUSE	001	WORKSPACE	PAINTED CONCRETE	INT	PT1		EPOXY PAINT FOR FLOOR	
HOUSE	002	STORAGE	PAINTED CONCRETE	INT	PT1			
HOUSE	003	MECHANICAL	EXISTING	ETR	PT1			
HOUSE	004	STORAGE	EXISTING	RB1	PT1			
HOUSE	110	VESTIBULE	WOOD-1	PTD WD	PT1			
HOUSE	111	FOYER	WOOD-1	ETR/PT1	PT1			
HOUSE	112	KITCHENETTE	WOOD-1	ETR/PT1	PT1	COUNTERTOP AND BACKSPLASH TO BE DEKTON MATERIAL; REFER TO ELEVATION FOR EXTENT	PROVIDE PAINTED WOOD BASE AT CABINERY TOE/KICK	
HOUSE	113	BATHROOM	CT1	CT2	CT2	GROUT COLOR AS SELECTED BY ARCHITECT	REFER TO ELEVATIONS	
HOUSE	114	OFFICE	EXWOOD REF	ETR/PT1	PT1	PROTECT ALL EXISTING MURALS; REVIEW REPAIR SCOPE WITH OWNER	PAINT COLORS TO BE SELECTED BY OWNER/ARCHITECT. EXACT EXTENT OF WALL PAINT AND WOOD WAINSCOTTING PAINT TO BE REVIEWED BY OWNER	
HOUSE	115	ENTRY VESTIBULE	EXWOOD REF	ETR/PT1	PT1		PAINT COLORS TO BE SELECTED BY OWNER/ARCHITECT. EXACT EXTENT OF WALL PAINT AND WOOD WAINSCOTTING PAINT TO BE REVIEWED BY OWNER	
HOUSE	116	OFFICE	EXWOOD REF	ETR/PT1	PT1	PROTECT ALL EXISTING MURALS; REVIEW REPAIR SCOPE WITH OWNER	PAINT COLORS TO BE SELECTED BY OWNER/ARCHITECT. EXACT EXTENT OF WALL PAINT AND WOOD WAINSCOTTING PAINT TO BE REVIEWED BY OWNER	
HOUSE	120	LIVING/ DINING/ KITCHEN	WOOD-1	PTD WD	PT1	COUNTERTOP AND BACKSPLASH TO BE DEKTON MATERIAL; REFER TO ELEVATION FOR EXTENT	PROVIDE PAINTED WOOD BASE AT CABINERY TOE/KICK	
HOUSE	120A	COAT CL	WOOD-1	PTD WD	PT1			
HOUSE	121	BATHROOM	CT1	CT2	CT2	PROVIDE EPOXY GROUT OR APPROVED EQUAL, COLOR SELECTED BY ARCHITECT; PROVIDE METAL SCHLUTER STRIP AT EXTERIOR CORNERS OF TILE; FINISH SELECTED BY ARCHITECT	REFER TO ELEVATIONS	
HOUSE	122	BEDROOM	WOOD-1	PTD WD	PT1			
HOUSE	123	CLOSET	WOOD-1	PTD WD	PT1			
HOUSE	124	BEDROOM	WOOD-1	PTD WD	PT1			
HOUSE	125	CLOSET	WOOD-1	PTD WD	PT1			
HOUSE	202	STAIR H5	EXWOOD REF	PTD WD	PT1			
HOUSE	210	READING ROOM	EXWOOD REF	PTD WD	PT1			
HOUSE	211	CORRIDOR	EXWOOD REF	PTD WD	PT1			
HOUSE	212	BATHROOM	CT1	CT2	CT2	GROUT COLOR AS SELECTED BY ARCHITECT	REFER TO ELEVATIONS	
HOUSE	213	STORAGE	EXWOOD REF	RB1	PT1			
HOUSE	214	OFFICE	EXWOOD REF	PTD WD	PT1			
HOUSE	215	CLOSET	EXWOOD REF	PTD WD	PT1			
HOUSE	216	OFFICE	EXWOOD REF	PTD WD	PT1			
HOUSE	217	CLOSET	EXWOOD REF	PTD WD	PT1			
HOUSE	218	VESTIBULE	EXWOOD REF	PTD WD	PT1			
HOUSE	219	INACCESSIBLE SPACE					EXISTING TO REMAIN	
HOUSE	ST-H1	STAIR H1			PT1		EXISTING TO REMAIN	
HOUSE	ST-H2	STAIR H2			PT1		EXISTING TO REMAIN	
HOUSE	ST-H2	STAIR H2			PT1		EXISTING TO REMAIN	

HOUSE: 32

Grand total: 51

A13-00s - Finish Legend					
Key Name	Description	FORMAT	Manufacturer/ Vendor	Product/ Material	Notes
ETR	EXISTING TO REMAIN				REVIEW FIELD CONDITIONS WITH OWNER/ARCHITECT
EXWOOD REF	EXISTING WOOD PLANK FLOOR TO REMAIN AND BE REFINISHED				PROVIDE INPLACE MOCK-UP FOR REVIEW AND APPROVAL BY OWNER/ARCHITECT
EXWOOD REF 2	EXISTING WOOD PLANK FLOOR TO REMAIN AND BE REFINISHED				PROVIDE INPLACE MOCK-UP FOR REVIEW AND APPROVAL BY OWNER/ARCHITECT
WOOD-1	NEW SOLID OAK WOOD FLOORING		A.E. SAMPSON & SON, WARREN, MAINE, OR APPROVED EQUAL		PROVIDE SAMPLES FOR OWNER REVIEW
PTD WD	NEW SOLID HARDWOOD PAINTED BASE				
RB1	RUBBER BASE		JOHNSONITE OR EQUAL		COLOR - SELECTED BY ARCHITECT
INT	INTEGRAL EPOXY BASE		DEXOTEX OR EQUAL		COLOR - SELECTED BY ARCHITECT
EPOXY	POURED EPOXY FLOOR		DEXOTEX OR EQUAL		DECOR-FLOOR, COLOR - SELECTED BY ARCHITECT
CT1	PORCELAIN TILE FLOOR		MOSA OR EQUAL	TERRA MAESTRICH 216V	
CT2	PORCELAIN TILE WALL		MOSA OR EQUAL	MOSA SCENES 27010	
PT1	PAINT FOR WALL, CEILING AND PAINTED WOOD		BENJAMIN MOORE	AURA SERIES; COLORS TO BE SELECTED BY OWNER/ARCHITECT	PROVIDE MOCK-UP OF ALL COLORS SELECTED FOR OWNERS REVIEW
SS1	SOLID SURFACE MATERIAL COUNTERTOP AND BACKSPLASHES		DEKTON		

NOTE: KITCHEN CABINET LAYOUT DEPICTS BASIS OF DESIGN. ALL FINAL CABINETS, SIZES, MATERIALS, LAYOUT, AND DETAILS TO BE REVIEWED BY ARCHITECT WITH KITCHEN CABINET SUPPLIER PRIOR TO PURCHASE

NOTE: ALL FINAL COLORS, FINISHES, AND MATERIALS TO BE REVIEWED BY ARCHITECT PRIOR TO PURCHASE

A13-00s_Casework Schedule						
Type	Description	Height	Width	Depth	CABINET FINISH	Comments
C-1	COUNTERTOP	3'-0"	6'-3 1/4"	2'-6"		
BARN BASEMENT: 1						
C-2	COUNTERTOP	2'-10"	10'-3 1/4"	2'-1"	DEKTEM	
A-1	KNEE DRAWER	2'-8 1/2"	2'-8 1/2"	1'-11"	TO MATCH CABINETS	
UC-5	DOUBLE DOOR - UPPER CABINET	2'-0"	2'-6"	1'-0"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
S-1	SHelf	5'-0"	10'-0 1/2"	1'-0"	3/4 INCH THK PLAM FACE SHELF WITH 2 INCH THICK SOLID WHITE OAK NOSING, STAIN TO MATCH JOISTS	PROVIDE 1" HIGH LIP TO MASK LED UPLIGHT
S-1	SHelf	5'-0"	10'-2"	1'-0"	3/4 INCH THK PLAM FACE SHELF WITH 2 INCH THICK SOLID WHITE OAK NOSING, STAIN TO MATCH JOISTS	PROVIDE 1" HIGH LIP TO MASK LED UPLIGHT
FH-XX	FULL HEIGHT CABINET	6'-10"	2'-8"	2'-1"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
UC-5	DOUBLE DOOR - UPPER CABINET	2'-0"	2'-3"	1'-0"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
UC-6	DOUBLE DOOR - UPPER CABINET	2'-3"	2'-6"	2'-0"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
UC-3	DOUBLE DOOR - UPPER CABINET	11 1/2"	3'-0"	1'-0"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
UC-5	DOUBLE DOOR - UPPER CABINET	2'-0"	2'-3"	1'-0"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
UC-5	DOUBLE DOOR - UPPER CABINET	2'-0"	2'-8"	1'-0"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
UC-5	DOUBLE DOOR - UPPER CABINET	2'-0"	2'-3"	1'-0"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
UC-5	DOUBLE DOOR - UPPER CABINET	2'-0"	2'-3"	1'-0"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
LC-5	SINGLE DOOR - LOWER CABINET	2'-8 1/2"	8"	1'-11"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
LC-3	SINGLE DOOR - LOWER CABINET	2'-8 1/2"	2'-0"	1'-11"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
LC-4	SINK BASE	2'-8 1/2"	5'-0"	1'-11"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
LC-6	MOBILE BASE CABINET	2'-2 1/2"	2'-5"	1'-11"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	MOBILE CABINET ON CASTORS TO FIT BELOW APRON. CABINET TO HAVE FINISHED SIDES WITH (1) ADJ. SHELF
LC-6	MOBILE BASE CABINET	2'-2 1/2"	2'-5"	1'-11"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	MOBILE CABINET ON CASTORS TO FIT BELOW APRON. CABINET TO HAVE FINISHED SIDES WITH (1) ADJ. SHELF
BARN LEVEL 1: 19						
C-2	COUNTERTOP	3'-0"	4'-7"	2'-1"	DEKTEM	
C-3	COUNTERTOP	2'-10"	5'-1 1/2"	2'-1"	DEKTEM	
UC-3	DOUBLE DOOR - UPPER CABINET	11 1/2"	2'-6"	1'-0"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
UC-1	UPPER CABINET - OPEN	2'-2 1/2"	2'-6 1/4"	1'-0"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
D-1	DESK SURFACE	5'-0"	4'-8"	1'-2"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	UNDER WINDOW IN APT; SURFACE TO MATCH KITCHEN COUNTERTOP
LC-1	LOWER CABINET - DOUBLE DOORS	2'-10 1/2"	2'-6"	1'-11"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
LC-2	LOWER CABINET - DRAWERS	2'-10 1/2"	2'-6"	1'-11"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
UC-2	UPPER CABINET - OPEN + DBL DOORS	2'-2 1/2"	2'-0 3/4"	1'-0"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
UC-4	UPPER CABINET - DOUBLE DOORS	2'-2 1/2"	2'-6"	1'-0"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
FH-2	FULL HEIGHT CABINET - REFRIGERATOR	7'-0"	2'-8"	2'-2"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
FH-1	FULL HEIGHT CABINET - BROOM CLO.	7'-0"	1'-0"	2'-2"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
C-2	COUNTERTOP	3'-0"	2'-6"	2'-1"	DEKTEM	
S-2	SHelf	5'-0"	21'-7 3/4"	1'-4"	3/4 INCH THK PLAM FACE SHELF WITH 2 INCH THICK SOLID WHITE OAK NOSING	PROVIDE 1" HIGH LIP TO MASK LED UPLIGHT
FH-3	FULL HEIGHT CABINET - PANTRY	7'-0"	1'-9"	1'-2"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
FH-3	FULL HEIGHT CABINET - PANTRY	7'-0"	1'-9"	1'-2"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
LC-XX	LOWER CABINET - AT DISHWASHER	2'-10 1/2"	2'-0 3/4"	1'-11"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	PAINTED WOOD TO MATCH CABINETS; PROVIDE 1" HIGH LIP TO MASK LED TAPE UPLIGHT
UC-2	UPPER CABINET - OPEN + DBL DOORS	2'-2 1/2"	2'-6 3/4"	1'-0"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
UC-4	UPPER CABINET - DOUBLE DOORS	2'-2 1/2"	2'-6 3/4"	1'-0"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
A-2	COUNTER APRON	2'-8 1/2"	2'-6"	1'-11"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
LC-7	LOWER CABINET - DRAWERS	2'-8 1/2"	1'-1 3/4"	1'-11"	DOORS, DRAWERS, AND CABINET FACE TO BE PAINTED MATT LACQUER FINISH; CABINET INTERIOR TO BE CLEAR MAPLE WOOD	
HOUSE LEVEL 01: 20						
Grand total: 40						

APPLIANCE SCHEDULE

Key Name	APPLIANCE LOCATION	APPLIANCE NAME	APPLIANCE MANUFACTURER	MODEL NUM.	APPLIANCE SIZE	FINISH/MATERIAL	Comments
AP1	APARTMENT KITCHEN	REFRIGERATOR/FREEZER	SUMMIT	FFB287SSIM	75.5"H x 27.5"W x 27.0"D	STAINLESS	ENERGY STAR COMPLIANT; 16.4 CU.FT.
AP2	APARTMENT KITCHEN	DISHWASHER	GE PROFILE	PD7855SUII	34" H X 23 3/4" W X 24" D	MATCH ADJACENT CABINET	ENERGY STAR COMPLIANT; PROVIDE BUILT-IN KITCHEN CABINET PANEL FRONT
AP3	APARTMENT KITCHEN	RANGE	GE PROFILE	PB911SJS	47" H X 28" D X 29 7/8" W	STAINLESS	ELECTRIC CONVECTION RANGE
AP4	APARTMENT KITCHEN	HOOD	BROAN	TBD	30" WIDE	STAINLESS	ENERGY STAR RATED; EXTERIOR VENTED EXHAUST HOOD
AP5	APARTMENT KITCHEN	MICROWAVE	GE PROFILE	PEM31SFSS	12 1/8" H X 24" W X 12 7/8" D	STAINLESS	INCLUDE BUILT-IN TRIM KIT; INSTALL POWER OUTLET IN CABINET ABOVE MICROWAVE
AP6	HOUSE KITCHENETTE	MICROWAVE	GE PROFILE	PEM31SFSS	12 1/8" H X 24" W X 12 7/8" D	STAINLESS	COUNTER TOP MODEL
AP7	HOUSE KITCHENETTE	UNDERCOUNTER REFRIGERATOR	SUMMIT	CM411LB17FADA	32" H X 19.25" W X 21.4" D	MATCH ADJACENT CABINET	PROVIDE BUILT-IN PANEL MATCH MILLWORK; ADA HEIGHT

TOILET ACCESORIES GENERAL NOTES

- REFER TO INTERIOR FINISH LEGEND, DWG A65-01 FOR FINISH MATERIAL SPECIFICATION
- REFER TO PROJECT SPECIFICATION MANUAL FOR ADDITIONAL INFORMATION
- REFER TO DWG A10-02 FOR ALL MOUNTING HEIGHTS, TYPICAL
- ALL ACCESSORIES WILL MEET ADA REQUIREMENTS
- ALL FIXTURES AND ACC TO BE INSTALLED BY CONTRACTOR. ITEMS PROVIDED BY OWNER FOR INSTALLATION BY CONTRACTOR MUST BE COORDINATED BY CONTRACTOR INCLUDING, BUT NOT LIMITED TO, FINAL PRODUCT SELECTION, MATERIAL/FINISH, AND LEAD TIME FOR ORDER AND DELIVERY. ALL FIXTURES AND ACC, REGARDLESS OF BUYER, MUST BE REVIEWED BY ARCHITECT VIA FORMAL SUBMITTAL PROCESS FOR COORDINATION AND DESIGN INTENT.

TOILET ACCESORIES

TB-1	TISSUE DISPENSER DELTA MODEL # 77550-SS	FURNISHED & INSTALLED BY GC	TH-1	SHOWER HEAD AND CONTROL, SEE PLUMBING DRAWINGS	FURNISHED & INSTALLED BY GC
TB-2	SANITARY NAPKIN DISPOSAL BOBRICK TRIMLINE SERIES 35303	FURNISHED & INSTALLED BY GC	TH-2	TOILET TISSUE HOLDER SYMMONS, POLISHED CHROME 363TP	FURNISHED & INSTALLED BY GC
TB-3	RECESSED PAPER TOWEL DISPENSER/WASTE RECEPTACLE BOBRICK TRIMLINE B-36903	FURNISHED & INSTALLED BY GC	TH-3	TOWEL BAR 24" SYMMONS, DURO POLISHED CHROME 363TB-24	FURNISHED & INSTALLED BY GC
TB-4	SOAP DISPENSER WALL MOUNTED STAINLESS STEEL, TBD	FURNISHED & INSTALLED BY GC	TH-4	TOWEL RING SYMMONS, DURO POLISHED CHROME 363TR	FURNISHED & INSTALLED BY GC
TB-5	BABY CHANGING STATION KOALA KARE KB111-22W VERTICAL WALL MOUNTED STAINLESS	FURNISHED & INSTALLED BY GC	TH-5	ROBE HOOK SYMMONS, CHROME MODEL# 363RH	FURNISHED & INSTALLED BY GC
TB-6	HOOK DELTA MODEL# 77535-SS	FURNISHED & INSTALLED BY GC	TH-6	SHOWER ROD - 60" SYMMONS, CHROME MODEL# 3535R-5	FURNISHED & INSTALLED BY GC
TB-7	MIRROR, ADHERE TO WALL CUSTOM MIRROR OFFSET FROM WALL 1 1/2" WITH LED STRIP LIGHTING BEHIND ON ALL 4 SIDES	FURNISHED & INSTALLED BY GC	TH-7	MIRROR, ADHERE TO WALL CUSTOM MIRROR OFFSET FROM WALL 1 1/2" WITH LED STRIP LIGHTING BEHIND ON ALL 4 SIDES	FURNISHED & INSTALLED BY GC
TB-8	MIRROR 24"W X 36"H BOBRICK B-290 2436	FURNISHED & INSTALLED BY GC	TH-8	TISSUE DISPENSER DELTA MODEL # 77550-SS	FURNISHED & INSTALLED BY GC
TB-9	GRAB BAR 1 1/4" DIAMETER STAINLESS STEEL FINISH GRAB BARS, 18" WIDE DELTA MODEL# 41918	FURNISHED & INSTALLED BY GC	TH-9	RECESSED PAPER TOWEL DISPENSER/WASTE RECEPTACLE BOBRICK TRIMLINE B-36903	FURNISHED & INSTALLED BY GC
TB-10	GRAB BAR 1 1/4" DIAMETER STAINLESS STEEL FINISH GRAB BARS, 36" WIDE DELTA MODEL# 4193				



**PROJECT**

**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
Massachusetts 02126

**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119

**CONSULTANTS**

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60 Washington Street, Suite 401  
Salem, Massachusetts 01970  
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978.745.6067

Construction Documents

February 1, 2017

**ISSUE CHART**

NO	ISSUE	DATE
Job Number		000035.015
Checked		HC
Approved		BT

**TITLE**

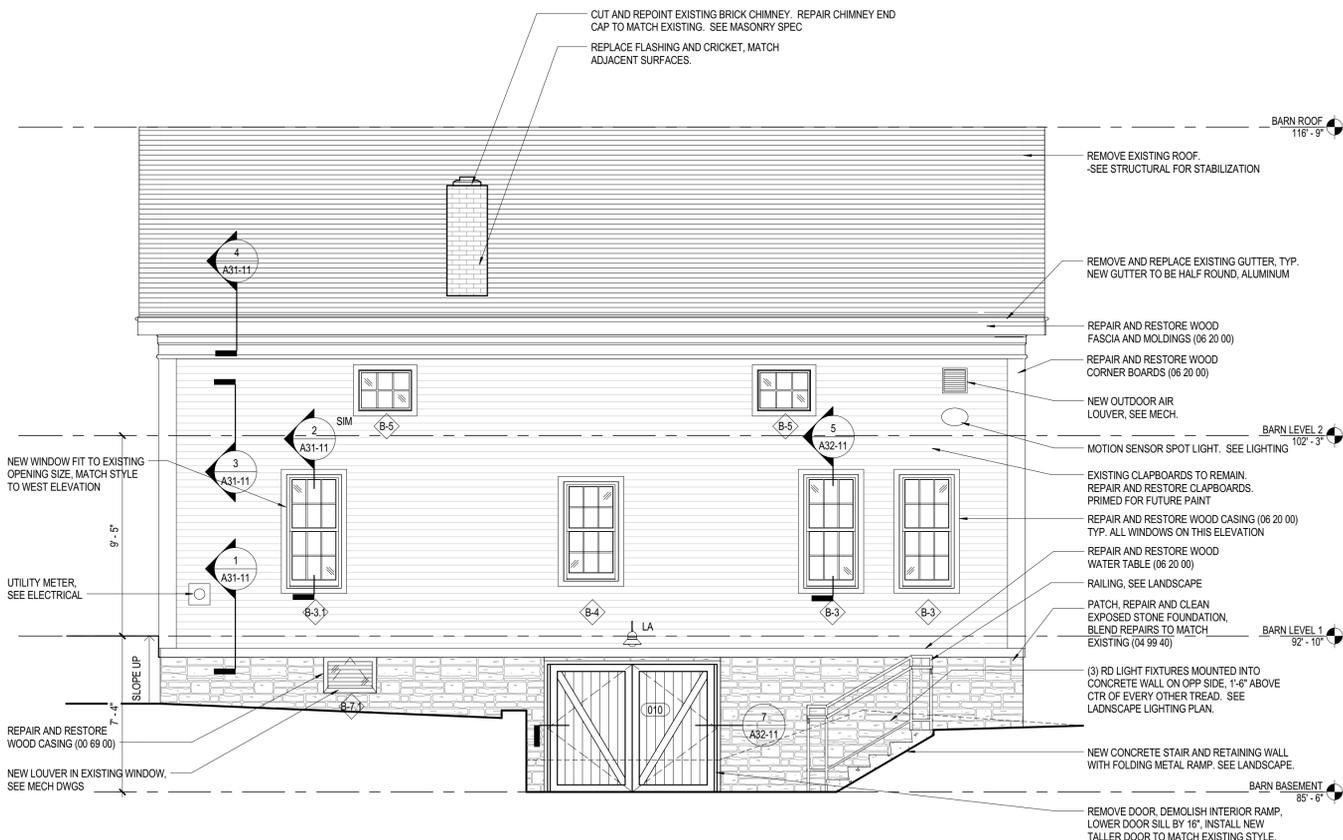
**BARN - EXTERIOR  
ELEVATIONS**

**SHEET NUMBER**

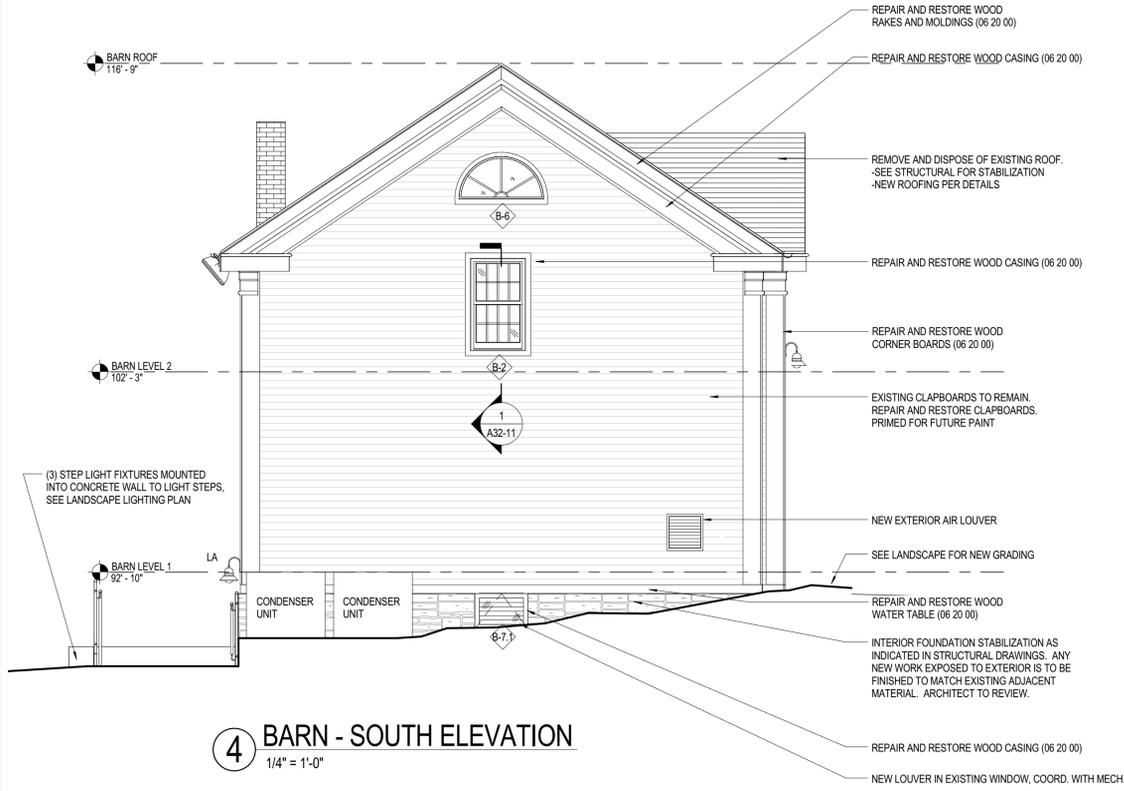
**A20-11**



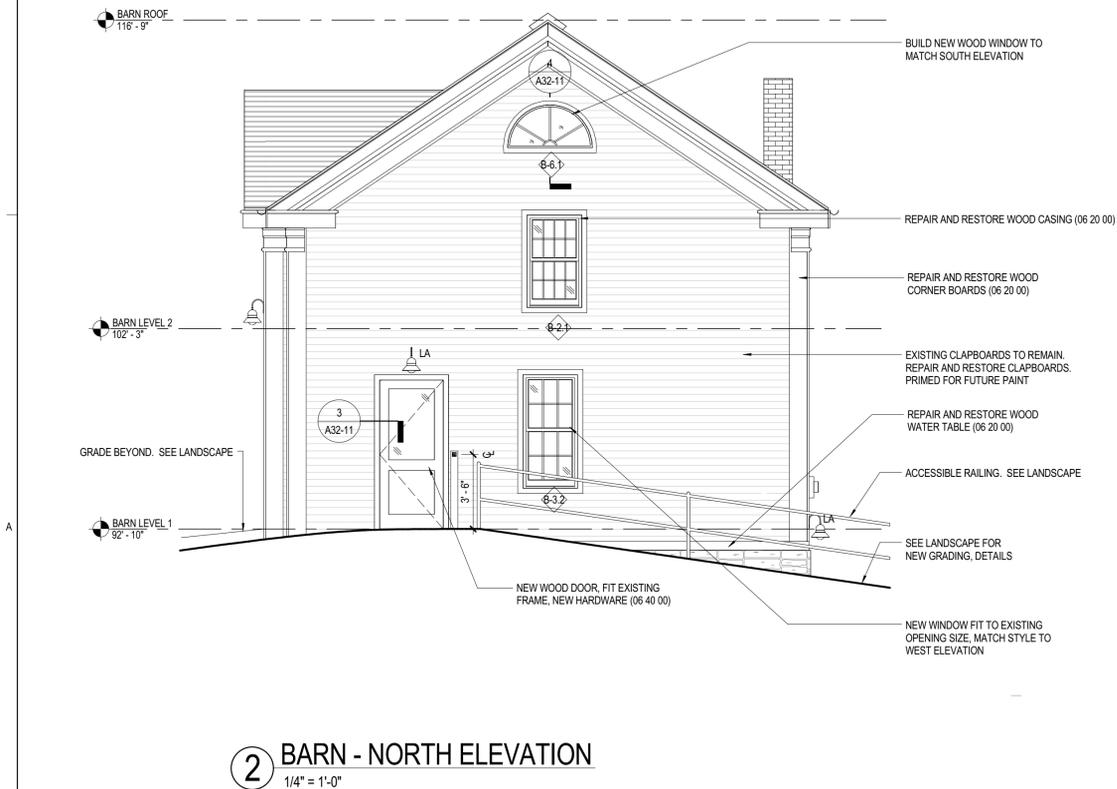
**3 BARN - EAST ELEVATION**  
1/4" = 1'-0"



**1 BARN - WEST ELEVATION**  
1/4" = 1'-0"

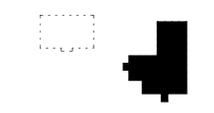


**4 BARN - SOUTH ELEVATION**  
1/4" = 1'-0"

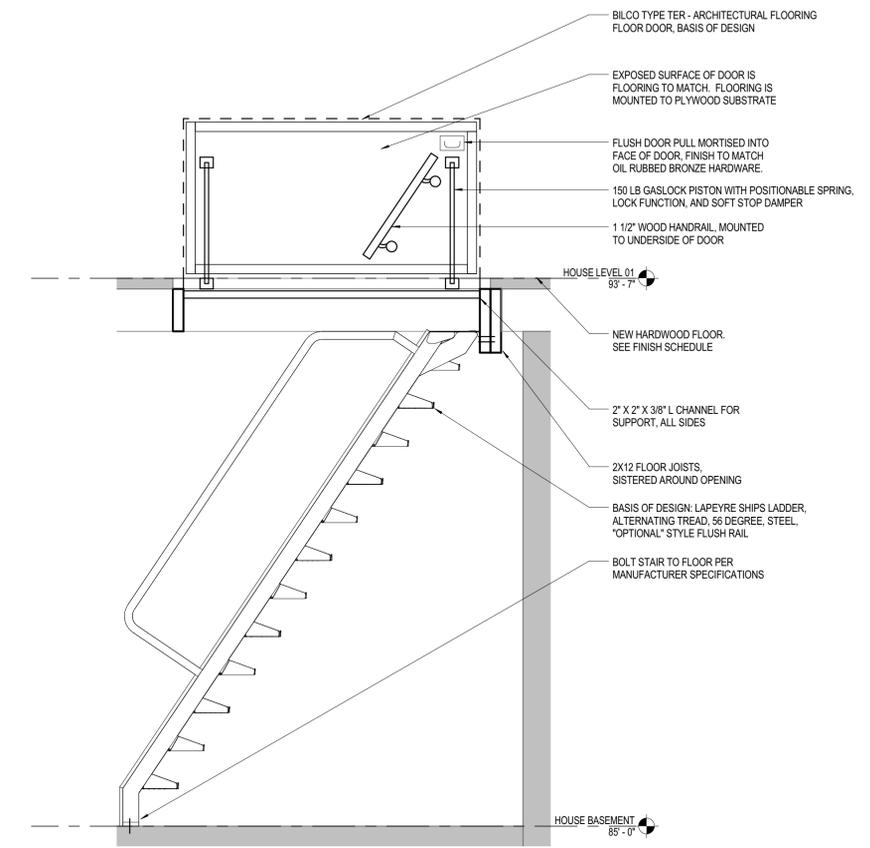


**2 BARN - NORTH ELEVATION**  
1/4" = 1'-0"

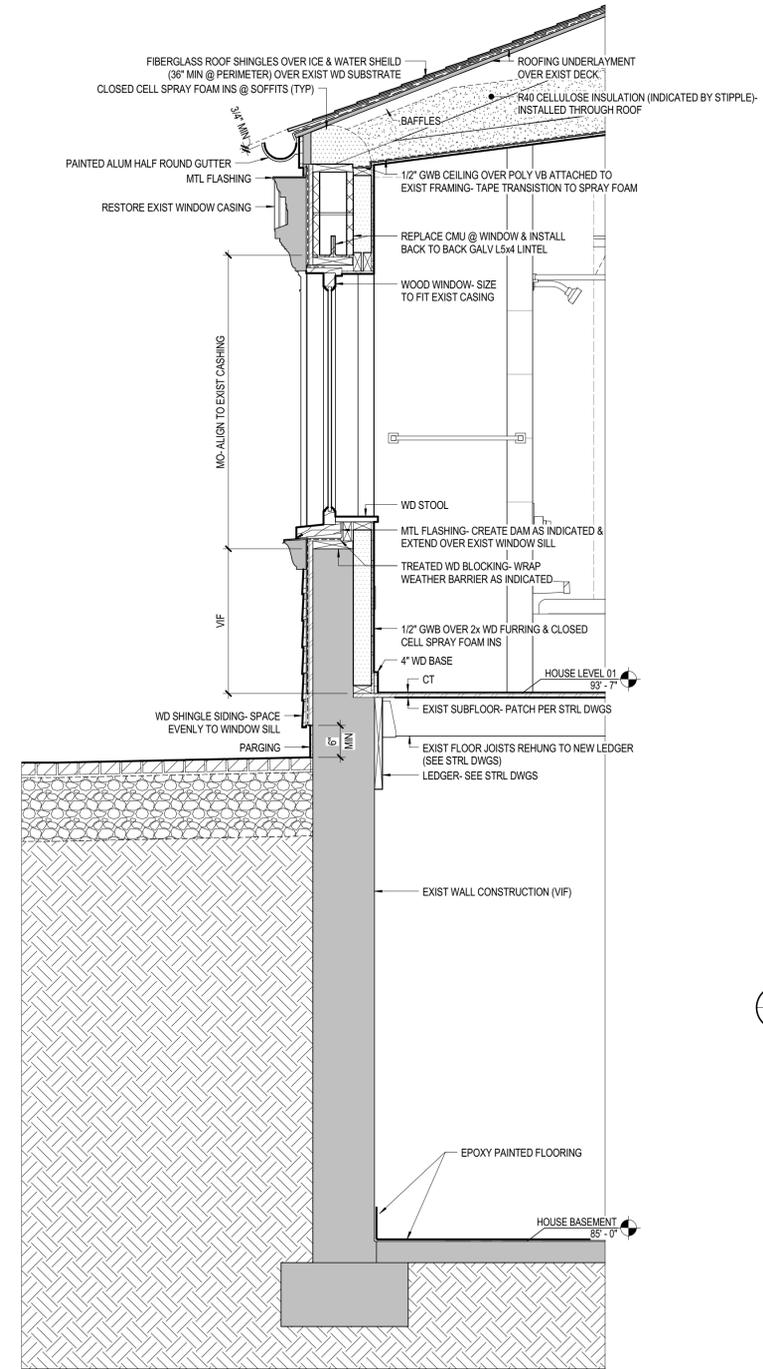




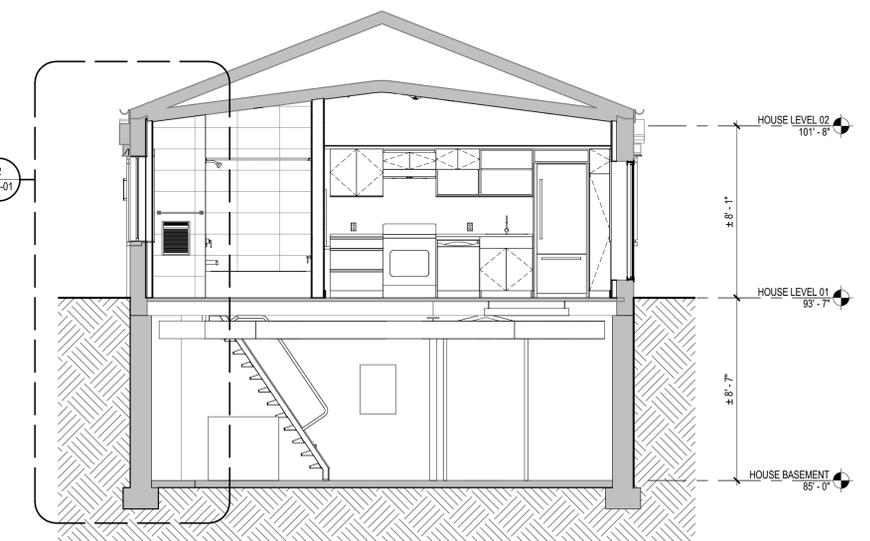
NO	ISSUE	DATE
Job Number		000035.015
Checked		BT
Approved		Approver
<b>TITLE</b>		



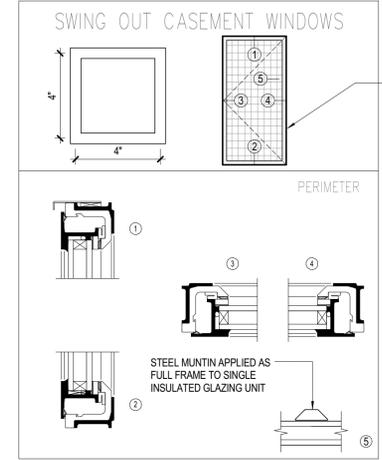
**3** SECTION HOUSE HATCH STAIRS  
3/4" = 1'-0"



**2** WALL SECTION - APARTMENT  
3/4" = 1'-0"



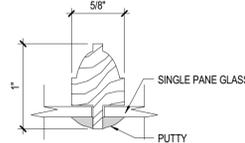
**1** HOUSE SECTION B  
1/4" = 1'-0"



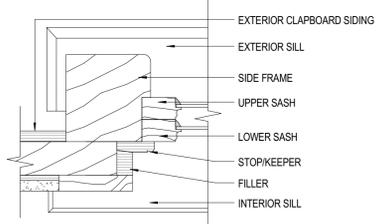
NOTE: TWO OF THE STEEL WINDOWS ARE SLIGHTLY SMALLER AND HAVE ONE LESS ROW OF PANES EACH. TWO SMALLER WINDOWS WILL INCREASE IN SIZE BY LOWERING THE SILL 4". ALL FOUR WINDOWS WILL BE THE SAME SIZE AND HAVE THE SAME QUANTITY OF PANES. 16 PANES TALL X 10 PANES WIDE. ALL FOUR WINDOWS. EACH PANE IS 4" SQUARE TO CENTER OF MUNTIN.



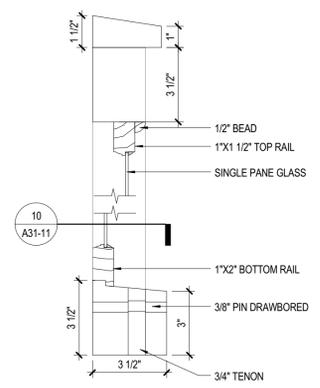
**4** DETAILS - ROLLED STEEL WINDOWS  
3" = 1'-0"



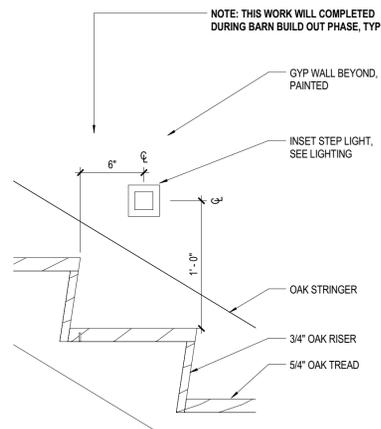
**10 TYP WINDOW MUNTIN DETAIL**  
1/2" = 1'-0"



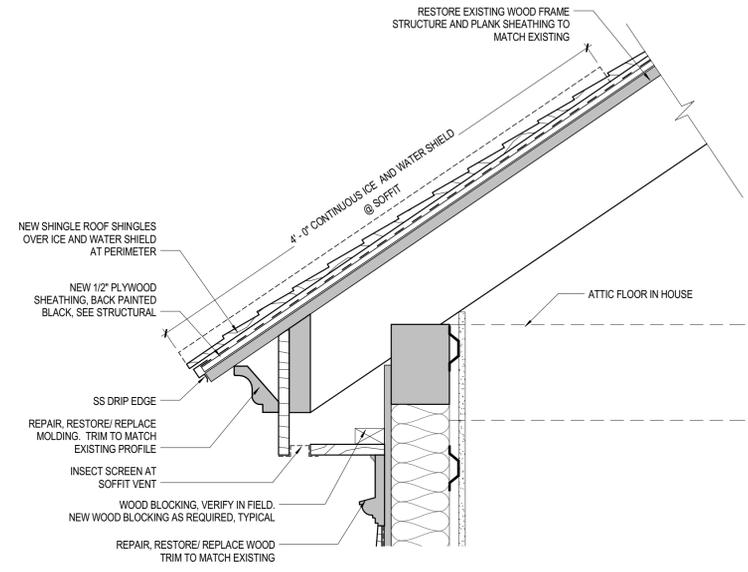
**9 TYP DBL HUNG WINDOW JAMB DETAIL**  
3" = 1'-0"



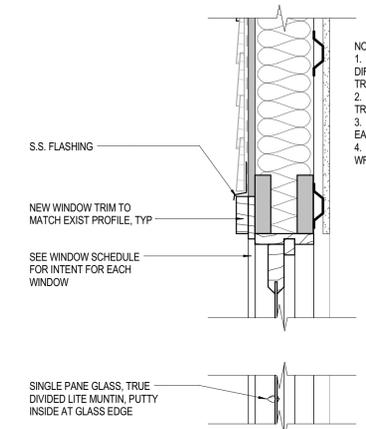
**8 TYP DBL HUNG WINDOW HEAD AND SILL DETAIL**  
3" = 1'-0"



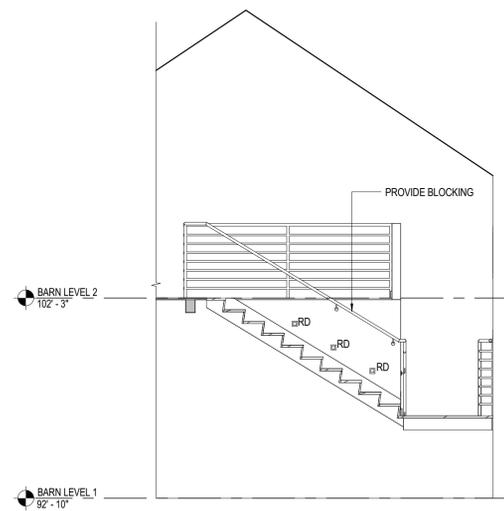
**7 RISER AND TREAD DETAIL**  
1 1/2" = 1'-0"



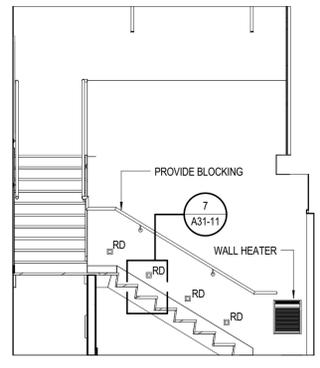
**4 ROOF**  
1 1/2" = 1'-0"



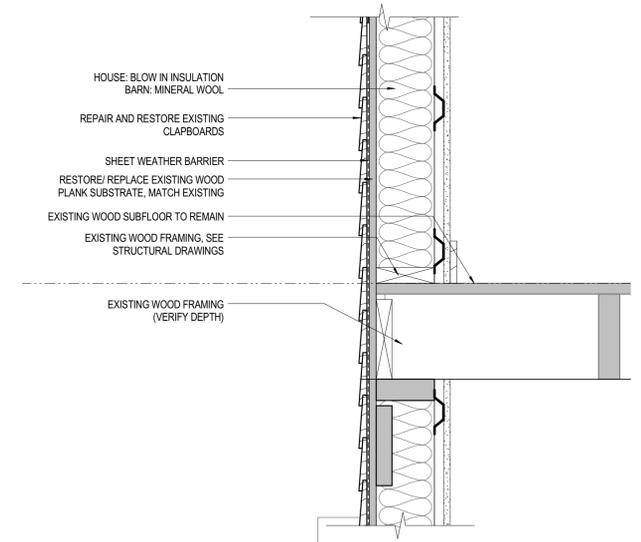
**2 WINDOW SILL AND HEAD**  
1 1/2" = 1'-0"



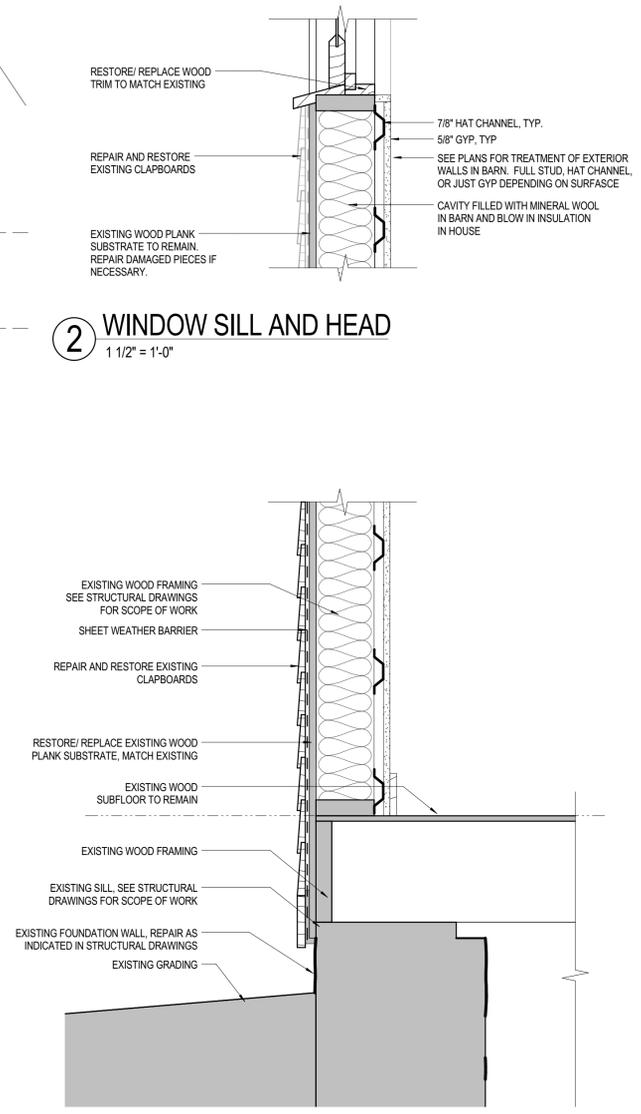
**6 STAIR SECTION @ BARN LEVEL 02**  
1/4" = 1'-0"



**5 STAIR SECTION @ BARN LEVEL 01**  
1/4" = 1'-0"



**3 LEVEL 2 FLOOR @ EXT. WALL**  
1 1/2" = 1'-0"



**1 FOUNDATION**  
1 1/2" = 1'-0"



**ISSUE CHART**

NO	ISSUE	DATE
Job Number		000035.015
Checked		BT
Approved		Approver
<b>TITLE</b>		



### A62-00s - DOOR AND FRAME SCHEDULE - HOUSE

ROOM NUMBER	TAG	ROOM NAME	OPENING SIZE		DOOR				REMARKS
			WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	HARDWARE	
001			3'-8"	7'-8"	F				NEW EXTERIOR SOLID FLUSH WOOD DOOR
x101			3'-8"	7'-8"	F			09	REMOVE FLUSH WOOD AND PREP FOR NEW DOOR
003	x003	MECHANICAL	2'-8 1/2"	5'-0"	F			09	EXISTING TO REMAIN
003	x004	MECHANICAL	3'-0"	5'-9"	F			09	EXISTING TO REMAIN
HOUSE BASEMENT: 4									
110	110	VESTIBULE	3'-0"	6'-8"				10A	NEW TWO PANEL EXTERIOR DOOR, BOTTOM WOOD PANEL, UPPER GLASS PANEL
113	113	BATHROOM	3'-0"	6'-8"	F			04	NEW FOUR PANEL INTERIOR DOOR
114	114A	OFFICE	3'-0"	6'-8"	F			05	NEW FOUR PANEL INTERIOR DOOR
115	114B	ENTRY VESTIBULE	3'-0"	6'-8"	F			05	NEW FOUR PANEL INTERIOR DOOR
115	115	ENTRY VESTIBULE	3'-0"	6'-8"	F			01B	NEW SIX PANEL EXTERIOR DOOR
116	116	OFFICE	3'-0"	6'-8"	F			05	NEW FOUR PANEL INTERIOR DOOR
120	120	LIVING/ DINING/ KITCHEN	1'-9"	6'-8"	F			03	NEW TWO PANEL INTERIOR DOOR
120	120A	LIVING/ DINING/ KITCHEN	3'-0"	6'-8"	F			01	NEW TWO PANEL EXTERIOR DOOR, ALL WOOD
121	121	BATHROOM	3'-0"	6'-8"	F			04	NEW TWO PANEL INTERIOR DOOR
122	122	BEDROOM	3'-0"	6'-8"	F			03	NEW TWO PANEL INTERIOR DOOR
122	123	BEDROOM	4'-0"	6'-8"	FF			08	NEW FLUSH INTERIOR DOOR
124	124	BEDROOM	3'-0"	6'-8"	F			03	NEW TWO PANEL INTERIOR DOOR
124	125	BEDROOM	4'-0"	6'-8"	FF			08	NEW FLUSH INTERIOR DOOR
100	x101	SIDE ENTRANCE	2'-6"	7'-0"	F			09	REMOVE + SALVAGE
110	x110	VESTIBULE	2'-6"	6'-6"	F			09	REMOVE + SALVAGE
111	x111	FOYER	2'-0"	5'-11"	F			09	EXISTING TO REMAIN
111	x112	FOYER	2'-10"	6'-8"	F			09	REMOVE + SALVAGE
	x114							09	
115	x114B	ENTRY VESTIBULE	2'-6"	6'-6 1/2"	F			09	REMOVE + SALVAGE
124	x114C	BEDROOM	2'-7"	6'-6"	F			09	FIX IN PLACE
114	x114D	OFFICE	2'-0"	3'-0"	F			09	EXISTING TO REMAIN
115	x115A	ENTRY VESTIBULE	3'-0"	6'-8"	F			09	REMOVE + SALVAGE
115	x115B	ENTRY VESTIBULE	2'-0"	6'-0"	F			09	EXISTING TO REMAIN
116	x116	OFFICE	2'-6"	6'-5"	F			09	REMOVE + SALVAGE
120	x120	LIVING/ DINING/ KITCHEN	2'-6"	6'-5"	F			09	REMOVE + SALVAGE
124	x124	BEDROOM	2'-7"	7'-0"	N/A			09	REMOVE + SALVAGE
125	x126	CLOSET	2'-6"	6'-7"	F			09	REMOVE + SALVAGE
122	x127	BEDROOM	2'-6"	6'-8"	F			09	EXISTING TO REMAIN
HOUSE LEVEL 01: 28									
211	212	CORRIDOR	2'-6"	7'-0"	F			04	NEW TWO PANEL INTERIOR DOOR
211	213	CORRIDOR	2'-6"	7'-0"	F			06	NEW TWO PANEL INTERIOR DOOR
211	x210	CORRIDOR	2'-5 1/2"	5'-11"	F			09	REMOVE + SALVAGE
214	x211	OFFICE	3'-4"	6'-7"	F			09	REMOVE + SALVAGE
218	x214	VESTIBULE	2'-5 1/2"	6'-6"	F			09	REMOVE + SALVAGE
214	x215	OFFICE	2'-5 1/2"	6'-6"	F			09	REMOVE + SALVAGE
216	x216	OFFICE	2'-5 1/2"	6'-6"	F			09	REMOVE + SALVAGE
216	x217	OFFICE	2'-5 1/2"	6'-6"	F			09	REMOVE + SALVAGE
218	x310	VESTIBULE	2'-2"	6'-6"	F			09	REMOVE + SALVAGE
HOUSE LEVEL 02: 9									
Grand total: 41									

### A33-00s - WINDOW SCHEDULE - HOUSE

TYPE	R.O.		DESCRIPTION	MANUFACTURER	MODEL	FINISH	SILL	COMMENTS
	WIDTH	HEIGHT						
H-1	2'-6 1/2"	3'-8"	DOUBLE HUNG - EIGHT OVER TWELVE	NORTH BENNET ST. SCHOOL				CREATE NEW WOOD WINDOW SASH AND FRAMES TO FIT ORIGINAL OPENING; NEW SHUTTERS, REPAIR EXISTING WOOD WINDOW HOOD
H-2	2'-6 1/2"	4'-9"	DOUBLE HUNG - TWELVE OVER TWELVE	NORTH BENNET ST. SCHOOL				CREATE NEW WOOD WINDOW SASH AND FRAMES AND LOWER SILL TO FIT ORIGINAL OPENING; NEW SHUTTERS, REPAIR EXISTING WOOD WINDOW HOOD
H-3			DOUBLE HUNG - TWELVE OVER TWELVE	NORTH BENNET ST. SCHOOL				CREATE NEW WOOD WINDOW SASH AND FRAMES TO FIT ORIGINAL OPENING; NEW SHUTTERS, REPAIR EXISTING WOOD WINDOW HOOD
H-3.1	2'-10"	4'-8"	DOUBLE HUNG - TWELVE OVER TWELVE	NORTH BENNET ST. SCHOOL				CREATE NEW WOOD WINDOW SASH AND FRAMES TO FIT ORIGINAL OPENING, REPAIR EXISTING WOOD WINDOW HOOD
H-4	2'-7"	3'-8"	DOUBLE HUNG - SIX OVER SIX	BROSCO				NEW WOOD WINDOW IN EXISTING OPENING, REPAIR EXISTING WOOD WINDOW HOOD
H-5	2'-10"	4'-8"	DOUBLE HUNG - SIX OVER SIX	BROSCO				NEW WOOD WINDOW IN EXISTING OPENING, REPAIR EXISTING WOOD WINDOW HOOD
H-6	2'-4"	3'-0"	DOUBLE HUNG - SIX OVER SIX	BROSCO				NEW WOOD WINDOW IN EXISTING OPENING, MATCH EXISTING WINDOW, REPAIR EXISTING WOOD WINDOW HOOD
H-7	1'-9"	3'-0"	DOUBLE HUNG - SIX OVER SIX	WV WOODWORKS		RESTORE		RESTORE EXISTING WOOD WINDOW, REPAIR EXISTING WOOD WINDOW HOOD
H-8	4'-10"	3'-0"	CASEMENT (3) - OUTSWING	BROSCO				NEW WINDOW IN EXISTING OPENING, MATCH EXISTING WINDOW
H-9	4'-0"	2'-2"	AWNING - INSWING	BROSCO				NEW WINDOW CUT INTO MASONRY, LINTEL REQUIRED
H-10	3'-0"	4'-2"	FIXED - 24			RESTORE		REPAIR AND RESTORE WINDOW CASING AND SASH
H-11	3'-4"	5'-7"	HOT-ROLLED STEEL	HOPES		CUSTOM		NEW WINDOW IN EXISTING OPENING, ALL STEEL WINDOWS TO BE SAME SIZE
H-12	2'-4"	4'-0"	CASEMENT - OUTSWING	BROSCO				NEW WINDOW CUT INTO MASONRY, LINTEL REQUIRED
H-12.1	2'-4"	4'-0"	CASEMENT - OUTSWING	BROSCO				NEW WINDOW CUT INTO MASONRY, LINTEL REQUIRED, DECORATIVE FILM APPLIED TO GLASS TO MATCH ORIGINAL SLATE INSET GRAPHICS, REVIEW WITH OWNER AND ARCHITECT
H-12.2	2'-4"	4'-0"	CASEMENT - OUTSWING	BROSCO				NEW WINDOW CUT INTO MASONRY, LINTEL REQUIRED, DECORATIVE FILM APPLIED TO GLASS TO MATCH ORIGINAL SLATE INSET GRAPHICS, REVIEW WITH OWNER AND ARCHITECT
H-12.3	2'-4"	4'-0"	CASEMENT - OUTSWING	BROSCO				NEW WINDOW CUT INTO MASONRY, LINTEL REQUIRED, DECORATIVE FILM APPLIED TO GLASS TO MATCH ORIGINAL SLATE INSET GRAPHICS, REVIEW WITH OWNER AND ARCHITECT
H-13	2'-7"	1'-4"	AWNING - BASEMENT WINDOW	BROSCO				NEW WINDOW IN EXISTING OPENING
H-14	10"	4'-0"	ENTRY SIDE LITE	WV WOODWORKS		RESTORE	REPAIR AND RESTORE	
Grand total: 37								

NOTE: SEE DOOR HARDWARE IN SPECIFICATIONS

#### GENERAL DOOR NOTES:

- DOORS INDICATED AS X### ARE EXISTING
- ALL EXISTING DOORS TO BE SAVED FOR REVIEW BY CLIENT
- ALL NEW DOORS TO BE 6" FROM CORNER UNLESS OTHERWISE NOTED

NOTE: - SEE ELEVATIONS FOR ADDITIONAL INFORMATION ON WINDOWS AND OPENINGS

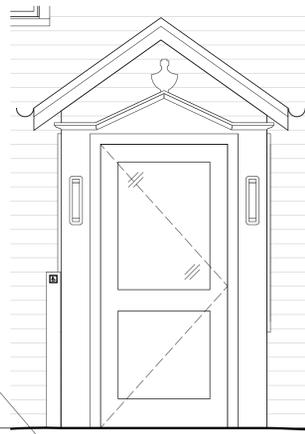
- PRIOR TO PURCHASE, CONSTRUCTION, OR INSTALL OF WINDOWS FOR THIS PROJECT, ARCHITECT REQUESTS A PRECONSTRUCTION MEETING WITH OWNER, CONTRACTOR, AND RELEVANT SUB CONTRACTORS TO REVIEW AND CONFIRM ALL WINDOW TYPES, LOCATIONS, DETAILS, AND ALIGNMENTS



EXISTING DOOR AND ENTRY VESTIBULE IS NOT ACCESSIBLE AND MUST BE MODIFIED. EXTERIOR GRADE WILL BE RAISED 11" TO MEET NEW DOOR THRESHOLD HEIGHT WHICH WILL ALIGN WITH NEW FINISH FLOOR. DOOR WILL WIDEN TO ALLOW FOR 32" CLEAR OPENING. TRIM WILL BE MODIFIED TO ACCOMMODATE THESE CHANGES.

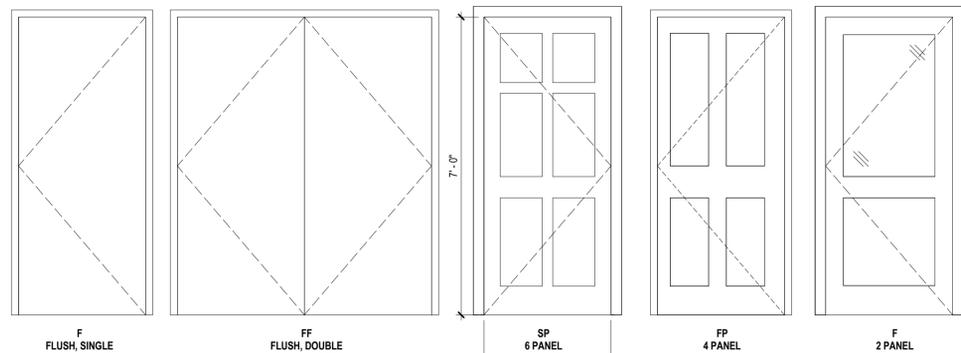
- WIDEN 1" AT HEADER
- REMOVE 3" OF FLAT STOCK TRIM FROM PEDIMENT
- REMOVE 10" OF FLAT STOCK TRIM FROM HEAD OF DOOR
- FLUTES WILL REMAIN BUT WILL HAVE LESS FLAT STOCK TRIM ON THE EXTERIOR EDGE BEHIND THEM, BOTH SIDES
- MOVE 1" OUTBOARD OF DOOR FRAME FOR NEW DOOR OPENING
- NEW FINISH FLOOR ELEVATION

EXISTING GRADE (TO BE RAISED TO NEW DOOR THRESHOLD HEIGHT), SEE LANDSCAPE DRAWINGS



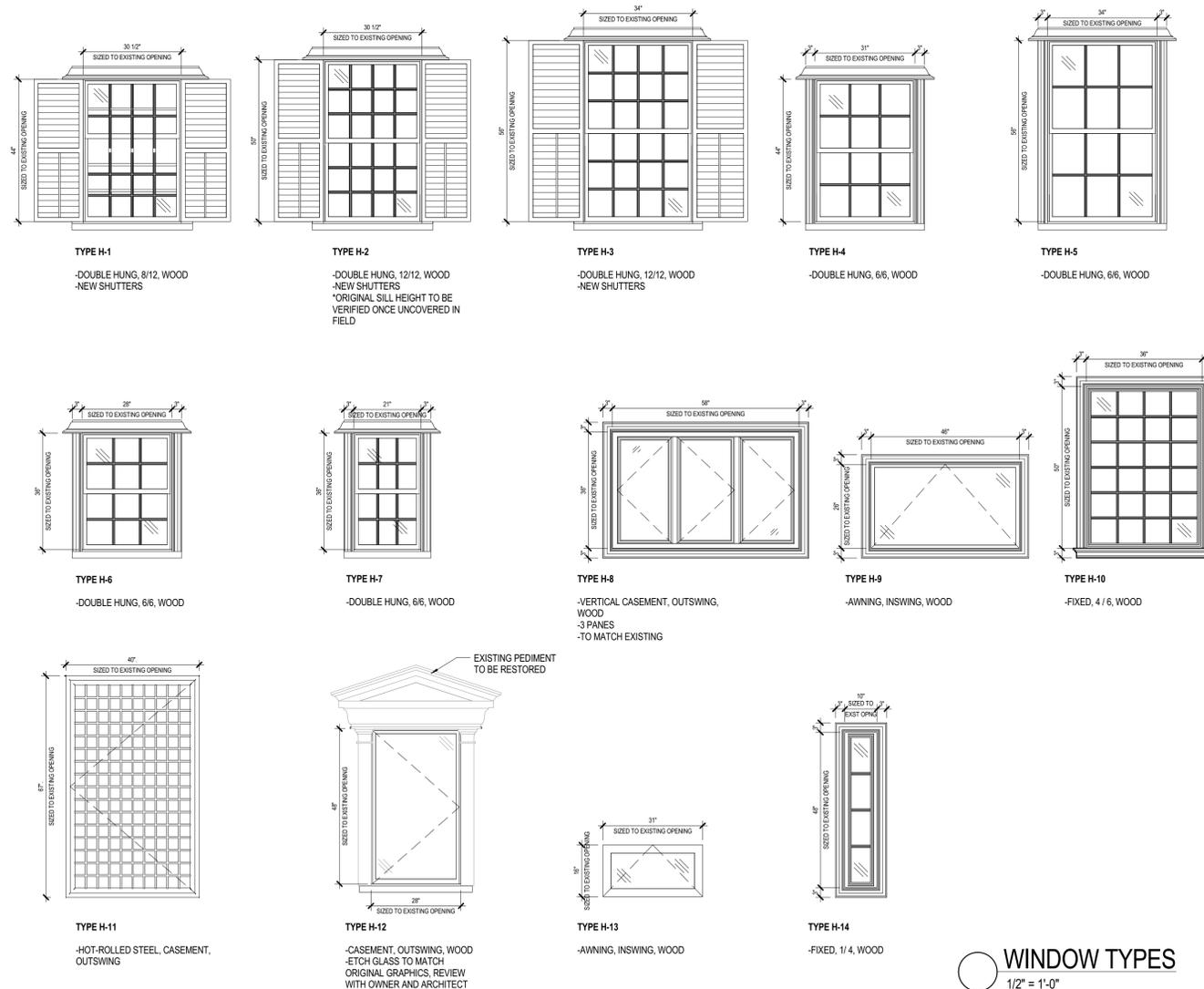
### 1 OFFICE ENTRY MODIFICATIONS

1/2" = 1'-0"



### DOOR LEGEND

1/2" = 1'-0"



### WINDOW TYPES

1/2" = 1'-0"

# PERKINS + WILL

225 Franklin Street, Suite 1100  
Boston, MA 02110  
1617.478.0300  
1617.478.0321  
www.perkinswill.com

#### PROJECT

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Epstein Farm**  
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#### CONSULTANTS

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Salem, Massachusetts 01970  
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1978.745.6067

Construction Documents

February 1, 2017

#### ISSUE CHART

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Job Number		000035.015
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Approved		Approver
TITLE		

### HOUSE - WINDOWS AND DOORS

SHEET NUMBER

# A32-01

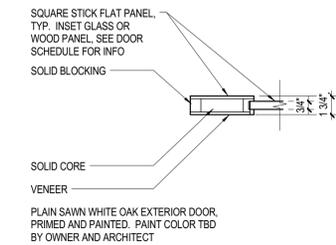
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A62-00s - DOOR AND FRAME SCHEDULE - BARN										
ROOM NUMBER	TAG	OPENING		OPENING SIZE		DOOR			HARDWARE	REMARKS
		ROOM NAME		WIDTH	HEIGHT	TYPE	MATERIAL	FINISH		
009	010	EXTERIOR - BARN BASEMENT		8'-0"	6'-0"	FF	WOOD	PAINTED	02	NEW CUSTOM EXTERIOR BARN BASEMENT DOOR, MATCH EXISTING
011	011	BATHROOM		3'-0"	6'-8"	F	WOOD	PAINTED	04	BATHROOM
012	012	COLD STORAGE		3'-0"	6'-8"	F	WOOD	PAINTED	12	COLD STORAGE DOOR BY OTHERS
013	013	MECHANICAL ROOM		3'-0"	6'-8"	F	WOOD	PAINTED	07	MECHANICAL ROOM
009	x010	EXTERIOR - BARN BASEMENT		8'-0"	5'-0"	FF	WOOD	PAINTED	09	REMOVE + SALVAGE
BARN BASEMENT: 5										
100	100	SIDE ENTRANCE		3'-0"	7'-0"				01A	NEW TWO PANEL EXTERIOR DOOR, BOTTOM WOOD PANEL, UPPER GLASS PANEL
101	101	BATHROOM		3'-0"	6'-8"	F	WOOD	PAINTED	04	NEW TWO PANEL INTERIOR DOOR
103	103	FRONT ENTRANCE		3'-0"	6'-8"	FG	WOOD	PAINTED	01	NEW INTERIOR WOOD DOOR WITH FULL GLAZING
103	103A	FRONT ENTRANCE		11'-7 1/2"	8'-8"				10	NANAWALL
103	104	FRONT ENTRANCE		3'-0"	6'-8"	F	WOOD	PAINTED	01	NEW TWO PANEL INTERIOR DOOR
106	105	STORAGE		3'-0"	6'-8"	F	WOOD	PAINTED	06	NEW TWO PANEL INTERIOR DOOR
104	106	CLASSROOM/ KITCHEN		3'-0"	7'-0"	F	WOOD	PAINTED	11	H CLARK HISTORIC DOOR, MOVED TO NEW LOCATION, FUNCTIONS AS SLIDING DOOR
100	x100	SIDE ENTRANCE		2'-6"	7'-0"	F			09	REMOVE + SALVAGE
100	x102	SIDE ENTRANCE		2'-4"	6'-7"	F			09	EXISTING TO REMAIN
ST-B1	x103	STAIR B1		2'-4"	5'-11"	F			09	EXISTING TO REMAIN
104	X104	CLASSROOM/ KITCHEN		3'-0"	7'-0"	N/A			09	REMOVE + SALVAGE
103	x105	FRONT ENTRANCE		9'-7"	8'-3"	F			09	EXISTING TO REMAIN
BARN LEVEL 1: 12										
202	202	MECH		2'-6"	6'-8"	F			06	NEW FLUSH INTERIOR DOOR, LOUVER FOR MECH. EQUIP.
ST-B1	x201	STAIR B1		2'-3"	6'-0"	F			09	EXISTING TO REMAIN
203	x203	EXISTING EXPOSED HISTORIC SPACE		4'-2"	5'-0"	F			09	EXISTING TO REMAIN
BARN LEVEL 2: 3										
Grand total: 20										

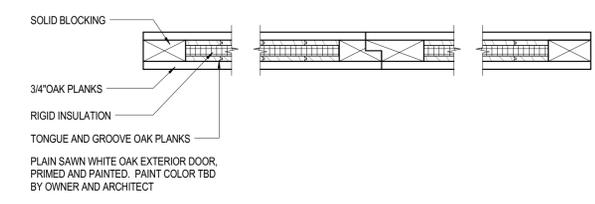
A33-00s - WINDOW SCHEDULE - BARN										
TYPE	R.O.		DESCRIPTION	MANUFACTURER	MODEL	FINISH	SILL	COMMENTS		
	WIDTH	HEIGHT								
B-1	2'-10"	4'-8"	Double Hung - Twelve Over Twelve	WW WOODWORKS				RESTORE		
2										
B-2	2'-7"	4'-4"	Double Hung - Eight Over Eight	WW WOODWORKS				RESTORE		
1										
B-2.1	2'-7"	4'-4"	Double Hung - Eight Over Eight	WW WOODWORKS				RESTORE		REPAIR TOP SASH. NEW LOWER SASH TO MATCH EXISTING
1										
B-3	2'-7"	5'-4"	Double Hung - Six Over Six	WW WOODWORKS				RESTORE		
2										
B-3.1	2'-7"	5'-4"	Double Hung - Six Over Six	WW WOODWORKS				RESTORE		NEW WINDOW IN EXISTING OPENING TO MATCH TYPE B-3
1										
B-3.2	2'-7"	5'-4"	Double Hung - Six Over Six	WW WOODWORKS				RESTORE		NEW WINDOW INSERTED INTO EXISTING FRAMED OPENING
1										
B-4	2'-7"	4'-8"	Double Hung - Six Over Six	WW WOODWORKS				RESTORE		
1										
B-5	2'-6"	1'-11"	Fixed - Three Over Three	WW WOODWORKS				RESTORE		
4										
B-6		4'-8"	Fixed - Fan Window	WW WOODWORKS				RESTORE		
2										
B-6.1	4'-0"	4'-8"	Fixed - Fan Window	WW WOODWORKS				RESTORE		NEW WINDOW IN EXISTING OPENING TO MATCH SOUTH ELEVATION
1										
B-7	2'-6"	1'-8"	Fixed - Basement Window	BROSCO						
2										
B-7.1	2'-6"	1'-8"	Fixed - Basement Window							REMOVE EXISTING WINDOW SASH AND PROVIDE NEW LOUVER IN WINDOW
1										
B-8	3'-0"	5'-0"	Casement - Outswing	BROSCO	WUCA3648					NEW INTERIOR WINDOW
4										
Grand total: 24										



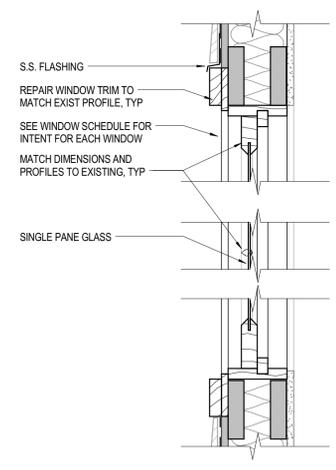
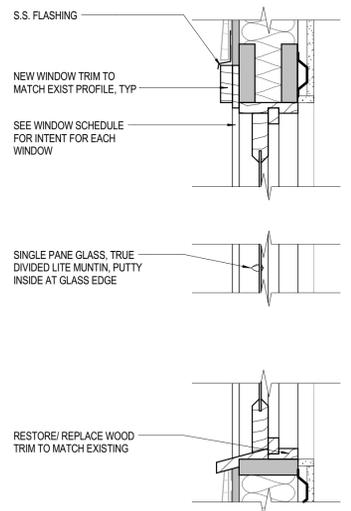
NO	ISSUE	DATE
Job Number		000035.015
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Approved		BT



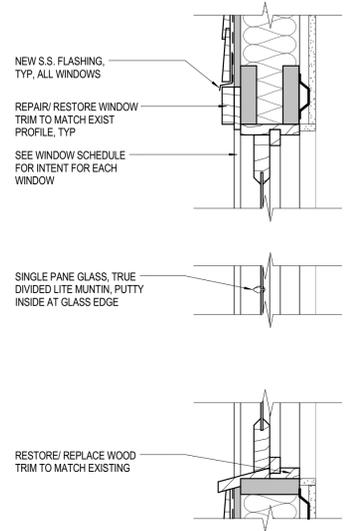
**3 DOOR DTL JAMB TWO PANEL**  
 1 1/2" = 1'-0"



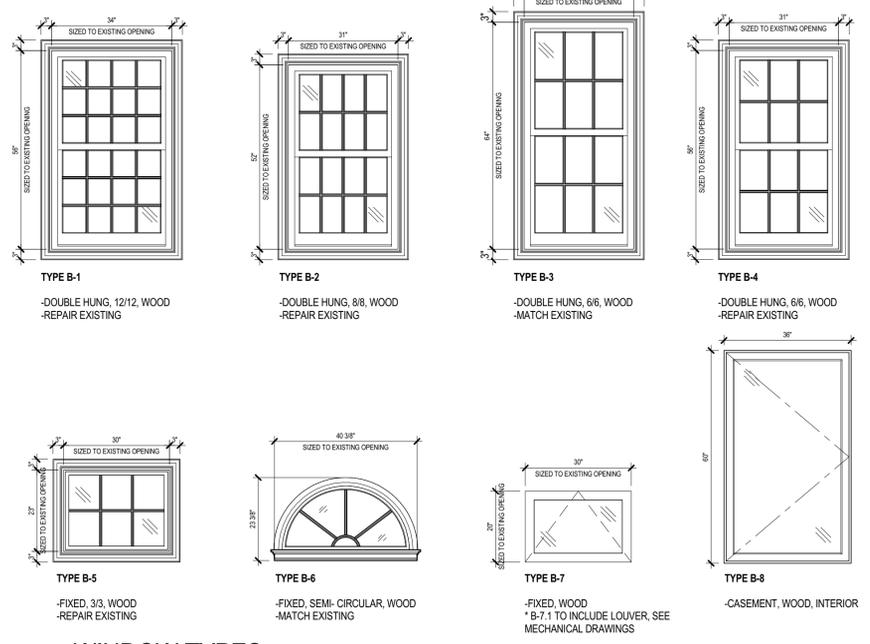
**7 DTL - BASEMENT BARN DOOR**  
 1 1/2" = 1'-0"



**4 HEAD AND SILL DETAIL - FAN WINDOW**  
 1 1/2" = 1'-0"



**1 HEAD AND SILL - EIGHT OVER EIGHT**  
 1 1/2" = 1'-0"



**WINDOW TYPES**  
 1/2" = 1'-0"



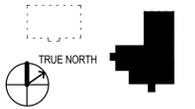
**PROJECT**

**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
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**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119

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Construction Documents  
February 1, 2017

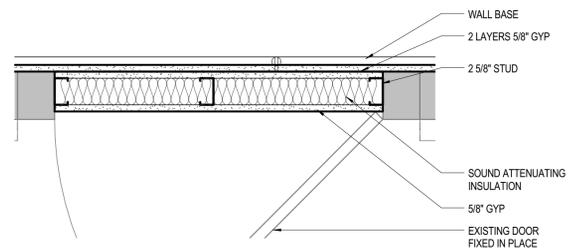
**ISSUE CHART**

NO	ISSUE	DATE
Job Number		000035.015
Checked	Checker	
Approved	Approver	
<b>TITLE</b>		

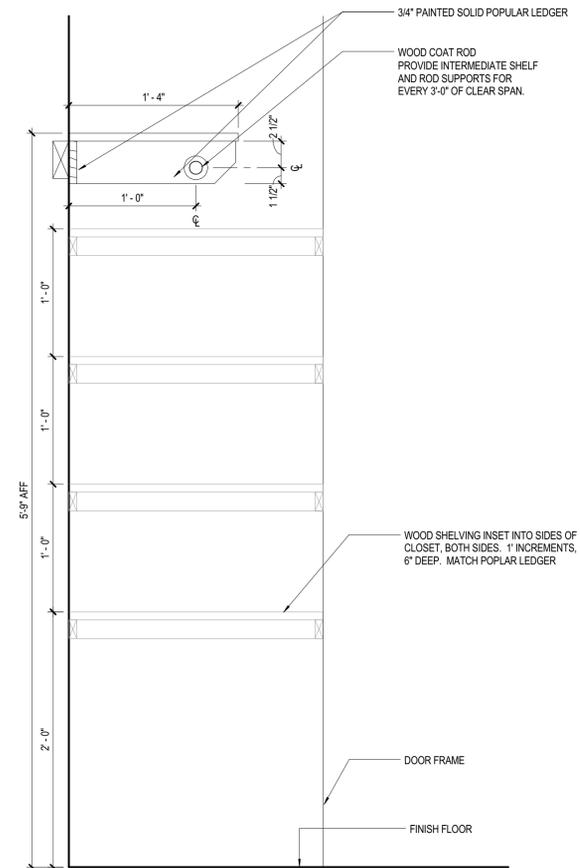
**HOUSE - INTERIOR  
DETAILS**

**SHEET NUMBER**

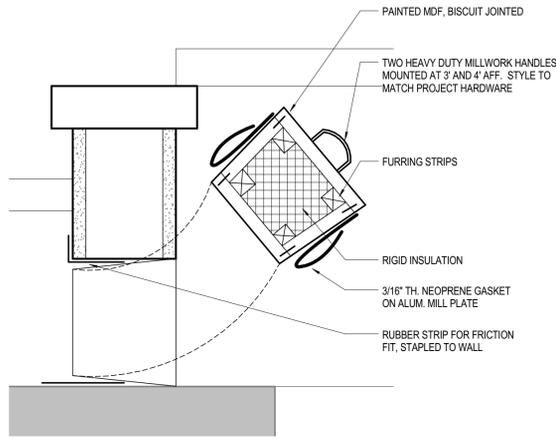
**A41-01**



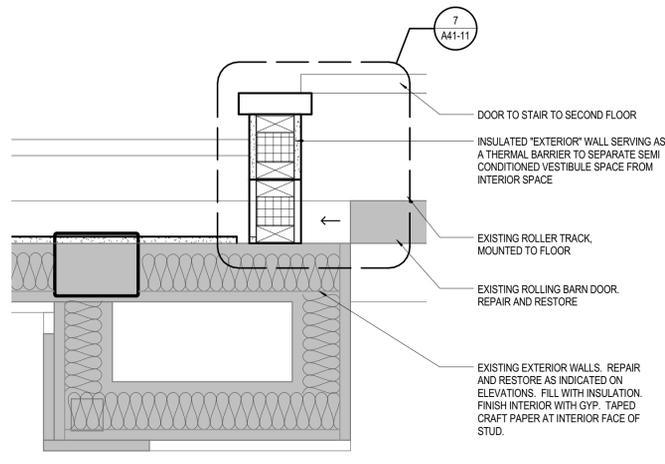
**2 DOOR INFILL WALL**  
1 1/2" = 1'-0"



**1 COAT ROD AND SHELF**  
1 1/2" = 1'-0"

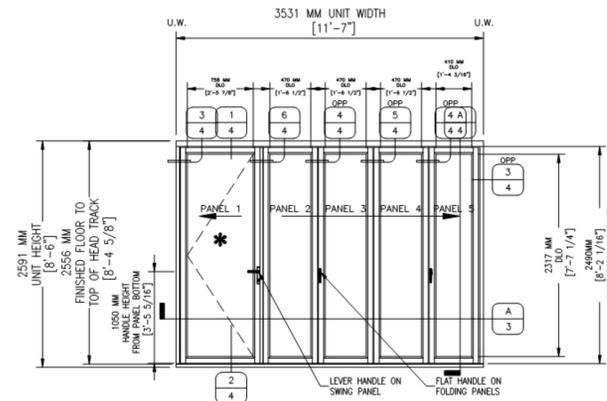
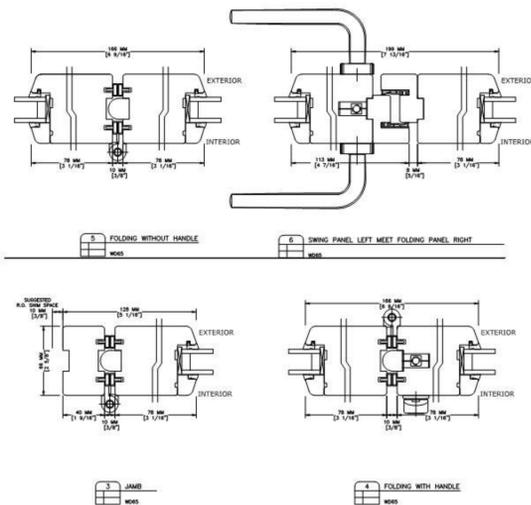


**7 HINGED GASKET CLOSURE - ENLARGED**  
3" = 1'-0"

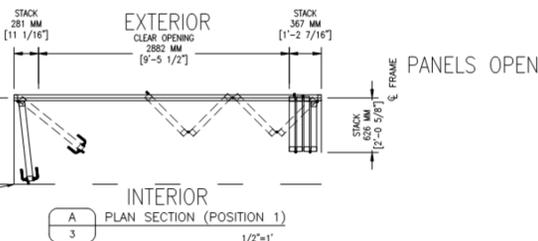
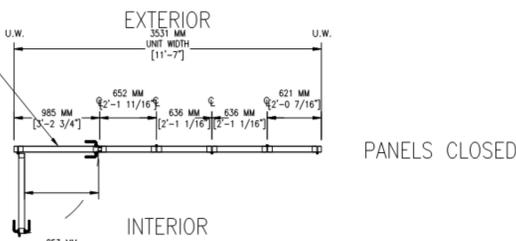


**6 HINGED GASKET CLOSURE FOR BARN DOOR**  
1 1/2" = 1'-0"

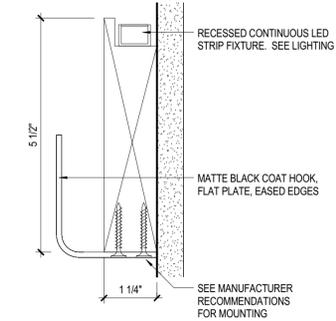
NANAWALL SYSTEM: W65 FOLDING SYSTEMS (WOOD)  
 CONFIGURATION: INWARD 1 LEFT - INWARD 4 RIGHT  
 TYPE OF GLASS: DOUBLE INSULATED 174 LOW E TEMPERED, SPACER BAR WITH DARK BRONZE FINISH  
 MAIN DOOR HDW: MULTI POINT LOCKING WITH LATCH, DEADBOLT AND LEVER HANDLES ON BOTH SIDES ON SWING PANEL (DOES NOT UNLOCK WITH ONE MOTION)  
 FOLDING DOOR HDW: FLAT HANDLE STAINLESS STEEL WITH BLACK TITANIUM FINISH  
 HINGE FINISH: DARK BRONZE ANODIZED  
 SILL TYPE: NON-THERMALLY BROKEN FLUSH (NO RATING AGAINST WIND DRIVEN RAIN OR SURFACE WATER)  
 SILL FINISH: DARK BRONZE ANODIZED



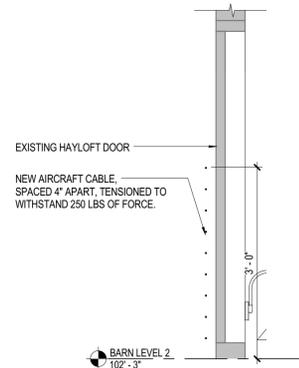
1 ELEVATION - POSITION 1  
 QUANTITY [1]  
 (TYPICAL: ELEVATIONS SHOWN FROM INTERIOR)  
 \* FIRST PANEL OPEN  
 NANA WALL W65 FOLDING SYSTEMS (WOOD)  
 CONFIGURATION: INWARD 1 LEFT - INWARD 4 RIGHT  
 SILL TYPE: NON-THERMALLY BROKEN FLUSH (NO RATING AGAINST WIND DRIVEN RAIN OR SURFACE WATER)  
 MOUNT OPTION: TOP



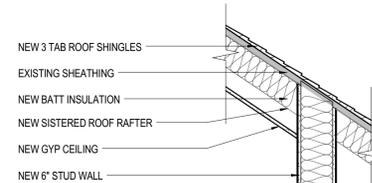
NOTE: FOR ADA COMPLIANCE IN COMMERCIAL PROJECTS, A GASKET TO COVER THE CHANNEL IN THE SILL AT SWING PANEL(S) IS PROVIDED.



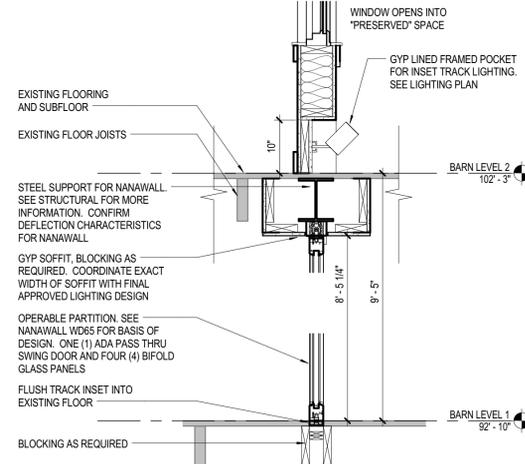
**4 COAT RACK SECTION DETAIL**  
6" = 1'-0"



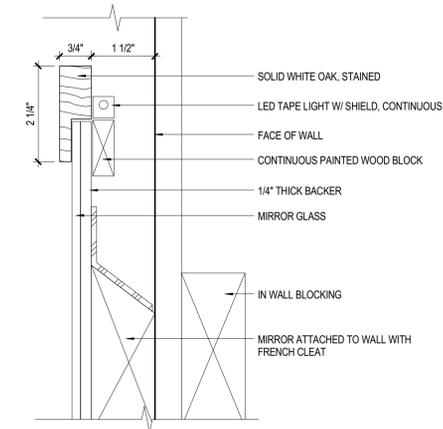
**3 HAYLOFT DOOR GUARDRAIL**  
3/4" = 1'-0"



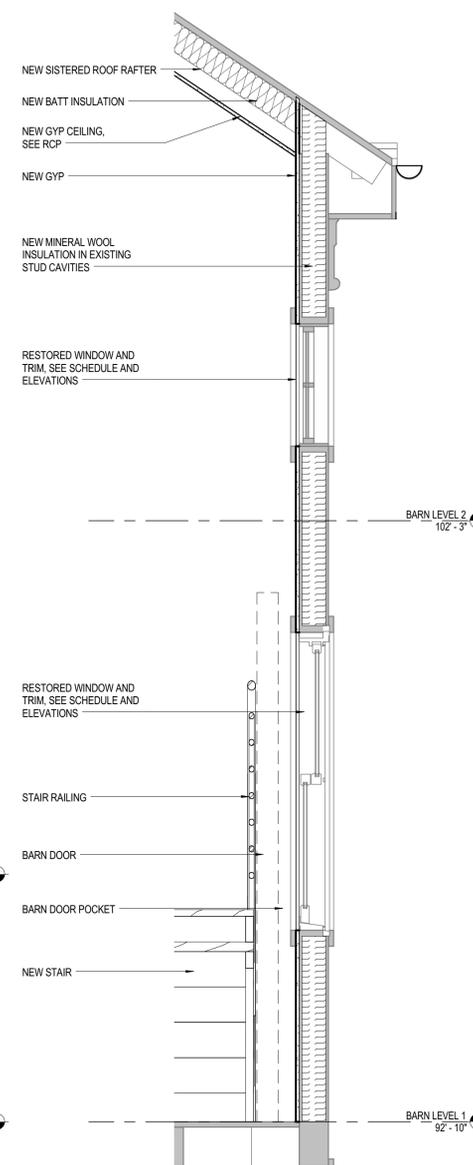
SISTERED LVL HEADER AS REQUIRED FOR MATCHING DEFLECTION CHARACTERISTICS FOR NANAWALL BELOW  
 FLAT STOCK WOOD CASE TRIM, BOTH SIDES, TYP  
 NEW OUTSWING OPERABLE CASEMENT WINDOWS, SEE WINDOW SCHEDULE



**2 L1 AND L2 GLAZING SYSTEMS**  
3/4" = 1'-0"



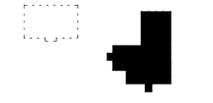
**5 DETAIL @ MIRROR**  
6" = 1'-0"



**1 STAIR B2 WALL CAVITY**  
3/4" = 1'-0"



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<b>TITLE</b>		

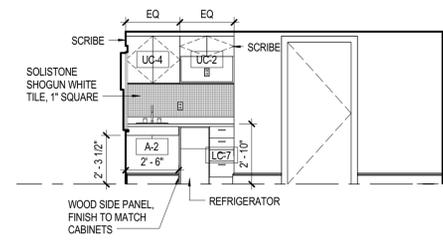


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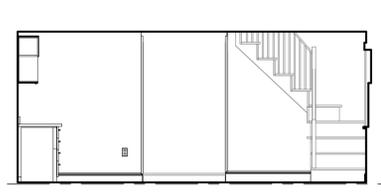
**HOUSE - INTERIOR  
ELEVATIONS -  
LEVEL 01**

**SHEET NUMBER**

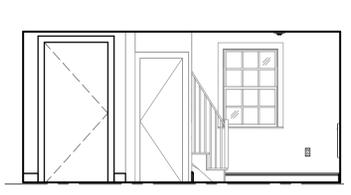
**A45-01**



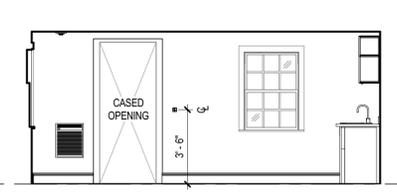
**12 FOYER - WEST**  
1/4" = 1'-0"



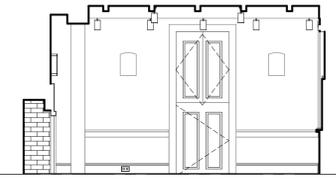
**11 FOYER - NORTH**  
1/4" = 1'-0"



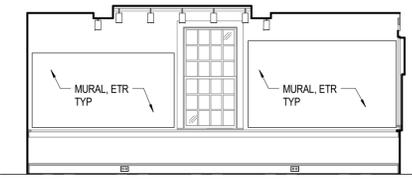
**10 FOYER - EAST**  
1/4" = 1'-0"



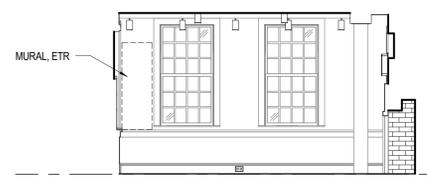
**9 FOYER - SOUTH**  
1/4" = 1'-0"



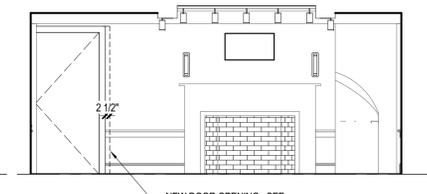
**8 OFFICE 116 - WEST**  
1/4" = 1'-0"



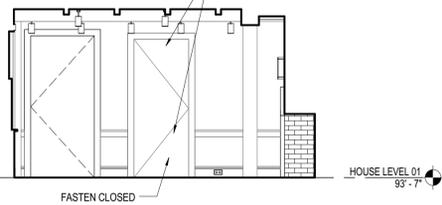
**7 OFFICE 116 - NORTH**  
1/4" = 1'-0"



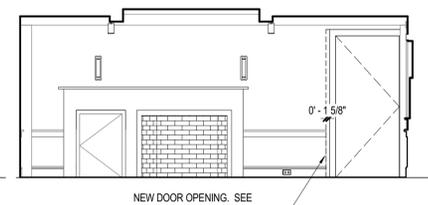
**6 OFFICE 116 - EAST**  
1/4" = 1'-0"



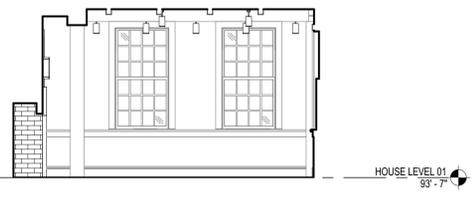
**5 OFFICE 116 - SOUTH**  
1/4" = 1'-0"



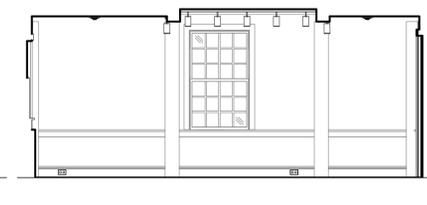
**4 OFFICE 114 - WEST**  
1/4" = 1'-0"



**3 OFFICE 114 - NORTH**  
1/4" = 1'-0"



**2 OFFICE 114 - EAST**  
1/4" = 1'-0"



**1 OFFICE 114 - SOUTH**  
1/4" = 1'-0"



**PROJECT**

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**Structures North**  
60 Washington Street, Suite 401  
Salem, Massachusetts 01970  
978.745.6817  
978.745.6067



Construction Documents  
February 1, 2017

**ISSUE CHART**

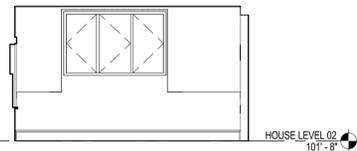
NO	ISSUE	DATE
Job Number		000035.015
Checked	Checker	
Approved	Approver	

**TITLE**

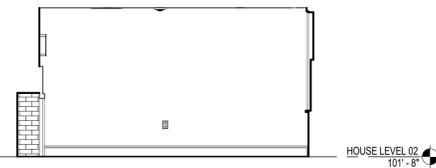
**HOUSE - INTERIOR  
ELEVATIONS -  
LEVEL 02**

**SHEET NUMBER**

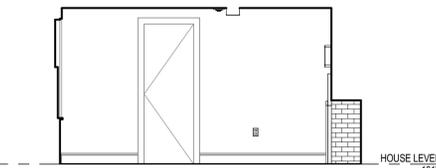
**A45-02**



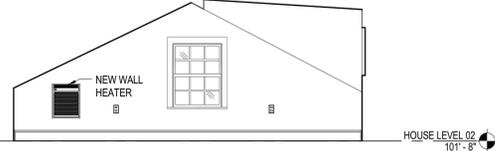
**12** READING ROOM - WEST  
1/4" = 1'-0"



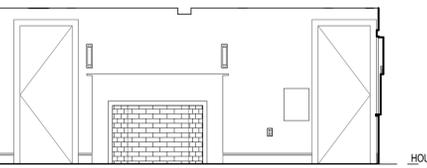
**8** OFFICE 216 - WEST  
1/4" = 1'-0"



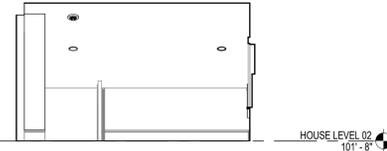
**4** OFFICE 214 - WEST  
1/4" = 1'-0"



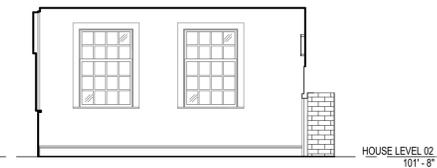
**11** READING ROOM - SOUTH  
1/4" = 1'-0"



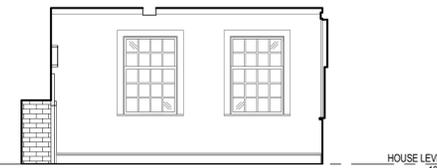
**3** OFFICE 214 - NORTH  
1/4" = 1'-0"



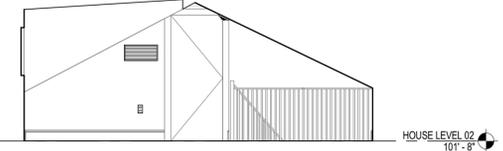
**10** READING ROOM - EAST  
1/4" = 1'-0"



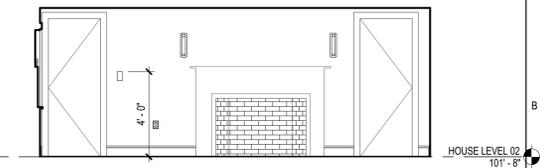
**6** OFFICE 216 - EAST  
1/4" = 1'-0"



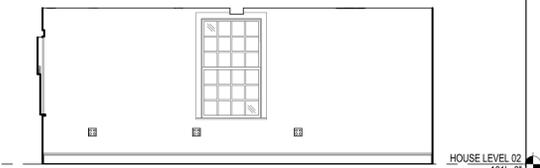
**2** OFFICE 214 - EAST  
1/4" = 1'-0"



**9** READING ROOM - NORTH  
1/4" = 1'-0"



**5** OFFICE 216 - SOUTH  
1/4" = 1'-0"



**1** OFFICE 214 - SOUTH  
1/4" = 1'-0"



**PROJECT**

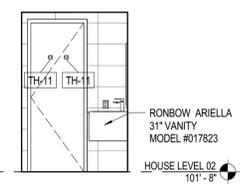
**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
Massachusetts 02126

**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119

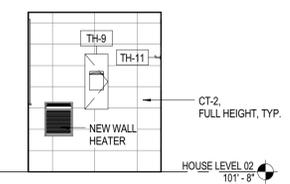
**CONSULTANTS**

Structural Consultant  
**Structures North**  
60 Washington Street, Suite 401  
Salem, Massachusetts 01970  
1978.745.6817  
1978.745.6067

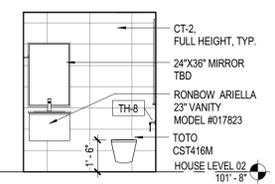
NOTE:  
ALL TOILETS ARE WALL HUNG IN PUBLIC AREAS



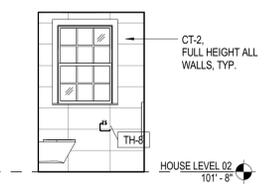
**16 BATHROOM 212 - EAST**  
1/4" = 1'-0"



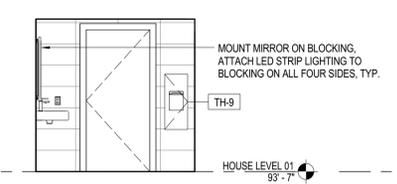
**15 BATHROOM 212 - NORTH**  
1/4" = 1'-0"



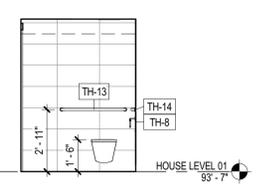
**14 BATHROOM 212 - SOUTH**  
1/4" = 1'-0"



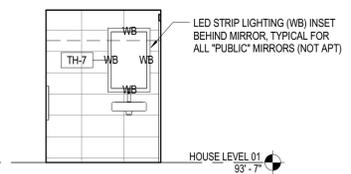
**13 BATHROOM 212 - WEST**  
1/4" = 1'-0"



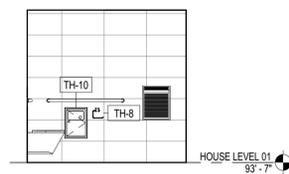
**12 BATHROOM 113 - EAST**  
1/4" = 1'-0"



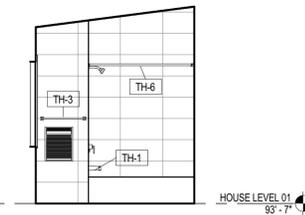
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1/4" = 1'-0"



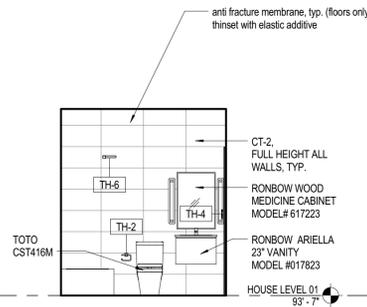
**10 BATHROOM 113 - NORTH**  
1/4" = 1'-0"



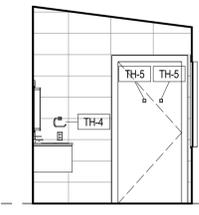
**9 BATHROOM 113 - WEST**  
1/4" = 1'-0"



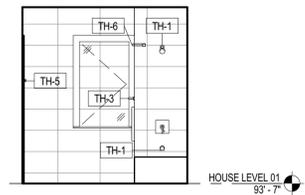
**8 BATHROOM 121 - WEST**  
1/4" = 1'-0"



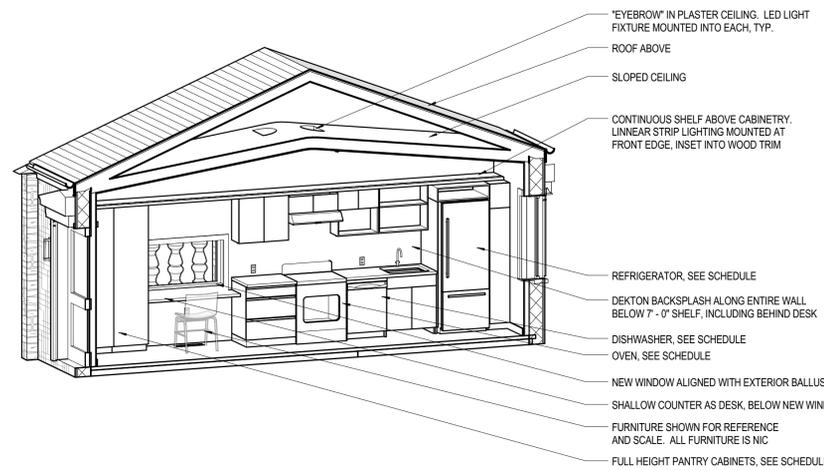
**7 BATHROOM 121 - NORTH**  
1/4" = 1'-0"



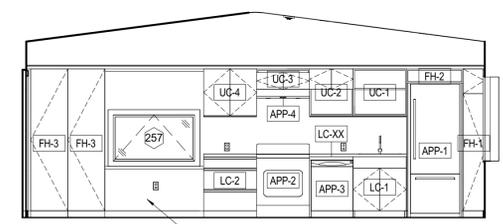
**6 BATHROOM 121 - EAST**  
1/4" = 1'-0"



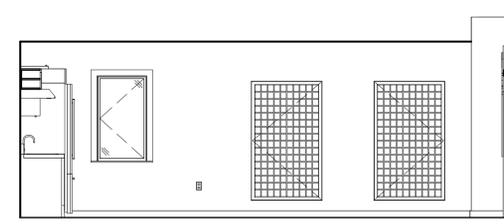
**5 BATHROOM 121 - SOUTH**  
1/4" = 1'-0"



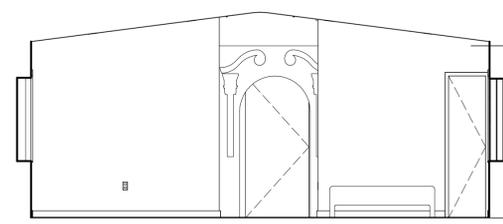
- "EYEBROW" IN PLASTER CEILING. LED LIGHT FIXTURE MOUNTED INTO EACH, TYP.
- ROOF ABOVE
- SLOPED CEILING
- CONTINUOUS SHELF ABOVE CABINETRY. LINEAR STRIP LIGHTING MOUNTED AT FRONT EDGE. INSET INTO WOOD TRIM
- REFRIGERATOR, SEE SCHEDULE
- DEKTON BACKSPLASH ALONG ENTIRE WALL BELOW 7'-0" SHELF, INCLUDING BEHIND DESK
- DISHWASHER, SEE SCHEDULE
- OVEN, SEE SCHEDULE
- NEW WINDOW ALIGNED WITH EXTERIOR BALLUSTRADE
- SHALLOW COUNTER AS DESK, BELOW NEW WINDOW OPENING
- FURNITURE SHOWN FOR REFERENCE AND SCALE. ALL FURNITURE IS NIC
- FULL HEIGHT PANTRY CABINETS, SEE SCHEDULE



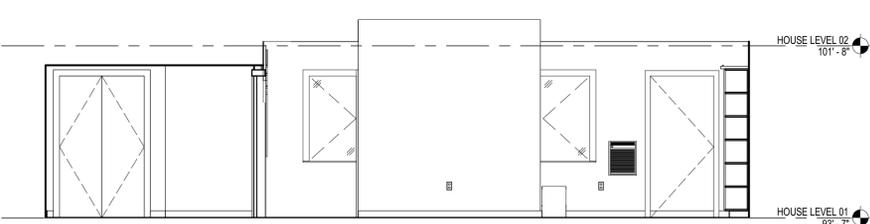
**4 APARTMENT AREA - WEST**  
1/4" = 1'-0"



**3 APARTMENT AREA - NORTH**  
1/4" = 1'-0"



**2 APARTMENT AREA - EAST**  
1/4" = 1'-0"



**1 APARTMENT AREA - SOUTH**  
1/4" = 1'-0"

Construction Documents  
February 1, 2017

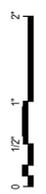
**ISSUE CHART**

NO	ISSUE	DATE
Job Number		000035.015
Checked		Checker
Approved		Approver

**TITLE**  
**HOUSE - INTERIOR  
ELEVATIONS -  
LEVELS 01 AND 02**

**SHEET NUMBER**

**A45-03**



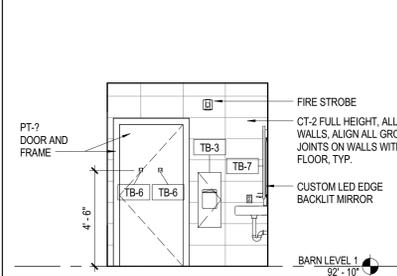
**PROJECT**

**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
Massachusetts 02126

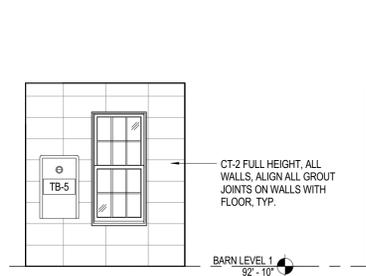
**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119

**CONSULTANTS**

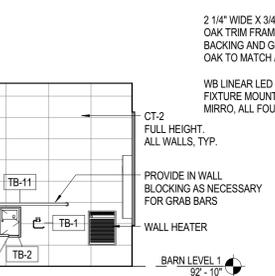
Structural Consultant  
**Structures North**  
60 Washington Street, Suite 401  
Salem, Massachusetts 01970  
1 978.745.6817  
1 978.745.6067



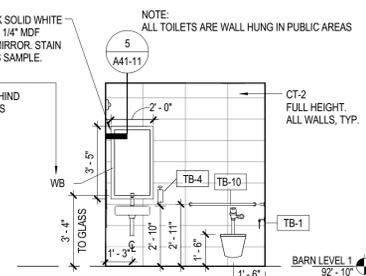
**17 LEVEL 1 BATH - EAST**  
1/4" = 1'-0"



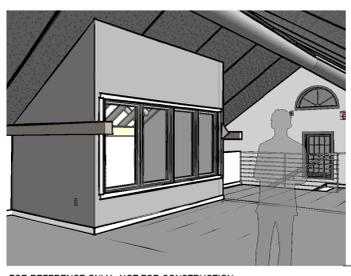
**16 LEVEL 1 BATH - NORTH**  
1/4" = 1'-0"



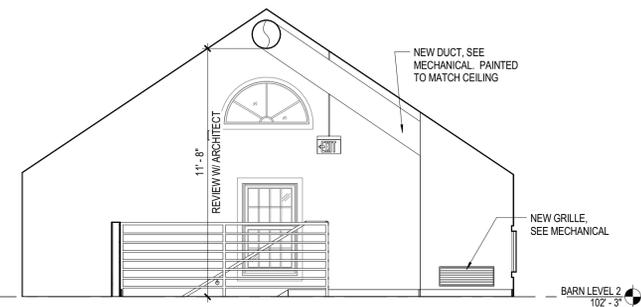
**15 LEVEL 1 BATH - WEST**  
1/4" = 1'-0"



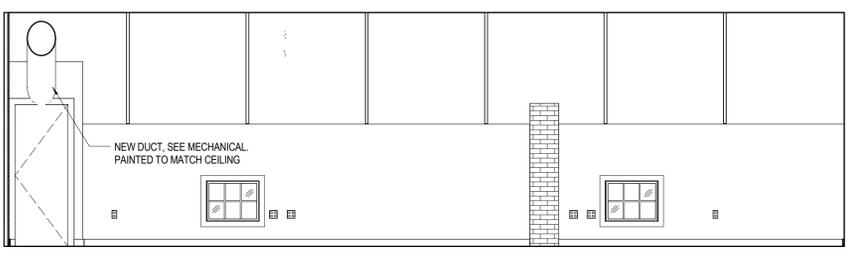
**14 LEVEL 1 BATH - SOUTH**  
1/4" = 1'-0"



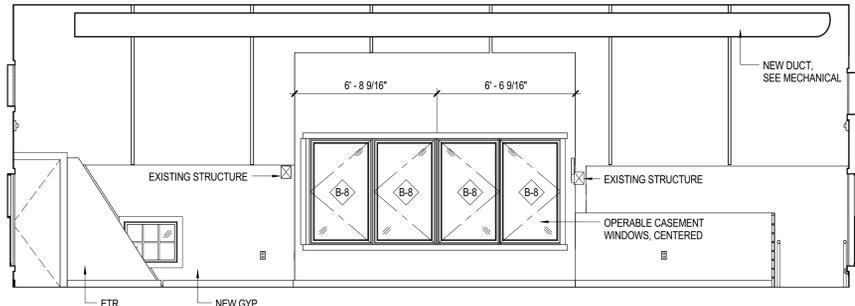
FOR REFERENCE ONLY. NOT FOR CONSTRUCTION



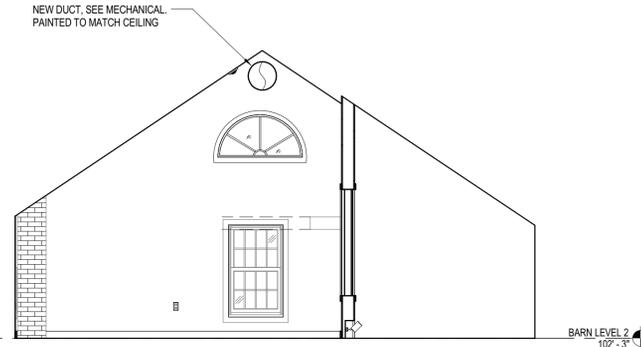
**13 BARN OFFICE AREA - SOUTH**  
1/4" = 1'-0"



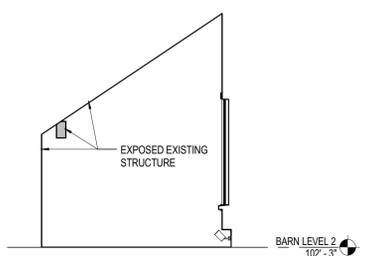
**12 BARN OFFICE AREA - WEST**  
1/4" = 1'-0"



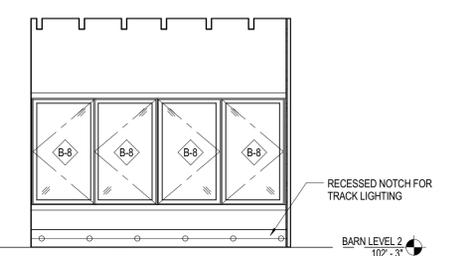
**11 BARN OFFICE AREA - EAST**  
1/4" = 1'-0"



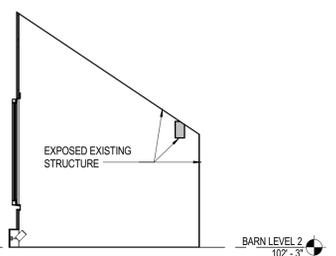
**10 BARN OFFICE AREA - NORTH**  
1/4" = 1'-0"



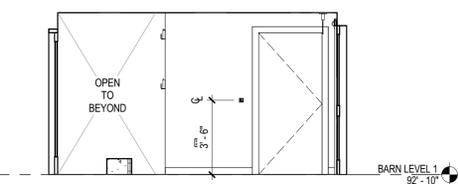
**9 HISTORIC SPACE - SOUTH**  
1/4" = 1'-0"



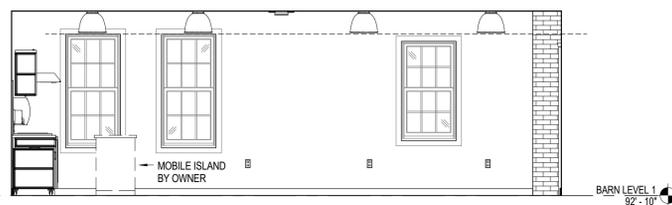
**8 HISTORIC SPACE - WEST**  
1/4" = 1'-0"



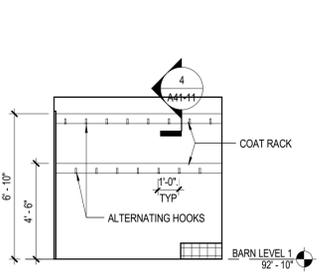
**7 HISTORIC SPACE - NORTH**  
1/4" = 1'-0"



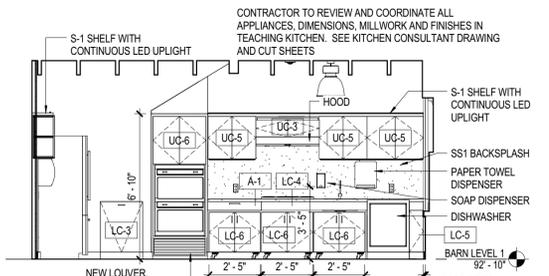
**6 SIDE ENTRANCE - WEST**  
1/4" = 1'-0"



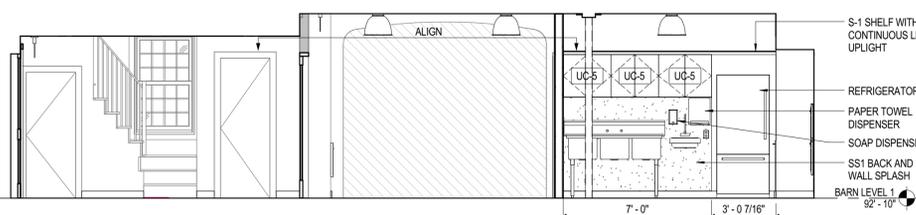
**5 CLASSROOM / KITCHEN - WEST**  
1/4" = 1'-0"



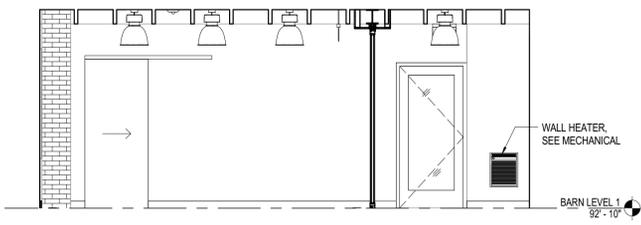
**4 CORRIDOR 105 - NORTH**  
1/4" = 1'-0"



**3 CLASSROOM / KITCHEN - SOUTH**  
1/4" = 1'-0"



**2 CLASSROOM / KITCHEN - EAST**  
1/4" = 1'-0"



**1 CLASSROOM / KITCHEN - NORTH**  
1/4" = 1'-0"



Construction Documents  
February 1, 2017

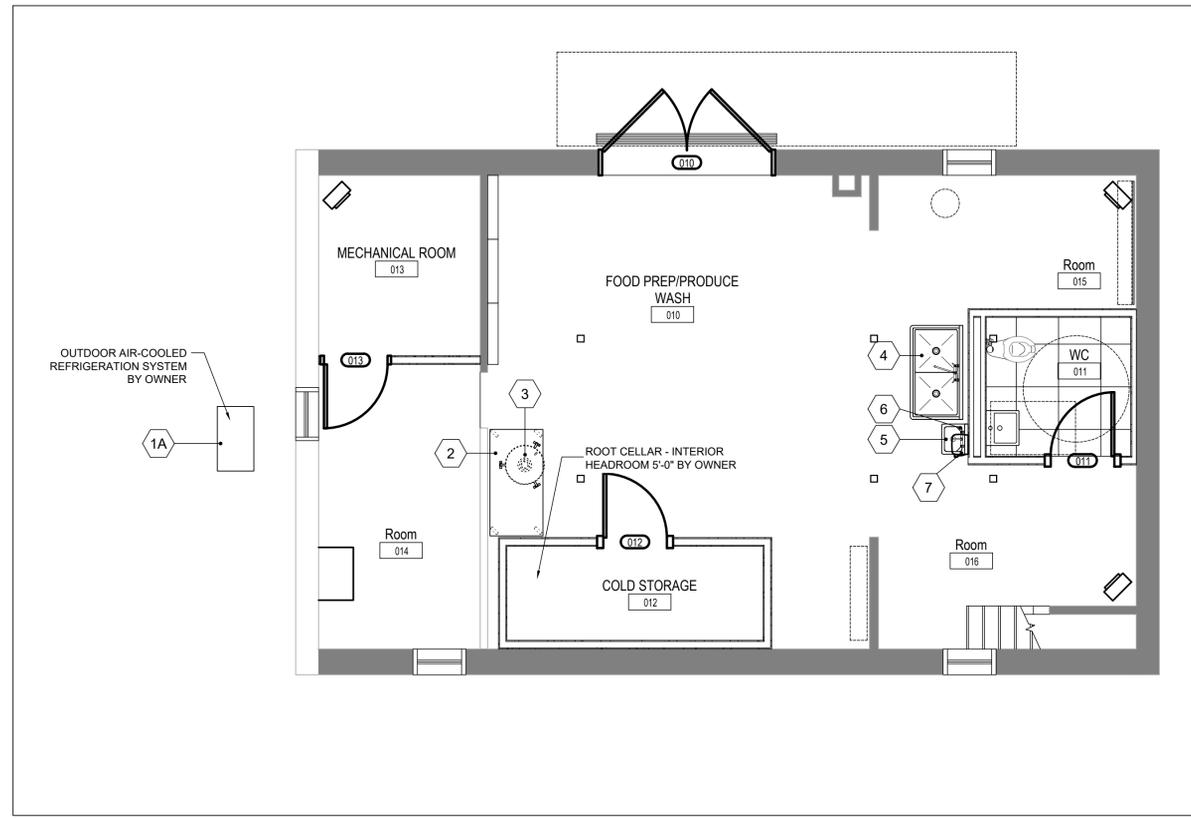
**ISSUE CHART**

NO	ISSUE	DATE
Job Number		000035.015
Checked	Checker	
Approved	Approver	
<b>TITLE</b>		

**BARN - INTERIOR  
ELEVATIONS**

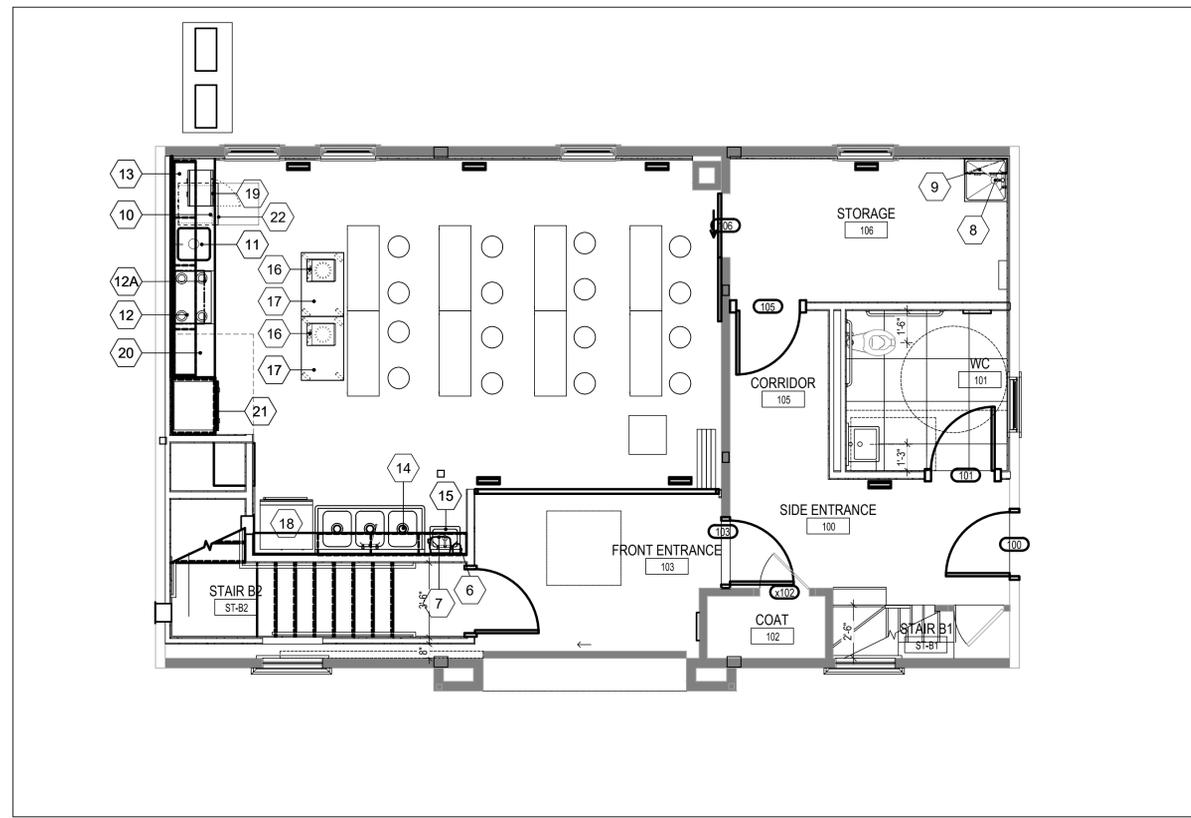
**SHEET NUMBER**

**A45-11**



**BARN BASEMENT - FOODSERVICE EQUIPMENT PLAN**

Scale: 1/4" = 1'-0"



**BARN LEVEL 01 - FOODSERVICE EQUIPMENT PLAN**

Scale: 1/4" = 1'-0"

**SCHEDULE OF FOODSERVICE EQUIPMENT AND CONNECTIONS**

Item	Qty	Description	Plumbing	Electrical
1	1	Walk-in cooler (by Owner)		
1A	1	Refrigeration system (by Owner)		
2	1	Mobile work table		20 A - 120/1 wall mtd GFI
3	1	Salad dryer		2.7 A - 120/1 - NEMA 5-15P
4	1	Prep sinks with faucet	1/2" H&CW; 2" IW to FS	
5	1	Hand sink with faucet	1/2" H&CW; 1-1/2" W	
6	2	Soap Dispensers		
7	2	Towel dispensers		
8	1	Mop sink and hose bib	1/2" H&CW; drain in floor	
9	1	Wall shelf/mop hangers		
10	1	Millwork counter and top (by GC)		(2) 20 A - 120/1 wall mtd GFI
11	1	Food prep sink with faucet	1/2" H&CW; 1-1/2" IW to FS	
12	1	Electric range top		30 A circuit - 208/1
12A	1	Range ventilator with fire suppression system		15 A - 120/1
		Recirculating air		
13	1	Millwork wall cabinets (by GC)		
14	1	Three-compartment wash sinks with faucet	(2) 1/2" 120° H&CW (3) 1-1/2" W thru GI by PC	
15	1	Hand sink with faucet	1/2" H&CW; 1-1/2" W	
16	2	Induction cooktop unit, portable		1.8 KW - 1201 - NEMA 5-15
17	2	Mobile work counter		
18	1	Refrigerator with freezer	3/8" CW	2.4 A - 120/1 - C&P
19	1	Microwave oven		13.4 A - 120/1 - NEMA 5-15P
20	1	Millwork cabinet (by GC)		
21	1	Double wall ovens		40 A circuit - 208/1
22	1	Under counter dish washer	1/2" HW; 5/8" W	20 A circuit - 120/1



225 Franklin Street, Suite 1100  
Boston, MA 02110  
1 617 478 0300  
1 617 478 0321  
www.perkinswill.com

**PROJECT**

**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
Massachusetts 02126

**Fowler Clark Farm LLC**  
Roxbury, Massachusetts U2119

**CONSULTANTS**

Structural Consultant  
**Structures North**  
60 Washington Street, Suite 401  
Salem, Massachusetts 01970  
1 978 745 6817  
1 978 745 6067



**Food Facilities Planners**  
161 West Main Street Georgetown, MA 01833  
phone 978.352.8500 fax 978.352.8588  
www.Crabtree-McGrath.com



100% Construction Documents  
October 3, 2016

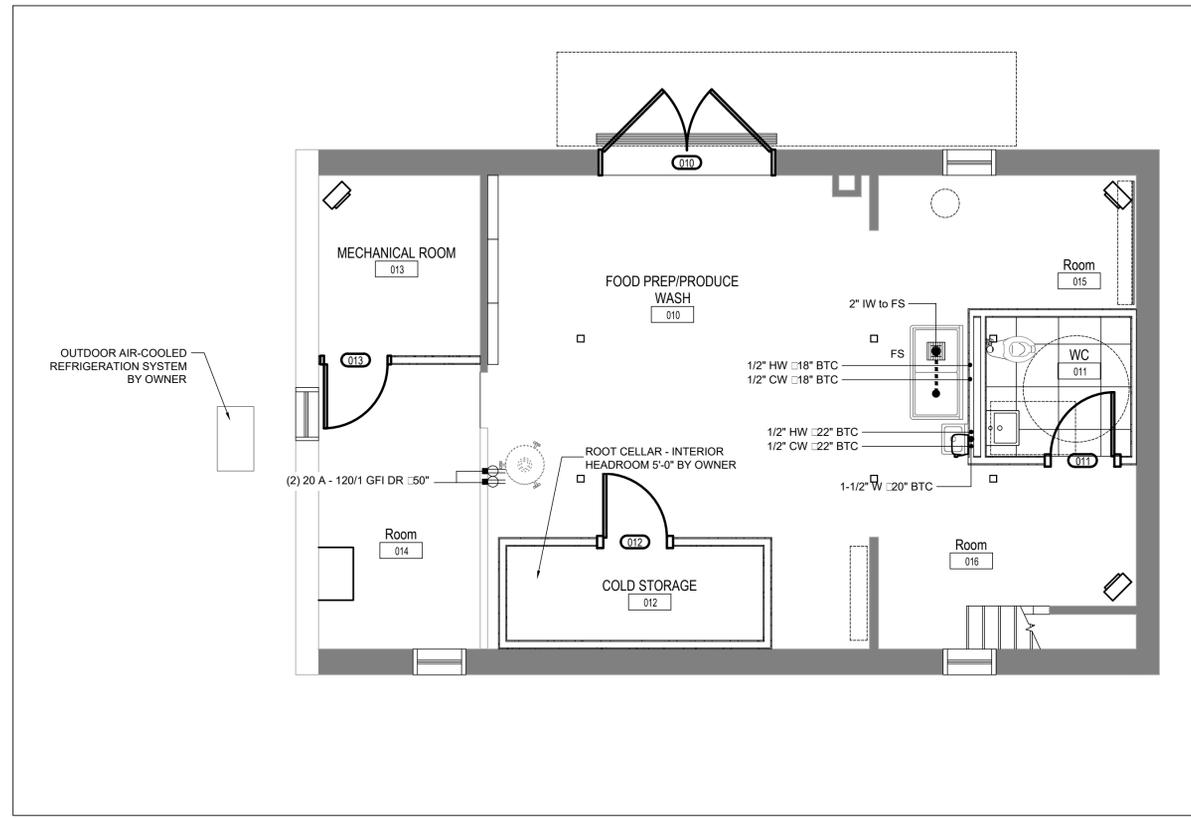
**ISSUE CHART**

NO	ISSUE	Date 4 DATE
1	RFI-001	
Job Number		000035.015
Checked		BT
Approved		Approver

**BARN - FOODSERVICE PLANS**

**SHEET NUMBER**

**FS-01**

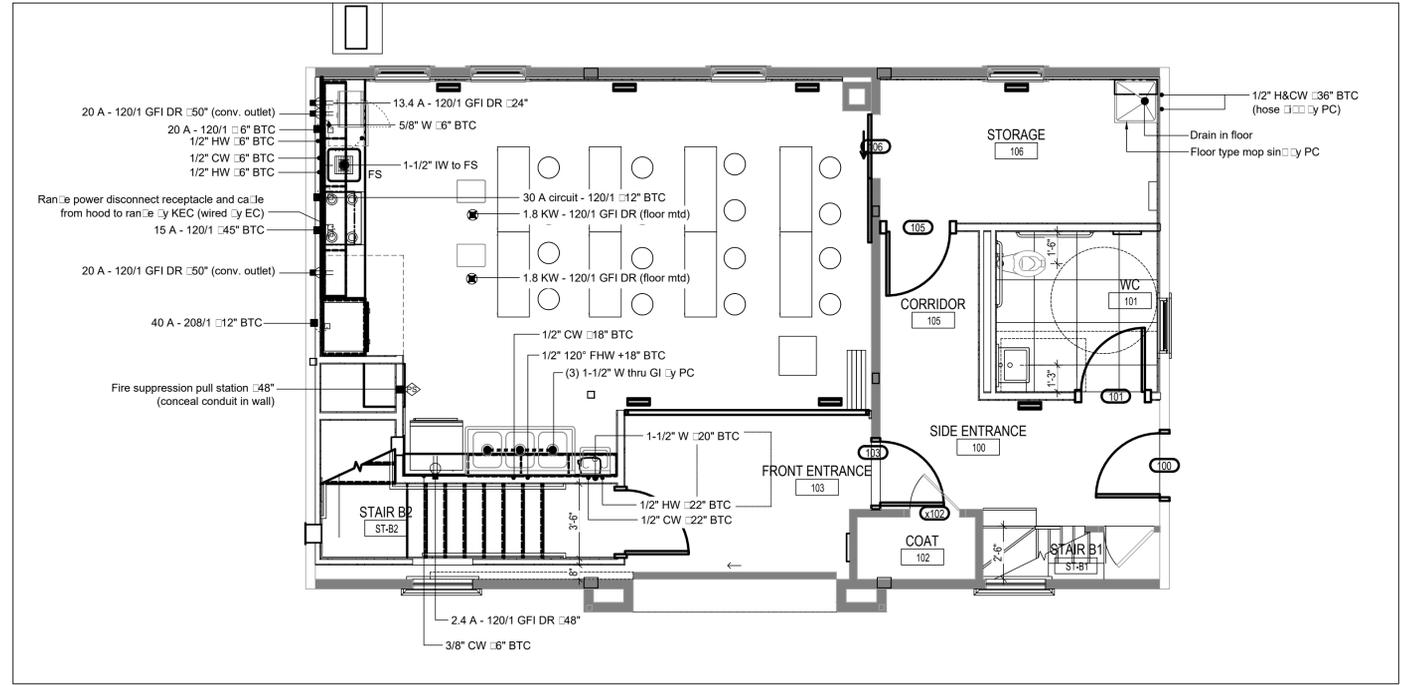


**BARN BASEMENT - FOODSERVICE EQUIPMENT PLAN**

Scale: 1/4" = 1'-0"

**SCHEDULE OF FOODSERVICE EQUIPMENT AND CONNECTIONS**

Item	Qty	Description	Plumbing	Electrical
1	1	Walk-in cooler (by Owner)		
1A	1	Refrigeration system (by Owner)		
2	1	Mobile work table		20 A - 120/1 wall mtd GFI
3	1	Salad dryer		2.7 A - 120/1 - NEMA 5-15P
4	1	Prep sinks with faucet	1/2" H&CW; 2" IW to FS	
5	1	Hand sink with faucet	1/2" H&CW; 1-1/2" W	
6	2	Soap Dispensers		
7	2	Towel dispensers		
8	1	Mop sink and hose bib	1/2" H&CW; drain in floor	
9	1	Wall shelf/mop hangers		
10	1	Millwork counter and top (by GC)		(2) 20 A - 120/1 wall mtd GFI
11	1	Food prep sink with faucet	1/2" H&CW; 1-1/2" IW to FS	
12	1	Electric range top		30 A circuit - 208/1
12A	1	Range ventilator with fire suppression system		15 A - 120/1
		Recirculating air		
13	1	Millwork wall cabinets (by GC)		
14	1	Three-compartment wash sinks with faucet	(2) 1/2" 120° H&CW (3) 1-1/2" W thru GI by PC	
15	1	Hand sink with faucet	1/2" H&CW; 1-1/2" W	
16	2	Induction cooktop unit, portable		1.8 KW - 1201 - NEMA 5-15
17	2	Mobile work counter		
18	1	Refrigerator with freezer	3/8" CW	2.4 A - 120/1 - C&P
19	1	Microwave oven		13.4 A - 120/1 - NEMA 5-15P
20	1	Millwork cabinet (by GC)		
21	1	Double wall ovens		40 A circuit - 208/1
22	1	Under counter dish washer	1/2" HW; 5/8" W	20 A circuit - 120/1



**BARN LEVEL 01 - FOODSERVICE EQUIPMENT PLAN**

Scale: 1/4" = 1'-0"



225 Franklin Street, Suite 1100  
Boston, MA 02110  
1 617 478 0300  
1 617 478 0321  
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**PROJECT**

**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
Massachusetts 02126

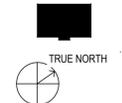
**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119

**CONSULTANTS**

Structural Consultant  
**Structures North**  
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Salem, Massachusetts 01970  
1 978 745 6817  
1 978 745 6067



**Crabtree McGrath  
Associates, Inc.**  
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**ISSUE CHART**

NO	ISSUE	Date	DATE
1	RFI-001		
	Job Number	000035.015	
	Checked	BT	
	Approved	Approver	

**TITLE**

**BARN - FOODSERVICE PLANS**

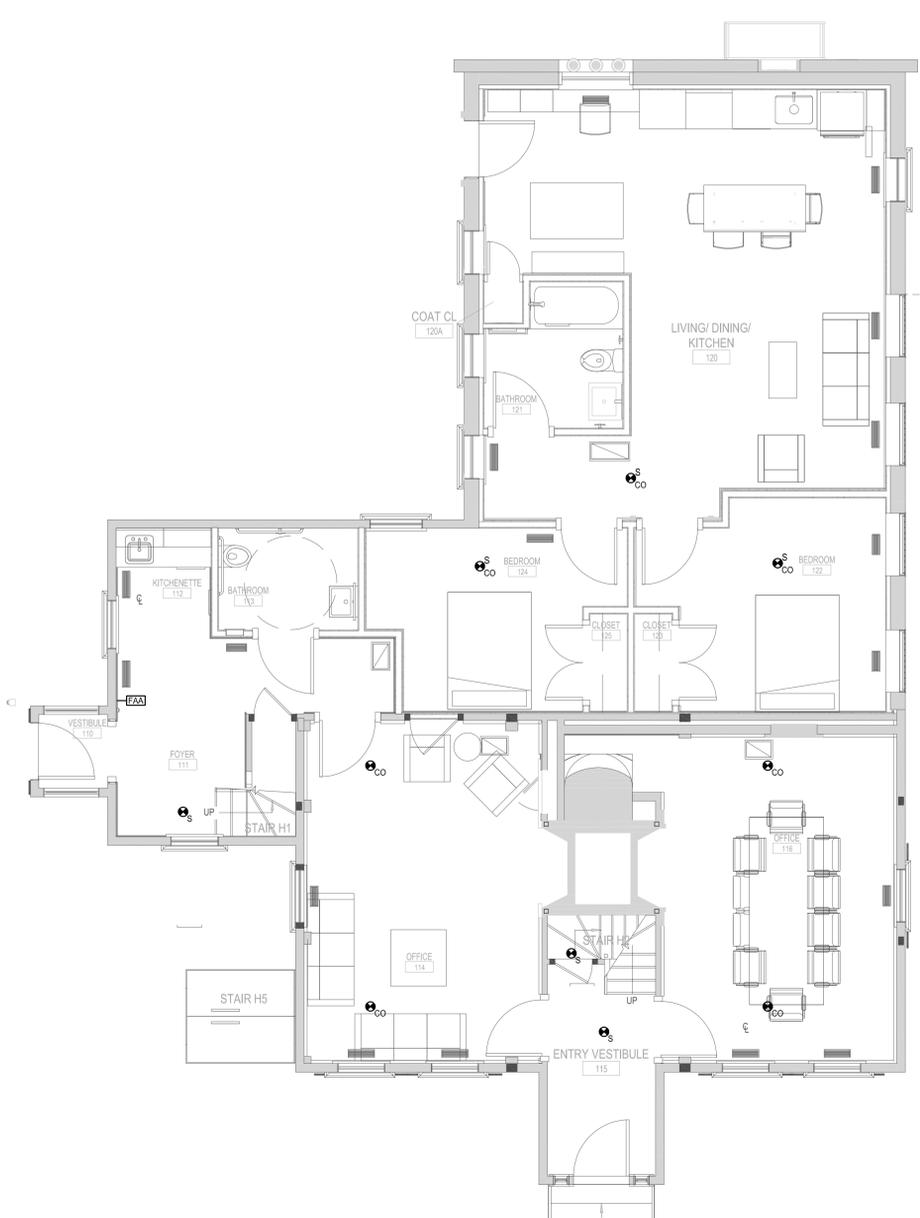
**SHEET NUMBER**

**FS-01**

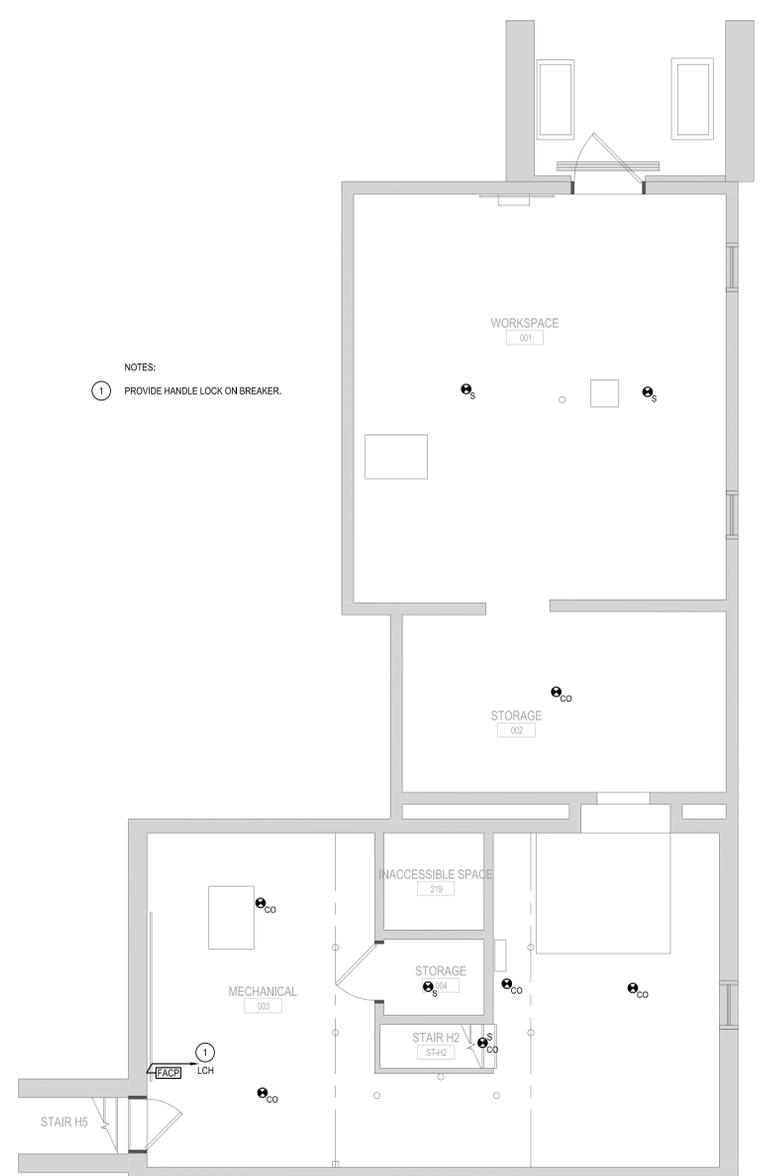


### FIRE ALARM SYSTEM SYMBOL LIST

FIRE ALARM ANNUNCIATOR.	VISUAL ONLY NOTIFICATION APPLIANCE - WALL MOUNTED - BOTTOM OF LENS 7'-6" A.F.F.
FIRE ALARM CONTROL PANEL.	VISUAL ONLY NOTIFICATION APPLIANCE - CEILING MOUNTED.
MANUAL PULL STATION.	REMOTE INDICATING LIGHT TO DISPLAY ALARM CONDITION OF DETECTOR - CENTERED ABOVE DOOR.
AUDIOVISUAL NOTIFICATION APPLIANCE - WALL MOUNTED - BOTTOM OF LENS 7'-6" A.F.F.	AREA SMOKE AND CARBON DETECTOR - CEILING MOUNTED.
WHITE AUDIOVISUAL NOTIFICATION APPLIANCE - CEILING MOUNTED.	AREA SMOKE DETECTOR - CEILING MOUNTED.



② HOUSE LEVEL 01 RENOVATION PLAN  
1/4" = 1'-0"



NOTES:  
① PROVIDE HANDLE LOCK ON BREAKER.

① HOUSE BASEMENT RENOVATION PLAN  
1/4" = 1'-0"

### DRAWING LIST

DWG. No.	DRAWING NAME:	SHEET No.
FA11-01	FIRE ALARM BASEMENT AND LEVEL 1 PLANS	1 of 3
FA11-02	FIRE ALARM LEVEL 2 AND ROOF PLANS	2 of 3
FA11-11	FIRE ALARM BARN PLANS	3 of 3

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### PROJECT

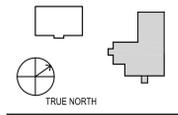
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**ISSUE CHART**

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Job Number	60-16-982	
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### TITLE

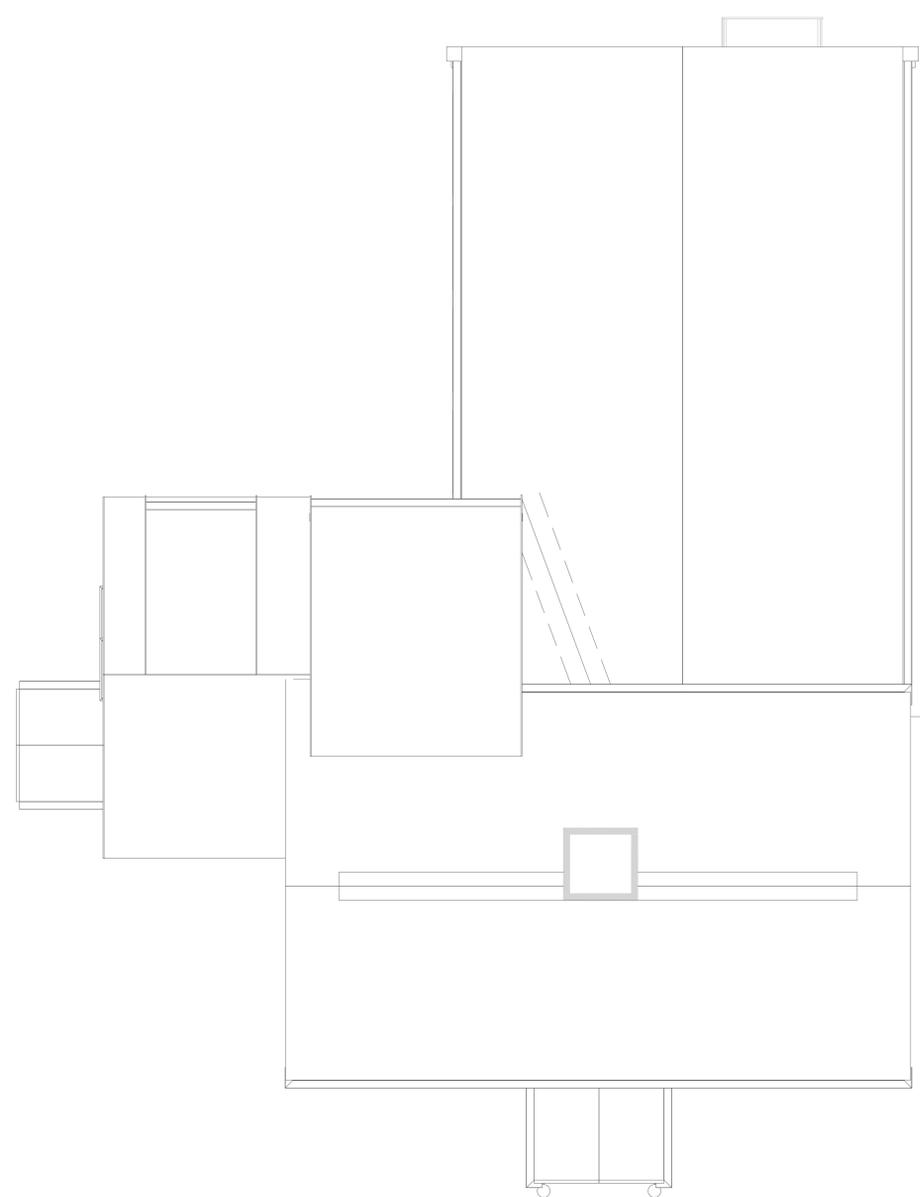
## FIRE ALARM BASEMENT AND LEVEL 1 PLANS

SHEET NUMBER

# FA11-01

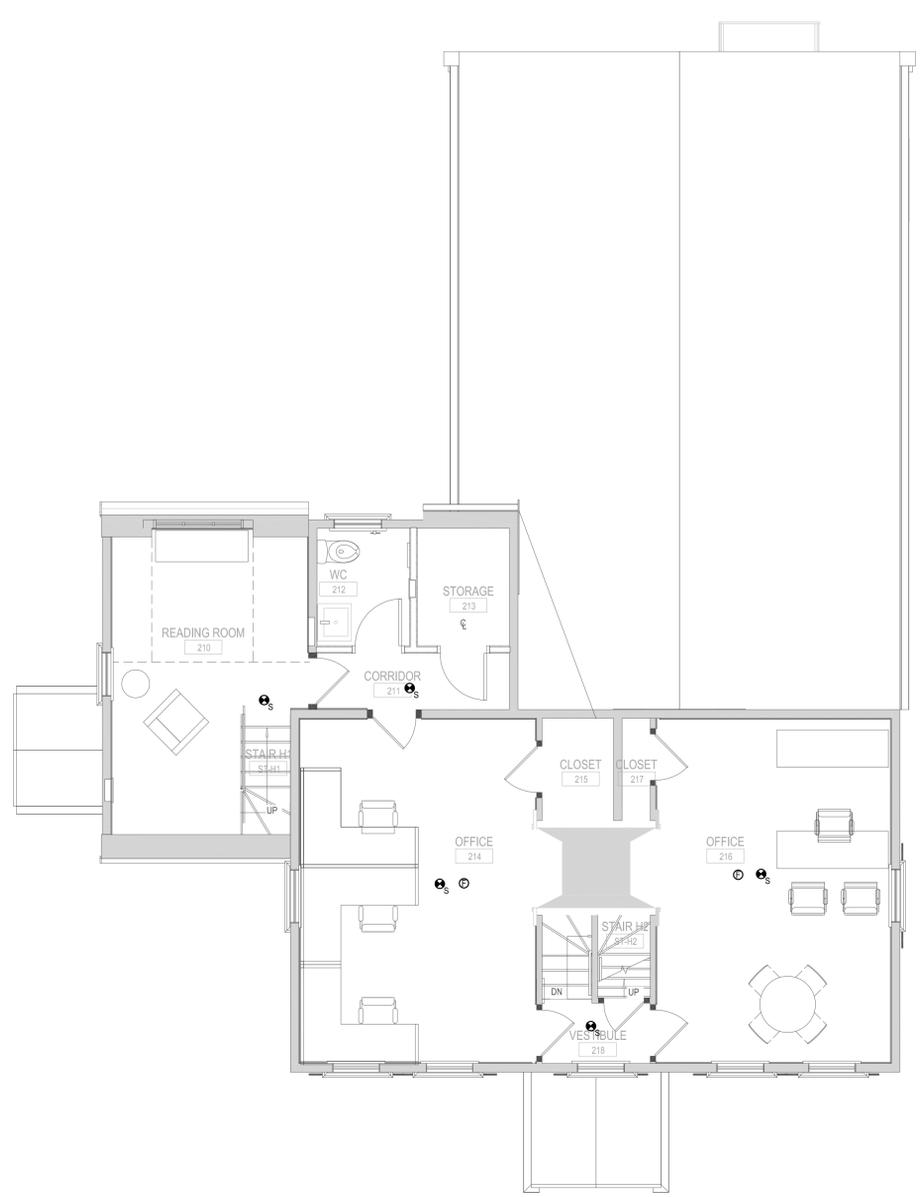
Sheet 1 of 3

H:\05-16-2017\CLARK EPSTEIN FARM\05-16-2017-FA11-01 FIRE ALARM BASEMENT AND LEVEL 1 PLANS.DWG



**HOUSE ROOF RENOVATION PLAN**

1/4" = 1'-0"



**HOUSE LEVEL 02 RENOVATION PLAN**

1/4" = 1'-0"

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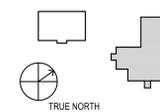
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**ISSUE CHART**

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Job Number	60-16-882	
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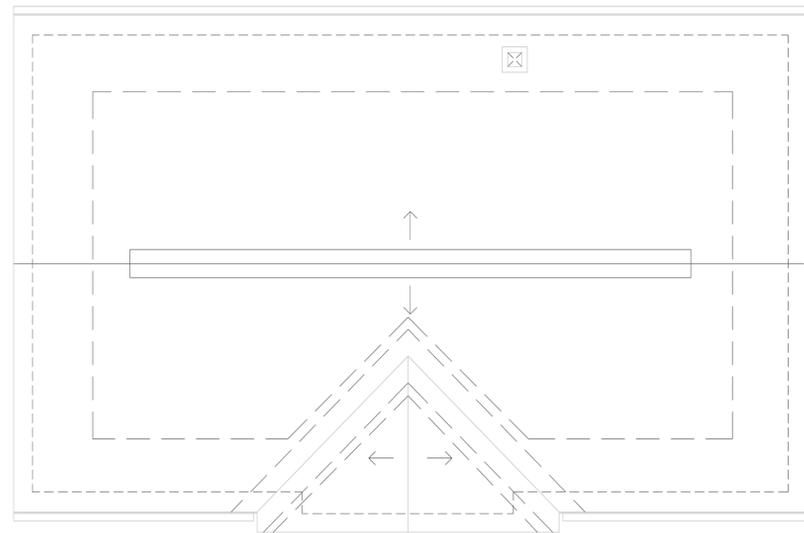
**TITLE**

**FIRE ALARM  
LEVEL 2 AND  
ROOF PLANS**

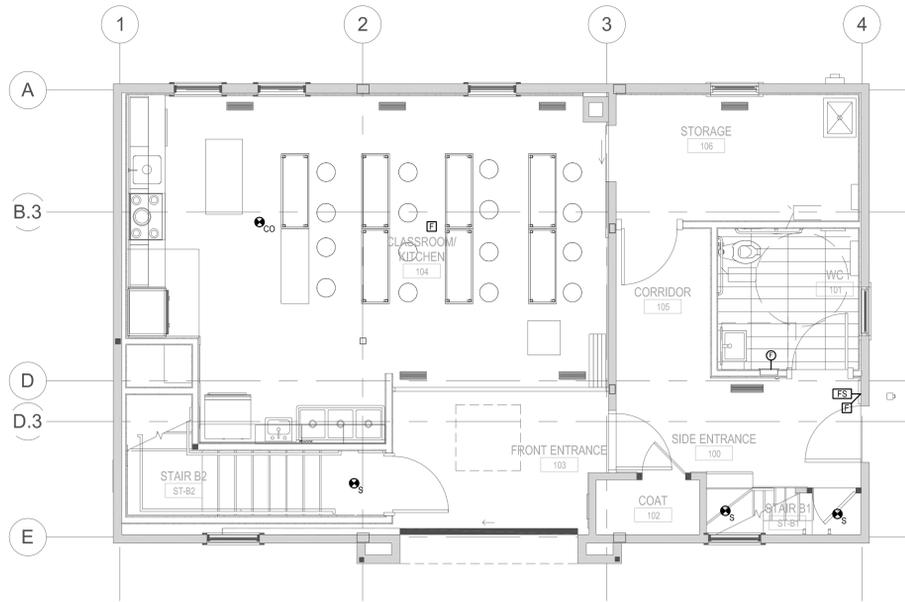
**SHEET NUMBER**

**FA11-02**

Sheet 2 of 3

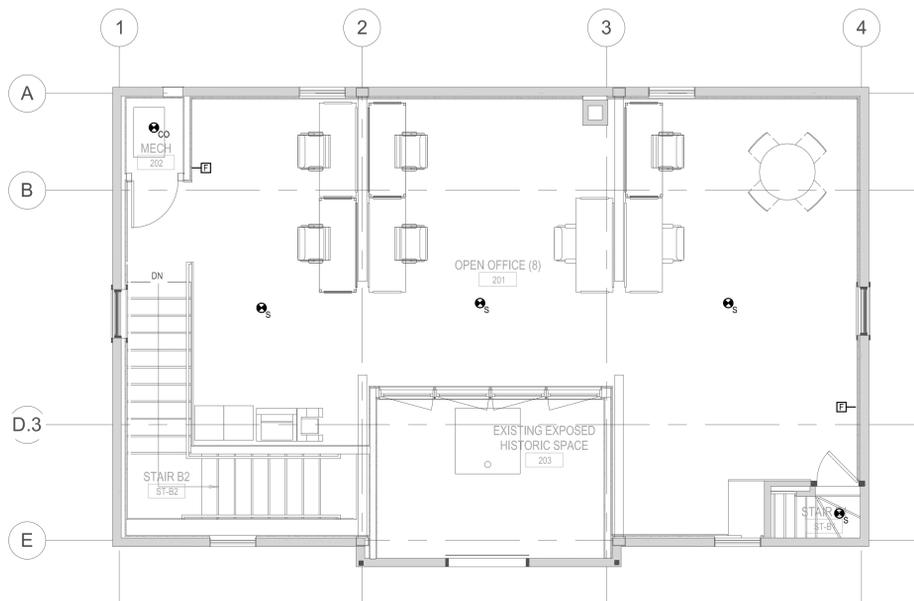


4 BARN - ROOF PLAN  
1/4" = 1'-0"

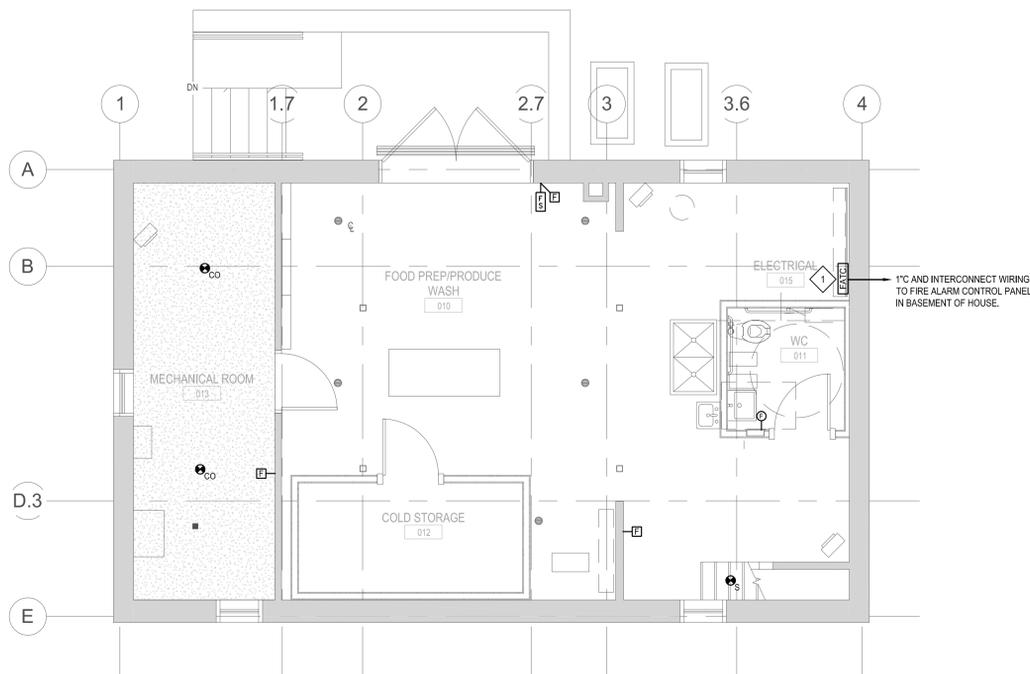


2 BARN - LEVEL 01 - FLOOR PLAN  
1/4" = 1'-0"

ELECTRICAL EQUIPMENT ID:  
 FIRE ALARM TERMINAL CABINET



3 BARN - LEVEL 02 - FLOOR PLAN  
1/4" = 1'-0"



1 BARN - BASEMENT - FLOOR PLAN  
1/4" = 1'-0"

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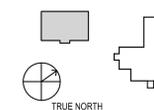
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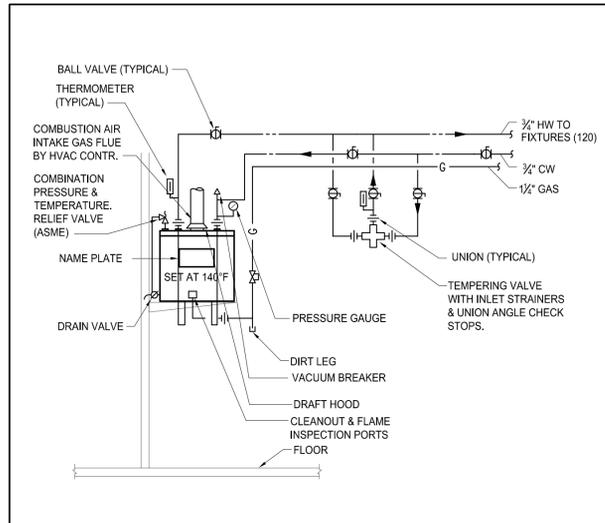
**FIRE ALARM BARN PLANS**

SHEET NUMBER

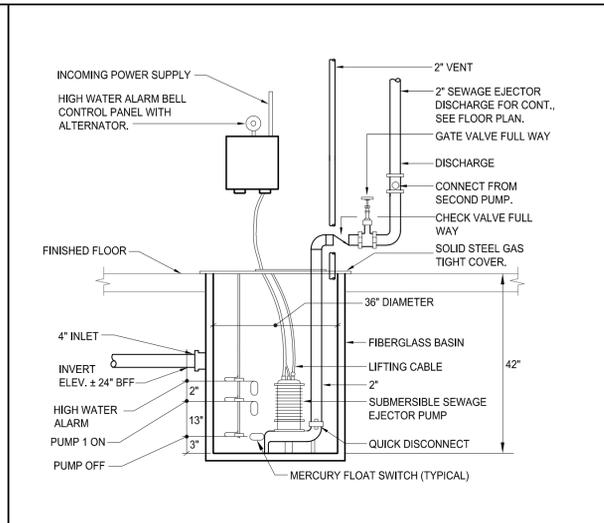
**FA11-11**

Sheet 3 of 3

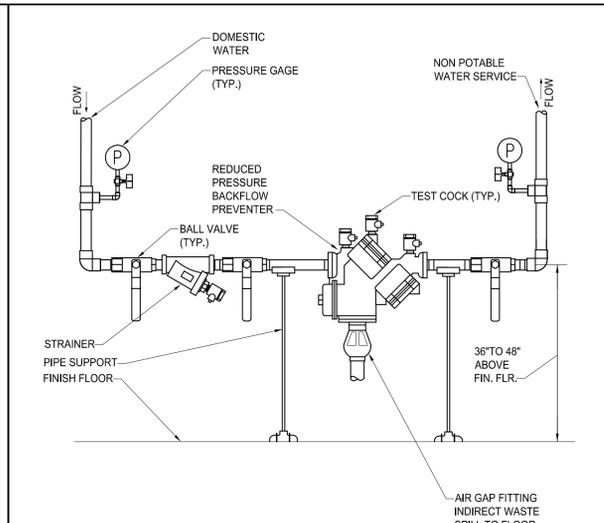
H:\60-16-982\CLARK EPSTEIN FARM\ISSUES\60-16-982-FA11-11 FIRE ALARM BARN PLANS.DWG



**FOR OFFICE & APARTMENT**  
 1 INSTANTANEOUS GAS FIRED WATER HEATER NTS

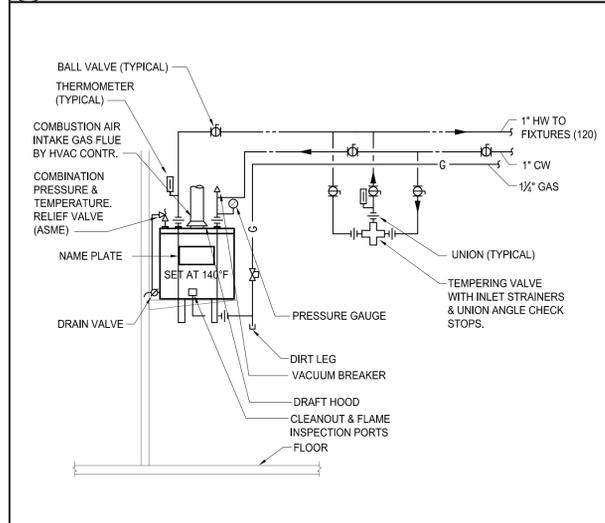


2 SIMPLEX SEWAGE EJECTOR NTS

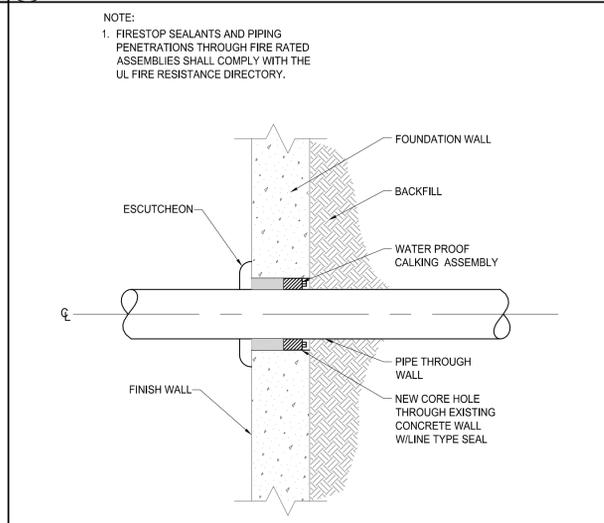


3 REDUCED PRESSURE BACKFLOW PREVENTER NTS

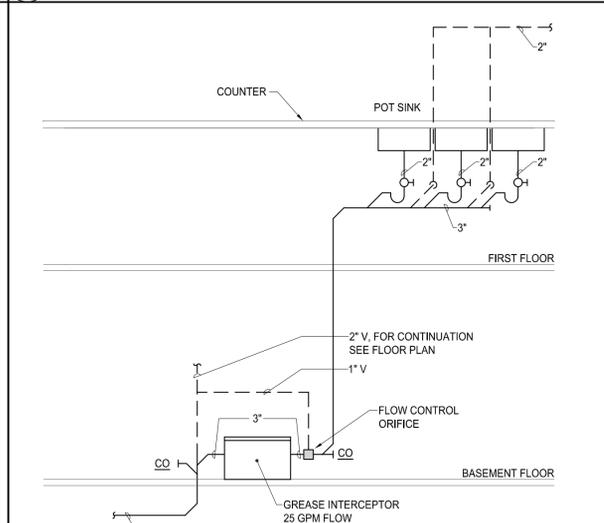
PLUMBING LEGEND	
	HOT WATER CIRCULATION
	HOT WATER
	COLD WATER
	VENT
	WASTE
	BALL VALVE
	LOCK SHIELD (BALANCING) VALVE
	CHECK VALVE
	BELOW SLAB PIPING
	END CLEANOUT
	PIPE DROP OR RISE (90°)
	EXISTING PIPE
	PIPE TO BE REMOVED
	ACCESS PANEL
	COLD WATER
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	HOT WATER
	PUMP DISCHARGE
	VENT
	WASTE
	WALL CLEANOUT



**FOR BARN**  
 4 INSTANTANEOUS GAS FIRED WATER HEATER NTS



5 WATER PROOF SLEEVE THROUGH EXISTING WALL NTS



6 GARBAGE DISPOSAL NTS

PLUMBING FIXTURE CONNECTION SCHEDULE						
TAG	FIXTURE	SW	V	CW	HW	REMARKS
P-1	WATER CLOSET	4"	2"	1/2"	-	
P-2	LAVATORY	1 1/2"	1 1/2"	1/2"	1/2"	UNDERMOUNT
P-2A	LAVATORY	1 1/2"	1 1/2"	1/2"	1/2"	WALL HUNG
P-3	MOP RECEPTOR	3"	2"	1/2"	1/2"	
P-4	TUB/SHOWER	1 1/2"	1 1/2"	1/2"	1/2"	
P-5	KITCHEN SINK	1 1/2"	1 1/2"	1/2"	1/2"	

DRAWING LIST		
Drawing Number	Drawing Title	Sheet Number
P00-00	PLUMBING LEGEND & DETAILS	1 of 4
P11-01	PLUMBING HOUSE BASEMENT AND LEVEL 1 PLANS	2 of 4
P11-02	PLUMBING HOUSE LEVEL 2 AND ROOF PLANS	3 of 4
P11-11	PLUMBING BARN PLANS	4 of 4

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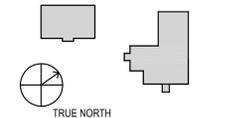
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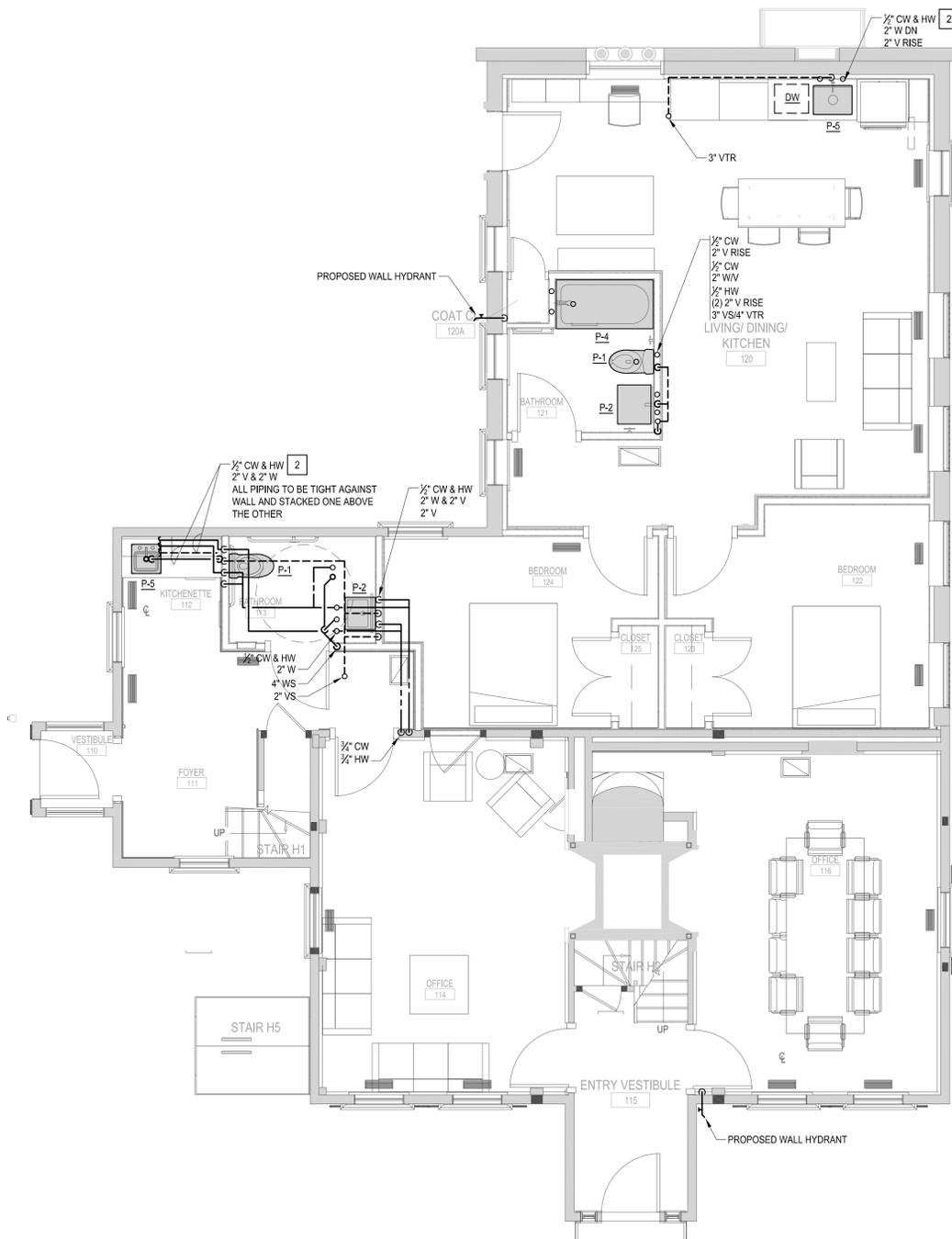
NO	ISSUE	DATE
Job Number		60-16-862
Checked		GC
Approved		GC

**TITLE**  
**PLUMBING**  
**LEGEND &**  
**DETAILS**

**SHEET NUMBER**

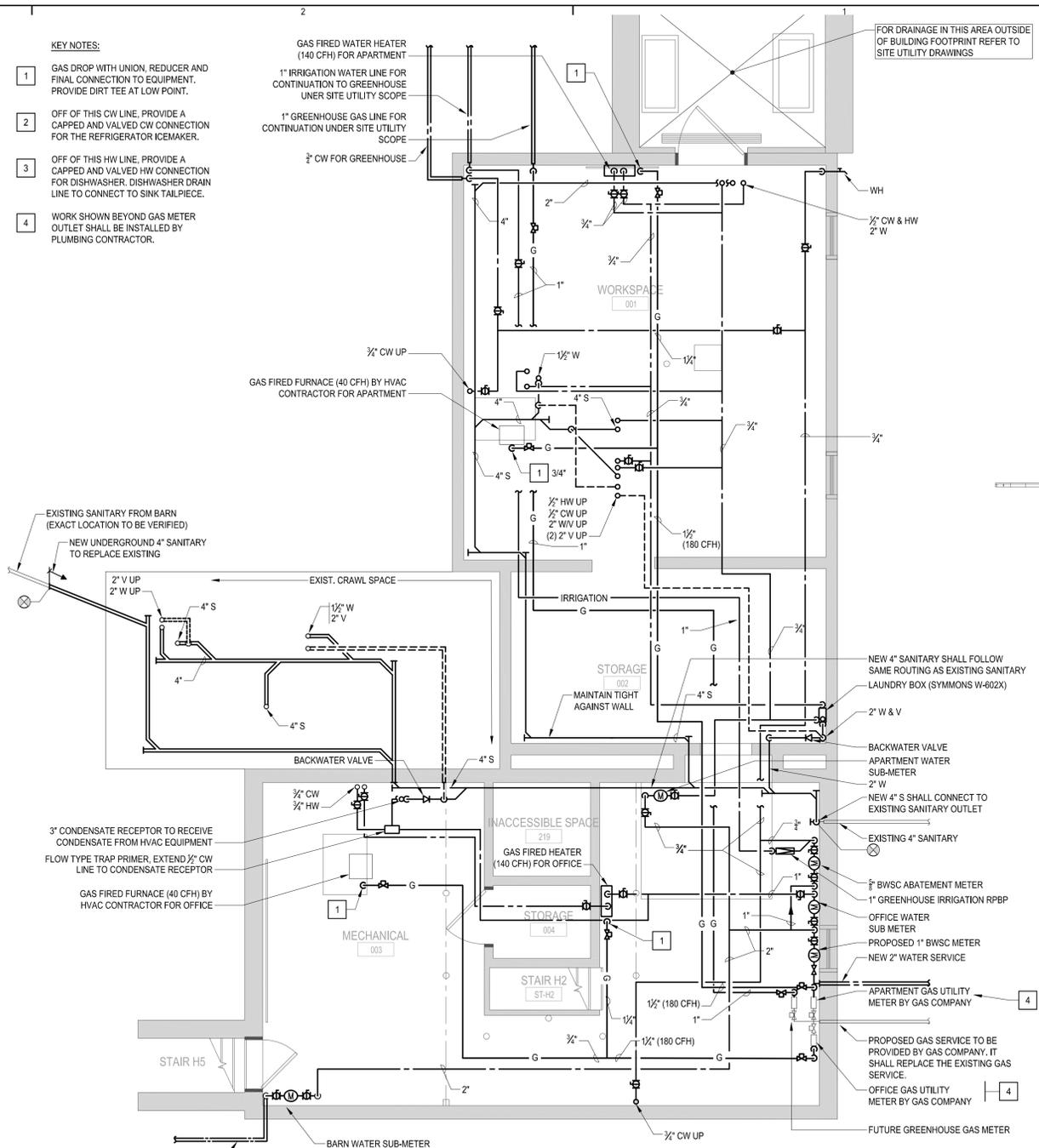
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Sheet 1 of 4

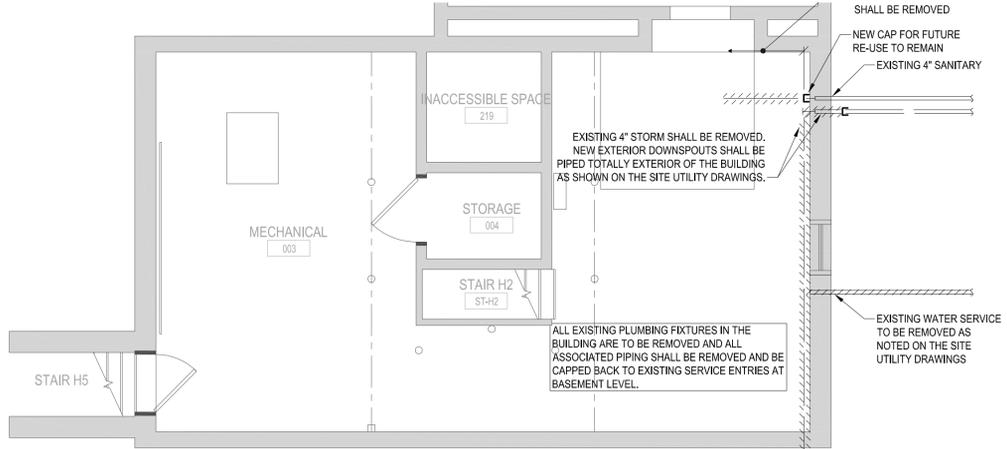


**2 HOUSE LEVEL 01 RENOVATION PLAN**  
1/4" = 1'-0"

- KEY NOTES:**
- 1 GAS DROP WITH UNION, REDUCER AND FINAL CONNECTION TO EQUIPMENT. PROVIDE DIRT TEE AT LOW POINT.
  - 2 OFF OF THIS CW LINE, PROVIDE A CAPPED AND VALVED HW CONNECTION FOR THE REFRIGERATOR ICEMAKER.
  - 3 OFF OF THIS HW LINE, PROVIDE A CAPPED AND VALVED HW CONNECTION FOR DISHWASHER, DISHWASHER DRAIN LINE TO CONNECT TO SINK TAILPIECE.
  - 4 WORK SHOWN BEYOND GAS METER OUTLET SHALL BE INSTALLED BY PLUMBING CONTRACTOR.



**1 HOUSE BASEMENT RENOVATION PLAN**  
1/4" = 1'-0"



**3 HOUSE BASEMENT PARTIAL DEMOLITION PLAN**  
1/4" = 1'-0"

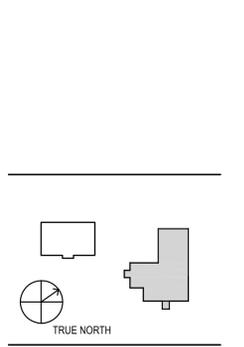
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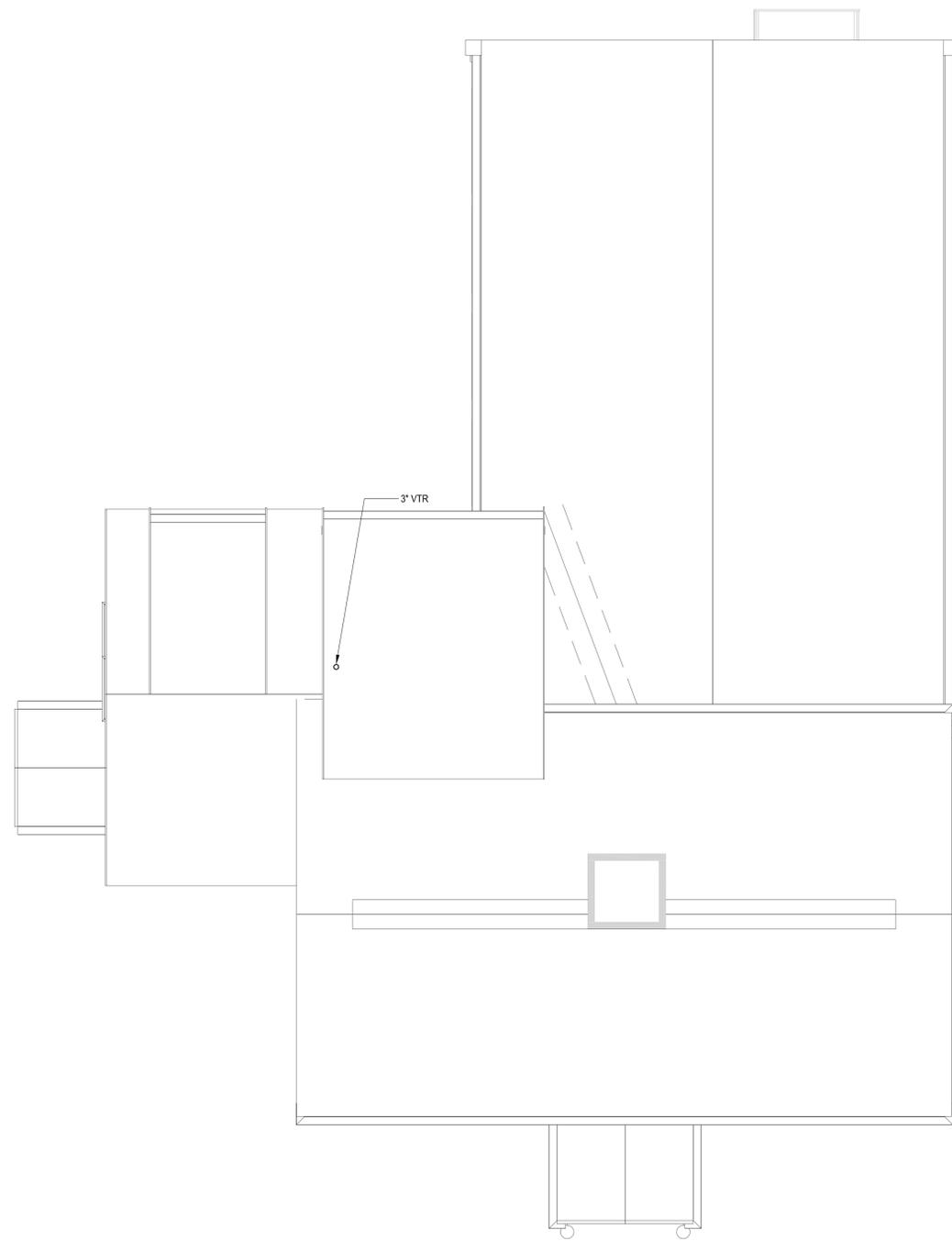
**ISSUE CHART**

NO	ISSUE	DATE
Job Number		60-16-862
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Approved		GC

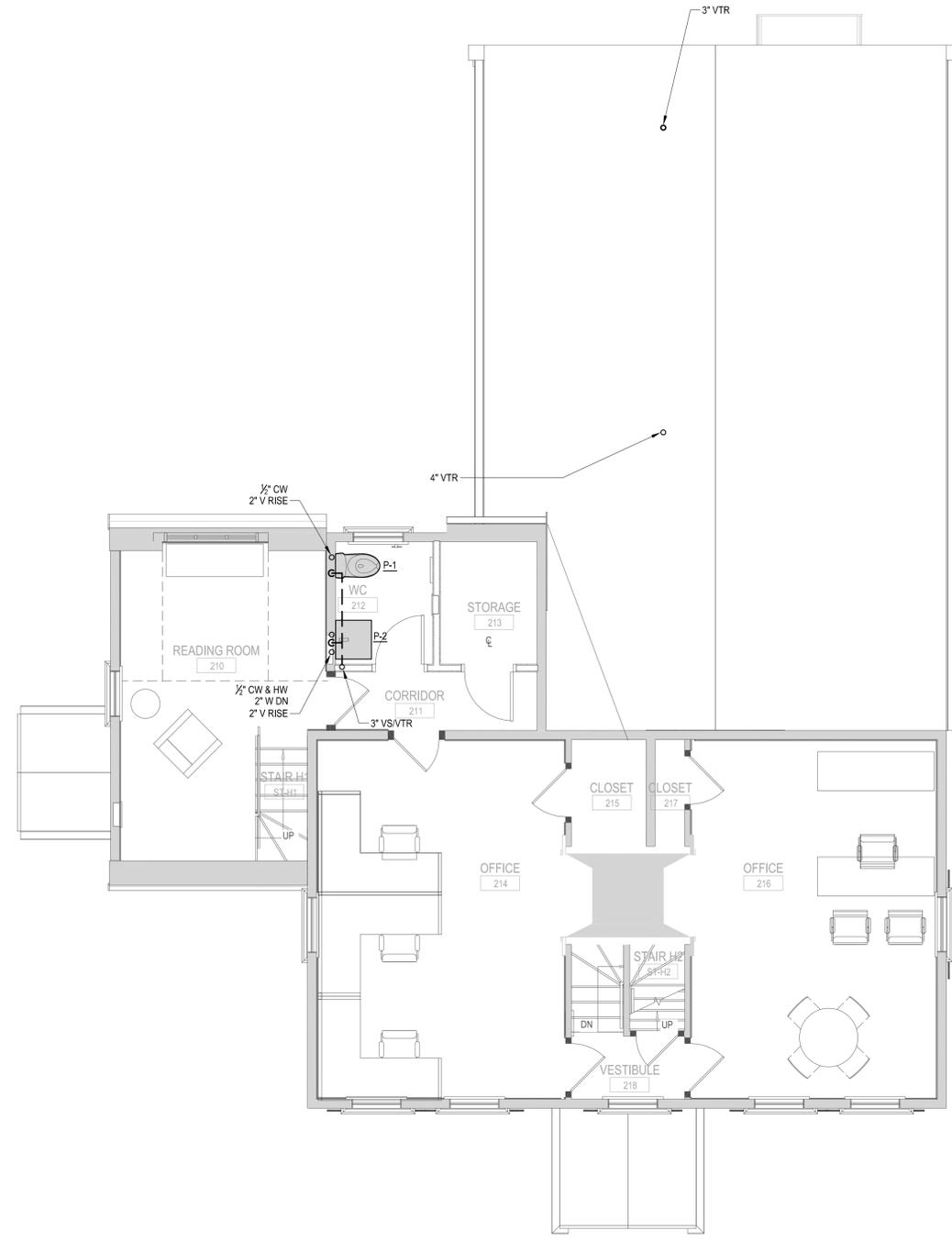
**PLUMBING HOUSE BASEMENT AND LEVEL 1 PLANS**

SHEET NUMBER  
**P11-01**  
Sheet 2 of 4

H:\60-16-862\CLARK EPSTEIN FARM\SHEETS\60-16-862-P11-01 PLUMBING BASEMENT AND LEVEL 1 PLANS.DWG



② HOUSE ROOF RENOVATION PLAN  
1/4" = 1'-0"



① HOUSE LEVEL 02 RENOVATION PLAN  
1/4" = 1'-0"

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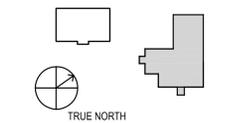
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**PLUMBING HOUSE  
LEVEL 2 AND  
ROOF PLANS**

SHEET NUMBER

**P11-02**

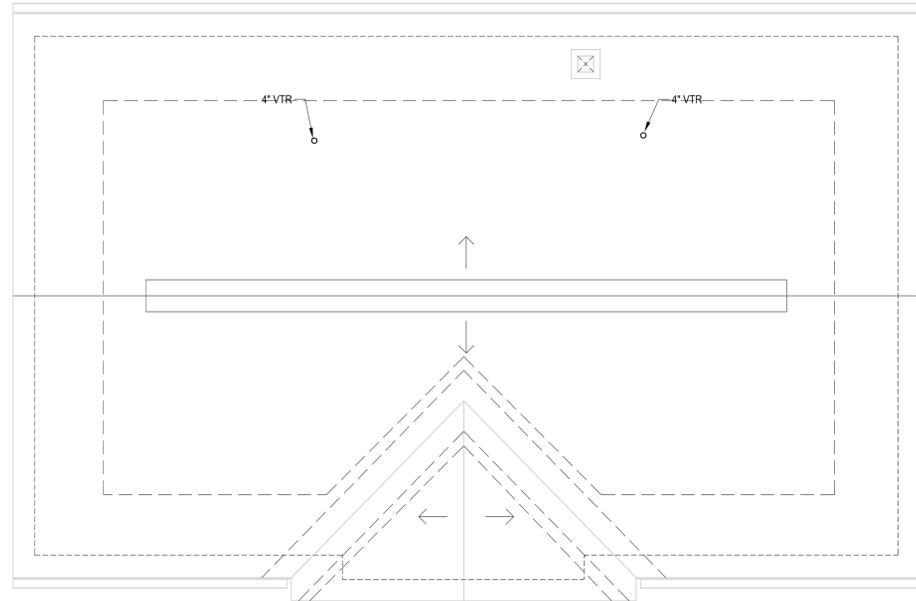
Sheet 3 of 4

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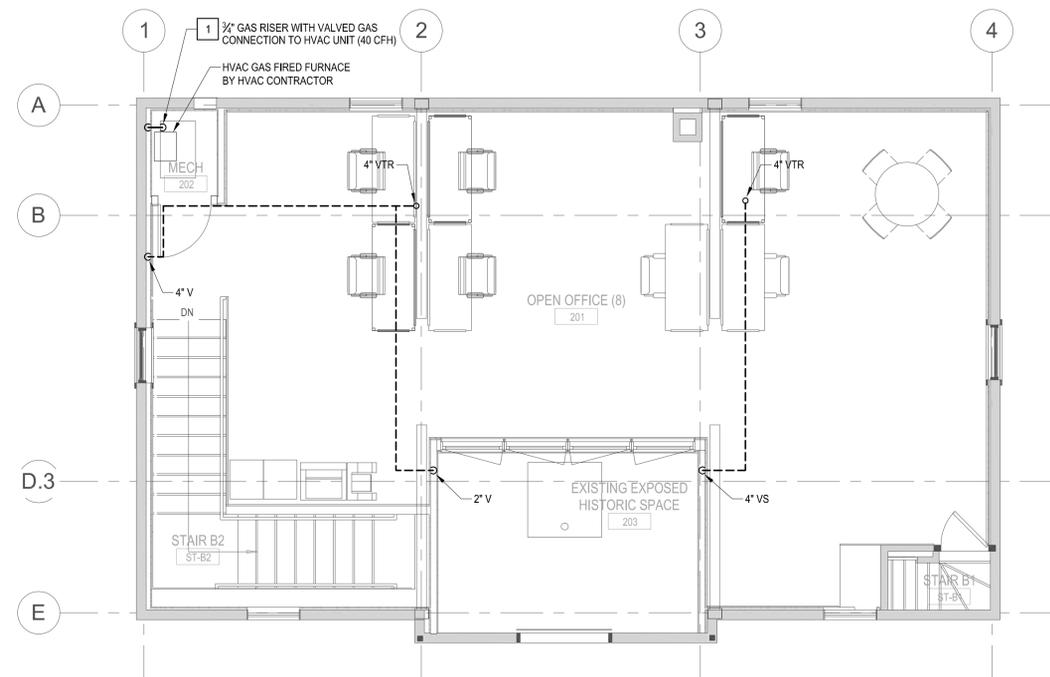


KITCHEN EQUIPMENT PLUMBING CONNECTION SCHEDULE						
TAG	ITEM	WATER		WASTE		REMARKS
		HW	CW	DIRECT	INDIRECT	
4	PREP SINKS WITH FAUCET	1/2"	1/2"	2"		INDIRECT WASTE TO FLOOR SINK
5	HAND SINK WITH FAUCET	1/2"	1/2"	1 1/2"		2
8	MOP SINK AND HOSE BIB	1/2"	1/2"	(3) 1 1/2"		
11	FOOD PREP SINK WITH FAUCET	1/2"	1/2"	1 1/2"	1 1/2"	INDIRECT WASTE TO FLOOR SINK
14	THREE-COMPARTMENT WASH SINKS WITH FAUCET	(2) 1/2"	(2) 1/2"	(3) 1 1/2"		WASTE CONNECTIONS TO GREASE TRAP
15	HAND SINK WITH FAUCET	1/2"	1/2"	1 1/2"		2
18	REFRIGERATOR WITH FREEZER	1/2"	1/2"			
22	UNDER COUNTER DISH WASHER	1/2"		1 1/2"		INDIRECT WASTE TO FLOOR SINK

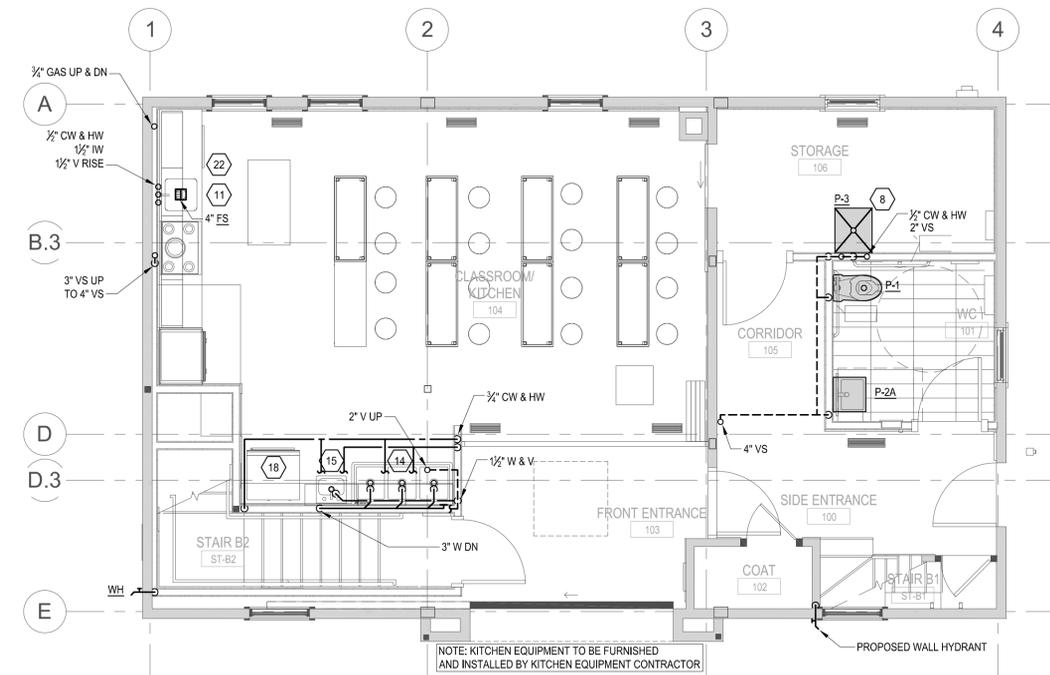
- KEY NOTES:**
- GAS DROP WITH UNION, REDUCER AND FINAL CONNECTION TO EQUIPMENT. PROVIDE DIRT TEE AT LOW POINT.
  - INSTALL LOCAL MIXING VALVE TO TEMPER THE HW CONNECTION TO A MAX OF 110°F.



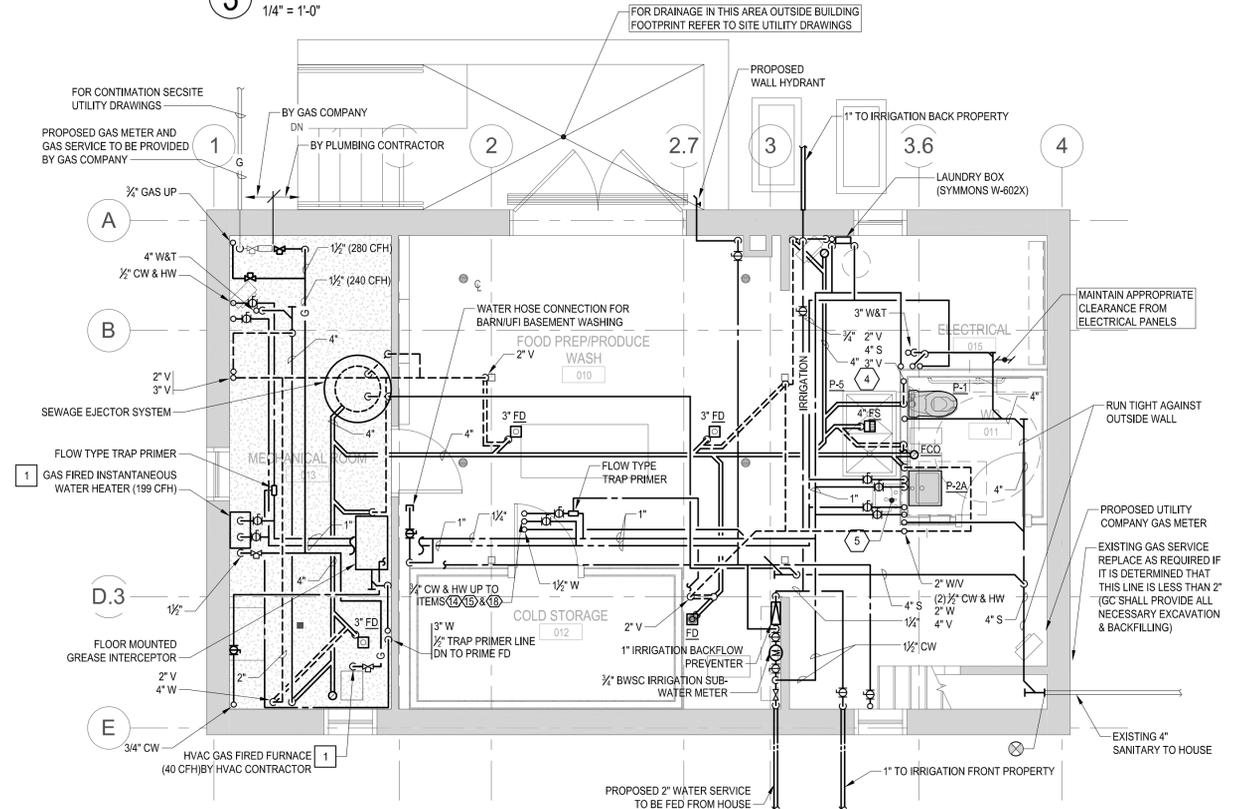
**5 BARN - ROOF PLAN**  
1/4" = 1'-0"



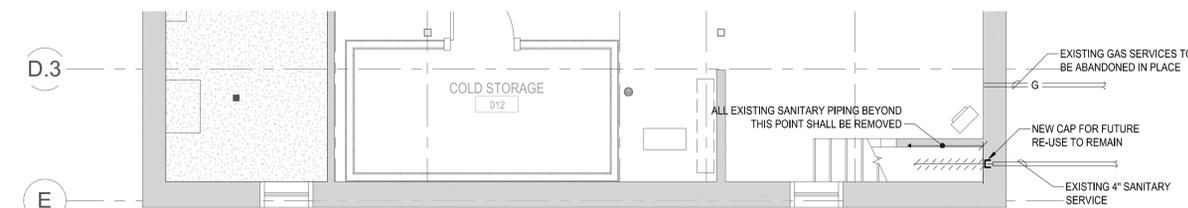
**4 BARN - LEVEL 02 - FLOOR PLAN**  
1/4" = 1'-0"



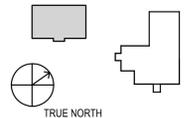
**3 BARN - LEVEL 01 - FLOOR PLAN**  
1/4" = 1'-0"



**2 BARN - BASEMENT - FLOOR PLAN**  
1/4" = 1'-0"



**1 BARN - BASEMENT - PARTIAL DEMOLITION PLAN**  
1/4" = 1'-0"



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NO	ISSUE	DATE
Job Number		60-16-862
Checked		KJC
Approved		KJC

**HVAC LEGEND SHEET**

SHEET NUMBER

**M00-01**

Sheet 1 of 6

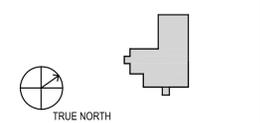
GENERAL NOTES	ABBREVIATIONS	VALVES / ACCESSORIES	MISC. LEGEND / TAGS	EQUIPMENT TYPES	DUCTWORK LEGEND																					
<p>GN1. HVAC WORK IS INDICATED DIAGRAMMATICALLY. EXACT LOCATIONS OF ALL COMPONENTS ARE TO BE DETERMINED IN THE FIELD AND BY THE ACTUAL BUILDING CONDITIONS. EXISTING DUCTS, PIPING OR EQUIPMENT INTERFERING WITH OTHER INSTALLATIONS SHALL BE RELOCATED AS REQUIRED AT NO ADDITIONAL COST TO THE OWNER. EXACT LOCATIONS MUST HAVE THE APPROVAL OF THE ARCHITECT.</p> <p>GN2. ALL WORK SHALL BE COORDINATED WITH ALL OTHER TRADES BEFORE ANY INSTALLATION IS MADE.</p> <p>GN3. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH STATE CODES, MANUFACTURER'S APPROVED PUBLISHED LITERATURE, AND AUTHORITIES HAVING JURISDICTION.</p> <p>GN4. INSTALLATION OF EQUIPMENT SHALL PERMIT ACCESSIBILITY FOR SERVICE AND/OR REPLACEMENT.</p> <p>GN5. ALL CEILING MOUNTED EQUIPMENT SHALL BE INSTALLED IN SUCH A WAY THAT LIGHTS, PIPING, AND DUCTWORK DO NOT BLOCK ACCESS TO UNITS AND RELATED ACCESSORIES.</p> <p>GN6. HVAC CONTRACTOR SHALL COORDINATE ALL WALL, CEILING, FLOOR, ROOF AND BEAM PENETRATIONS WITH ARCHITECT AND STRUCTURAL ENGINEER.</p> <p>GN7. ALL DUCT SIZES SHOWN ARE NET INSIDE CLEAR DIMENSIONS.</p> <p>GN8. PROVIDE VOLUME DAMPERS AT EACH NON VAV MAIN BRANCH TAKE-OFF.</p> <p>GN9. PROVIDE INSTRUMENT TEST HOLES WITH CAPS IN AIR DISTRIBUTION SYSTEMS WHEREVER VOLUME DAMPERS ARE SHOWN.</p> <p>GN10. HVAC CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHEETMETAL TRANSITIONS AT AIR TERMINAL UNITS, FANS, COILS AND OTHER SIMILAR HVAC EQUIPMENT.</p> <p>GN11. ALL OPEN ENDED DUCTS IN THE CEILING PLENUM SHALL BE UNOBSTRUCTED FOR A MINIMUM DISTANCE OF 24" FROM THE OPENING TO ALLOW FREE AIR FLOW AND SHALL HAVE 3/4" WIRE MESH SCREENING.</p> <p>GN12. ALL MISCELLANEOUS STRUCTURAL SUPPORTS REQUIRED FOR HVAC EQUIPMENT INSTALLATION SHALL BE PROVIDED BY HVAC SUBCONTRACTOR.</p> <p>GN13. ALL TRANSFER DUCTS SHALL BE INTERNALLY LINED.</p> <p>GN14. SUPPLY AIR CEILING DIFFUSERS SHALL BE PROVIDED WITH BLOW PATTERNS AS INDICATED BY THE DIFFUSER SYMBOL. REFER TO DUCTWORK LEGEND FOR SYMBOLS.</p> <p>GN15. EXACT LOCATION OF CEILING DIFFUSERS, GRILLES &amp; REGISTERS TO BE DETERMINED BY ARCHITECTURAL REFLECTED CEILING PLAN.</p> <p>GN16. INSTALL ALL PIPING BELOW DUCTWORK UNLESS CLEARANCE CONDITION REQUIRES PIPING TO BE ABOVE.</p> <p>GN17. FOR QUANTITIES OF SAME TYPE EQUIPMENT SCHEDULED SEE PLANS.</p> <p>GN18. EXACT ELEVATION FOR SIDE WALL DIFFUSERS, REGISTERS AND GRILLES SHALL BE APPROVED BY THE ARCHITECT BEFORE INSTALLATION.</p> <p>GN19. UNLESS OTHERWISE NOTED, ALL WATER AND CONDENSATE RETURN PIPING RUNOUTS SHALL BE 1-1/4".</p> <p>GN20. ALL EXPOSED EQUIPMENT (REGISTERS, UNIT HEATERS, ETC.) SHALL HAVE COLORS SELECTED BY THE ARCHITECT, UNLESS NOTED OTHERWISE.</p> <p>GN21. HVAC SUBCONTRACTOR SHALL BLANK OFF ALL UNUSED LOUVER AREA AND INSULATE. PLENUM CONNECTION SIZED TO LOUVERS SHALL BE SHOWN ON PLANS.</p> <p>GN22. PITCH AIR INTAKE PLENUMS AND PROVIDE DRAIN TO NEAREST FLOOR DRAIN.</p> <p>GN23. EXACT LOCATION OF THERMOSTATS TO BE COORDINATED WITH FINAL LOCATION OF WALL MOUNTED ARCHITECTURAL AND ELECTRICAL EQUIPMENT.</p> <p>GN24. ALL MAIN BRANCH PIPES FROM SHAFTS OR TUNNEL SHALL HAVE ISOLATION VALVES NEAR SHAFTS. PROVIDE SHUT-OFF VALVE ON SUPPLY AND COMBINATION BALANCING SHUT-OFF VALVE ON RETURN.</p> <p>GN25. MAINTAIN A 3'-0" SERVICE CLEARANCE (AT OR ABOVE CEILING) FOR ALL MOTOR OPERATED EQUIPMENT (MOTORS, PANELS, COILS, FILTERS ETC.) AS REQUIRED BY THE EQUIPMENT MANUFACTURER.</p>	<p>AFF ABOVE FINISHED FLOOR</p> <p>ACD AUTOMATIC CONTROL DAMPER</p> <p>AD ACCESS DOOR</p> <p>AP ACCESS PANEL</p> <p>ARCH. ARCHITECT</p> <p>ASC APPLICABLE SECTION CONTRACTOR</p> <p>ATC AUTOMATIC TEMPERATURE CONTROL</p> <p>BDD BACKDRAFT DAMPER</p> <p>BE BATHROOM EXHAUST</p> <p>BMS BUILDING MANAGEMENT SYSTEM</p> <p>BOD BOTTOM OF DUCT</p> <p>BTU BRITISH THERMAL UNIT</p> <p>BTUH BTU PER HOUR</p> <p>BVC BOILER VENT &amp; COMBUSTION AIR</p> <p>CAP CAPACITY</p> <p>CD CEILING DIFFUSER</p> <p>CFM CUBIC FEET PER MINUTE</p> <p>CM CONSTRUCTION MANAGER</p> <p>CO CLEANOUT</p> <p>CP CONTROL PANEL</p> <p>CONN. CONNECT</p> <p>DB DRY BULB TEMPERATURE</p> <p>DDC DIRECT DIGITAL CONTROL</p> <p>DE DRYER EXHAUST</p> <p>DHW DOMESTIC HOT WATER</p> <p>DN DOWN</p> <p>DIA. DIAMETER</p> <p>DWG DRAWING</p> <p>EA EXHAUST AIR</p> <p>EAT ENTERING AIR TEMPERATURE</p> <p>EC ELECTRICAL CONTRACTOR</p> <p>EMS ENERGY MANAGEMENT SYSTEM</p> <p>ETBR EXISTING TO BE REMOVED</p> <p>ETR EXISTING TO REMAIN</p> <p>EWT ENTERING WATER TEMPERATURE</p> <p>EXH EXHAUST AIR</p> <p>FA FREE AREA</p> <p>FD FIRE DAMPER</p> <p>FLA FULL LOAD AMPS</p> <p>FOB FLAT ON BOTTOM</p> <p>FOT FLAT ON TOP</p> <p>FPI FINS PER INCH</p> <p>FPM FEET PER MINUTE</p> <p>FSD COMBINATION FIRE AND SMOKE DAMPER</p> <p>FT FEET</p> <p>F&amp;TT FLOAT &amp; THERMOSTATIC TRAP</p> <p>GAL GALLONS</p> <p>GC GENERAL CONTRACTOR</p> <p>GE GENERAL EXHAUST</p> <p>GPM GALLONS PER MINUTE</p> <p>HE HOOD EXHAUST</p> <p>HRB HEAT RECOVERY BOX</p> <p>HVAC HEATING, VENTILATING AND AIR CONDITIONING</p> <p>IN INCHES</p> <p>ID INSIDE DIAMETER</p> <p>KE KITCHEN EXHAUST</p> <p>KW KILOWATTS</p> <p>LAT LEAVING AIR TEMPERATURE</p> <p>LWT LEAVING WATER TEMPERATURE</p> <p>LD LOUVERED DOOR</p> <p>LS LOOSE STARTER</p> <p>MBH THOUSANDS OF BTUS PER HOUR</p> <p>MER MECHANICAL EQUIPMENT ROOM</p> <p>NC NORMALLY CLOSED</p> <p>NIC NOT IN CONTRACT</p> <p>NO NORMALLY OPEN</p> <p>NTS NOT TO SCALE</p> <p>OA OUTSIDE AIR</p> <p>OAT OUTSIDE AIR TEMPERATURE</p> <p>OBOD OPPOSED BLADE DAMPER</p> <p>OD OUTSIDE DIAMETER</p> <p>PD PRESSURE DROP</p> <p>PRV PRESSURE REDUCING VALVE</p> <p>PS PACKAGE STARTER</p> <p>PSI POUNDS PER SQUARE INCH</p> <p>RA RETURN AIR</p> <p>RIC RETURN IN COVER</p> <p>SA SUPPLY AIR</p> <p>SAT SUPPLY AIR TEMPERATURE</p> <p>SCT SATURATED CONDENSING TEMPERATURE</p> <p>SD SMOKE DAMPER</p> <p>SDC STAND ALONE DIGITAL CONTROLLER</p> <p>SF SQUARE FEET</p> <p>SP STATIC PRESSURE</p> <p>SPD SPEED</p> <p>SST SATURATED SUCTION TEMPERATURE</p> <p>TD TRANSFER DUCT</p> <p>TE TOILET EXHAUST</p> <p>TYP TYPICAL</p> <p>UC UNDERCUT DOOR SYSTEM</p> <p>VFD VARIABLE FREQUENCY DRIVE</p> <p>VD VOLUME DAMPER</p> <p>VIF VERIFY IN FIELD</p> <p>VRF VARIABLE REFRIGERANT FLOW</p> <p>WB WET BULB TEMPERATURE</p> <p>WMS WIRE MESH SCREEN</p>	<p>GATE VALVE</p> <p>AUTOMATIC (PRESSURE INDEPENDENT) FLOW CONTROL VALVE</p> <p>2-WAY CONTROL VALVE</p> <p>3-WAY CONTROL VALVE</p> <p>2-WAY SOLENOID VALVE</p> <p>DIFFERENTIAL PRESSURE VALVE</p> <p>GLOBE VALVE</p> <p>PRESSURE REDUCING VALVE</p> <p>PRESSURE RELIEF VALVE</p> <p>BALL VALVE</p> <p>BALL VALVE WITH MEMORY STOP</p> <p>BUTTERFLY VALVE</p> <p>BUTTERFLY SHUT-OFF VALVE</p> <p>MOTORIZED BUTTERFLY VALVE</p> <p>BALANCING VALVE WITH TEST PORTS</p> <p>CHECK VALVE</p> <p>PRESSURE GAUGE</p> <p>PRESSURE GAUGE WITH COCK</p> <p>FLOAT &amp; THERMOSTATIC TRAP</p> <p>THERMOSTATIC TRAP</p> <p>BUCKET TRAP</p> <p>THERMOMETER</p> <p>THERMOMETER WELL</p> <p>PIPE GUIDE</p> <p>PIPE ANCHOR</p> <p>CONCENTRIC REDUCER</p> <p>AIR VENT</p> <p>DIRECTION OF FLOW</p> <p>STRAINER</p> <p>STRAINER AND DRAIN VALVE W/HOSE CONN.</p> <p>UNION</p> <p>TEE CONNECTION</p> <p>PIPE CONNECTION BOTTOM OF MAIN</p> <p>PIPE CONNECTION TOP OF MAIN</p> <p>PIPE TURNING DOWN</p> <p>PIPE RISING / OR RISING AND DROPPING</p> <p>FLANGED CONNECTION</p> <p>FLOW MEASURING DEVICE</p> <p>PIPING TO BE REMOVED</p> <p>EXISTING PIPING</p> <p>EXPANSION COMPENSATOR</p> <p>PIPE UP TO RADIATION</p> <p>PIPE CAP</p> <p>PIPE HEAT TRACING ELEMENT</p> <p>SELF-CONTAINED VALVE</p>	<p>DIFFUSER, REGISTER, GRILLE DESIGNATION</p> <p>NECK SIZE OR LENGTH IF LINEAR DIFFUSER</p> <p>AIR QUANTITY - CFM</p> <p>SCHEDULED EQUIPMENT TYPE (WITHOUT ELECTRICAL SERVICE)</p> <p>SCHEDULE REFERENCE NO.</p> <p>SCHEDULED EQUIPMENT TYPE (WITH ELECTRICAL SERVICE)</p> <p>SCHEDULE REFERENCE NO.</p> <p>SECTION SYMBOL</p> <p>SECTION DESIGNATION</p> <p>DRAWING NUMBER LOCATION</p> <p>DETAIL SYMBOL</p> <p>DETAIL NUMBER</p> <p>DRAWING DETAIL LOCATED</p> <p>SCHEDULED EQUIPMENT TYPE &amp; REFERENCE NO.</p> <p>EQUIPMENT LENGTH</p> <p>EQUIPMENT CAPACITY - MBH</p> <p>INTAKE LOUVER</p> <p>INTAKE CFM</p> <p>LOUVER FACE AREA (GROSS AREA)</p> <p>EXHAUST LOUVER</p> <p>EXHAUST CFM</p> <p>LOUVER FACE AREA (GROSS AREA)</p> <p>VAV TERMINAL BOX</p> <p>UNIT SIZE (INCH DIA. OF INLET)</p> <p>MAXIMUM PRIMARY AIR FLOW (CFM)</p> <p>MINIMUM PRIMARY AIR FLOW (CFM)</p> <p>HEATING MBH</p> <p>FAN COIL UNIT</p> <p>FAN COIL DESIGNATION</p> <p>UNIT CFM</p> <p>REQUIRED SENSIBLE/REQUIRED TOTAL COOLING MBH</p> <p>REQUIRED HEATING MBH</p> <p>SCHEDULED EQUIPMENT TYPE &amp; REFERENCE NO.</p> <p>MINIMUM PRIMARY AIR CFM</p> <p>FAN CFM</p> <p>HEATING MBH</p> <p>MOTOR HP</p> <p>UNIT VENTILATOR BOX</p> <p>UNIT SIZE</p> <p>MINIMUM FRESH AIR (CFM)</p> <p>HEATING CAPACITY (MBH)</p> <p>COOLING CAPACITY (MBH)</p> <p>SOUND ATTENUATOR</p> <p>SCHEDULED EQUIPMENT TYPE</p> <p>SCHEDULE REFERENCE NO.</p> <p>PACKAGED STARTER BY HVAC CONTRACTOR</p> <p>LOOSE STARTER BY ELECTRICAL CONTRACTOR</p> <p>VARIABLE FREQUENCY DRIVE BY HVAC CONTRACTOR</p> <p>CONNECTED TO EMERGENCY POWER</p> <p>DISTANCE TO FINISHED FLOOR (FT. AND INCH) FROM BOTTOM OF DUCT OR PIPE</p> <p>STATIC PRESSURE SENSOR</p> <p>HUMIDISTAT</p> <p>CARBON MONOXIDE SENSOR</p> <p>CARBON DIOXIDE SENSOR</p> <p>DUCT SMOKE DETECTOR</p> <p>THERMOSTAT</p> <p>TEMPERATURE SENSOR</p> <p>SWITCH</p> <p>CONNECT NEW TO EXISTING</p> <p>LIMIT OF REMOVAL</p> <p>FLOOR DRAIN BY PLUMBING CONTRACTOR</p> <p>FLOW MEASURING STATION</p> <p>RISER DESIGNATION TYPE NUMBER</p> <p>COMBINATION TEMPERATURE SENSOR CARBON DIOXIDE SENSOR</p>	<p>AC AIR CONDITIONING UNIT</p> <p>ACC AIR COOLED CONDENSER</p> <p>ACCU AIR COOLED CONDENSING UNIT</p> <p>ACLC AIR COOLED LIQUID CHILLER</p> <p>AF AIR FILTER</p> <p>AHU AIR HANDLING UNIT</p> <p>AS AIR SEPARATOR</p> <p>B BOILER</p> <p>CC COOLING COIL</p> <p>CUH CABINET UNIT HEATER</p> <p>CH CHILLER</p> <p>CP CONDENSATE PUMP</p> <p>CT COOLING TOWER</p> <p>CV CONVECTOR</p> <p>CVB CONSTANT VOLUME BOX</p> <p>DFB DESTRATIFICATION FAN</p> <p>ECU EVAPORATIVE CONDENSING UNIT</p> <p>ERV EXHAUST ROOF VENT</p> <p>ET EXPANSION TANK</p> <p>F FAN</p> <p>FCU FAN COIL UNIT</p> <p>FMS FLOW MEASURING STATION</p> <p>FPB FAN POWERED BOX</p> <p>FTR FIN-TUBE RADIATION</p> <p>H HUMIDIFIER</p> <p>HC HEATING COIL</p> <p>HF HEPA FILTER</p> <p>HP HEAT PUMP UNIT</p> <p>HV HEATING AND VENTILATING UNIT</p> <p>HX HEAT EXCHANGER</p> <p>IRV INTAKE ROOF VENT</p> <p>P PUMP</p> <p>RTU ROOFTOP UNIT</p> <p>SA SOUND ATTENUATOR</p> <p>UH UNIT HEATER</p> <p>UV UNIT VENTILATOR</p> <p>VV VARIABLE VOLUME BOX</p>	<p>RECTANGULAR DUCTWORK - FIRST DIMENSION IS SIDE SHOWN (IN.)</p> <p>ROUND DUCT DIAMETER (IN.)</p> <p>FLAT OVAL DUCT</p> <p>CAPPED DUCT</p> <p>EXISTING DUCTWORK</p> <p>EXISTING DUCTWORK TO BE REMOVED</p> <p>IN-DUCT SOUND ATTENUATOR</p> <p>IN-DUCT HEATING COIL</p> <p>SUPPLY/OUTSIDE AIR DUCTWORK UP</p> <p>SUPPLY/OUTSIDE AIR DUCTWORK DOWN</p> <p>RETURN/EXHAUST AIR DUCTWORK UP</p> <p>RETURN/EXHAUST AIR DUCTWORK DOWN</p> <p>FLEXIBLE EQUIPMENT CONNECTION</p> <p>FLEXIBLE DUCT</p> <p>ACOUSTICALLY LINED DUCTWORK</p> <p>CHANGE OF ELEVATION IN DIRECTION OF AIRFLOW R=RISE &amp; D=DROP</p> <p>RECTANGULAR DUCT TRANSITION</p> <p>RECTANGULAR DUCT TRANSITION (DOUBLE LINE TO SINGLE LINE)</p> <p>RECTANGULAR TO ROUND TRANSITION</p> <p>MITERED ELBOW WITH TURNING VANES</p> <p>SUPPLY AIR DIFFUSER BELOW DUCT</p> <p>RETURN OR EXHAUST REGISTER BELOW DUCT</p> <p>TRANSFER DUCT WITH ACOUSTICAL LINING</p> <p>ROUND DUCT UP</p> <p>SUPPLY AIR DIFFUSERS (4-WAY BLOW)</p> <p>SUPPLY AIR DIFFUSER (3-WAY BLOW)</p> <p>SUPPLY AIR DIFFUSERS (2-WAY BLOW)</p> <p>SUPPLY AIR DIFFUSER (1-WAY BLOW)</p> <p>RETURN/EXHAUST AIR GRILLE</p> <p>SUPPLY/RETURN TRANSFER AIR LINEAR DIFFUSER</p> <p>CEILING/SIDEWALL AIR LINEAR DIFFUSER</p> <p>BACKDRAFT DAMPER</p> <p>FIRE DAMPER</p> <p>FIRE DOOR</p> <p>VOLUME DAMPER</p> <p>SMOKE DAMPER</p> <p>AUTOMATIC CONTROL DAMPER / PNEUMATIC / ELECTRIC</p> <p>MOTORIZED COMBINATION FIRE &amp; SMOKE DAMPER</p> <p>AUTOMATIC CONTROL DAMPER / ELECTRIC</p> <p>EXHAUST / RETURN / OR INTAKE AIR</p> <p>DOOR UNDER-CUT BY A.S.C.</p> <p>LOUVERED DOOR BY A.S.C.</p> <p>ACCESS DOOR IN CEILING</p>																					
<p><b>DESIGN CONDITIONS</b></p> <p><b>TEMPERATURES AND HUMIDITIES WEATHER DATA BASIS</b></p> <p>WINTER: OUTDOOR AIR TEMPERATURE: 7°F (99.6%) CITY, STATE BOSTON, MA</p> <p>INDOOR AIR TEMPERATURES: SUB-LOCATION MATTAPAN</p> <p>72°F GENERAL SPACES ELEVATION, AMSL 30 FT</p> <p>65°F EXTERIOR STORAGE/MECHANICAL SPACES</p> <p>SUMMER: OUTDOOR AIR TEMPERATURE: 91°F db; 73°F wb* (0.4%) SUMMER DESIGN WB 0.4%***</p> <p>INDOOR AIR TEMPERATURES: 75°F; 50%RH** GENERAL SPACES</p> <p>* MEAN COINCIDENT WET BULB. WEATHER DATA BASED ON 2009 ASHRAE FUNDAMENTALS HANDBOOK, CHAPTER 14, APPENDIX AND IECC 2012, CLIMATE ZONE</p> <p>** INCIDENTAL RELATIVE HUMIDITY.</p> <p>*** FOR EVAPORATIVE EQUIPMENT DESIGN</p>			<p><b>DRAWING LIST</b></p> <table border="1"> <thead> <tr> <th>Drawing Number</th> <th>Drawing Title</th> <th>Sheet Number</th> </tr> </thead> <tbody> <tr> <td>M00-01</td> <td>HVAC LEGEND SHEET</td> <td>1 of 6</td> </tr> <tr> <td>M11-01</td> <td>HVAC BASEMENT AND LEVEL 1 PLANS</td> <td>2 of 6</td> </tr> <tr> <td>M11-02</td> <td>HVAC LEVEL 2 AND ATTIC PLANS</td> <td>3 of 6</td> </tr> <tr> <td>M11-11</td> <td>HVAC BARN PLANS</td> <td>4 of 6</td> </tr> <tr> <td>M20-01</td> <td>HVAC DETAILS SHEET</td> <td>5 of 6</td> </tr> <tr> <td>M30-01</td> <td>HVAC SCHEDULE SHEET</td> <td>6 of 6</td> </tr> </tbody> </table>			Drawing Number	Drawing Title	Sheet Number	M00-01	HVAC LEGEND SHEET	1 of 6	M11-01	HVAC BASEMENT AND LEVEL 1 PLANS	2 of 6	M11-02	HVAC LEVEL 2 AND ATTIC PLANS	3 of 6	M11-11	HVAC BARN PLANS	4 of 6	M20-01	HVAC DETAILS SHEET	5 of 6	M30-01	HVAC SCHEDULE SHEET	6 of 6
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H:\60-16-862\CLARK EPSTEIN FARM\SHEETS\60-16-862-M1-00 HVAC LEGEND.DWG

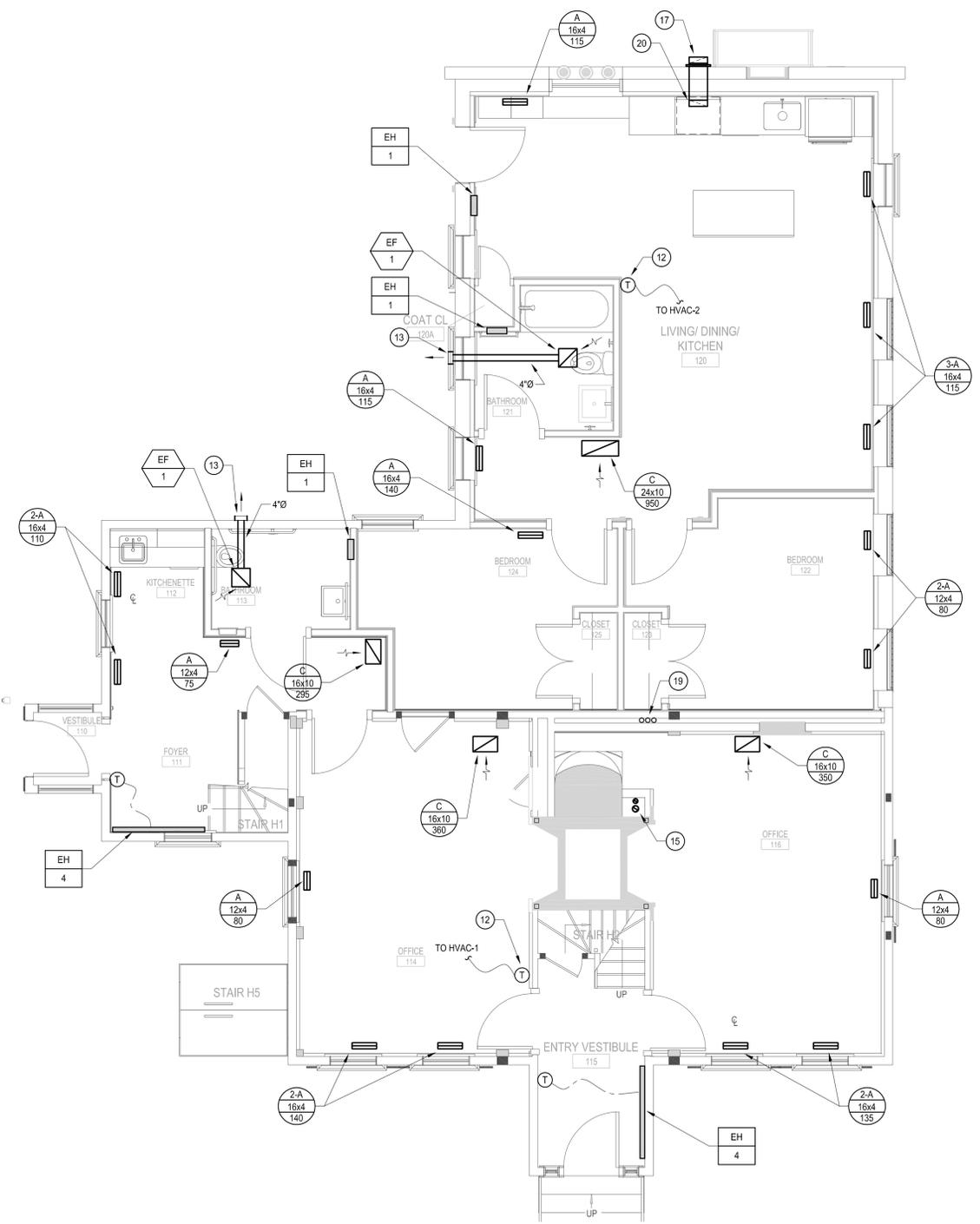


**DRAWING NOTES**

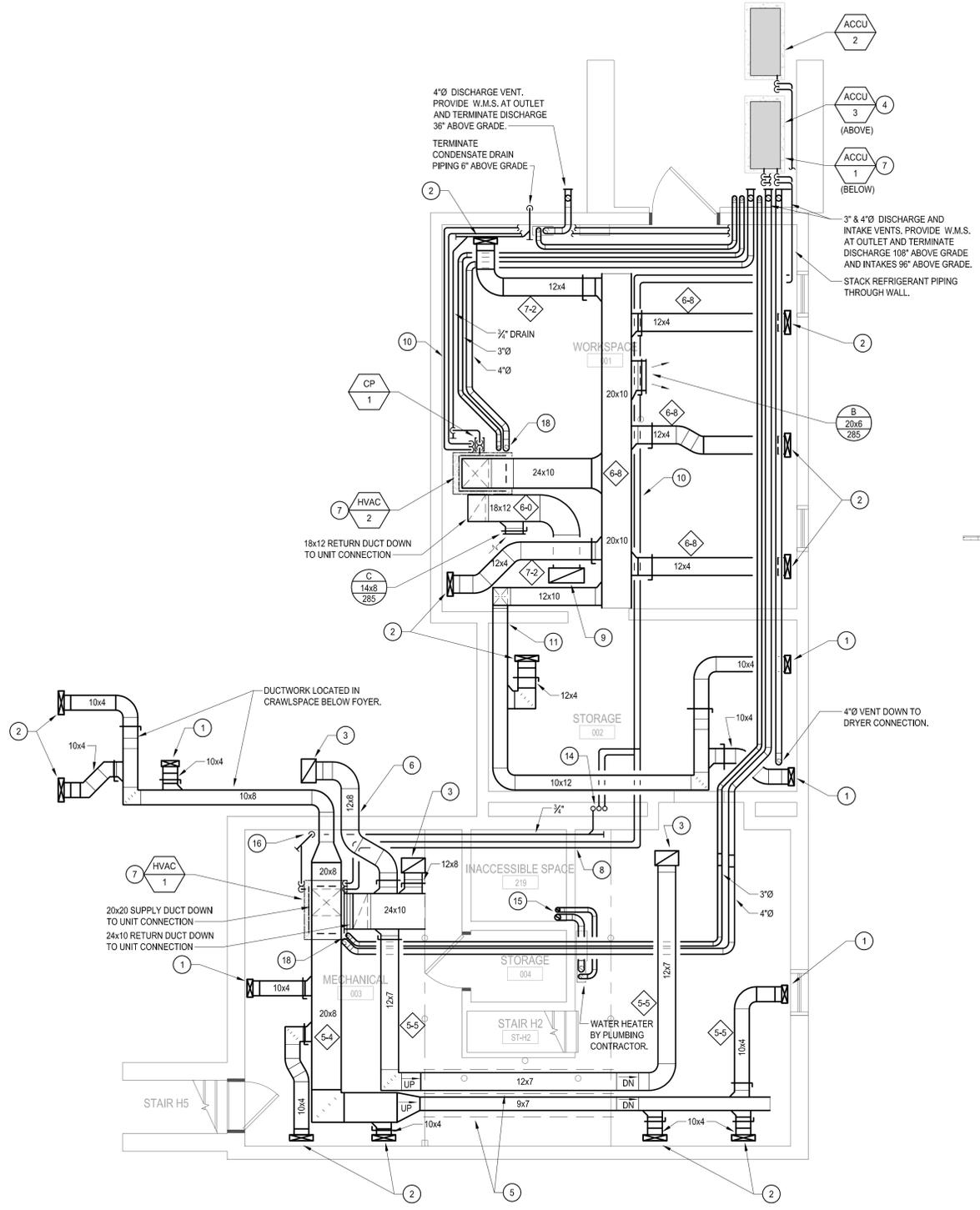
- ① 12x4 SUPPLY AIR DUCT UP TO DIFFUSER.
- ② 16x4 SUPPLY AIR DUCT UP TO DIFFUSER.
- ③ 16x10 RETURN AIR DUCT UP TO GRILLE.
- ④ PROVIDE STAINLESS STEEL STAND ANCHORED TO CONCRETE PAD TO ALLOW MOUNTING OF ACCU-3 ABOVE ACCU-1.
- ⑤ OFFSET DUCTWORK UP THROUGH JOIST SPACE IN THIS AREA.
- ⑥ DUCTWORK SHALL PASS THROUGH EXISTING OPENING IN FOUNDATION WALL.
- ⑦ LOCATE UNIT ON 4" CONCRETE PAD.
- ⑧ RUN REFRIGERANT PIPING THROUGH EXISTING PENETRATIONS IN BRICK ENCLOSURE.
- ⑨ 24x10 RETURN AIR DUCT UP TO GRILLE.
- ⑩ REFRIGERANT PIPING.
- ⑪ SUPPLY AIR DUCT THROUGH EXISTING OPENING.
- ⑫ LOCATED THERMOSTAT ABOVE LIGHT SWITCH.
- ⑬ PROVIDE ALUMINUM HOOD WALL VENT (MANUFACTURED BY BROAN) WITH W.M.S. AT OUTLET.
- ⑭ CONDENSATE DRAIN AND REFRIGERANT PIPING UP.
- ⑮ 4"Ø WATER HEATER VENT AND 3"Ø COMBUSTION AIR UP TO ROOF.
- ⑯ 3/4" CONDENSATE DRAIN DOWN TO DRAIN RECEPTOR. RECEPTOR BY PLUMBING CONTRACTOR.
- ⑰ DUCT SHALL TERMINATE WITH ALUMINUM WALL VENT ABOVE STONE FACADE.
- ⑱ 3"Ø INTAKE AND 4"Ø VENT DOWN TO GAS FURNACE.
- ⑲ CONDENSATE DRAIN AND REFRIGERANT PIPING UP AND DOWN INSIDE WALL.
- ⑳ PROVIDE 12x4 EXHAUST DUCT CONNECTION FROM EXHAUST HOOD UP THROUGH CEILING TO OUTDOORS.



NO	ISSUE	DATE
Job Number		60-16-862
Checked		KJC
Approved		KJC
TITLE		



② HOUSE LEVEL 01 RENOVATION PLAN  
 1/4" = 1'-0"



① HOUSE BASEMENT RENOVATION PLAN  
 1/4" = 1'-0"

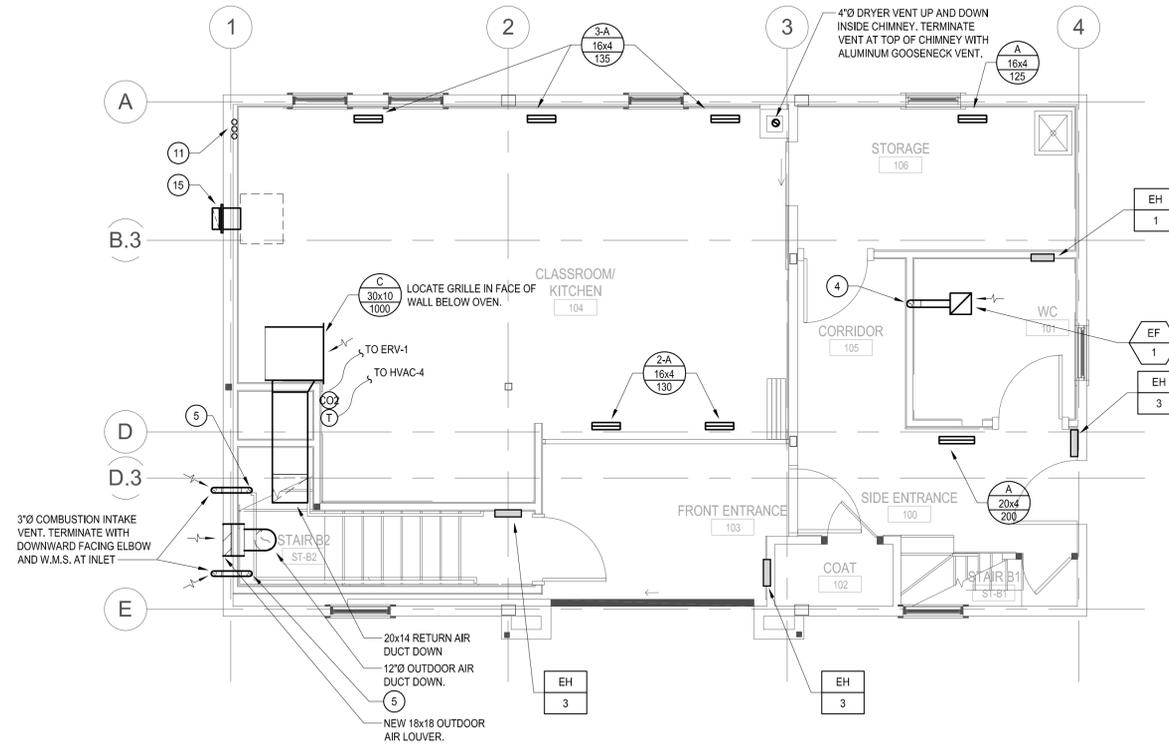
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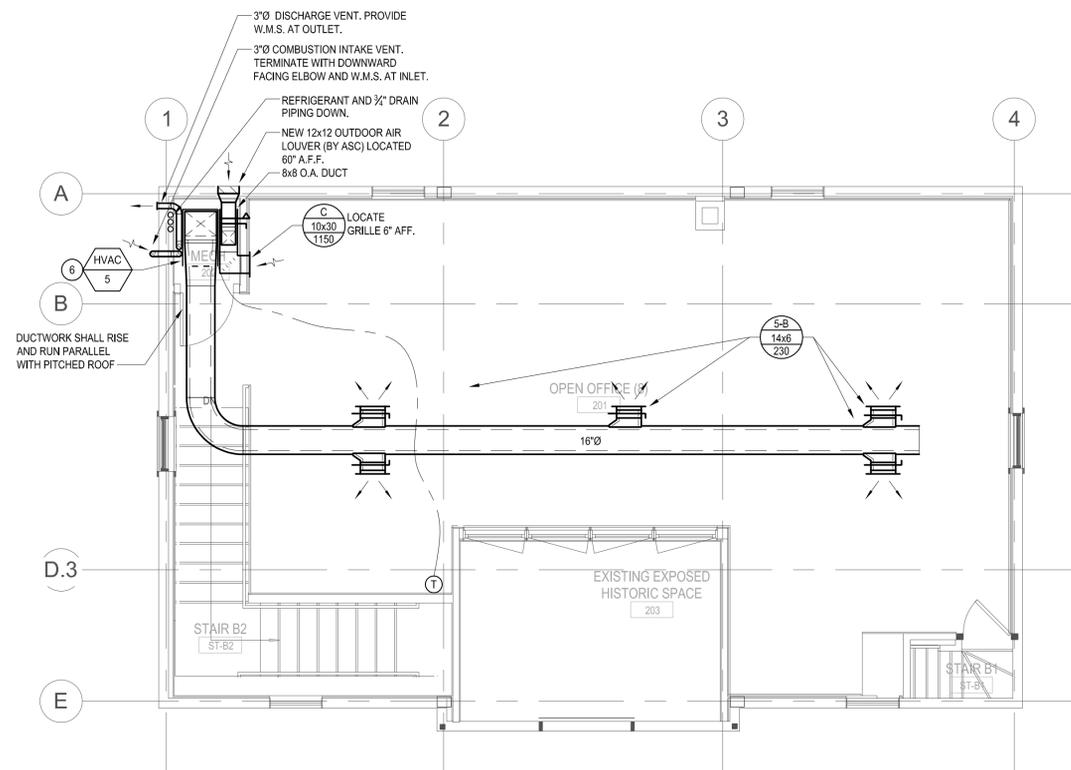


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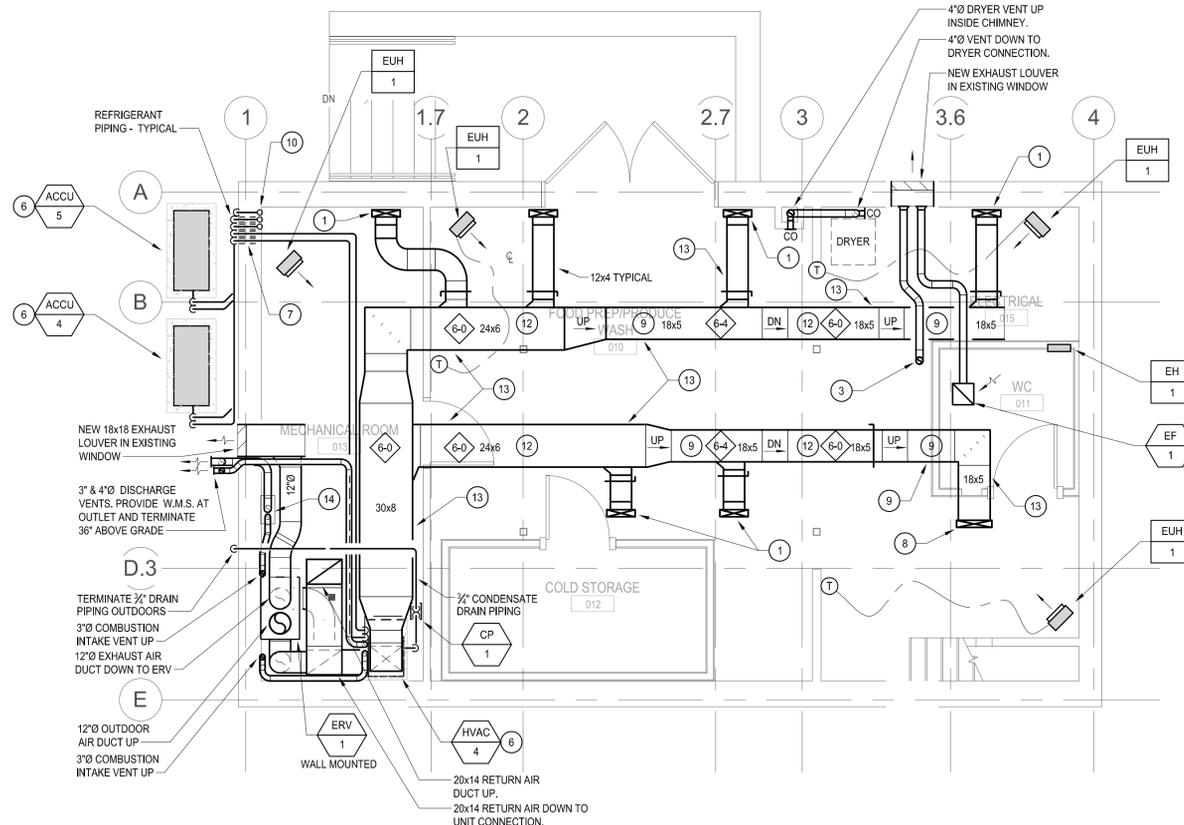
- 1 16x4 SUPPLY AIR DUCT UP TO DIFFUSER.
- 2 12x12 RETURN AIR DUCT UP TO GRILLE.
- 3 4"Ø EXHAUST AIR DUCT UP.
- 4 4"Ø EXHAUST AIR DUCT DOWN.
- 5 3"Ø COMBUSTION INTAKE DOWN.
- 6 LOCATE UNIT ON 4" CONCRETE PAD.
- 7 REFRIGERANT AND DRAIN PIPING THROUGH EXISTING WOOD SILL.
- 8 20x4 SUPPLY AIR DUCT UP TO DIFFUSER.
- 9 SUPPLY AIR DUCT SHALL RISE AND RUN THROUGH JOIST SPACE.
- 10 REFRIGERANT AND 3/4" DRAIN PIPING UP. TERMINATE DRAIN PIPING OUTDOORS.
- 11 REFRIGERANT AND 3/4" DRAIN PIPING UP & DOWN.
- 12 SUPPLY AIR DUCT SHALL RUN BELOW WOOD BEAM.
- 13 PROVIDE SLIP AND DRIVE DUCT CONNECTION FOR SUPPLY AIR DUCTWORK IN BASEMENT.
- 14 DOMESTIC WATER HEATER BY PLUMBING CONTRACTOR. 4"Ø VENT AND 3"Ø INTAKE DOWN TO COLLAR CONNECTIONS.
- 15 PROVIDE 12x4 EXHAUST DUCT CONNECTION TO EXHAUST HOOD. DUCT SHALL TERMINATE WITH ALUMINUM WALL VENT.



**2 BARN - LEVEL 01 - FLOOR PLAN**  
1/4" = 1'-0"



**3 BARN - LEVEL 02 - FLOOR PLAN**  
1/4" = 1'-0"



**1 BARN - BASEMENT - FLOOR PLAN**  
1/4" = 1'-0"

**PROJECT**

**Fowler Clark  
Epstein Farm**  
487 Norfolk Street Boston,  
Massachusetts 02126

**Fowler Clark Farm LLC**  
Roxbury, Massachusetts 02119



TRUE NORTH

Construction Documents

February 1, 2017

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Job Number		60-16-862
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TITLE		

**HVAC BARN  
PLANS**

SHEET NUMBER

**M11-11**

Sheet 4 of 6



**PROJECT**

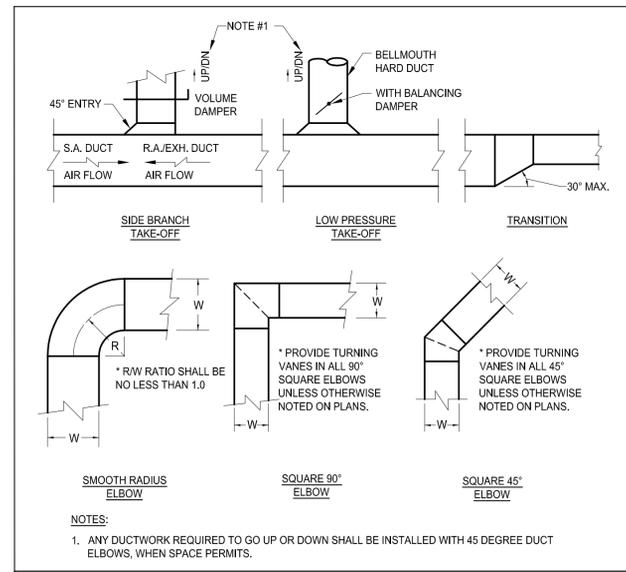
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**Fowler Clark Farm LLC**  
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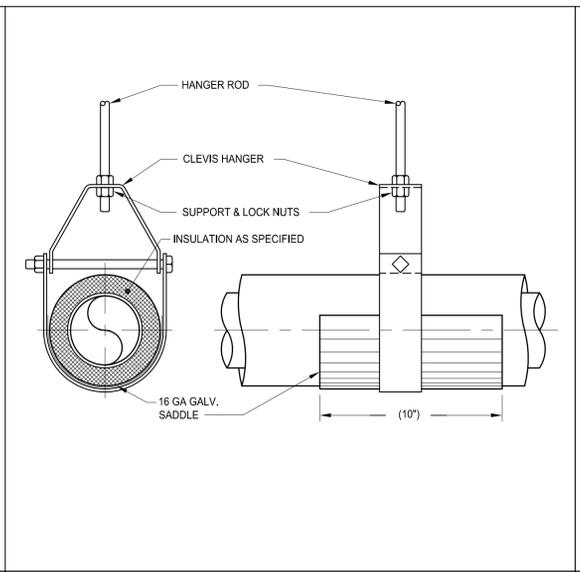
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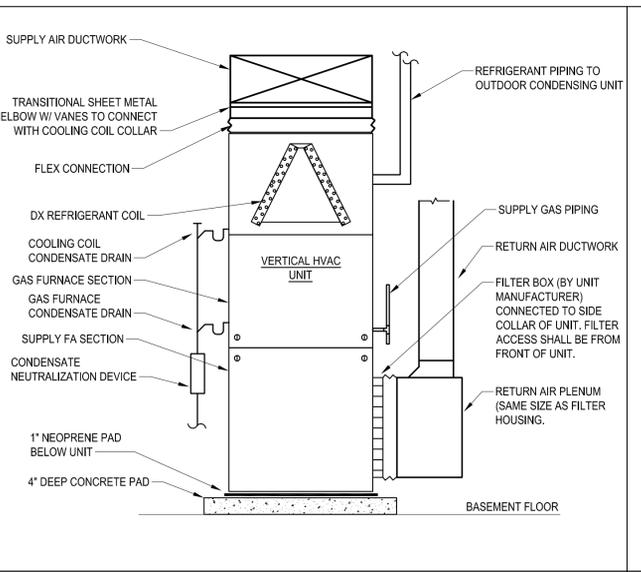
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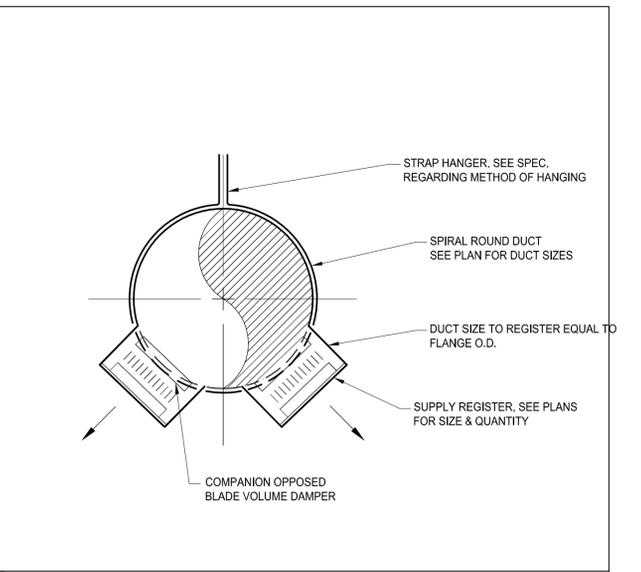
1 M20-01 **TYPICAL DUCTWORK** NTS



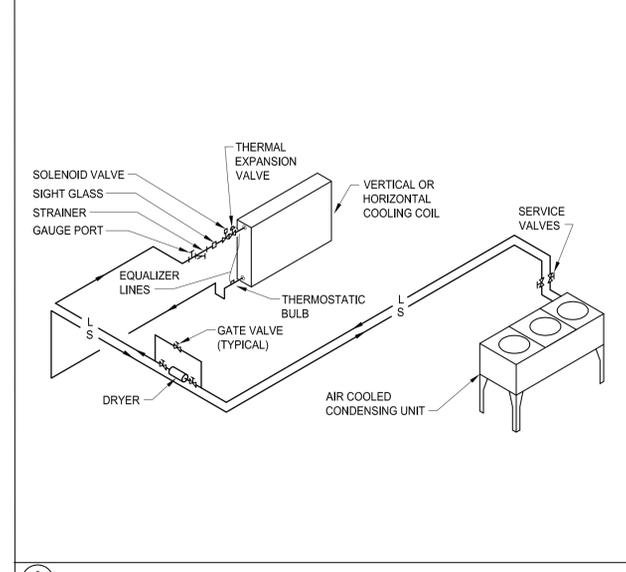
2 M20-01 **PIPE HANGER** NTS



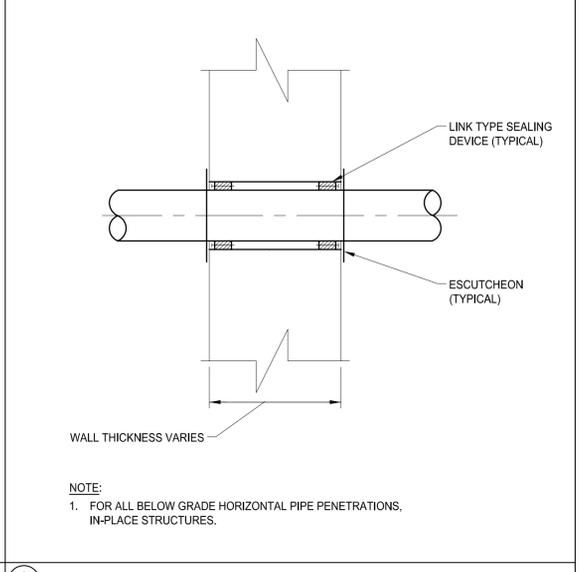
3 M20-01 **VERTICAL HVAC UNIT** NTS



4 M20-01 **BARN SUPPLY REGISTER ROUND DUCT** NTS



5 M20-01 **REFRIGERANT SCHEMATIC** NTS



6 M20-01 **PIPE PENETRATION THROUGH WALL** NTS

**ISSUE CHART**

NO	ISSUE	DATE
Job Number		60-16-862
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TITLE		

**HVAC DETAIL SHEET**

SHEET NUMBER

**M20-01**

Sheet 5 of 6



### ENERGY RECOVERY UNIT (ERU)

UNIT NO.	LOCATION	SUPPLY FAN						EXHAUST FAN						ELECTRICAL CHARACTERISTICS		MANUFACTURER and MODEL No.	VIBRATION ISOLATION		REMARKS	STARTER TYPE				
		AIR-FLOW (CFM)	ESP (IN. H2O)	WHEEL MIN. DIA (IN.)	WHEEL TYPE	MOTOR (RPM)	SPEED BHP	AIR-FLOW (CFM)	ESP (IN. H2O)	WHEEL MIN. DIA (IN.)	WHEEL TYPE	SPEED (RPM)	MOTOR BHP	UNIT MCA (AMPS)	MOCP (AMPS)		VOLTS	PHASE			TYPE	DEFLEC. (IN.)		
ERV-1	SEE PLANS	400	0.75	-	-	-	NA	0.75	400	0.75	-	-	-	NA	0.75	20.3	25	120	1	RENEWAIR HE1X1W	-	-	①②③④⑤	PS

- ① PROVIDE UNIT WITH FACTORY MOTORIZED ISOLATION DAMPERS FOR OUTDOOR & EXHAUST AIR SYSTEMS.
- ② INCLUDE FACTORY MOUNTED FUSED DISCONNECTS.
- ③ PROVIDE MERV-8 FILTERS FOR OUTDOOR & RETURN AIR.
- ④ PROVIDE WALL-MOUNTED CARBON DIOXIDE SENSOR
- ⑤ PROVIDE WALL-MOUNTED DIGITAL TIME CLOCK.

### HEATING RECOVERY PERFORMANCE – COOLING SEASON

UNIT NUMBER	MANUFACTURER MODEL NUMBER (AS STANDARD)	HEAT EXCHANGER, SUMMER (ENTHALPY WHEEL)										MEASURED EFF. %	REMARKS
		SUPPLY					EXHAUST						
		AIRFLOW (CFM)	EAT(°F)		LAT(°F)		AIRFLOW (CFM)	EAT(°F)		LAT(°F)			
ERV-1	RENEWAIR HE1X1W	400	91	73	80.3	62.4	400	75	63	85	70	65	①

- ① PROVIDE INTEGRAL ENERGY EXCHANGE CORE WITH SENSIBLE & LATENT HEAT TRANSFER.

### HEATING RECOVERY PERFORMANCE – HEATING SEASON

UNIT NUMBER	MANUFACTURER MODEL NUMBER (AS STANDARD)	HEAT EXCHANGER, SUMMER (ENTHALPY WHEEL)										MEASURED EFF. %	REMARKS
		SUPPLY					EXHAUST						
		AIRFLOW (CFM)	EAT(°F)		LAT(°F)		AIRFLOW (CFM)	EAT(°F)		LAT(°F)			
ERV-1	RENEWAIR HE1X1W	400	7	5	50.6	41.7	400	72	56	31	28	65	①

- ① PROVIDE INTEGRAL ENERGY EXCHANGE CORE WITH SENSIBLE & LATENT HEAT TRANSFER.

### HEATING VENTILATION AIR UNIT (HVAC)

UNIT NO.	CABINET TYPE	AIRFLOW VOLUME (CFM)	FAN ESP (IN. W.G.)	COOLING COIL DX (R410A)						GAS HEATING FURNACE				ELECTRICAL DATA				MANUFACTURER AND MODEL NO.	NOTES				
				TOTAL		SENS		AIR SIDE		INPUT	OUTPUT	EAT (°F)	LAT (°F)	MIN. GAS PRESS (IN.)	MIN EFFIC. (%)	FLA	MOTOR HP			VOLTS	PHASE	HZ	
				MBH	MBH	DB(°F)	WB(°F)	DB(°F)	WB(°F)	MAX DP (IN.W.G.)	MAX/MIN (MBH)												MAX/MIN (MBH)
HVAC-1	VERTICAL	1050	0.6	27.3	21.5	75	62	57	53.3	0.25	40/26	38/25	70	104	4.5	92	9.5	1/2	120	1	60	YORK TM9Y040	①②③④⑤⑥⑦⑧
HVAC-2	VERTICAL	1160	0.4	25.4	22.2	75	62	57	55.3	0.25	40/26	38/25	70	100	4.5	92	9.5	1/2	120	1	60	YORK TM9Y040	①②③④⑤⑥⑦⑧
HVAC-3	HORIZONTAL	960	0.6	22.7	19.5	75	62	57	55.3	0.25	40/26	38/25	70	105	4.5	92	9.5	1/2	120	1	60	YORK TM9Y040	①③④⑤⑦⑧
HVAC-4	VERTICAL	1000	0.6	35.0	22.8	77	64	54	52.1	0.25	40/26	38/25	70	105	4.5	92	9.5	1/2	120	1	60	YORK TM9Y040	①②③④⑤⑥⑦⑧
HVAC-5	VERTICAL	1150	0.4	29.6	25.6	77	64	57	55	0.25	40/26	38/25	70	99	4.5	92	9.5	1/2	120	1	60	YORK TM9Y040	①②③④⑤⑥⑦⑧

- ① PROVIDE SINGLE POINT POWER CONNECTION.
- ② PROVIDE FULLY CASED UPFLOW DX COIL WITH ASSOCIATED CONDENSING UNIT.
- ③ PROVIDE EC FAN MOTOR.
- ④ PROVIDE FULLY CASED HORIZONTAL DX COIL WITH ASSOCIATED CONDENSING UNIT.
- ⑤ PROVIDE 2" DEEP BOTTOM FILTER RACK (25"x16") BY UNIT MANUFACTURER.
- ⑥ PROVIDE 2" DEEP SIDE FILTER RACK (25"x16") BY UNIT MANUFACTURER.
- ⑦ PROVIDE CONDENSATE NEUTRALIZATION KIT IN FURNACE DRAIN PIPING.
- ⑧ UNIT SELECTED AT HIGH SPEED.

### AIR COOLED CONDENSING UNIT (ACCU)

UNIT No.	LOCATION	PERFORMANCE				ELECTRICAL				ASSOCIATED HVAC UNIT	PERFORMANCE SEER	MANUFACTURER AND MODEL NO.	NOTES		
		NOMINAL CAPACITY (TONS)	NET CAPACITY (MBH)	NOMINAL OPERATING TEMPERATURE °F	AMBIENT TEMPERATURE °F	MINIMUM AMBIENT TEMPERATURE °F	OPERATING TEMPERATURE °F	VOLTS	PHASE					HZ	MCA
ACCU-1	SEE PLANS	2.5	30	95	95	60	208	3	60	12.0	20	HVAC-1	13	YORK TCHD30	①②
ACCU-2	SEE PLANS	2.5	30	95	95	60	208	3	60	12.0	30	HVAC-2	13	YORK TCHD30	①②
ACCU-3	SEE PLANS	2.5	30	95	95	60	208	3	60	12.0	20	HVAC-3	13	YORK TCHD30	①②
ACCU-4	SEE PLANS	3.0	36	95	95	60	208	3	60	23.1	40	HVAC-4	13	YORK TCHD36	①②
ACCU-5	SEE PLANS	3.0	36	95	95	60	208	3	60	23.1	40	HVAC-5	13	YORK TCHD36	①②

- ① PROVIDE "SLIM-LINE" COMPACT FOOTPRINT UNITS.
- ② PROVIDE UNIT WITH LOW SOUND OPERATION INCLUDING NOISE REDUCING ISOLATED SCROLL COMPRESSOR (70 dBA MAX.)

### FAN (EF)

UNIT NO.	SERVICE	LOCATION	AIRFLOW (CFM)	FAN TYPE	E.S.P. (IN. W.G.)	WHEEL		OUTLET VELOCITY (FPM)	FAN SPEED		FAN MOTOR HP	ELEC. DATA		MANUFACTURER and MODEL No.	VIBRATION ISOLATION TYPE	MAX. SOUND LEVEL	REMARKS	STARTER TYPE		
						MIN. DIA. (IN.)	TYPE		DRIVE	RPM		BHP	V						PH.	
EF-1	TOILETS	SEE PLANS	90	CENTRIG.	0.25	NA	NA	DIRECT	NA	1170	1/20	1/20	120	1	PANASONIC FV-10V3E	NA	NA	0.5 SONES	①	-

- ① PROVIDE 4" DUCT CONNECTION.

### ELECTRIC UNIT HEATER (EUH)

UNIT NO.	LOCATION	TYPE	MOUNTING	INPUT (KW)	OUTPUT (MBH)	AIR			MOTOR		ELEC. DATA		MANUFACTURER and MODEL No.	VIBRATION ISOLATION		REMARKS	STARTER TYPE		
						FLOW (CFM)	SPEED (LO/MED/HI)	EAT (°F)	LAT (°F)	HP OR WATTS	SPEED (RPM)	TOTAL AMPS		V	PH.			TYPE	DEFLEC. (IN.)
EUH-1	SEE PLANS	WALL MOUNTED	SURFACE	3.0	10.2	350	HIGH	65	92	0.1 HP	1600	12.5	208	1	QMARK MUH03-21	-	-	PROVIDE 24V CONTROLS TRANSFORMER	-

### CONDENSATE PUMP (CP)

UNIT NO.	LOCATION	SERVICE	CAP. (GPM)	DISCH. PRESS. (PSIG)	NPSH (FT)	MOTOR		ELEC. DATA			MANUFACTURER MODEL NUMBER (AS STANDARD)	REMARKS	STARTER TYPE
						No. OF PUMPS	SIZE (HP)	POWER (KW)	V	PH.			
CP-1	SEE DRAWINGS	SEE DRAWINGS	65 @ 1'	10.4	15	1	1/30	0.025	120	1	LITTLE GIANT VCMA-15ULS	①	PS

- ① PROVIDE WIRE SAFETY SWITCH TO AC UNIT TO DEACTIVATE UNIT SHOULD THE CONDENSATE PUMP/TANK FAIL.

### ELECTRIC HEATER (EH)

UNIT NO.	LOCATION	TYPE	MOUNTING	INPUT (KW)	OUTPUT (MBH)	ELEC. DATA			MANUFACTURER and MODEL No.	VIBRATION ISOLATION		REMARKS	STARTER TYPE
						TOTAL AMPS	V	PH.		TYPE	DEFLEC. (IN.)		
EH-1	SEE PLANS	WALL FAN-DRIVEN	RECESSED	1.0	3.4	4.8	208	1	QMARK CWH	-	-	PROVIDE INTEGRAL THERMOSTAT	PS
EH-2	SEE PLANS	WALL FAN-DRIVEN	SURFACE	1.0	3.4	4.8	208	1	QMARK CWH	-	-	PROVIDE INTEGRAL THERMOSTAT	PS
EH-3	SEE PLANS	WALL FAN-DRIVEN	SURFACE	3.0	10.2	14.4	208	1	QMARK AWH	-	-	PROVIDE INTEGRAL THERMOSTAT	PS
EH-4	SEE PLANS	BASEBOARD PANEL	SURFACE	0.733	2.5	7.0	208	1	RUNTAL EB	-	-	COLOR SHALL BE SELECTED BY ARCHITECT.	PS

### AIR DEVICES

SYMBOL	MODULE SIZE (IN.)	SERVICE	MOUNTING	CONSTRUCTION MATERIAL	ACCESSORIES	MANUFACTURER and MODEL No.	MAX. SOUND LEVEL (NC)	REMARKS
A	SEE PLANS	SUPPLY	FLOOR	STEEL	COLOR SHALL BE SELECTED BY ARCHITECT	TITUS CT-480	-	1/4" BAR SPACING, 0" DEFLECTION PROVIDE HEAVY DUTY FLANGED MOUNTING FRAME.
B	NA	SUPPLY	SIDEWALL	STEEL	COLOR SHALL BE SELECTED BY ARCHITECT	TITUS 272FS	-	DOUBLE DEFLECTION WITH BLADES PARALLEL TO SHORT DIMENSION.
C	NA	RETURN/EXHAUST	FLOOR/CEILING	STEEL	COLOR SHALL BE SELECTED BY ARCHITECT	TITUS 4FL	-	45° DEFLECTION

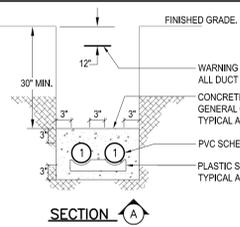
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**GREENHOUSE NOTES/EQUIPMENT**

- ALL RACEWAYS WITHIN GREENHOUSE SHALL BE GALVANIZED RIGID STEEL.
- PROVIDE UNISTRUT SPANNING STRUCTURAL TRUSS FOR ALL LUMINAIRES WITHIN GREENHOUSE.
- ALL LIGHTING CONTROLS WITHIN GREENHOUSE SHALL BE WEATHERPROOF, PROVIDE CAST OUTLET BOXES WITH GASKETED COVERS. COORDINATE EXACT LOCATION AND MOUNTING HEIGHTS IN FIELD WITH ARCHITECT.
- PROVIDE (8) WEATHERPROOF RECEPTACLES WITHIN GREENHOUSE. ALL OUTLET BOXES SHALL BE CAST WITH GASKETED COVERS. COORDINATE EXACT LOCATION AND MOUNTING HEIGHTS IN FIELD WITH ARCHITECT.
- PROVIDE CONDUITS FOR THE FOLLOWING FROM PANELBOARD LCG:
  - 34°C. LIGHTING
  - 34°C. RECEPTACLES
  - 1°C. MOTORIZED EQUIPMENT
  - 34°C. FIRE ALARM
  - 1°C. LOW VOLTAGE
- PROVIDE (8) ENCLOSED AND GASKETED WEATHERPROOF LED LENSED LUMINAIRES.

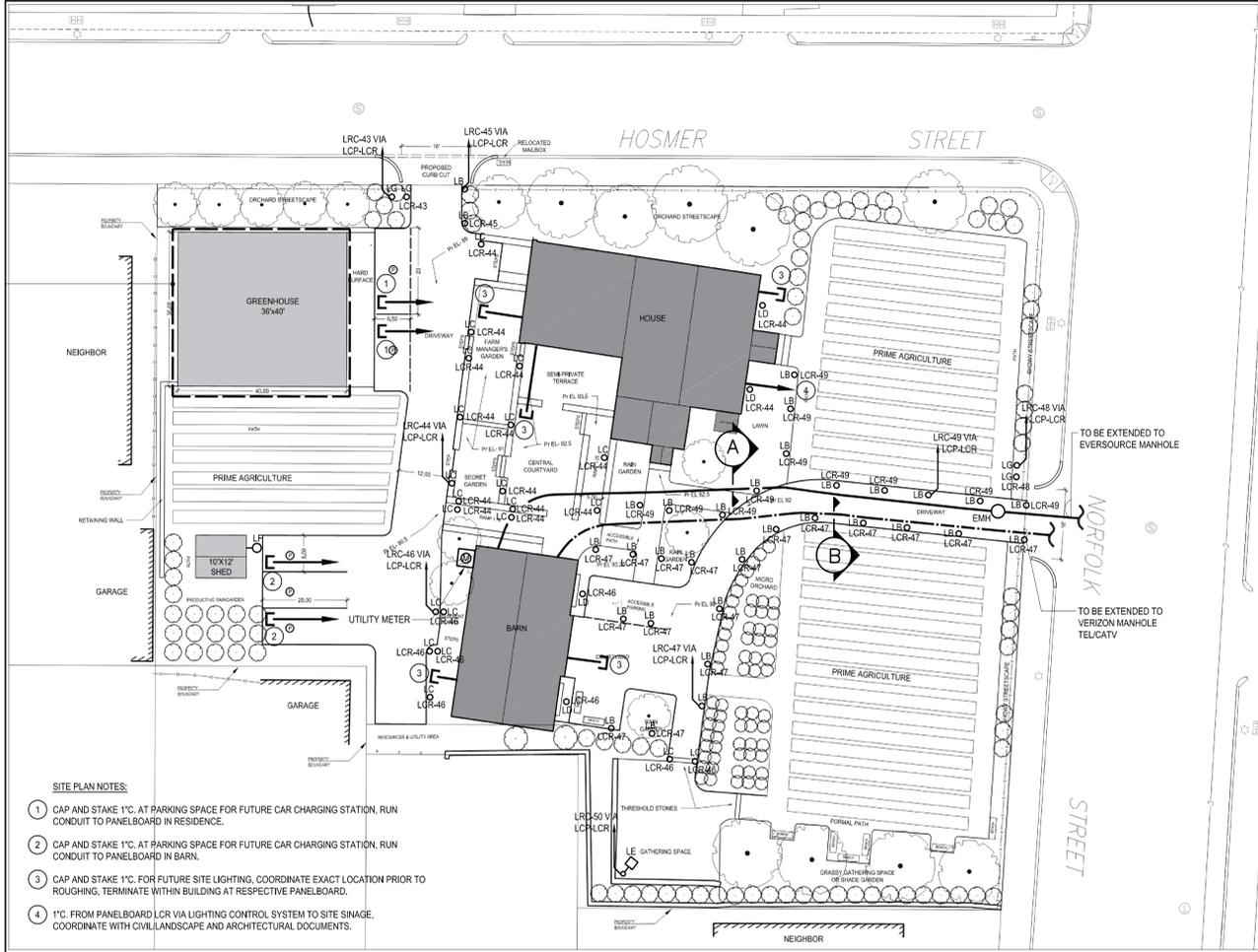
**SHED NOTES/EQUIPMENT**

- INCLUDE (2) LED LENSED STRIP LIGHTS AND CONTROLS.
- INCLUDE (2) GROUND FAULT RECEPTACLES WITHIN THE SHED. PROVIDE SEPARATE DEDICATED CIRCUITS TO EACH RECEPTACLE.
- INCLUDE (1) GROUND FAULT RECEPTACLE OUTSIDE THE SHED WITH DEDICATED CIRCUIT.
- PROVIDE (2) SPARE 1" CONDUITS TO AREA OF ELECTRIC PANEL IN BARN.
- INCLUDE (1) EXTERIOR LUMINAIRE AND PHOTOMOTION SENSOR AT SHED DOOR.



- DUCT BANK LEGEND:**
- 1 4" PVC ELECTRIC SERVICE
  - 2 4" PVC TELEPHONE SERVICE
  - 3 4" PVC CABLE TV SERVICE
  - 4 4" PVC SPARE

**DUCTBANK SECTION DETAILS**  
Scale: NOT TO SCALE



**SITE PLAN**  
Scale: NOT TO SCALE

**ELECTRICAL SYMBOL LIST**

- FR10 LUMINAIRE TYPE
- LHT-8 SWITCH CONTROL
- LHT-8 BRANCH CIRCUIT DESIGNATION
- CEILING RECESSED MOUNTED.
- TRACK LIGHTING.
- ILLUMINATED LED EDGE LIT WALL, CEILING MOUNTED OR SUSPENDED EXIT SIGN, LITHONIA #LRP-W-2-RMR-DA-UNV.
- WIRED TO EMERGENCY.
- LHT-1.3 HOMERUN TO PANEL "LHT", CIRCUITS 1 AND 3. DIAGONAL LINES INDICATE NUMBER OF CONDUCTORS WHEN MORE THAN TWO.
- SINGLE POLE SWITCH (CENTERLINE 4-0" A.F.F.)
- MULTI-GANGED SWITCH (CENTERLINE 4-0" A.F.F.)
- LOW VOLTAGE ON/OFF SWITCH WITH DIMMING (CENTERLINE 4-0" A.F.F.), SENSORSWITCH # nPDDM-DX-WH
- LED DIMMER SWITCH.
- VACANCY SENSOR CEILING MOUNTED. PROVIDE ALL POWER PACKS AS REQUIRED AND/OR RECOMMENDED BY MANUFACTURER. SENSORSWITCH # nCM-PDT-9 or nCM-PDT-10 CORNER MOUNT VACANCY SENSOR CEILING/WALL MOUNT BRACKET. SENSORSWITCH # nVV-PDT-16 VV BR
- OCCUPANCY SENSOR CEILING MOUNTED. PROVIDE ALL POWER PACKS AS REQUIRED AND/OR RECOMMENDED BY MANUFACTURER. SENSORSWITCH # nCM-PDT-9
- WALL MOUNTED PASSIVE INFRARED OCCUPANCY SENSOR. PROVIDE ALL POWER PACKS AS REQUIRED AND/OR RECOMMENDED BY MANUFACTURER. SENSORSWITCH # WSA-WH (CENTERLINE 4-0" A.F.F.)
- WALL MOUNTED VACANCY SENSOR. PROVIDE ALL POWER PACKS AS REQUIRED AND/OR RECOMMENDED BY MANUFACTURER. SENSORSWITCH # CM-PDT (CENTERLINE 4-0" A.F.F.)
- DAYLIGHT SENSOR FOR OPEN OFFICE SPACES. PROVIDE ALL POWER PACKS AS REQUIRED AND/OR RECOMMENDED BY MANUFACTURER. SENSORSWITCH # NCM-ADC
- DUPLX (CENTERLINE 18" A.F.F., NUMERAL INDICATES CIRCUIT NUMBER.) SPEC GRADE. COLOR BY ARCHITECT.
- DUPLX - MOUNTED ABOVE COUNTER OR BACKSPLASH. COORDINATE EXACT LOCATION AND MOUNTING HEIGHT WITH ARCHITECT PRIOR TO ROUGHING.
- DOUBLE DUPLX (CENTERLINE 18" A.F.F.) SPEC GRADE. COLOR BY ARCHITECT.
- DOUBLE DUPLX - "S" DENOTES SURFACE MOUNTED - (CENTERLINE 18" A.F.F.) SPEC GRADE. COLOR BY ARCHITECT.
- DUPLX WITH GROUND FAULT PROTECTION.
- MECHANICAL EQUIPMENT TAG FOR ELECTRICAL CONNECTION. SEE MECHANICAL EQUIPMENT SCHEDULES.
- CONTROLS (STARTERS AND/OR CONTROL PANELS) FURNISHED AND INSTALLED BY OTHERS - WIRED BY ELECTRICAL.
- DISCONNECT SWITCH - FUSED.
- JUNCTION BOX - CEILING MOUNTED
- JUNCTION BOX - WALL MOUNTED
- PANELBOARD
- EMH-1 ELECTRIC MANHOLE PER EVERSOURCE, MIN 6"x6"x8" INCLUDE PULLING TRANS, CABLE RACKS, FRAME AND COVER.
- 30A 125/250V, 3p 4W (14" x 30K) (#10 TO 30A 2p)
- POKE-THROUGH FLOOR OUTLET WITH RECEPTACLES AS SHOWN AND LOW VOLTAGE PROVISIONS VERIFY ALL IT/TEL REQUIREMENTS PRIOR TO ORDERING HUBBEL SYSTEM ONE 6" FULLY RECESSED POKE-THROUGH.

**PARTIAL LIST OF ABBREVIATIONS**

AFF	ABOVE FINISHED FLOOR	EC	ELECTRICAL CONTRACTOR
AWG	AMERICAN WIRE GAUGE	EW	ELECTRIC WATER COOLER
C	CONDUIT	G	GROUND
CL	CENTERLINE	HP	HORSEPOWER
CB	CIRCUIT BREAKER	KCM	THOUSAND CIRCULAR MILS
CU	COPPER	NIC	NOT IN CIRCUIT

**DRAWING LIST**

DWG. No.	DRAWING NAME:	SHEET No.
E00-00	ELECTRICAL LEGEND AND DETAILS	1 of 8
E11-01	LIGHTING BASEMENT AND LEVEL 1 PLANS	2 of 8
E11-01a	POWER AND SYSTEMS BASEMENT AND LEVEL 1 PLANS	3 of 8
E11-02	LIGHTING HOUSE LEVEL 2 AND ROOF PLANS	4 of 8
E11-02a	POWER AND SYSTEMS HOUSE LEVEL 2 AND ROOF PLANS	5 of 8
E11-11	LIGHTING BARN PLANS	6 of 8
E11-11a	POWER AND SYSTEMS BARN PLANS	7 of 8
E20-01	ELECTRICAL DETAIL SHEET	8 of 8

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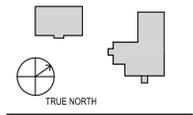
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February 1, 2017

**ISSUE CHART**

NO	ISSUE	DATE
Job Number	60-16-862	
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Approved	MD	

**TITLE**

**ELECTRICAL  
LEGEND AND  
DETAILS**

**SHEET NUMBER**

**E00-00**

Sheet 1 of 8



- NOTES:
- COORDINATE EXACT LOCATIONS AND MOUNTING HEIGHTS WITH ALL DUCT WORK, PIPING AND STRUCTURAL MEMBERS.
  - PROVIDE COMPLETE INSTALLATION OF OWNER PROVIDED LUMINAIRE.
  - ALL BASEMENT LUMINAIRES SHALL BE LITHONIC ZLHN-L48-5000LM-FST-MVOLT-35K-90CRI-WH-HC36

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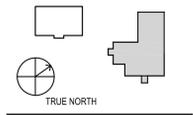
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Construction Documents  
February 1, 2017  
**ISSUE CHART**

NO	ISSUE	DATE
Job Number	60-16-982	
Checked	KJA	
Approved	MD	

**TITLE**

**LIGHTING  
BASEMENT AND  
LEVEL 1 PLANS**

**SHEET NUMBER**

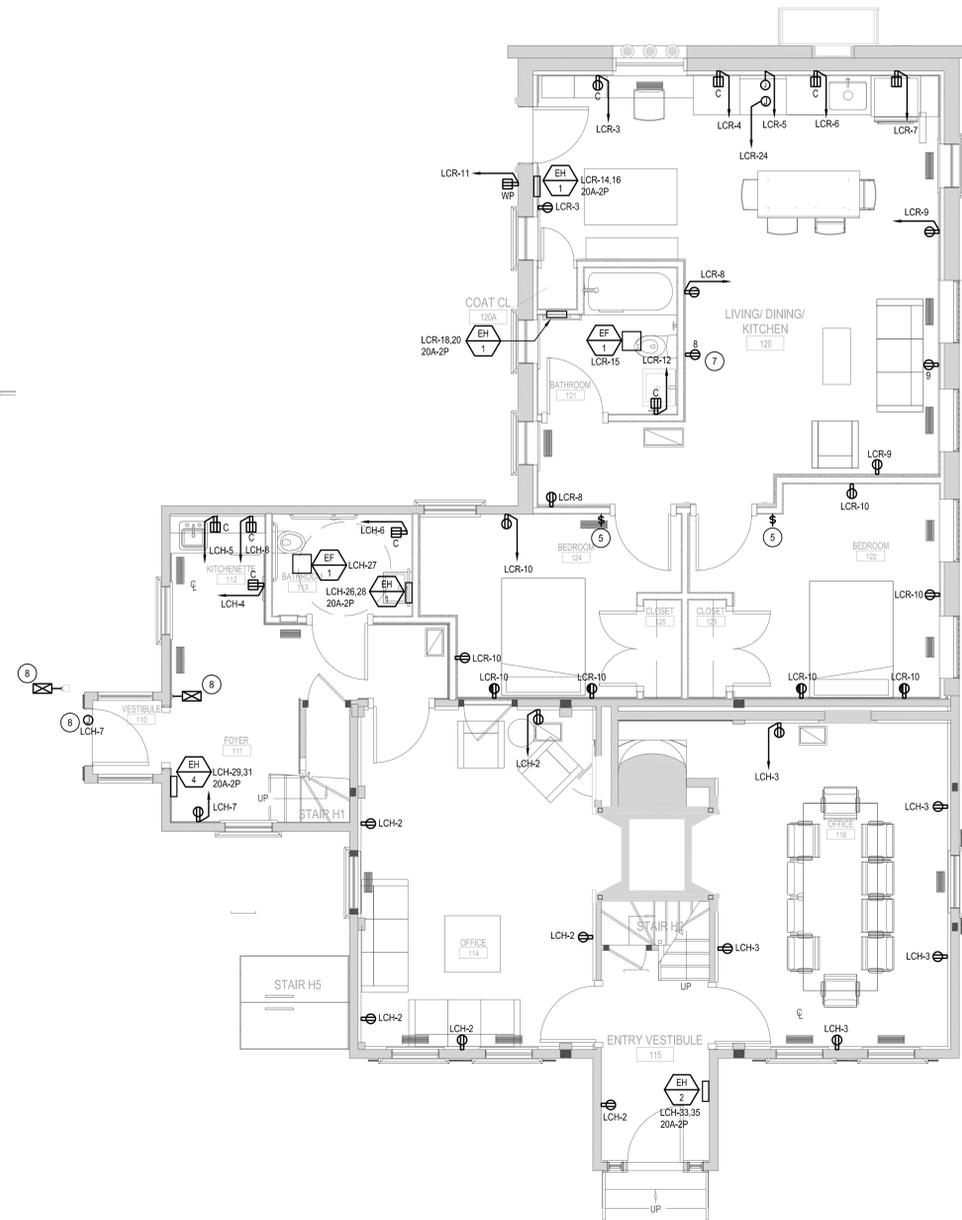
**E11-01**

Sheet 2 of 8

**② HOUSE LEVEL 01 RENOVATION PLAN**  
1/4" = 1'-0"

**① HOUSE BASEMENT RENOVATION PLAN**  
1/4" = 1'-0"

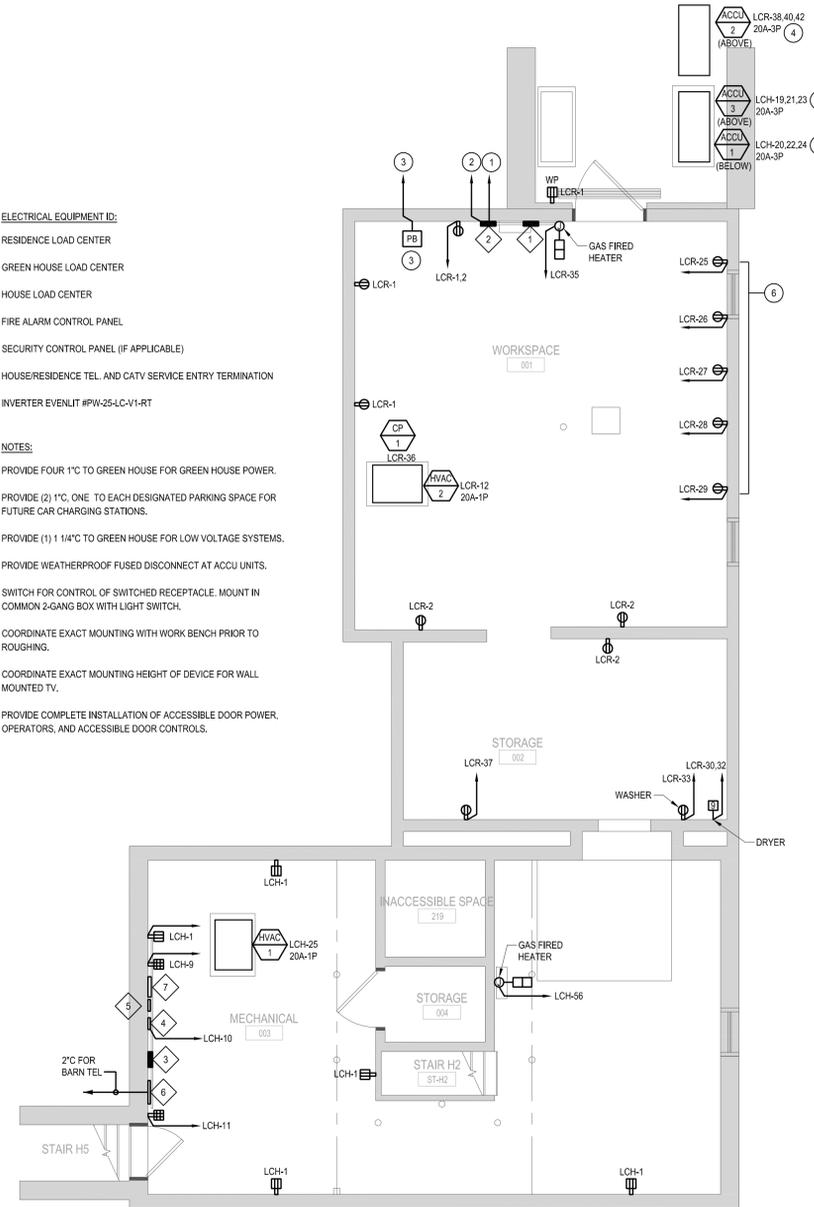
H:\60-16-982\CLARK EPSTEIN FARM\SHEETS\60-16-982-E11-01 LIGHTING BASEMENT AND LEVEL 1 PLANS.DWG



② HOUSE LEVEL 01 RENOVATION PLAN  
1/4" = 1'-0"

- ELECTRICAL EQUIPMENT ID:
- ① RESIDENCE LOAD CENTER
  - ② GREEN HOUSE LOAD CENTER
  - ③ HOUSE LOAD CENTER
  - ④ FIRE ALARM CONTROL PANEL
  - ⑤ SECURITY CONTROL PANEL (IF APPLICABLE)
  - ⑥ HOUSE/RESIDENCE TEL. AND CATV SERVICE ENTRY TERMINATION
  - ⑦ INVERTER EVEN/LIT #PW-25-LC-V1-RT

- NOTES:
- ① PROVIDE FOUR 1" C TO GREEN HOUSE FOR GREEN HOUSE POWER.
  - ② PROVIDE (2) 1" C, ONE TO EACH DESIGNATED PARKING SPACE FOR FUTURE CAR CHARGING STATIONS.
  - ③ PROVIDE (1) 1 1/4" C TO GREEN HOUSE FOR LOW VOLTAGE SYSTEMS.
  - ④ PROVIDE WEATHERPROOF FUSED DISCONNECT AT ACCU UNITS.
  - ⑤ SWITCH FOR CONTROL OF SWITCHED RECEPTACLE. MOUNT IN COMMON 2-GANG BOX WITH LIGHT SWITCH.
  - ⑥ COORDINATE EXACT MOUNTING WITH WORK BENCH PRIOR TO ROUGHING.
  - ⑦ COORDINATE EXACT MOUNTING HEIGHT OF DEVICE FOR WALL MOUNTED TV.
  - ⑧ PROVIDE COMPLETE INSTALLATION OF ACCESSIBLE DOOR POWER, OPERATORS, AND ACCESSIBLE DOOR CONTROLS.



① HOUSE BASEMENT RENOVATION PLAN  
1/4" = 1'-0"

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Epstein Farm**  
487 Norfolk Street Boston,  
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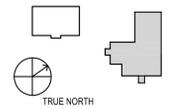
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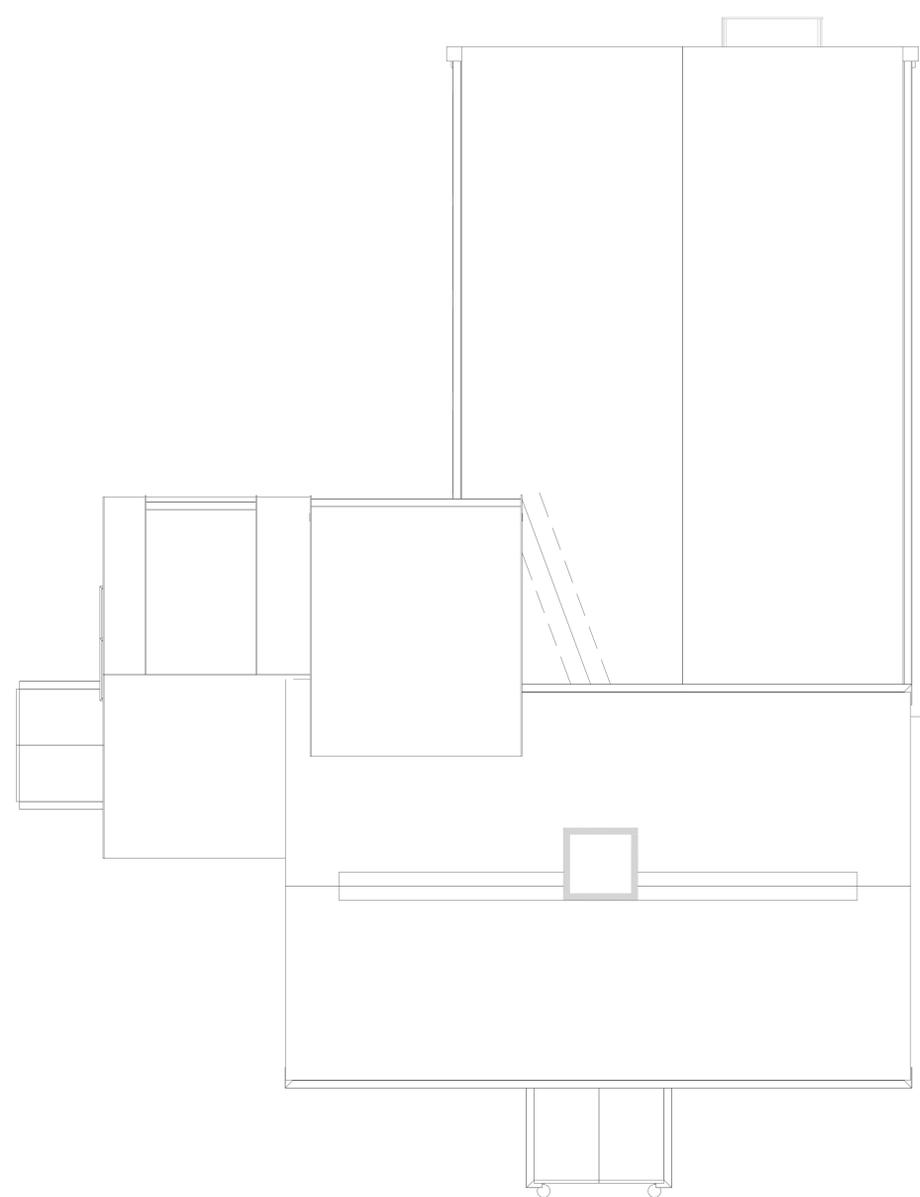


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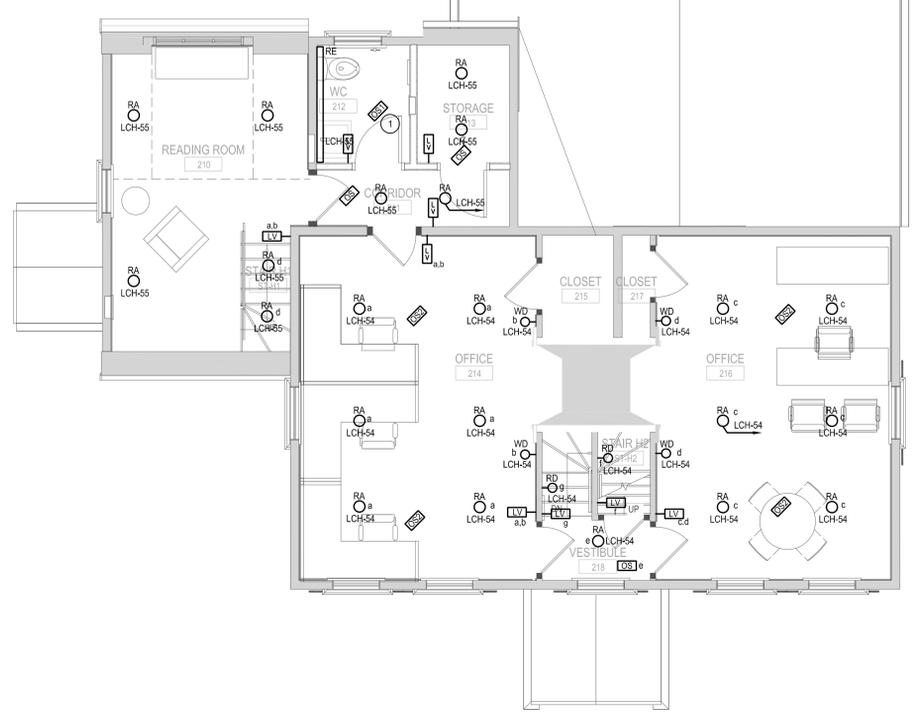
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**POWER AND  
SYSTEMS  
BASEMENT AND  
LEVEL 1 PLANS**  
**SHEET NUMBER**

**E11-01A**  
Sheet 3 of 8



HOUSE ROOF RENOVATION PLAN

1/4" = 1'-0"



HOUSE LEVEL 02 RENOVATION PLAN

1/4" = 1'-0"

NOTES:  
1 PROVIDE SWITCH WITH INTEGRAL OCCUPANCY SENSOR AND AUXILIARY CONTACTS TO CONTROL TOILET EXHAUST FAN.

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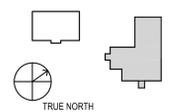
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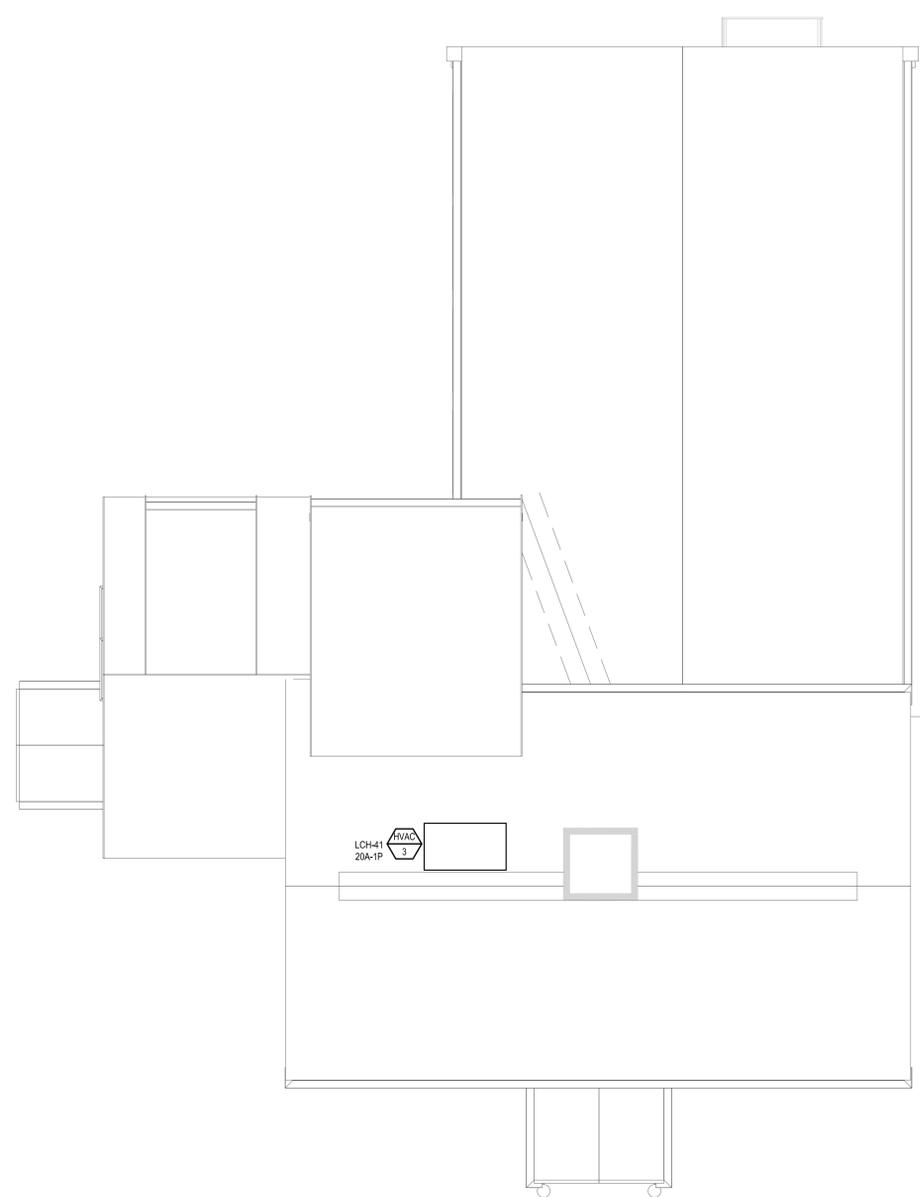
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TITLE  
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SHEET NUMBER

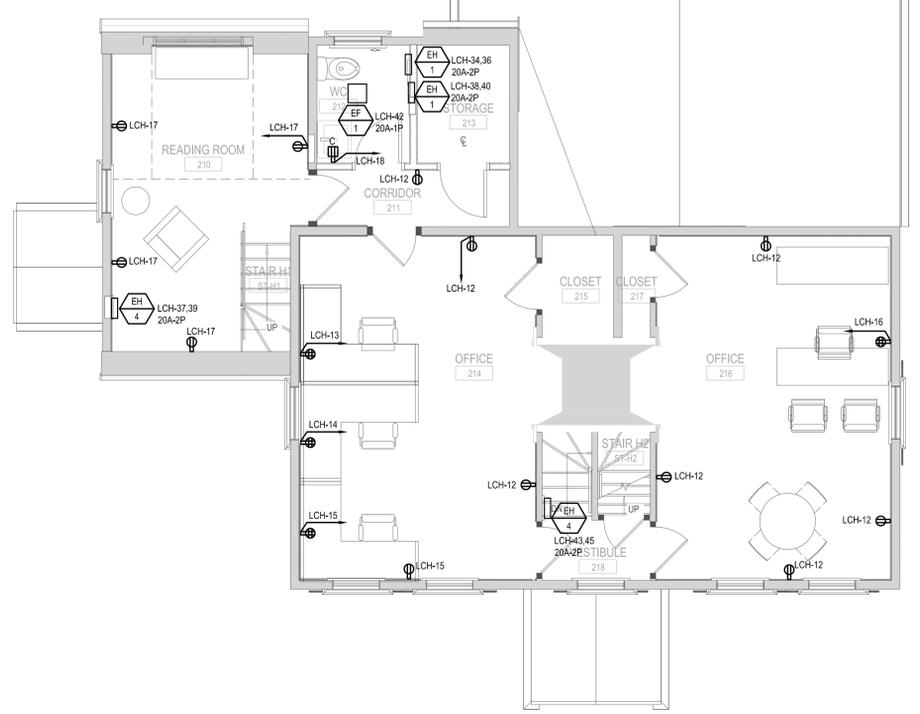
**E11-02**

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HOUSE ROOF RENOVATION PLAN

1/4" = 1'-0"



HOUSE LEVEL 02 RENOVATION PLAN

1/4" = 1'-0"

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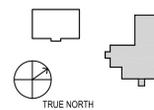
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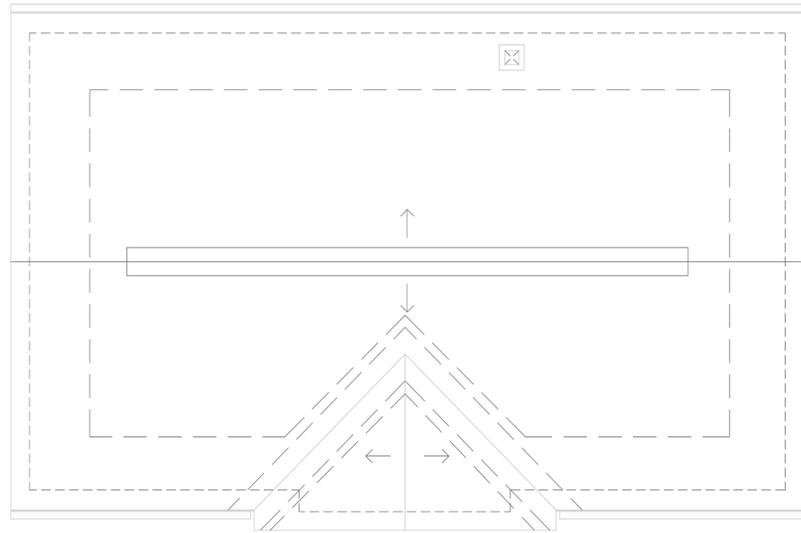
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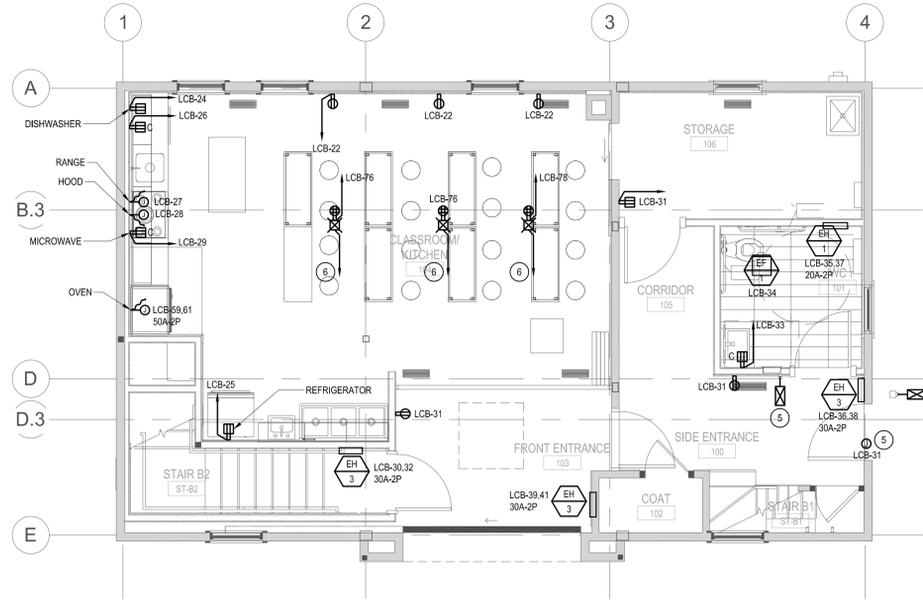
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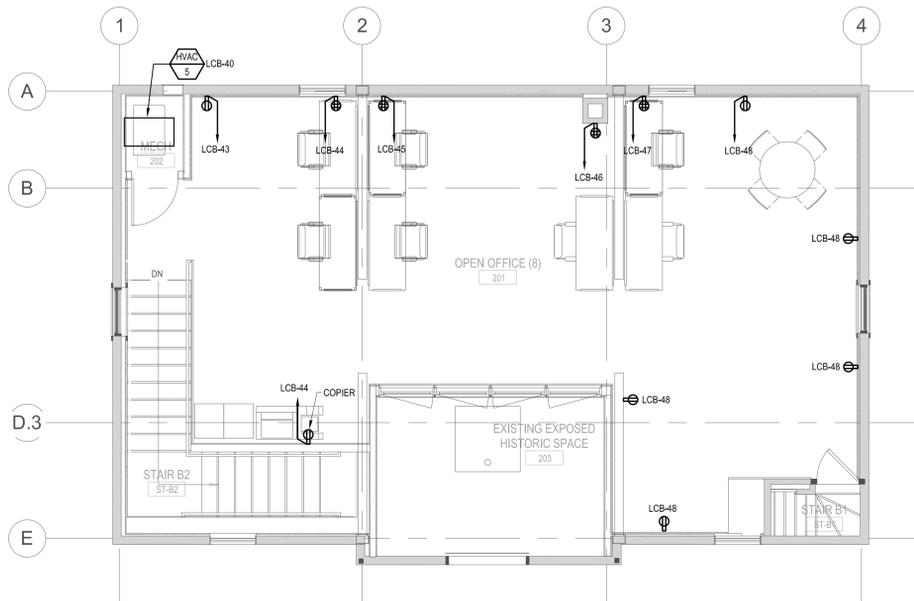
**4 BARN - ROOF PLAN**  
1/4" = 1'-0"



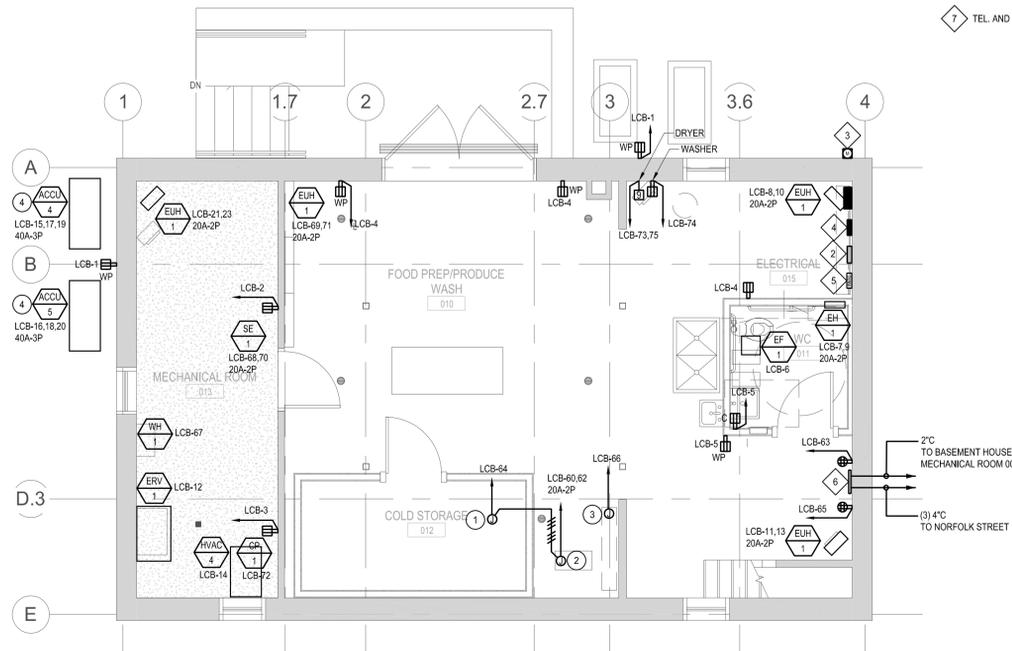
**2 BARN - LEVEL 01 - FLOOR PLAN**  
1/4" = 1'-0"

- NOTES:**
- 1 PROVIDE WEATHERPROOF DISCONNECT AND CONNECTION TO COLD STORAGE CONDENSER AND EVAPORATOR.
  - 2 PROVIDE DISCONNECT AND CONNECTION TO COLD STORAGE EVAPORATOR PROVIDE INTERLOCK WIRING PER MANUFACTURERS SPECIFICATIONS.
  - 3 PROVIDE CONNECTION TO IRRIGATION CONTROL PANEL.
  - 4 PROVIDE WEATHERPROOF FUSED DISCONNECT AT ACCU UNIT.
  - 5 SWITCH FOR CONTROL OF SWITCHED RECEPTACLE. MOUNT IN COMMON 2-GANG BOX WITH LIGHT SWITCH.
  - 6 PROVIDE 1-1/4" TO RESPECTIVE IT/TEL TERMINAL LOCATION.

- ELECTRICAL EQUIPMENT ID:**
- 1 MAIN DISTRIBUTION PANEL
  - 2 CT CABINET
  - 3 UTILITY METER
  - 4 BARN LOAD CENTER
  - 5 FIRE ALARM TERMINAL CABINET
  - 6 TEL. AND CATV SERVICE ENTRY TERMINATION (INCLUDING TELEPHONE BACKBAROD AND SECURITY BACK BOARD)
  - 7 TEL. AND CATV TO HOUSE/RESIDENCE



**3 BARN - LEVEL 02 - FLOOR PLAN**  
1/4" = 1'-0"



**1 BARN - BASEMENT - FLOOR PLAN**  
1/4" = 1'-0"

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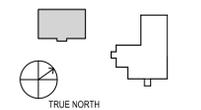
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**POWER AND  
SYSTEMS BARN  
PLANS**

**SHEET NUMBER**

**E11-11A**

Sheet 7 of 8



# Phase I Environmental Site Assessment

## **8. Phase I ESA Findings**

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GEI Consultants, Inc. has completed an ASTM Phase I ESA, on behalf of Historic Boston, Inc. for the property located at 487 Norfolk Street in Boston, Massachusetts (the Property).

### **Recognized Environmental Conditions**

Based on our evaluation of current conditions at the Property and the review of available records for the Property, we did not identify RECs, defined as evidence of past, current, or future potential release of OHM at the Property.

### **Historic Recognized Environmental Conditions**

We did not identify HRECs, defined as a past release of OHM that has achieved regulatory closure without the use of required controls or conditions (e.g. AULs, engineering controls, etc.), at the Property.

### **Controlled Recognized Environmental Conditions**

We did not identify CRECs, defined as a past release of OHM that has achieved regulatory closure with the use of required controls or conditions (e.g. AULs, engineering controls, etc.), at the Property.

# **Section IX:**

**Sign Design Draft**

# Fowler-Clark-Epstein Farm

Created in partnership by:  
Historic Boston Incorporated  
The Trust for Public Land  
Urban Farming Institute of Boston



Contact: Historic Boston, (617) 442-1859