

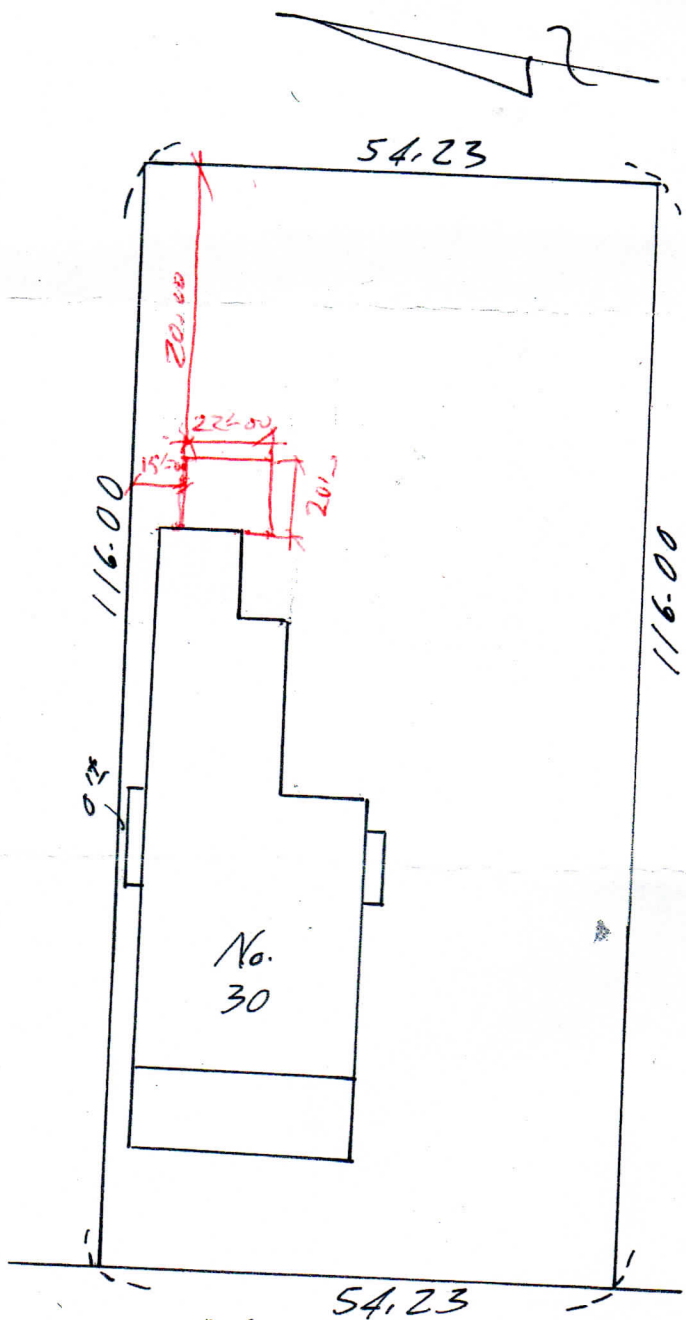
I certify only that the dwelling shown on this plan conforms to the local zoning laws now or at the time of construction; and that the dwelling shown on this plan does not fall within a special flood hazard zone as delineated on a map of the community,

(BOSTON MAP)

This inspection was performed in accordance with the technical standards for mortgage loan inspections as adopted by the Mass. Assoc. of Land Surveyors & Civil Engineers, Inc.



This plan was not made from an instrument survey and these certifications are for mortgage purposes only. This plan applies only to conditions existing as of the date here on; and not for recording purposes; these certifications are to the Lender only.



NIXON ST.

CERTIFICATION PLAN OF

No. 30 NIXON ST.
BOSTON (DORC.), MASS.

SCALE: 1/4" = 20 FT. DATE: JULY 13, 2001
MICHAEL P. ANTONINO REG. LAND SURVEYOR
31 LEDGEBROOK AVE. STOUGHTON, MASS.

PROPOSED RENOVATION AT 30 NIXON STREET BOSTON, MA

GENERAL NOTES

1. All work shall conform to the IBC 2009, IRC 2009, Massachusetts amendments to IBC/IRC, the City of Boston bylaws and all applicable OSHA standards. 2. Utilities may be in the vicinity of the excavations. prior to excavating the excavation contractor shall comply with the local "dig-safe" requirements and obtain all existing utility information from the owner. 3. The Contractor shall verify all dimensions and conditions at the site and report any discrepancy to the Architect before ordering material and proceeding with the work. 4. The Contractor shall provide temporary bracing and shoring to support existing surrounding structures and against wind forces and all construction loads throughout the work. 5. The contractor shall coordinate all work with the drawings of other disciplines for the location and dimensions of all related items. 6. General requirements 6. The contractor shall coordinate all framing dimensions with the approved drawings of all purchased window and door dimensions.

- foundation walls, footings & interior basement slabs:
1. All concrete shall have a minimum 28-day compressive strength; it shall be normal weight concrete; the design mix and quality control shall meet all standards of the American Concrete Institute for reinforced and unreinforced concrete,
2. All reinforcing steel shall be ASTM A-615, 3,500 psi, air-entrained - 5-7% by volume. as follows:

iii. Concrete:
a. Framing lumber:
other is fully dimensioned and laid out.
1. All framing lumber shall comply with the national design specifications for stress graded lumber and its fastenings, latest edition; and as indicated in the contract documents. 2. All framing lumber shall be protected from exposure to the 3. Framing lumber shall be used with a maximum 19% moisture content and with minimum design values as indicated:
studs: fb = 1000 psi; all others: fb = 1200 psi. all components: e = 1400000 psi. 4. "PT" where indicated on the drawings stands for pressure 5. Timber connectors shall be by "simpson" or equal, as follows: the contractor shall note that not every single connection condition and detail will be shown on the drawings; the following schedule is issued as a guide to cover most of the conditions encountered. Some field modifications may be required when the geometry of various members framing into each - All joist hangers shall be "full-depth" of the member

- All wood post caps shall be "simpson" type "cc" or G. All double joists shall be nailed together with two rows of 20d spikes @ 16" o.c. triple joists shall be bolted together with 1/2" thru-bolts @ 18" o.c., staggered (@9" o.c.)

7. Plywood shall conform to the American plywood association plywood design specification. Thickness shall be as indicated. All plywood used as sub-flooring shall be glued and nailed to the 8. The nailing schedule for all dimensional lumber shall be 11. All headers shall have (2) jacks and (1) king stud each bridging shall be 1x3 min.
12. All posts shall be (3) 2x4's unless indicated otherwise.
16. Diagonal bridging shall be installed in all floors and ceilings at 8 ft. o.c., with one row or bridging minimum at all spans greater than 8 ft. located in the center of the span. walls 18", connect laps with 8-16d nails. 9. Lap all joists not flush framed at beams and/or bearing 10. Headers over openings shall be as scheduled below, unless specifically indicated otherwise on the drawings. -openings size -at bear'g walls -at non-bear'g walls less than 5 ft.
(2) 2x8's w/2 1/2" cdx ply layers (2) 2x6's betw. 5 # 9 ft.
(2) 2x12's w/2 1/2" cdx ply layers (2) 2x8's
13. Furring wall studs shall be capped with a double top plate installed to provide overlapping at corner and intersections with bearing partitions. end joints in top plates shall be offset at least 48". 14. All joists shall be stacked and aligned directly over wall studs below.
minimum of a doubled-up floor joist. framing for more than 1/2 the the span of the joist, shall have a 15. All non-bearing partition walls running parallel with the floor
17. Roof sheathing to be 3/4" plywood, APA rated.

ARTICLE 65 - DORCHESTER NEIGHBORHOOD DISTRICT[1]
Section 65-1. - Statement of Purpose, Goals, and Objectives.
The purpose of this Article is to establish zoning regulations for the Dorchester Neighborhood District. The objectives of this Article are to provide adequate density controls that protect established residential areas and direct growth to areas where it can be accommodated; to retain and develop affordable housing compatible with adjacent areas, particularly for elderly residents; to promote a viable neighborhood economy; to preserve, maintain and create open space; to protect the environment and improve the quality of life; to promote the most appropriate use of land; and to promote the public safety, health, and welfare of the people of Dorchester.
Section 65-2. - Physical Boundaries.
The provisions of this Article are applicable only in the Dorchester Neighborhood District. The boundaries of the Dorchester Neighborhood District and its subdistricts are as shown on Maps 5A - 5E, entitled "Dorchester Neighborhood District," of the series of maps entitled "Zoning Districts City of Boston," as amended.

Section 65-3. - Applicability.
This Article, together with the rest of this Code, constitute the zoning regulation for the Dorchester Neighborhood District. This Article applies as specified in Section 4-1 regarding the conformity of buildings and land to this Code. Zoning relief, in the form of exceptions from the provisions of this Article pursuant to Article 6A, is not available except to the extent expressly provided in this Article or Article 6A. Where conflicts exist between the provisions of this Article and the remainder of the Code, the provisions of this Article shall govern. Except where specifically indicated in this Article, the provisions of this Article supersede Section 8-7 and Articles 13 through 24 of this Code for the Dorchester Neighborhood District. A Proposed Project shall be exempt from the provisions of this Article, and shall be governed by the rest of this Code, if application to the Inspectional Services Department for a building or use permit has been made prior to the first notice of hearing before the Zoning Commission for adoption of this Article, and (1) no Zoning Relief is required, or (2) any required Zoning Relief thereafter is granted by the Board of Appeal, provided that construction work under such building permit, or occupancy under such occupancy permit, as the case may be, is commenced within six (6) months of the date of such permit and proceeds in good faith continuously so far as is reasonably practicable under the circumstances

APPENDIX AA:
APPENDIX AA: STRETCH ENERGY CODE The Stretch Energy Code is the International Energy Conservation Code (IECC) 2009 with Massachusetts Amendments (780 CMR 115.AA).
101.1, 101.2, and 101.3 Replace as follows: 101.1 Title. This code shall be known as the Massachusetts Stretch Energy Code and shall be cited as such. It is referred to as "this code." 101.2 Scope. This code applies to new residential buildings, renovations of or additions to existing residential buildings, new commercial buildings, and additions to existing commercial buildings. Renovations of existing commercial buildings, and replacement or reconstruction of existing commercial building components and elements, are not subject to the provisions of this code. Buildings not included in this scope shall comply with Chapter 13 or 34 of the International Building Code 2009 with Massachusetts Amendments (780 CMR 13.00 or 34.00) or for Single- and Two-family dwellings at 780 CMR 61.00, or 93.00, as applicable. 101.3 Purpose and Intent. The purpose of this code is to provide a more energy efficient alternative to the base code energy for new and existing buildings. A municipality seeking to ensure that construction within its boundaries is designed and built above the energy efficiency requirements of 780 CMR may mandate adherence to this code. This code may be adopted or rescinded by any municipality in the commonwealth in the manner prescribed by law. If adopted by a municipality, this code, rather than Chapter 13 or 34 of the International Building Code 2009 with Massachusetts Amendments (780 CMR 13.00 or 34.00) or for Single- and Two-family dwellings at 780 CMR 61.00, or 93.00, as applicable, shall govern. This code shall regulate the design and construction of buildings to provide flexibility, and permit the use of innovative approaches and techniques to achieve effective energy use.

1 FAMILY 5000			
	REQ'D	EXISTING	PROPOSED
LOT SIZE	40'	44.33'	UNCHANGE
LOT WIDTH	40'	44.33'	UNCHANGE
FRONT YARD	15'	21'	UNCHANGE
HEIGHT OF BUILDING	31'	21'	UNCHANGE
OPEN SPACE	750	21'	UNCHANGE
FRONT YARD	15'	15'	UNCHANGE
REAR YARD	15'	15'	UNCHANGE
REAR YARD	15'	15'	UNCHANGE

PROJECT IS ZONING COMPLIANT.
ZONING RELIEF NOT REQUIRED.

COVER SHEET

- L.1 SITE PLAN
- D.1 DEM. & EXISTING FIRST FLOOR PLAN
- D.2 DEM. & EXISTING SECOND FLOOR PLAN
- B.1 BASEMENT FLOOR PLAN
- A.1 FIRST FLOOR PLAN
- A.2 SECOND FLOOR PLAN
- A.3 EXISTING ROOF PLAN AND NEW ROOF PLAN
- A.4 SECTION A-A
- A.5 SECTION B-B
- A.6 PROPOSED LEFT SIDE ELEVATION
- A.7 PROPOSED RIGHT SIDE ELEVATION
- A.8 REAR ELEVATION
- A.9 DETAILS
- A.10 DETAILS

PERMIT SET 5-8-17

PROJECT : 30 Nixon Street Dorchester,ma

DATE: 1/26/17

SCALE: N.T.S.

DRAWN BY: PJB

CHECK BY:

REVISION DATE:



ARCHITECTURAL SERVICES 1333 BLUE HILL AVE.
DESIGN DEVELOPMENT BOSTON, MA 02126
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PROPERTY MANAGEMENT TEL: 339-364-2003
CONSTRUCTION MANAGEMENT FAX: 617-298-5839

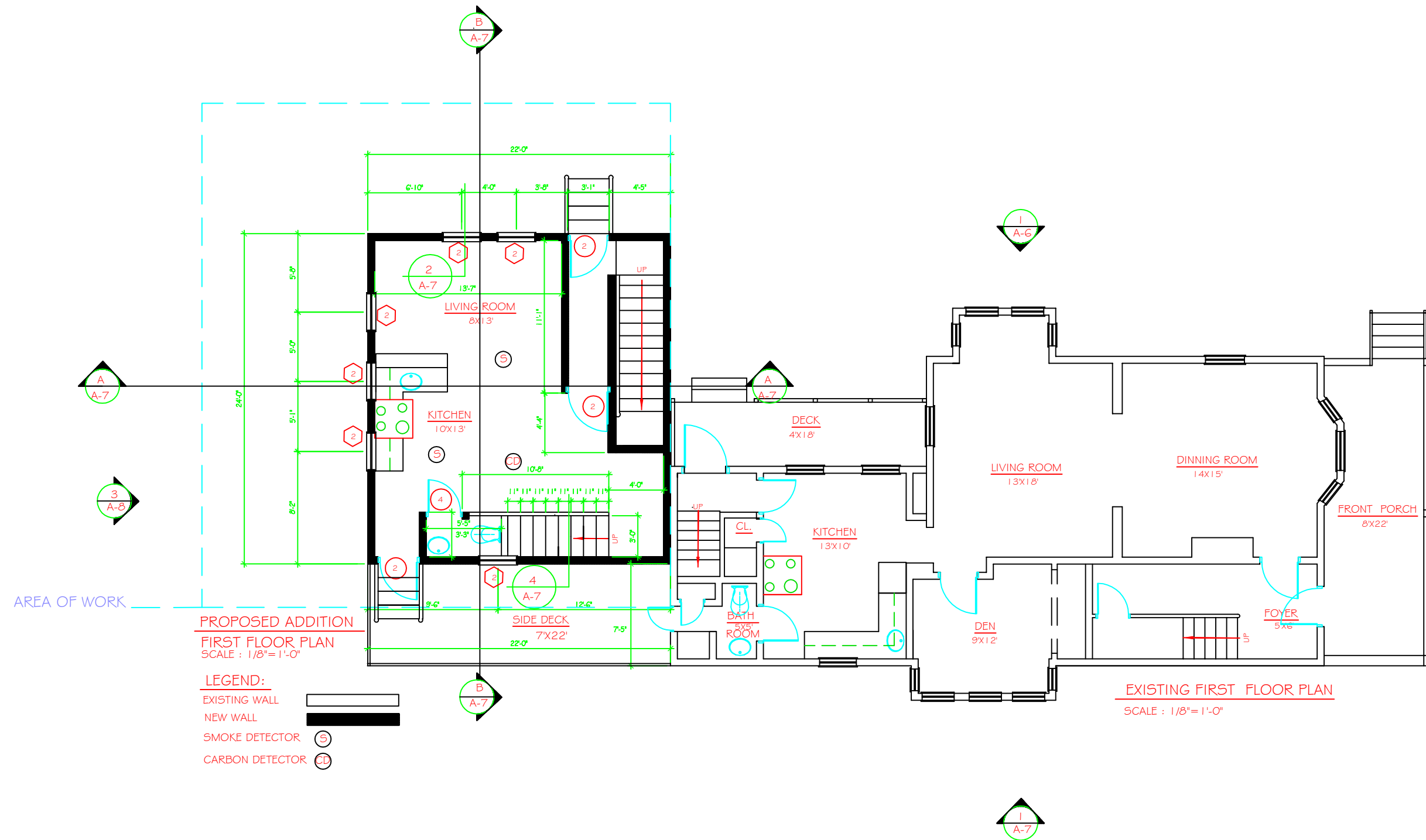
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COVER SHEET

OWNER:

JEAN ROBERT ORNE
30 NIXON STREET
DORCHESTER, MA 02124

A-0



PROJECT : 30 NIXON STREET

DATE: 2/26/17

SCALE: 1/8" = 1'-0"

DRAWN BY: PJB

CHECK BY:

REVISION DATE:



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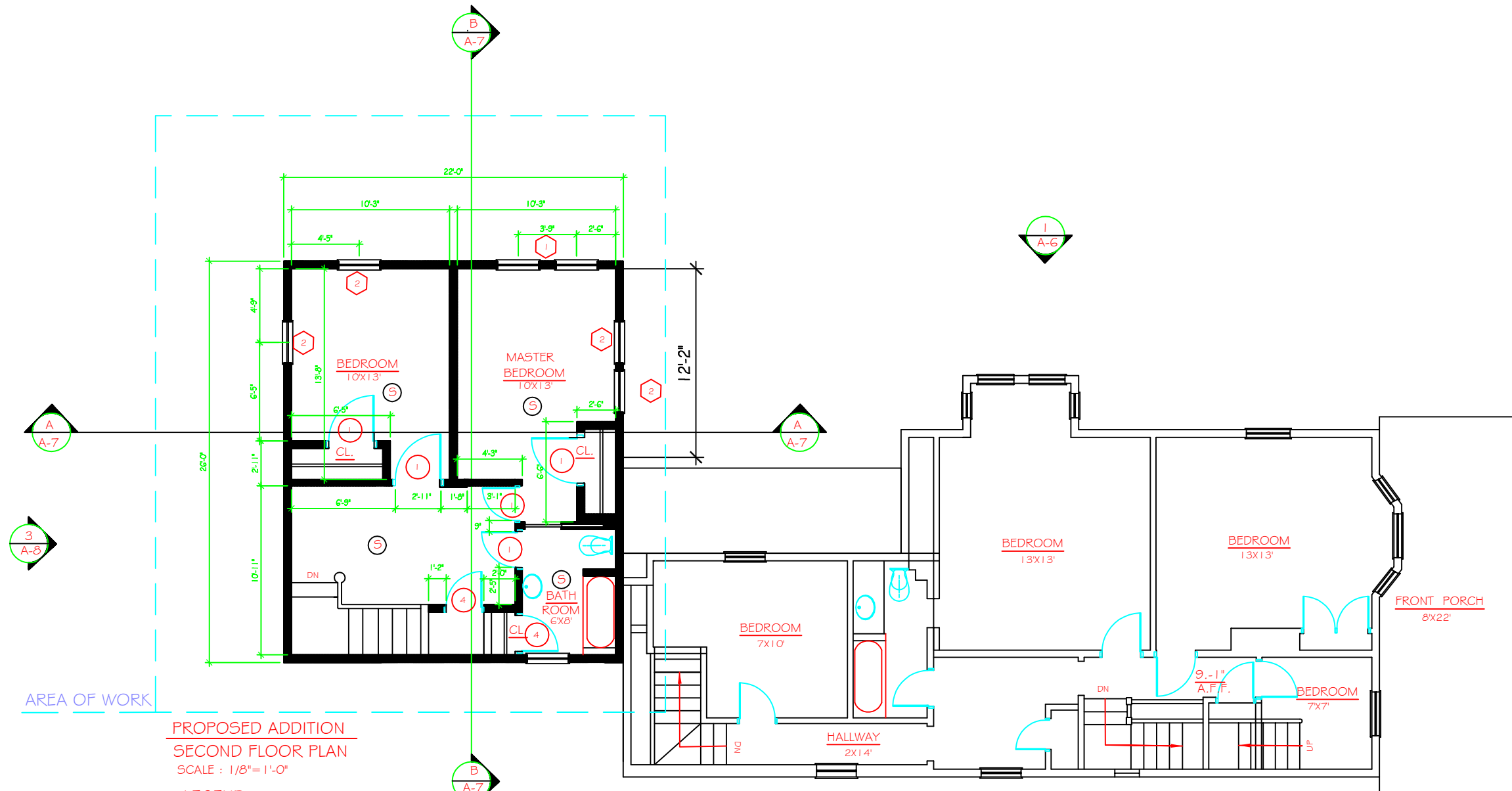
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**PROPOSED ADDITION
FIRST FLOOR PLAN**

OWNER:

JEAN ROBERT ORNE
 30 NIXON STREET
 DORCHESTER, MA 02124

A. I



**PROPOSED ADDITION
SECOND FLOOR PLAN**
SCALE : 1/8"= 1'-0"

EXISTING SECOND FLOOR PLAN
SCALE : 1/8"= 1'-0"

- LEGEND:**
- EXISTING WALL
 - NEW WALL
 - SMOKE DETECTOR
 - CARBON DETECTOR
 - NEW DOOR 30"x78"
 - NEW DOOR 36"x78"

PROJECT : 30 NIXON STREET
 DATE: 2/26/17
 SCALE: 1/8"= 1'-0"
 DRAWN BY: PJB
 CHECK BY:
 REVISION DATE:

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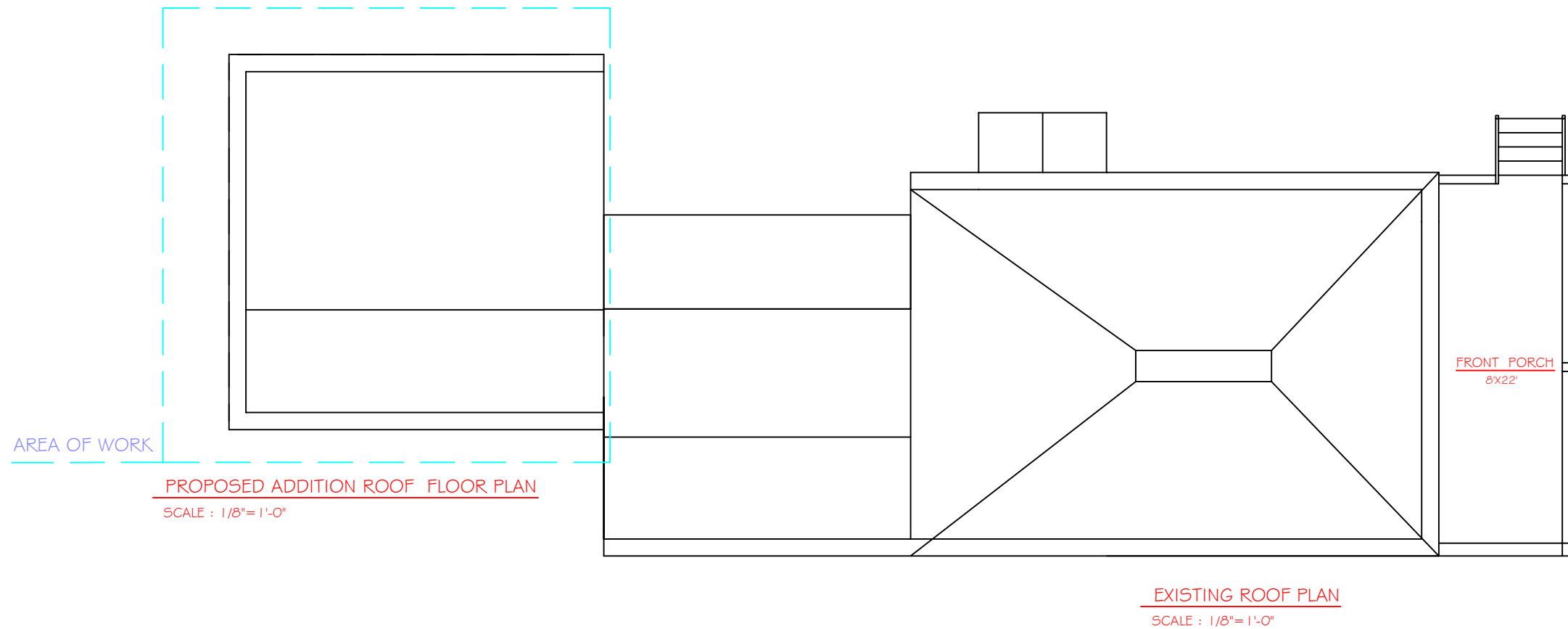
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**PROPOSED ADDITION
SECOND FLOOR PLAN**

OWNER:
 JEAN ROBERT ORNE
 30 NIXON STREET
 DORCHESTER, MA 02124

A.2



PROJECT : 30 NIXON STREET

DATE: 2/26/17

SCALE: 3/16"=1'-0"

DRAWN BY: PJB

CHECK BY:

REVISION DATE:



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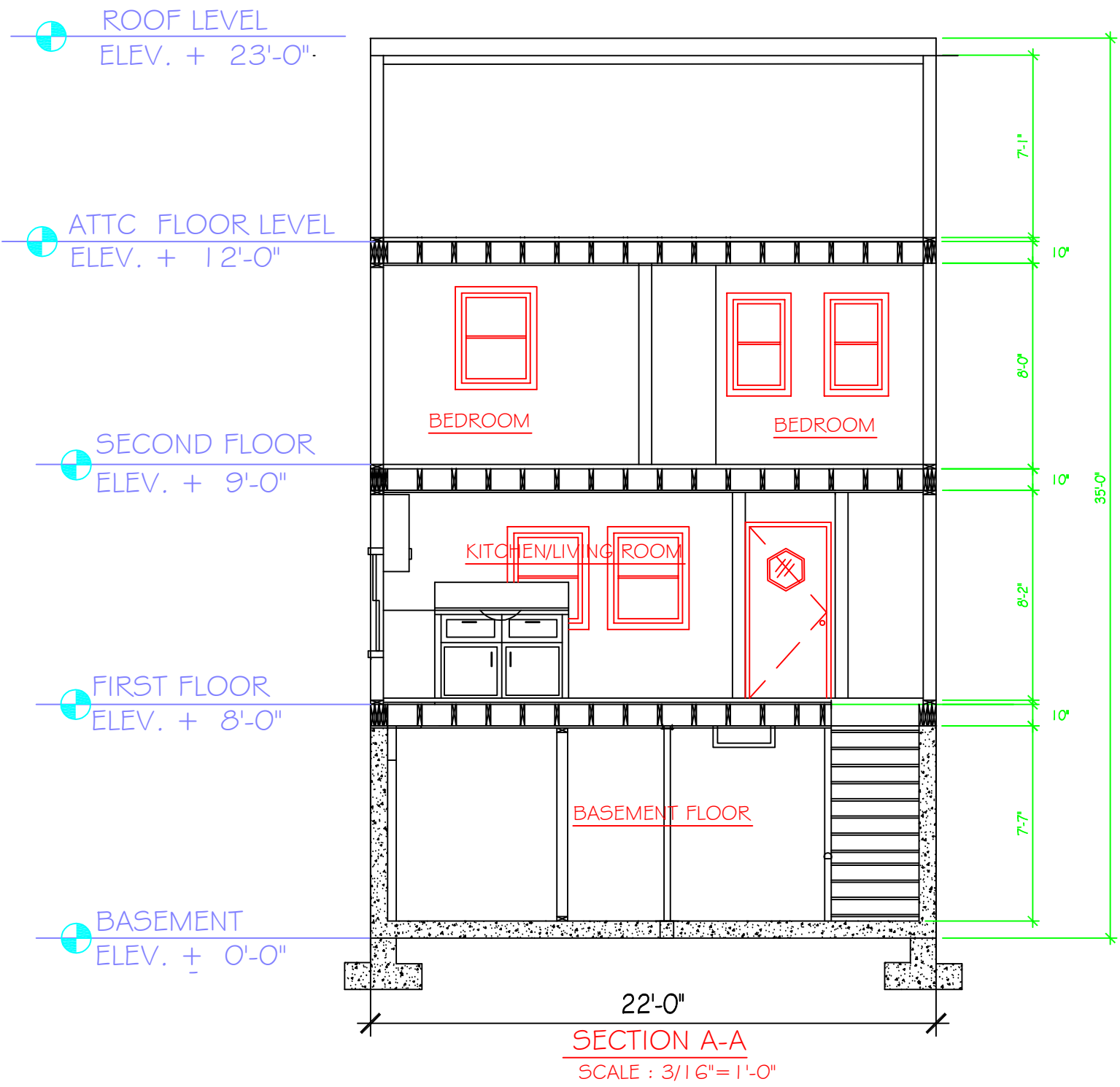
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EXISTING AND NEW ROOF

OWNER:

JEAN ROBERT ORNE
30 NIXON STREET
DORCHESTER, MA 02124

A.3



PROJECT : 30 NIXON STREET

DATE: 2/26/17

SCALE: 3/16" = 1'-0"

DRAWN BY: PJB

CHECK BY:

REVISION DATE:



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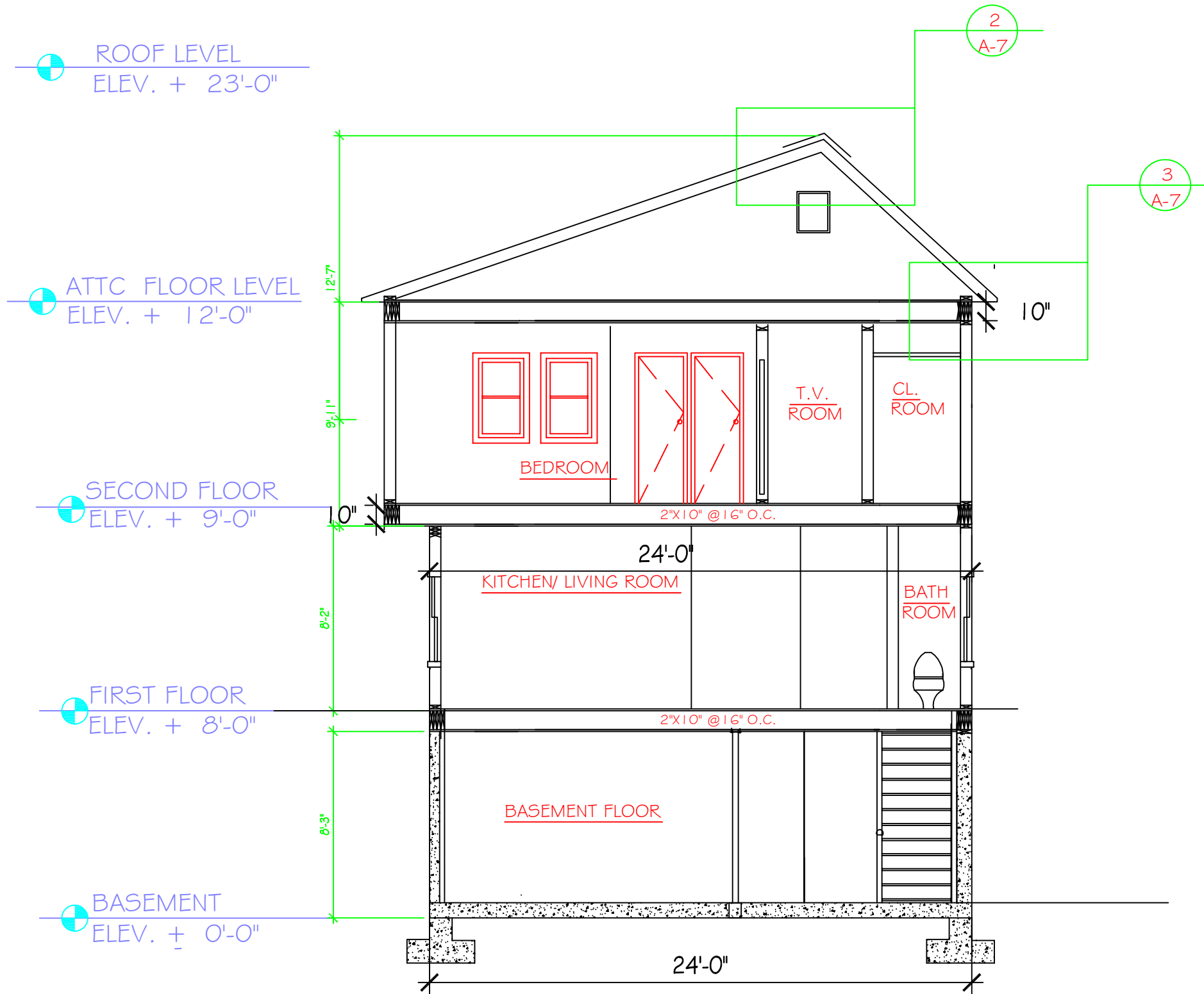
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SECTION A-A
ELEVATION

OWNER:

JEAN ROBERT ORNE
30 NIXON STREET
DORCHESTER, MA 02124

A-4



SECTION B-B
SCALE : 3/16" = 1'-0"

PROJECT : 30 NIXON STREET

DATE: 2/26/17

SCALE: 3/16" = 1'-0"

DRAWN BY: PJB

CHECK BY:

REVISION DATE:



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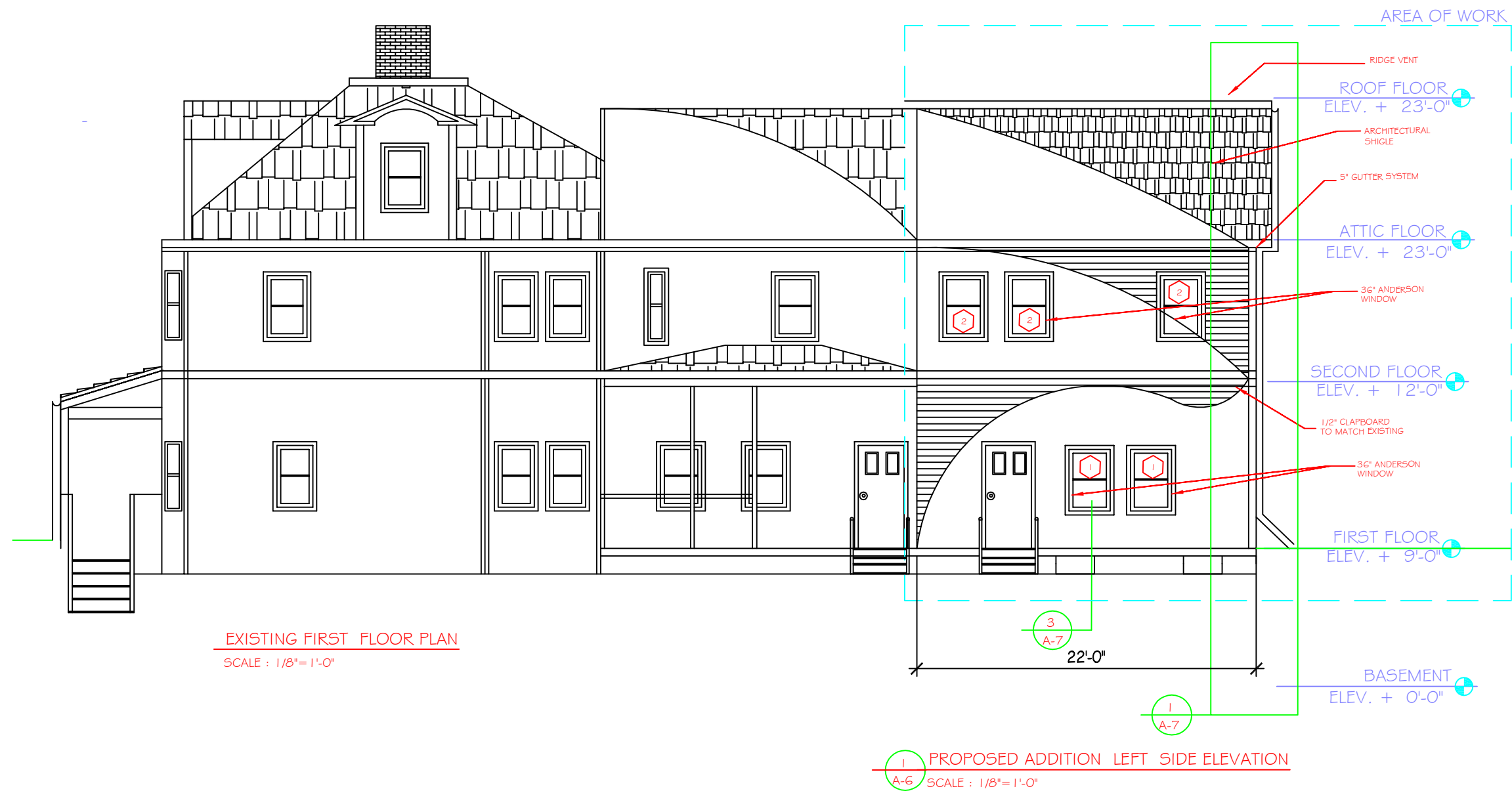
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SECTION B-B
ELEVATION

OWNER:

JEAN ROBERT ORNE
30 NIXON STREET
DORCHESTER, MA 02124

A-5



EXISTING FIRST FLOOR PLAN
SCALE : 1/8" = 1'-0"

PROPOSED ADDITION LEFT SIDE ELEVATION
SCALE : 1/8" = 1'-0"

PROJECT : 30 NIXON STREET
DATE: 2/26/17
SCALE: 3/16" = 1'-0"
DRAWN BY: PJB
CHECK BY:
REVISION DATE:

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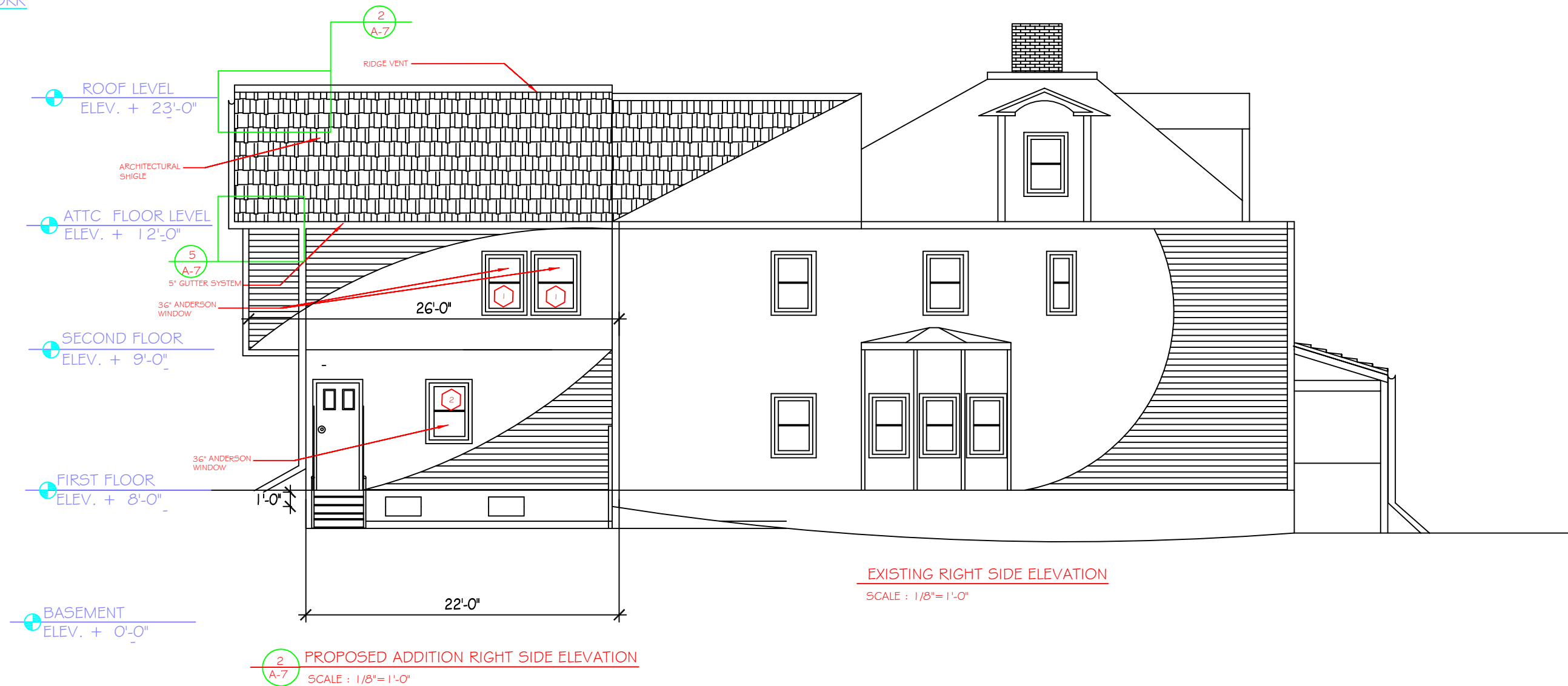
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PROPOSED LEFT SIDE ELEVATION

OWNER:
JEAN ROBERT ORNE
30 NIXON STREET
DORCHESTER, MA 02124

A.6

AREA OF WORK



PROJECT : 30 NIXON STREET

DATE: 2/26/17

SCALE: 1/8"= 1'-0"

DRAWN BY: PJB

CHECK BY:

REVISION DATE:



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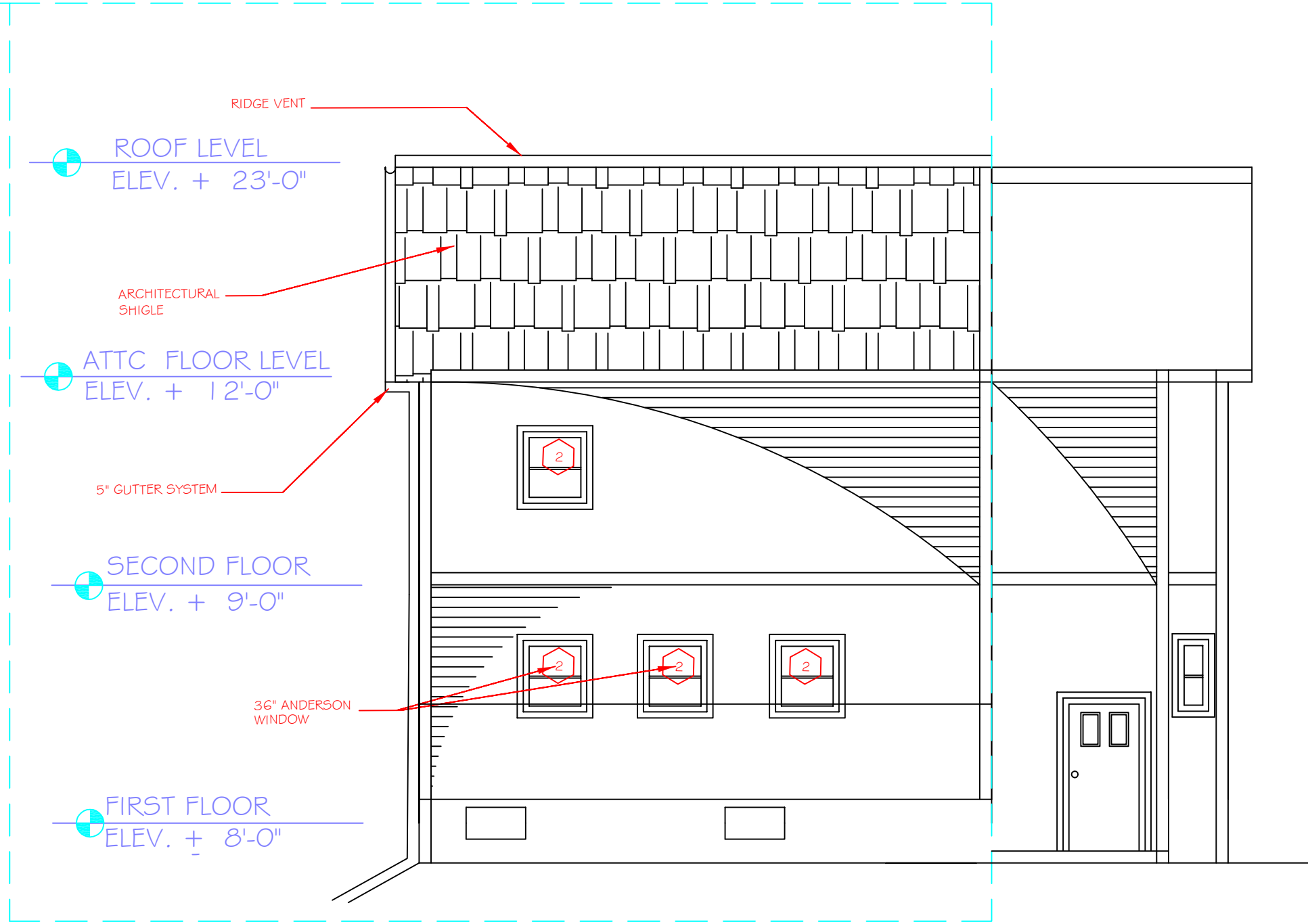
PROPOSED RIGHT
ELEVATION

OWNER:

JEAN ROBERT ORNE
30 NIXON STREET
DORCHESTER, MA 02124

A-7

AREA OF WORK



BASEMENT
ELEV. + 0'-0"

3 PROPOSED REAR ELEVATION
A-8 SCALE : 3/16" = 1'-0"

PROJECT : 30 NIXON STREET

DATE: 2/26/17

SCALE: 3/16" = 1'-0"

DRAWN BY: PJB

CHECK BY:

REVISION DATE:



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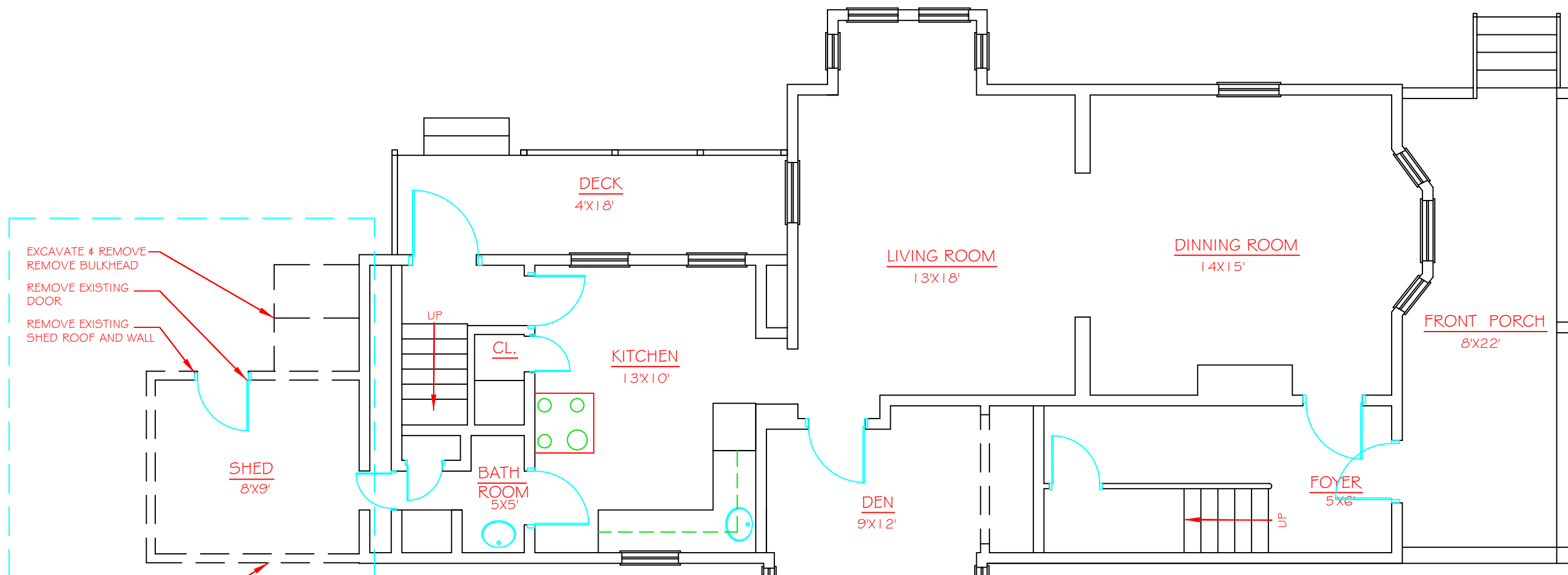
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PROPOSED REAR
ELEVATION

OWNER:

JEAN ROBERT ORNE
30 NIXON STREET
DORCHESTER, MA 02124

A.8



DEMOLITION FIRST FLOOR PLAN
 SCALE : 3/16" = 1'-0"

LEGEND:
 EXISTING WALL [Solid Line]
 DEMOLITION WALL [Dashed Line]

AREA OF WORK

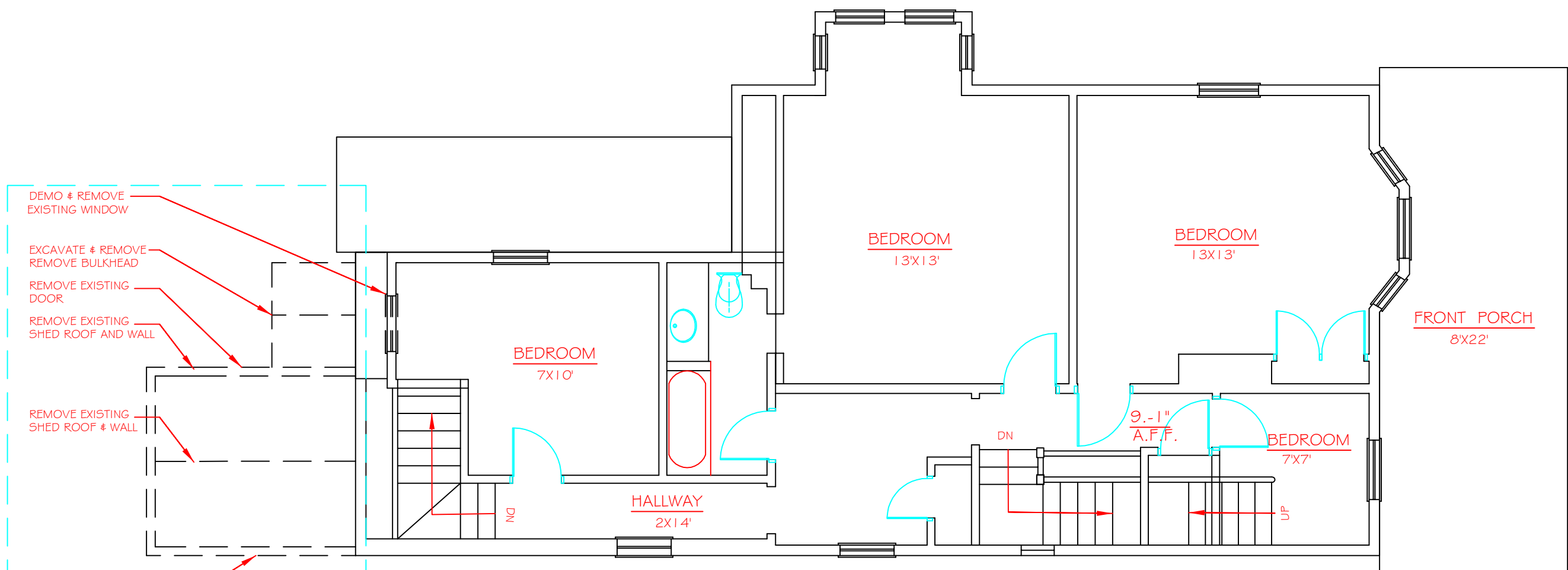
PROJECT : 30 NIXON STREET
 DATE: 2/26/17
 SCALE: 3/16" = 1'-0"
 DRAWN BY: PJB
 CHECK BY:
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EXISTING & DEMOLITION FLOOR PLAN

OWNER:
 JEAN ROBERT ORNE
 30 NIXON STREET
 DORCHESTER, MA 02124

D. I.



DEMOLITION SECOND FLOOR PLAN
 SCALE : 3/16" = 1'-0"

- LEGEND:**
- EXISTING WALL
 - DEMOLITION WALL

AREA OF WORK

PROJECT : 30 NIXON STREET
 DATE: 2/26/17
 SCALE: 3/16" = 1'-0"
 DRAWN BY: PJB
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 REVISION DATE:



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EXISTING &
 DEMOLITION
 FLOOR PLAN

OWNER:
 JEAN ROBERT ORNE
 30 NIXON STREET
 DORCHESTER, MA 02124

D.2