

REV.	DATE	DESCRIPTION
1	X-XX-XX	XXX



6-8-17

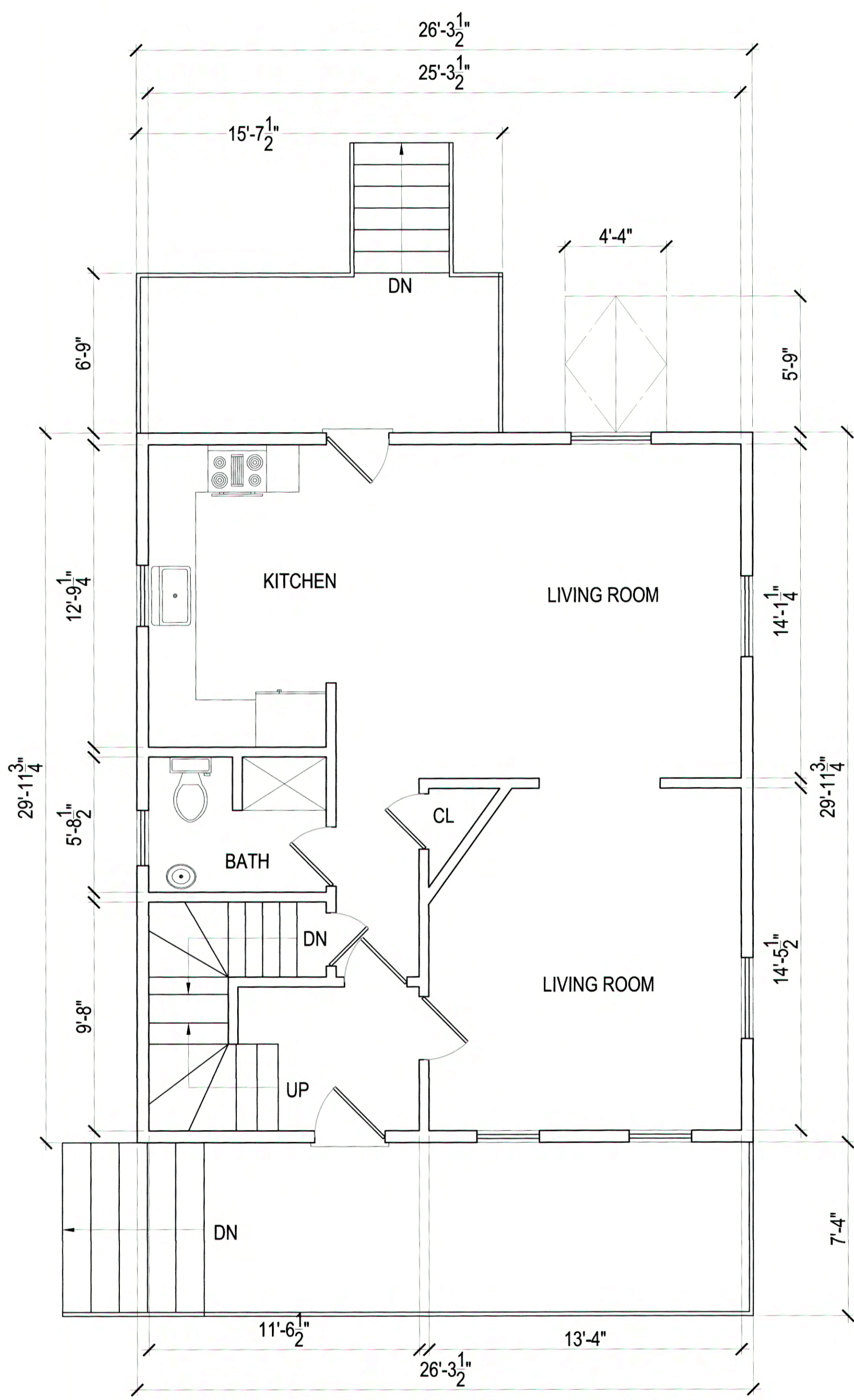
RCA, LLC
 415 Ngonneset Ave.
 Dorchester, Massachusetts 02122
 Telephone: 617-282-0000
 Fax: 617-282-1080

James Neal
 6 Butler Street
 Dorchester, MA 02122

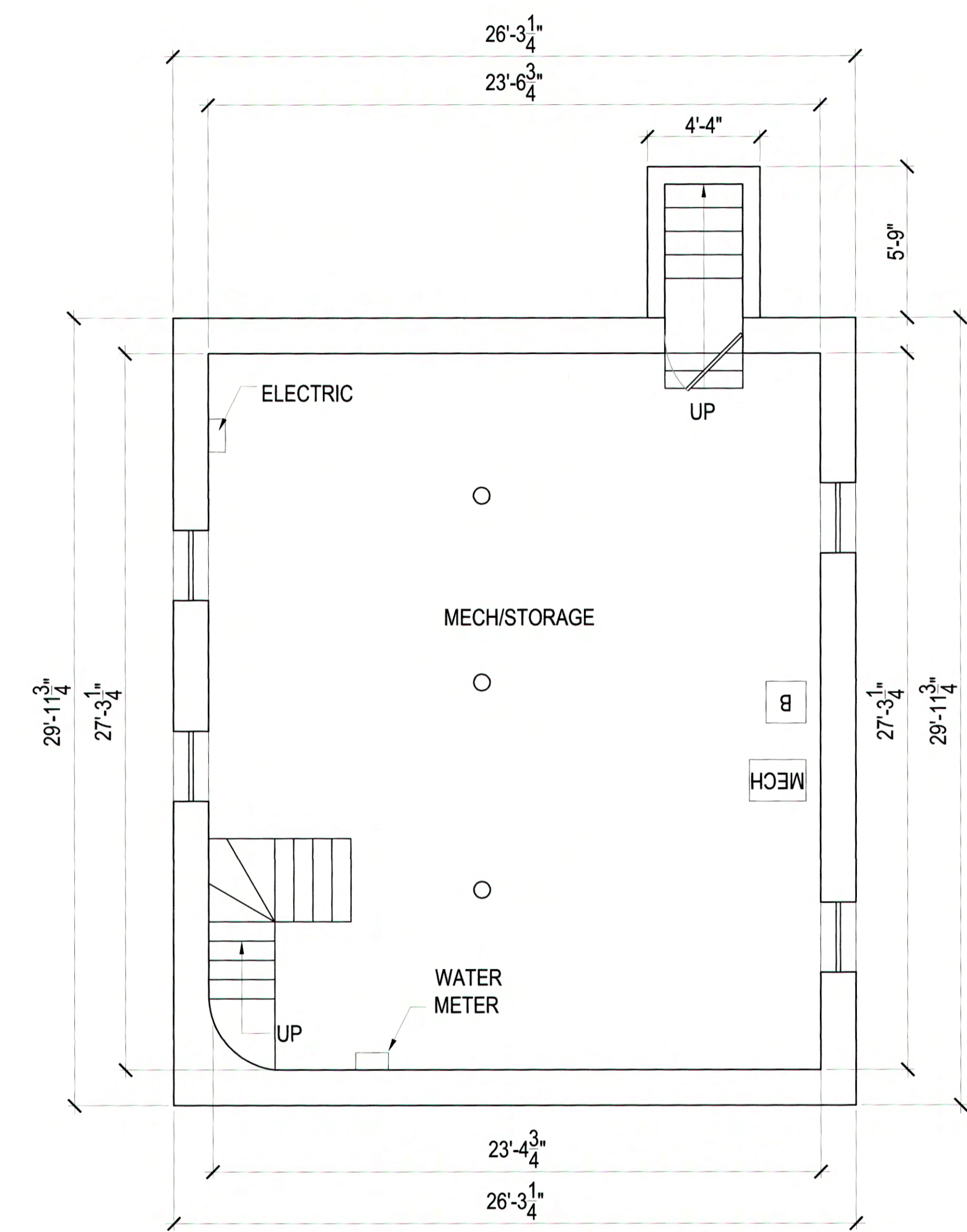
PROJECT #
 16-158
 DATE: 1-9-17
 REV:
 SCALE:
 1/4" = 1'-0"
 DRAWN BY:
 DM
 CHECKED BY:
 R.P.B

EXISTING FLOOR PLANS

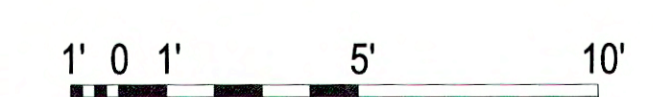
EX1



FIRST FLOOR PLAN



BASEMENT PLAN



GENERAL NOTE:
 VERIFY AND CONFIRM ALL CONDITIONS AND/OR DIMENSIONS SHOWN
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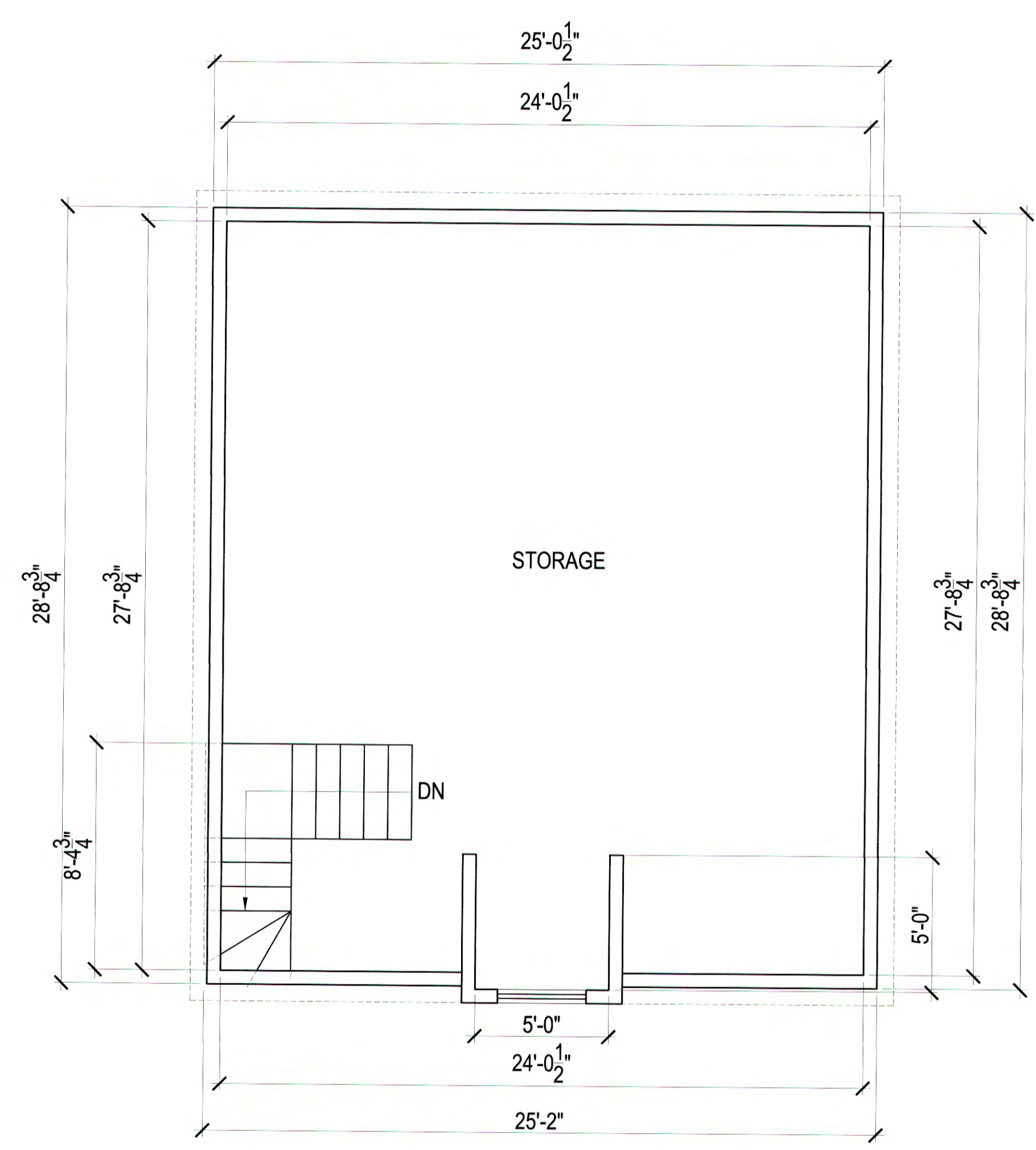
RCA, LLC
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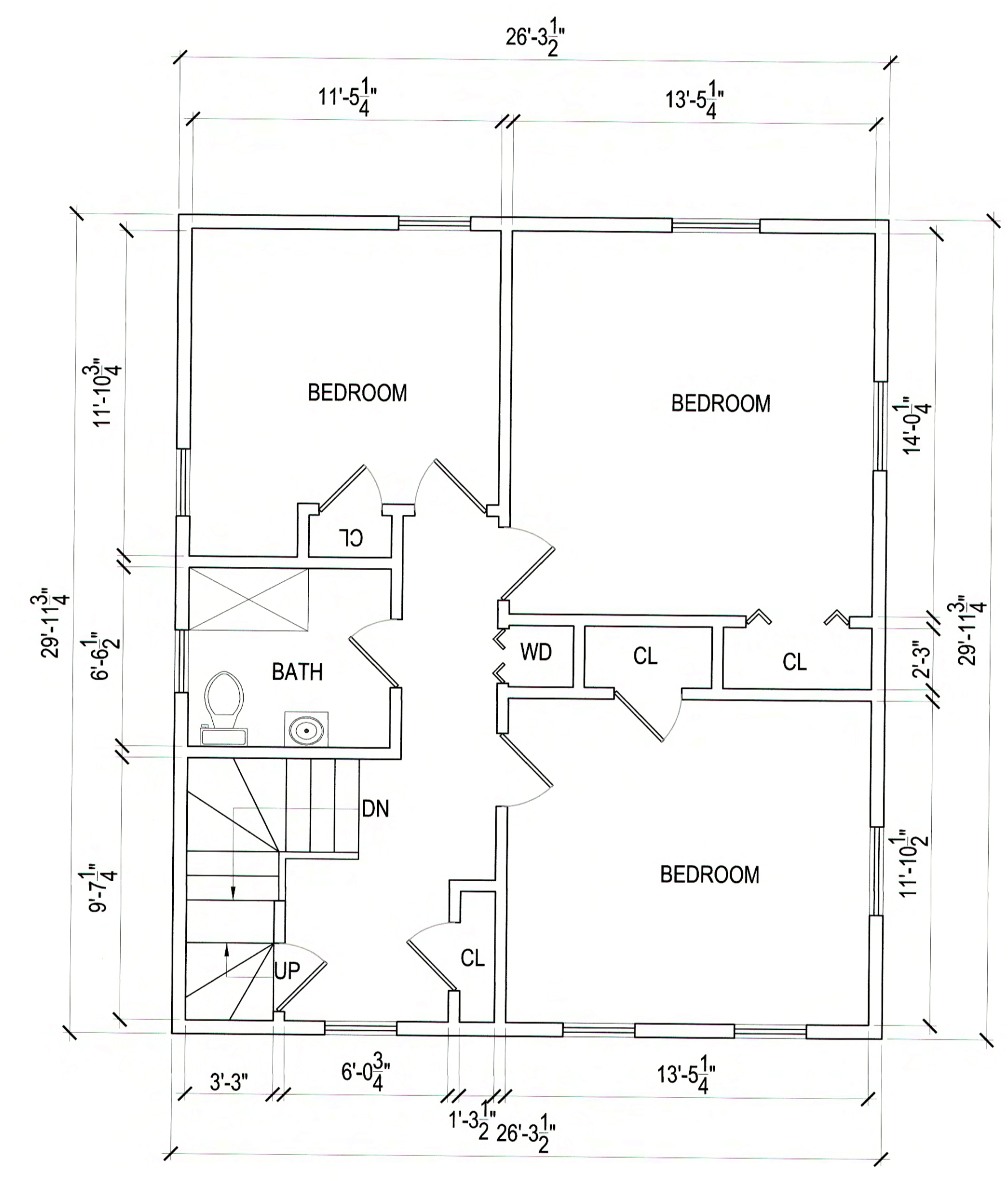
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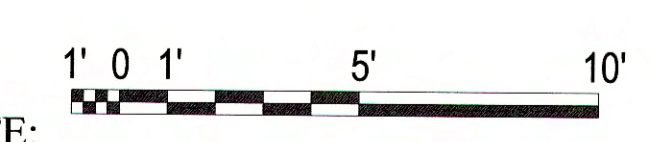
EX2



ATTIC FLOOR PLAN

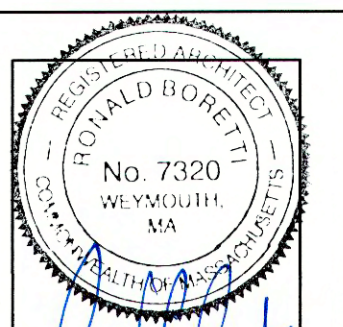


SECOND FLOOR PLAN



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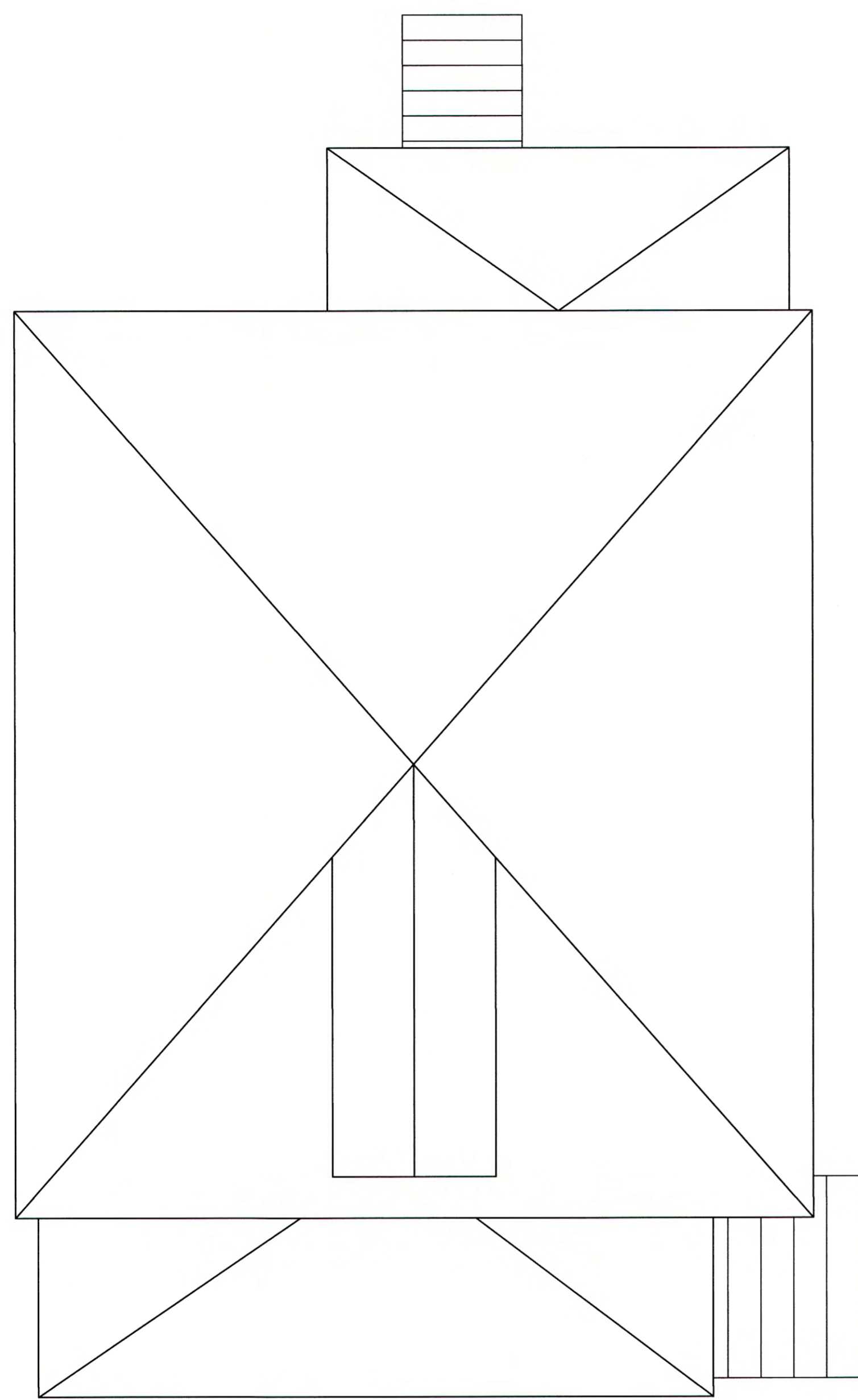
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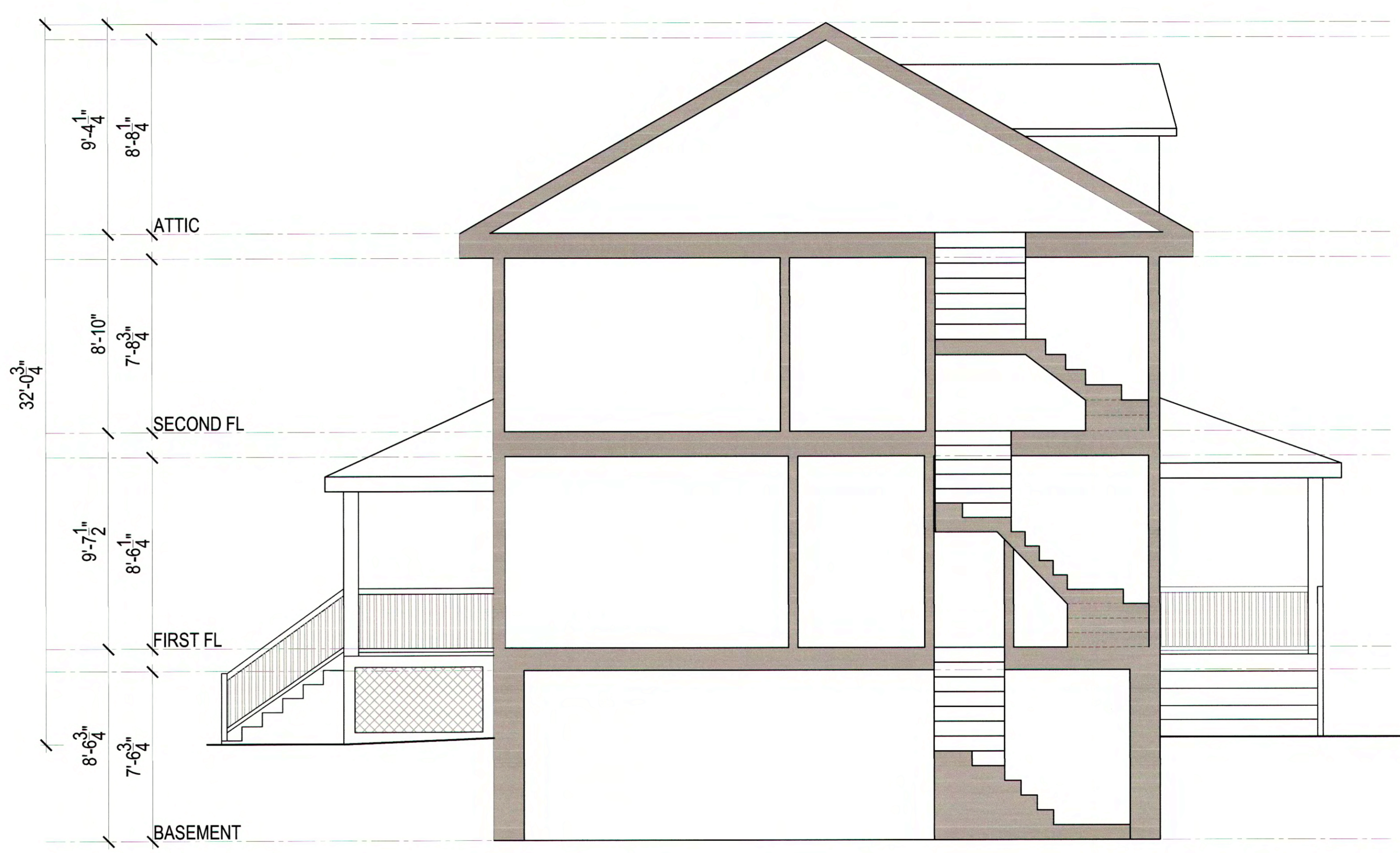
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ROOF PLAN AND
 BUILDING SECTION

EX3

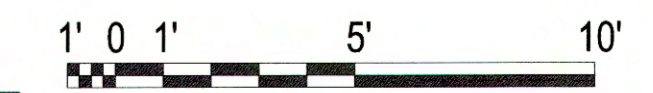


ROOF PLAN



BUILDING SECTION

32'-0³/₄"
 9'-4¹/₄"
 8'-8¹/₄"
 ATTIC
 8'-10"
 7'-8³/₄"
 SECOND FL
 9'-7¹/₂"
 8'-6¹/₄"
 FIRST FL
 8'-6³/₄"
 7'-6³/₄"
 BASEMENT



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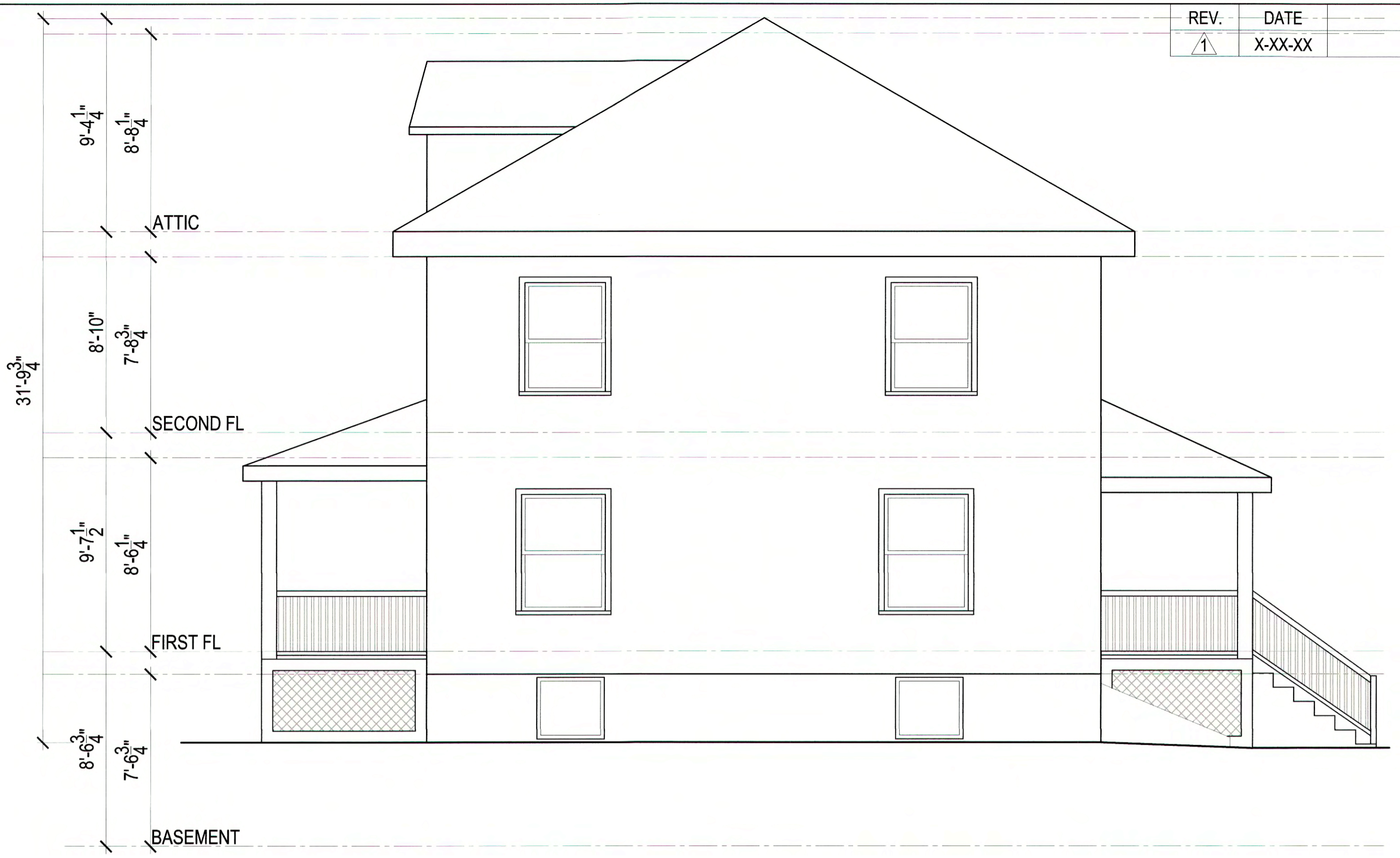
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EXISTING ELEVATIONS

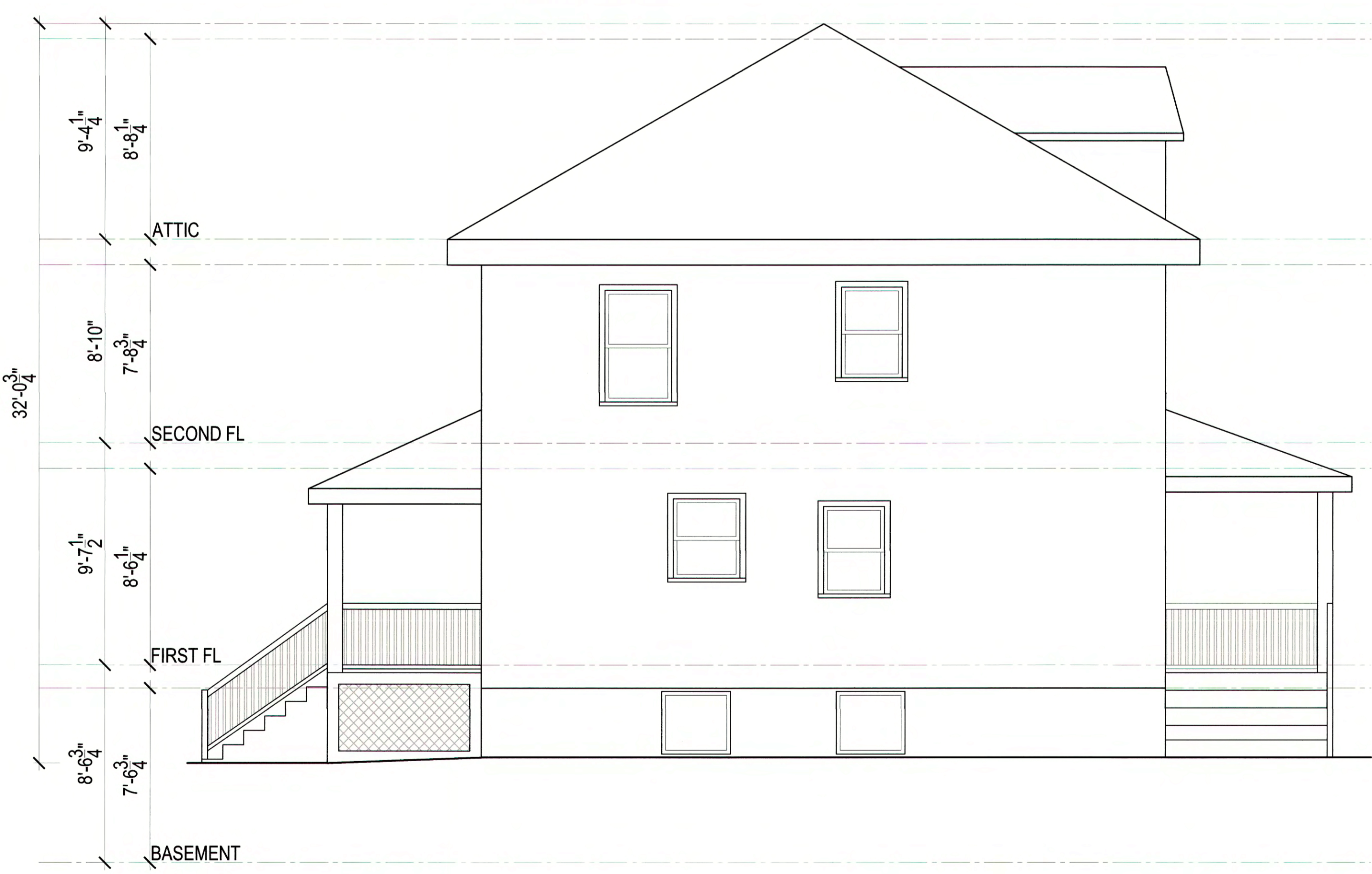
EX4



ELEVATION 4



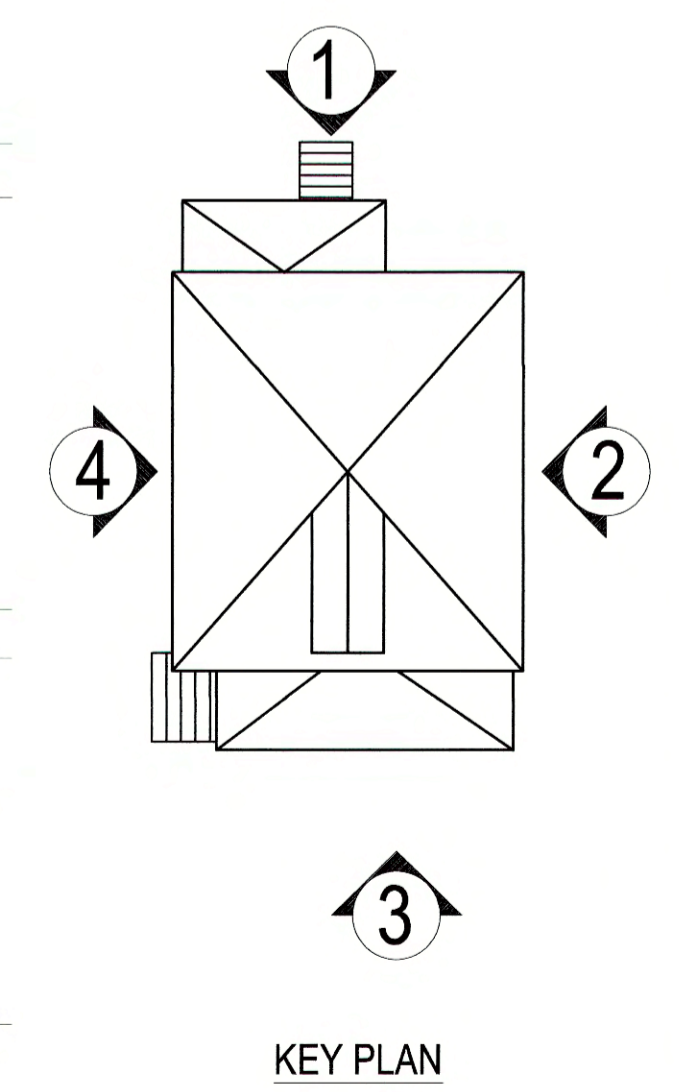
ELEVATION 3



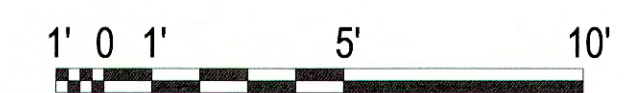
ELEVATION 2



ELEVATION 1

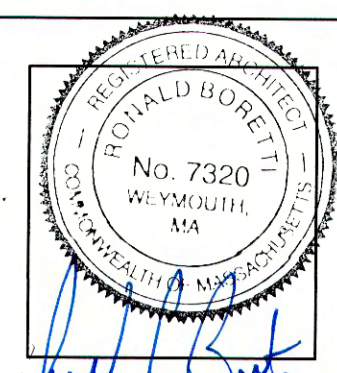


KEY PLAN



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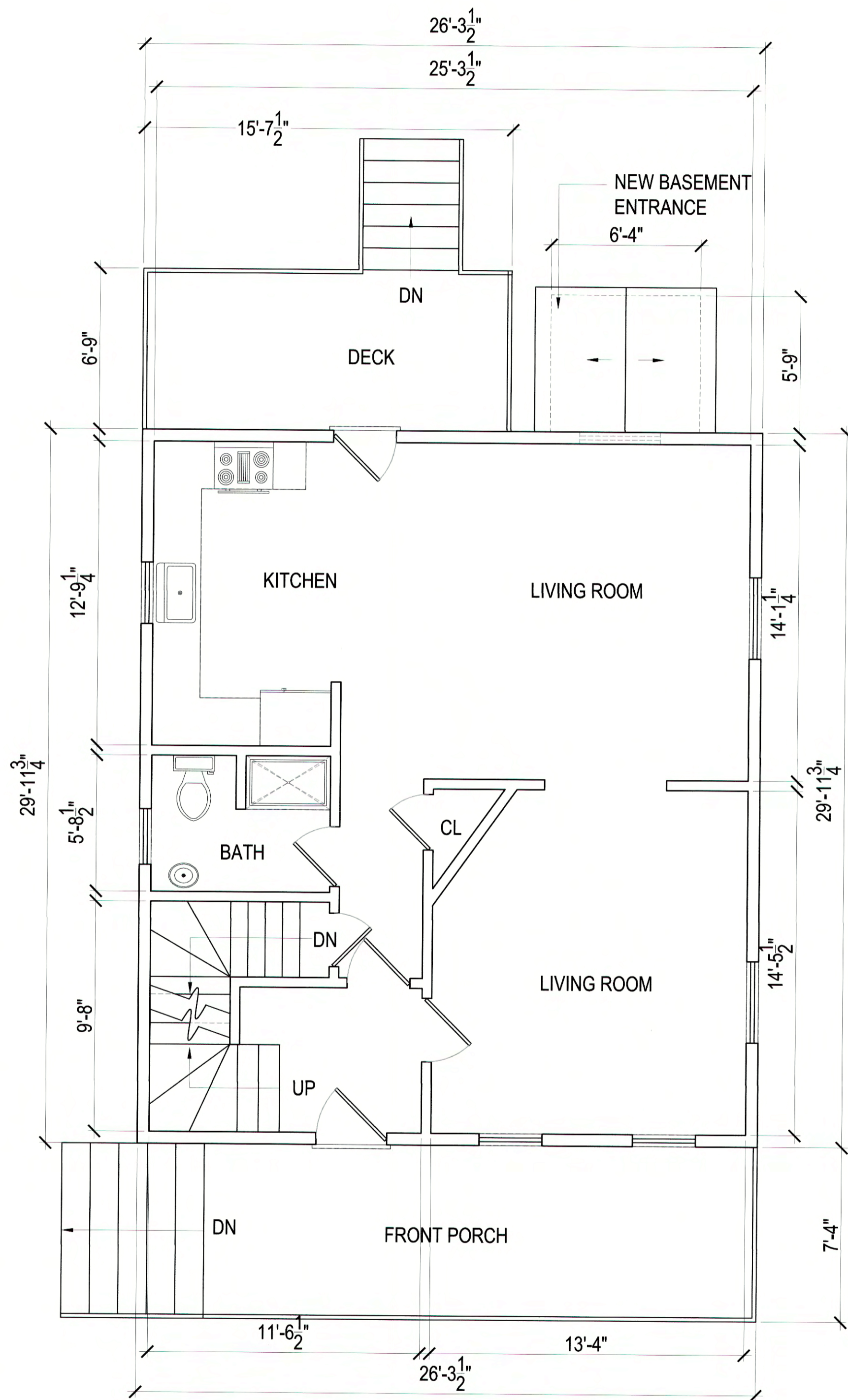
6 BUTLER STREET
DORCHESTER, MA
ZONING REVIEW

ITEM	
ZONING DISTRICT	1F-5000
EXISTING USE	RESIDENTIAL - 1 FAMILY
PROPOSED USE	RESIDENTIAL - 1 FAMILY
LOT SIZE	5,124 S.F.
PROPOSED GROSS SQ. FOOTAGE	5,124 S.F.

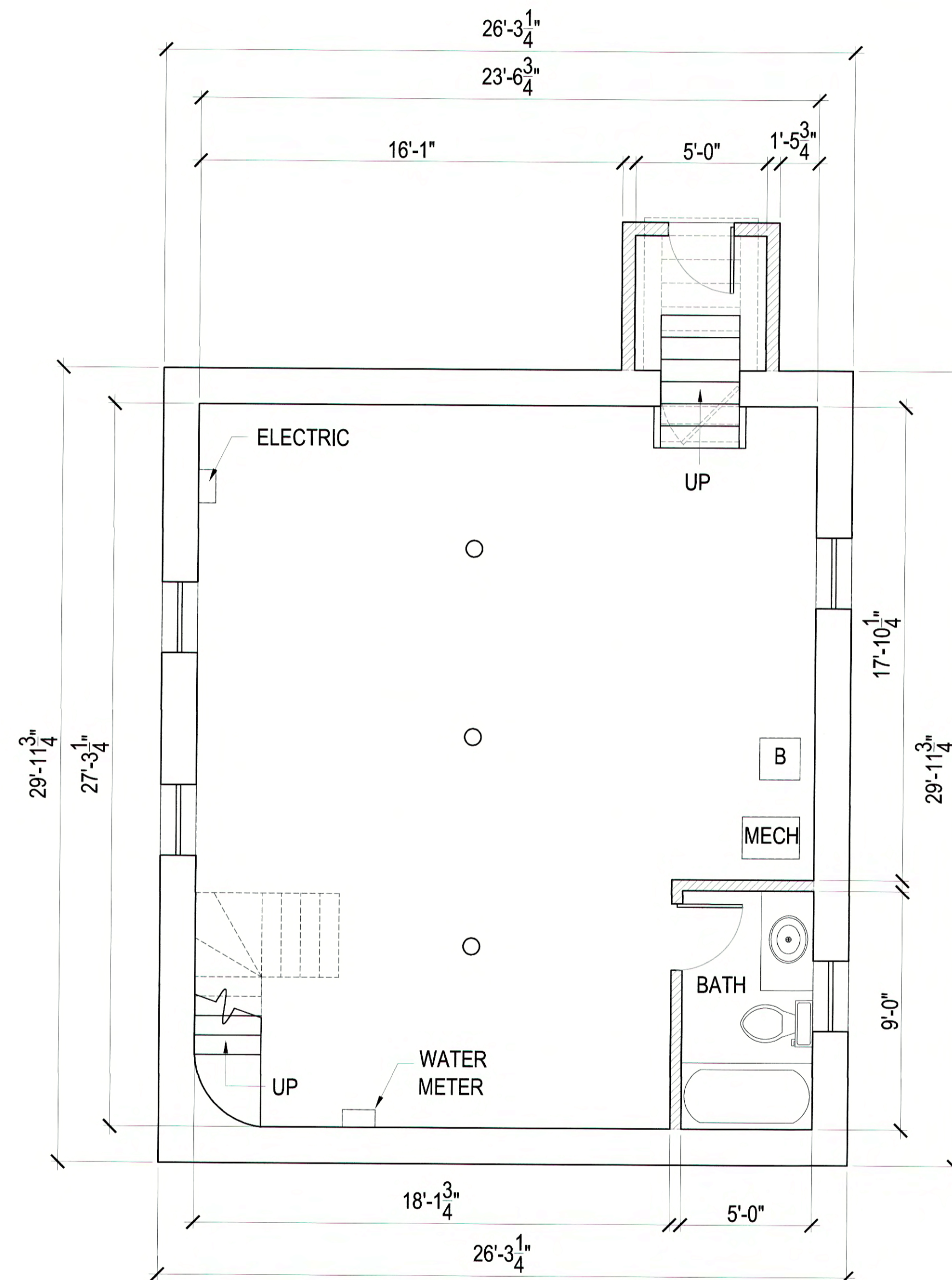
DIMENSIONAL REGULATIONS
TABLE F

ITEM	REQUIRED	PROPOSED
MIN. LOT SIZE	5,000 S.F.	5,124 S.F.
MIN. LOT WIDTH	40'	51'
MIN. LOT FRONTAGE	40'	14'-10"
MAX. FLOOR AREA RATIO	0.5	0.44
MAX. ALLOWABLE BUILDING HEIGHT	35'-0"	32'-6"
MAX. BLDG STORIES	2 1/2 STORIES	2 1/2
MIN. SIDE YARD	10'	18'-0" / 6'-7"
MIN. REAR YARD	20'	49'
MIN. FRONT YARD	15'	23'-8"
MIN. USABLE OPEN SPACE	N/A	N/A

TOTAL FAR = .41



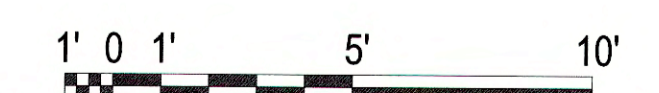
FIRST FLOOR PLAN



BASEMENT PLAN

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- PROPOSED WALL
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- PROPOSED DOOR
- HARDWIRED & INTERCONNECTED SMOKE DETECTOR
- HARDWIRED & INTERCONNECTED HEAT DETECTOR
- HARDWIRED & INTERCONNECTED CARBON MONOXIDE DETECTOR



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James Neal
6 Butler Street
Dorchester, MA 02122

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MM
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R.P.B.

PROPOSED FLOOR
PLANS

A1

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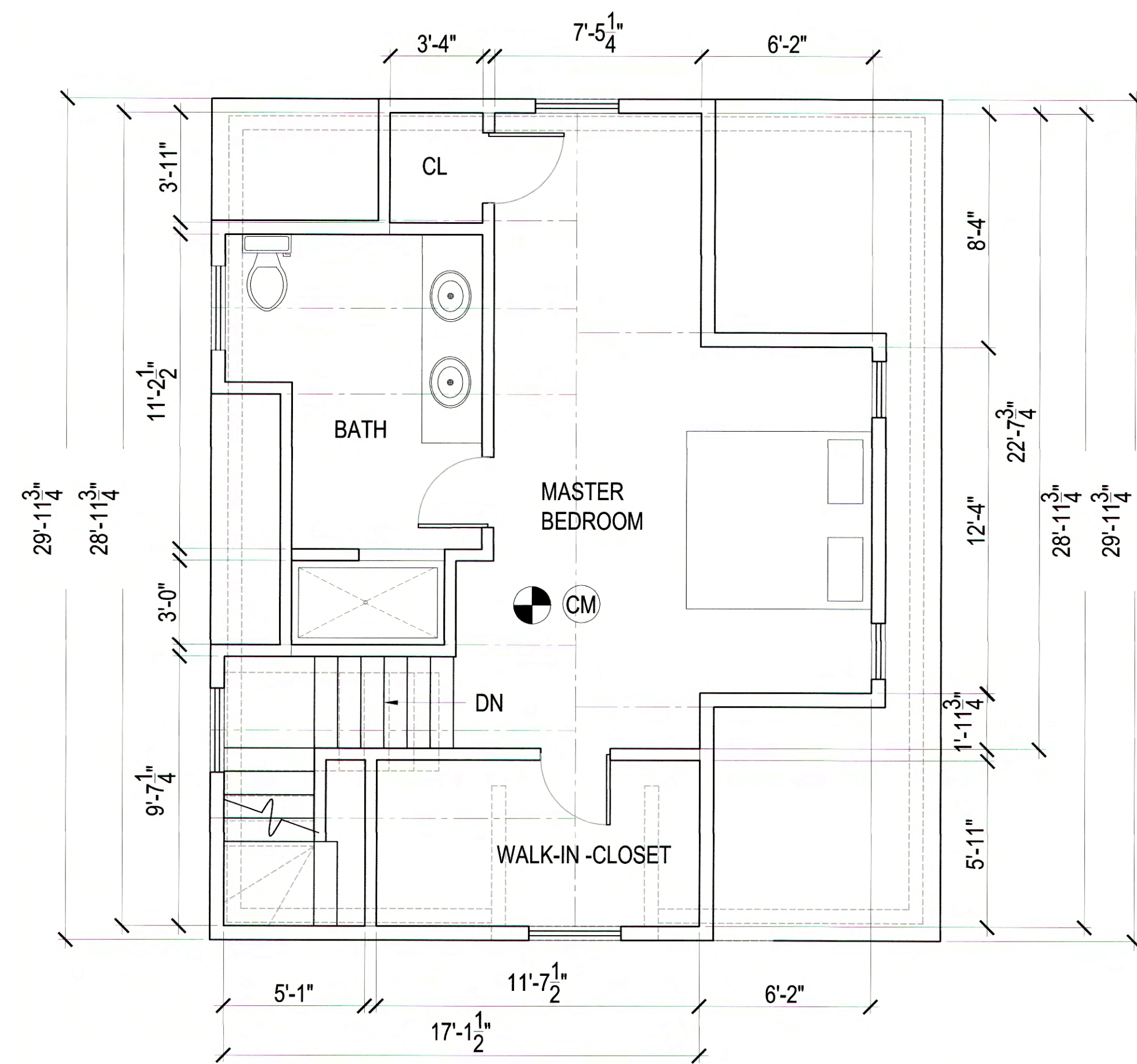
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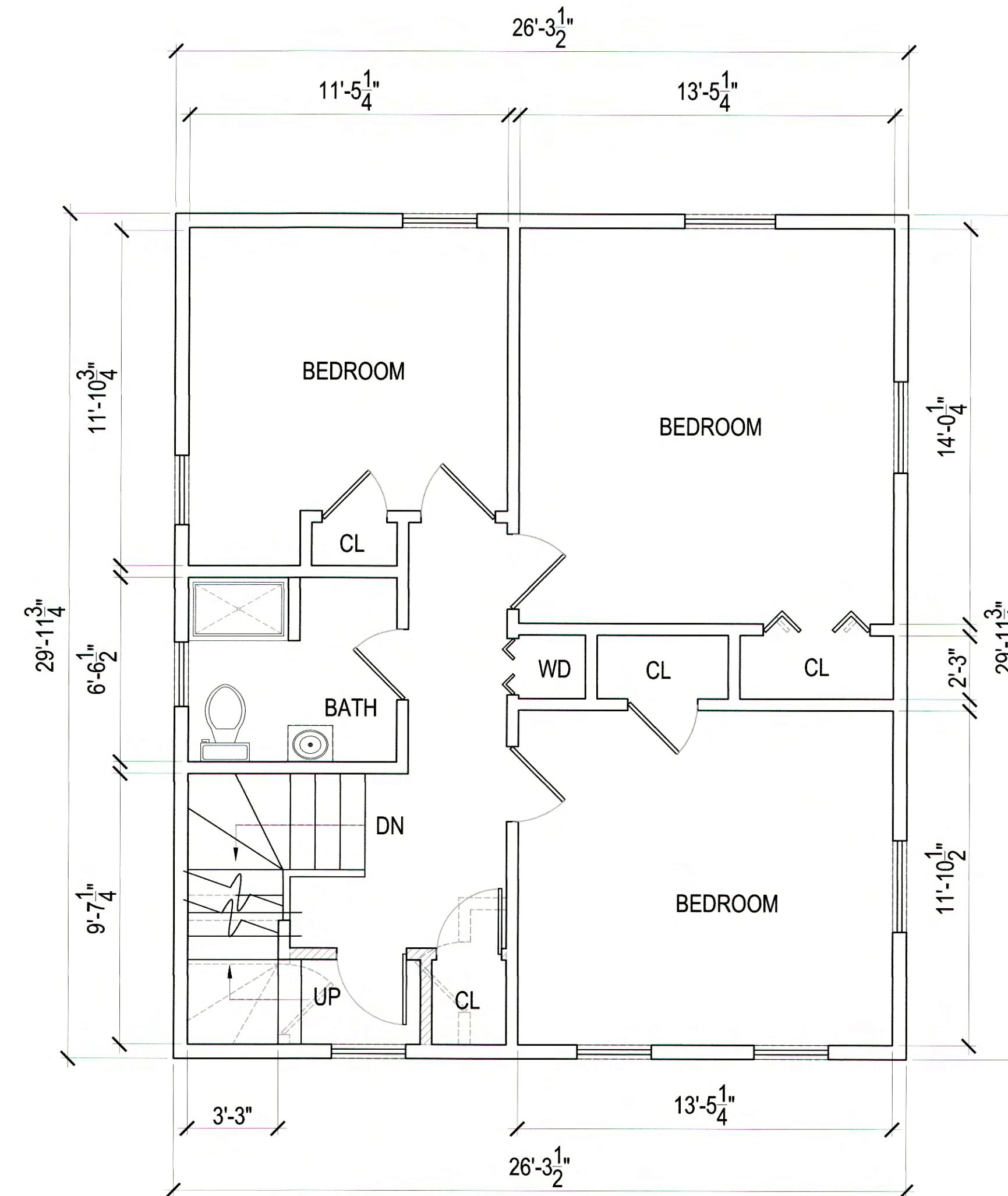
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PROPOSED FLOOR PLANS

A2



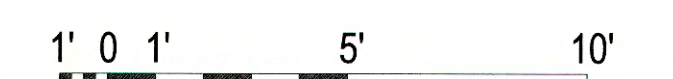
ATTIC FLOOR PLAN



SECOND FLOOR PLAN

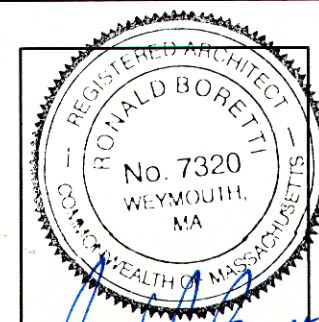
LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- PROPOSED WALL
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- PROPOSED DOOR
- HARDWIRED & INTERCONNECTED SMOKE DETECTOR
- HARDWIRED & INTERCONNECTED HEAT DETECTOR
- HARDWIRED & INTERCONNECTED CARBON MONOXIDE DETECTOR



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PROPOSED ROOF PLAN
AND
BUILDING SECTION

A3

NEW ROOFING NOTES

PROVIDE NEW SHINGLE ROOFING SYSTEM OVER ENTIRE BUILDING ROOF SHEATHING TO INCLUDE THE FOLLOWING:

NEW FELT UNDERLAYMENT: 15 LB BUILDING FELT, ASTM D 226. INSTALL AT ALL AREAS NOT COVERED BY ICE AND WATERSHIELD.

NEW ICE AND WATER SHIELD: BITUTHANE ICE AND WATERSHIELD BY W.R. GRACE. APPLY 3'-0" WIDE AT RAKE EDGE, RIDGE AND VALLEYS. PROVIDE TWO LAYERS OF 3'-0" WIDE PRODUCT AT ROOF EAVE. OVERLAP TO SHED WATER.

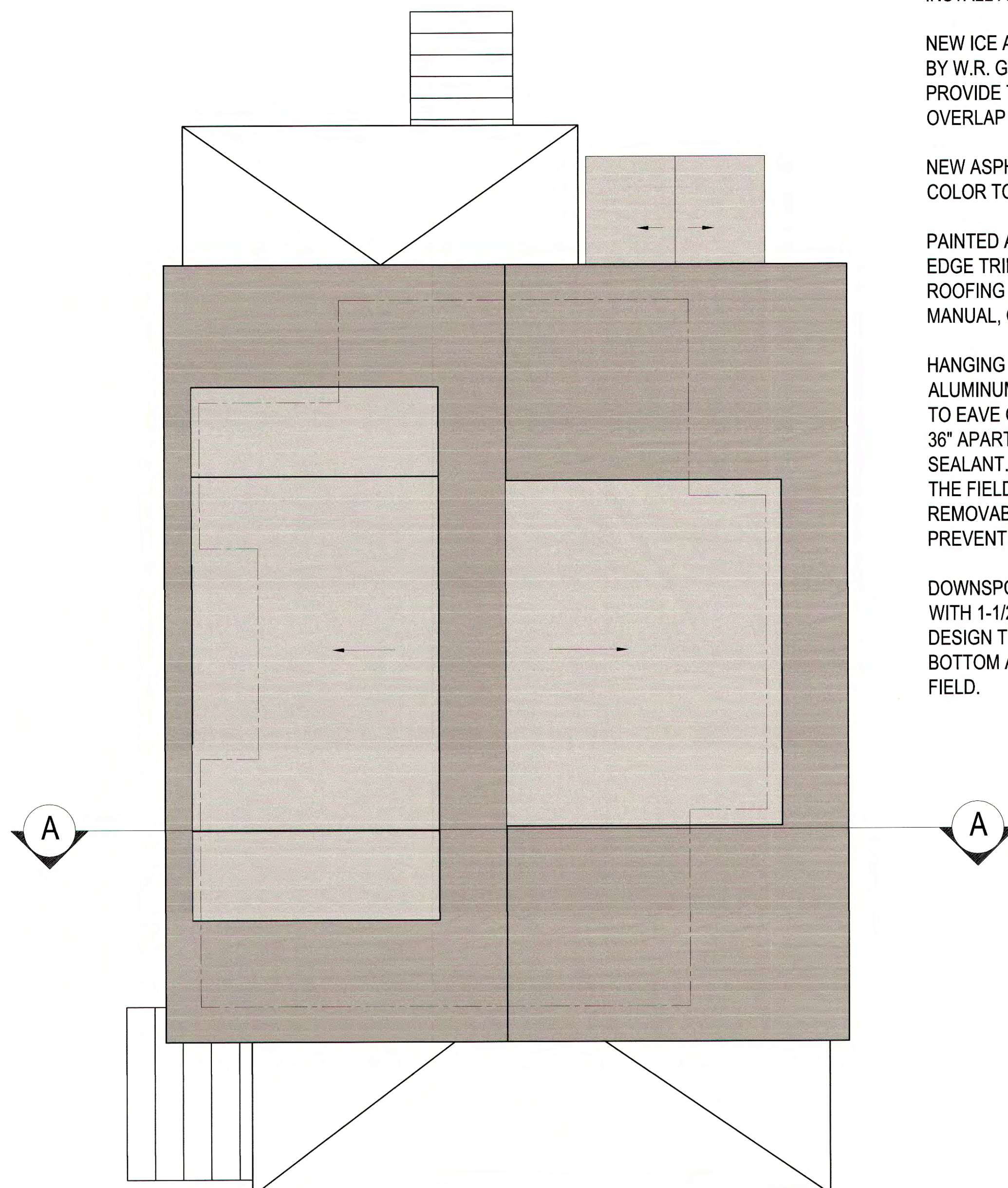
NEW ASPHALT SHINGLE ROOFING: LANDMARK SERIES BY CERTAINTEED. COLOR TO BE SELECTED BY OWNER.

PAINTED ALUMINUM FLASHING: PROVIDE NEW PAINTED ALUMINUM ROOF EDGE TRIM, STEP FLASHING, GUTTERS AND DOWNSPOUTS. INSTALL ROOFING AND FLASHING IN ACCORDANCE WITH THE NRCA ROOFING MANUAL, CHAPTER 6 FOR ASPHALT SLOPED ROOF SYSTEM.

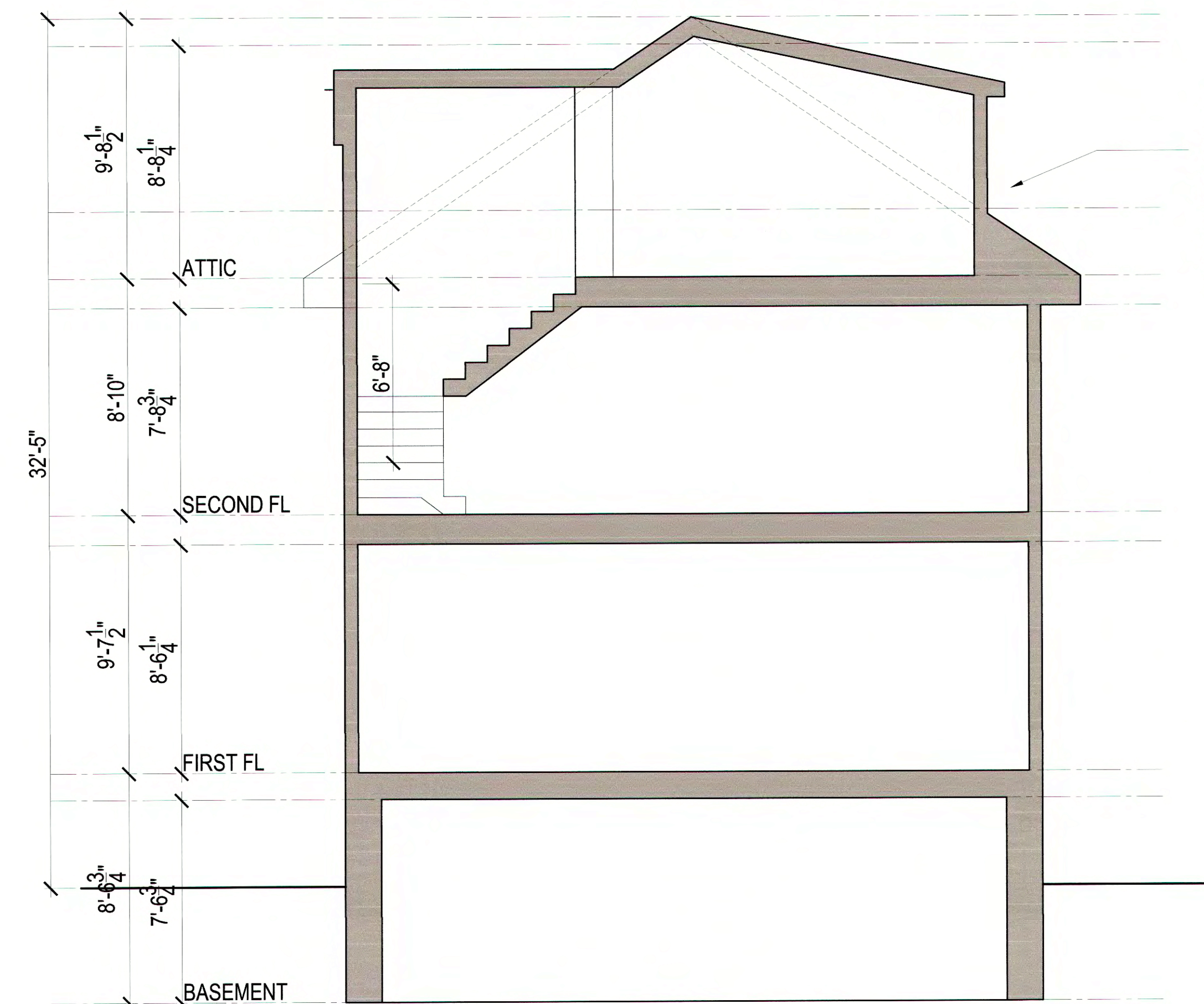
HANGING GUTTERS SHALL BE 6" WIDE SEAMLESS REFINISHED ALUMINUM. PROVIDE FOR THERMAL EXPANSION. ATTACH GUTTERS TO EAVE OR FASCIA WITH FIRMLY ANCHORED STRAPS NOT MORE THAN 36" APART. PROVIDE NED CLOSURE AND SEAL WATER TIGHT WITH SEALANT. SLOPE GUTTERS TO DOWNSPOUTS. DO NOT PAINT GUTTERS IN THE FIELDS. INSTALL CONTINUOUS GUTTER SCREEN ON GUTTERS WITH REMOVABLE NON-CORROSIVE FASTENERS. PROVIDE SPLASH GUARD TO PREVENT CORNER SPLASHING.

DOWNSPOUTS SHALL BE 4 X 5 PREFINISHED ALUMINUM. JOIN SECTION WITH 1-1/2" TELESCOPING JOINTS. PROVIDE HANGERS WITH FASTENERS DESIGN TO HOLD DOWNSPOUTS SECURELY TO WALLS AT TOP AND BOTTOM AND 60" O.C. MAXIMUM. DO NOT PAINT DOWNSPOUTS IN THE FIELD.

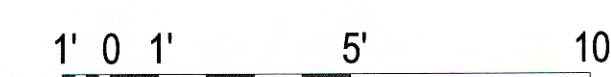
NEW WALL CONSTRUCTION
5/8" TYPE X GYPSUM BOARD
2 x 6 STUD WALLS
R=19 CAVITY INSULATION
5/8" TYPE X GYPSUM SHEATHING
R=5 MINIMUM RIGID INSULATION
HARDPLANK SIDING



ROOF PLAN

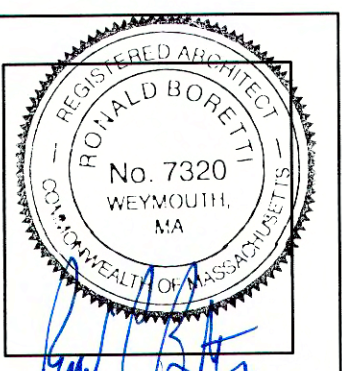


BUILDING SECTION A



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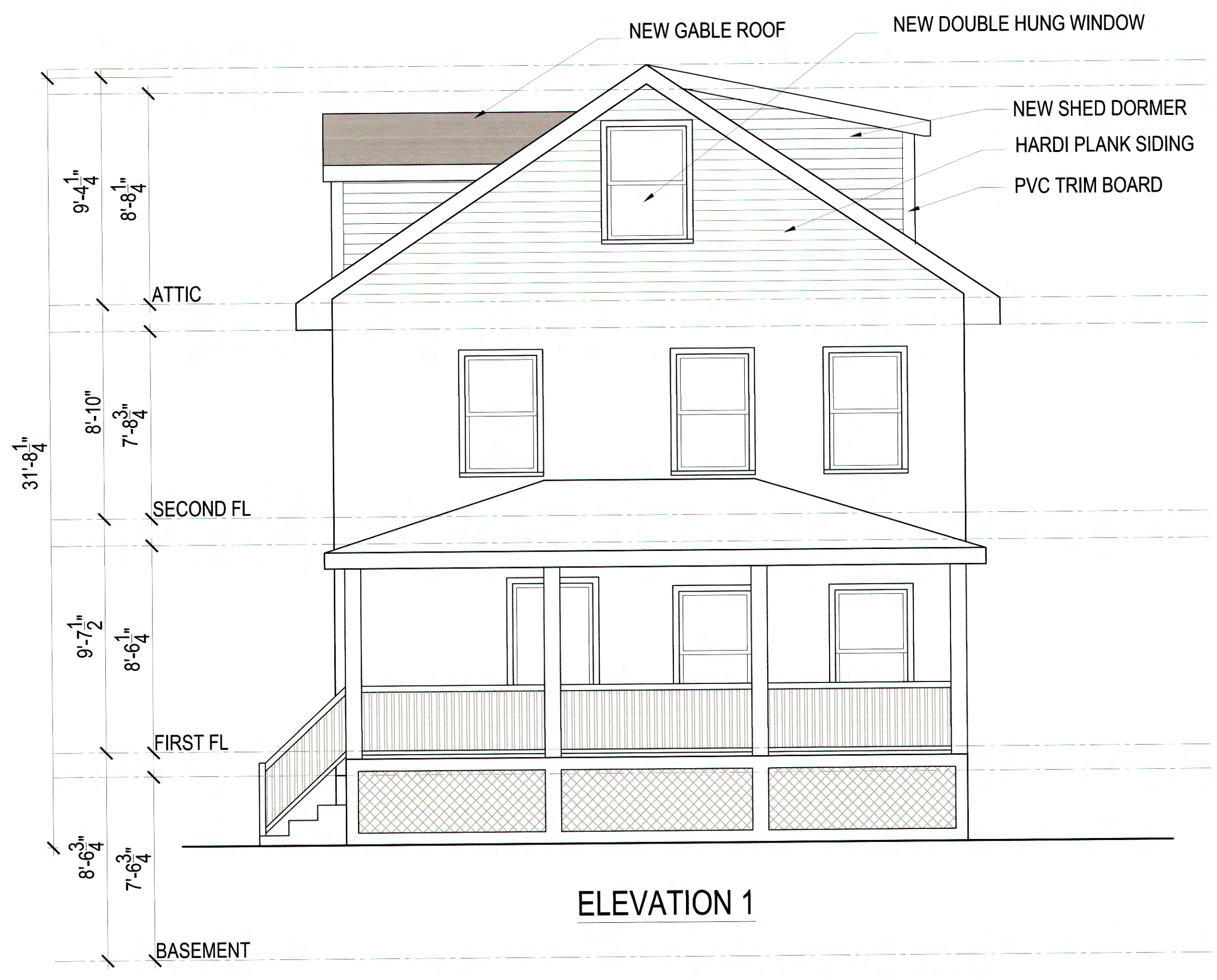
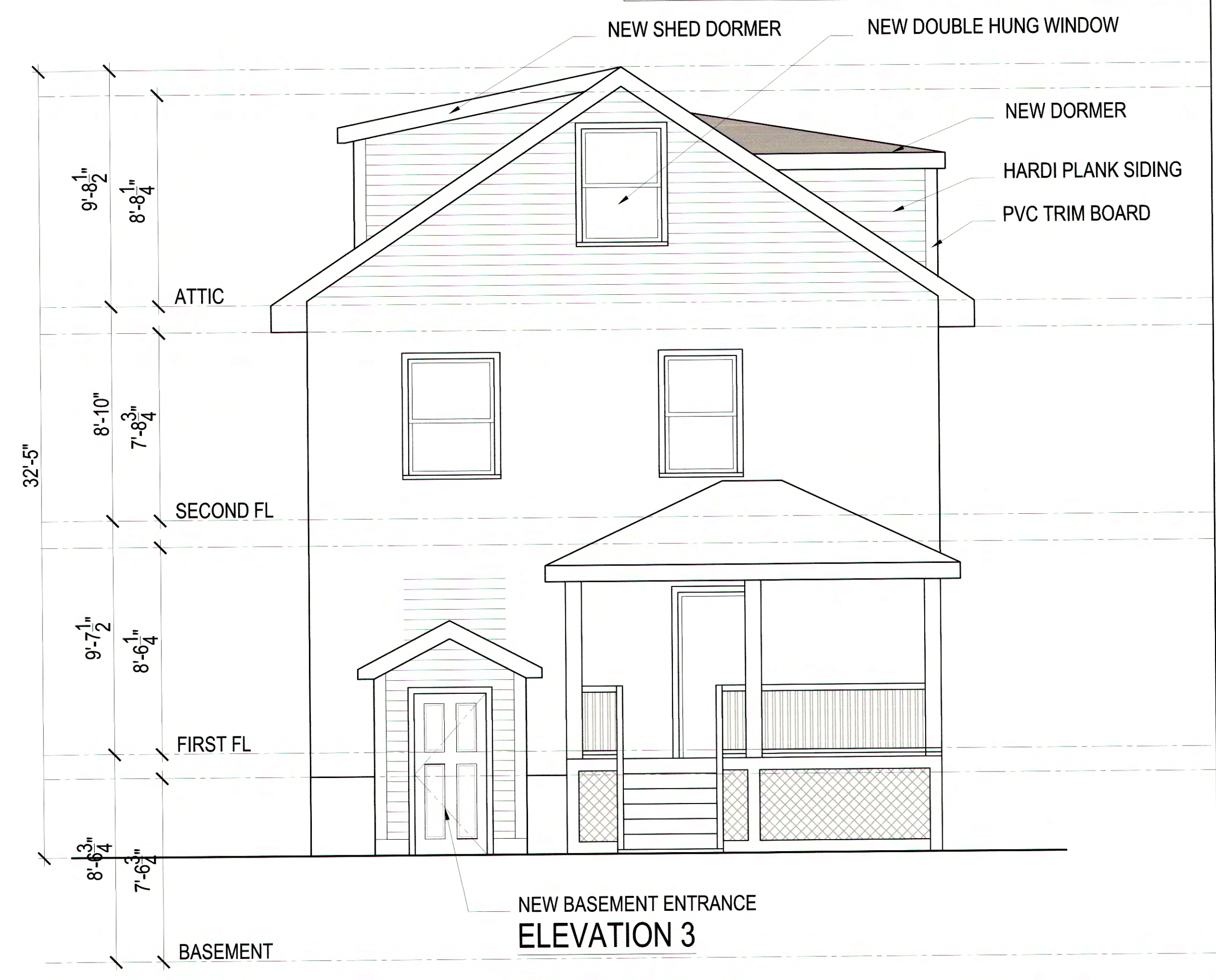
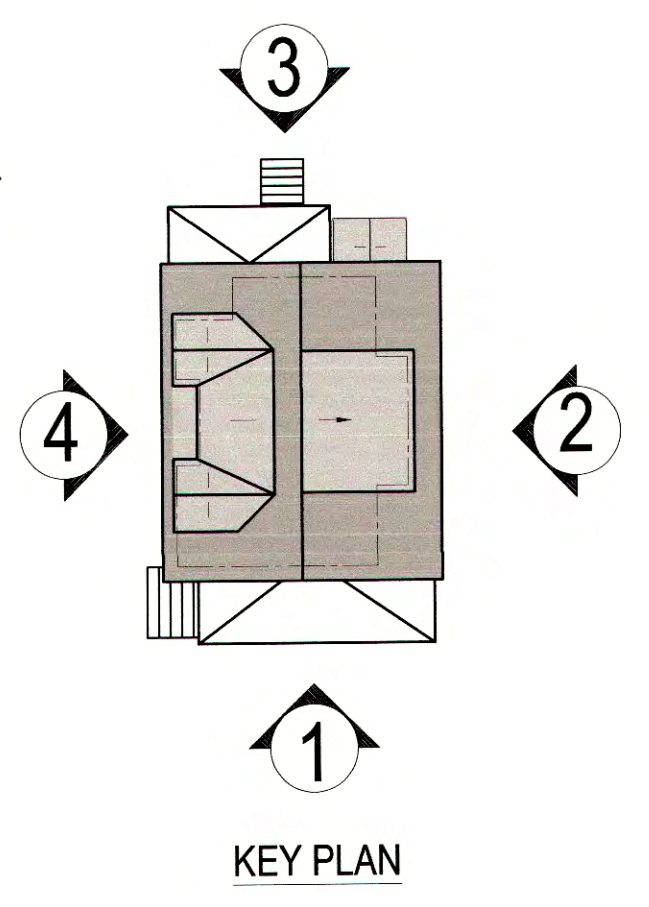
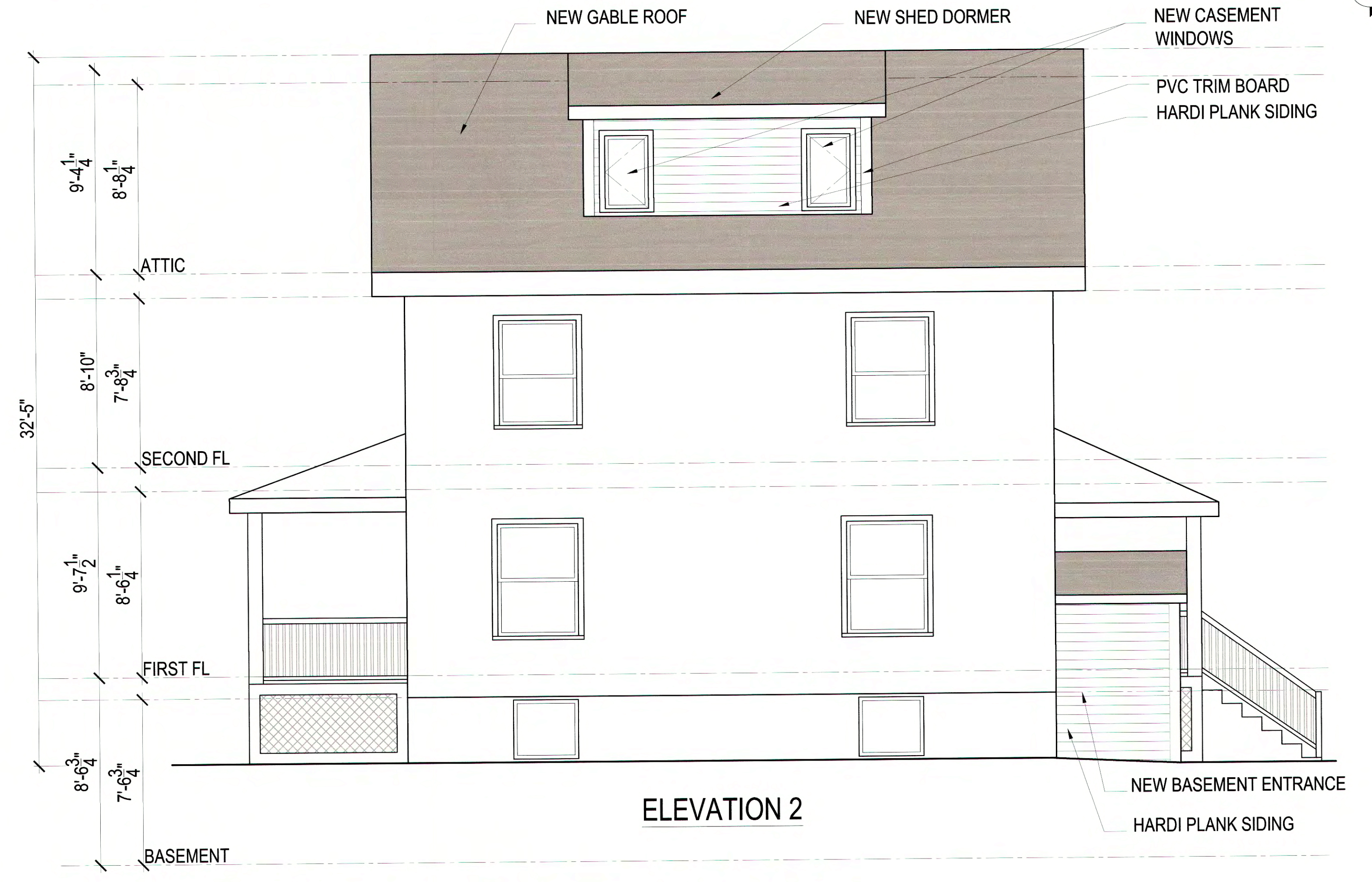
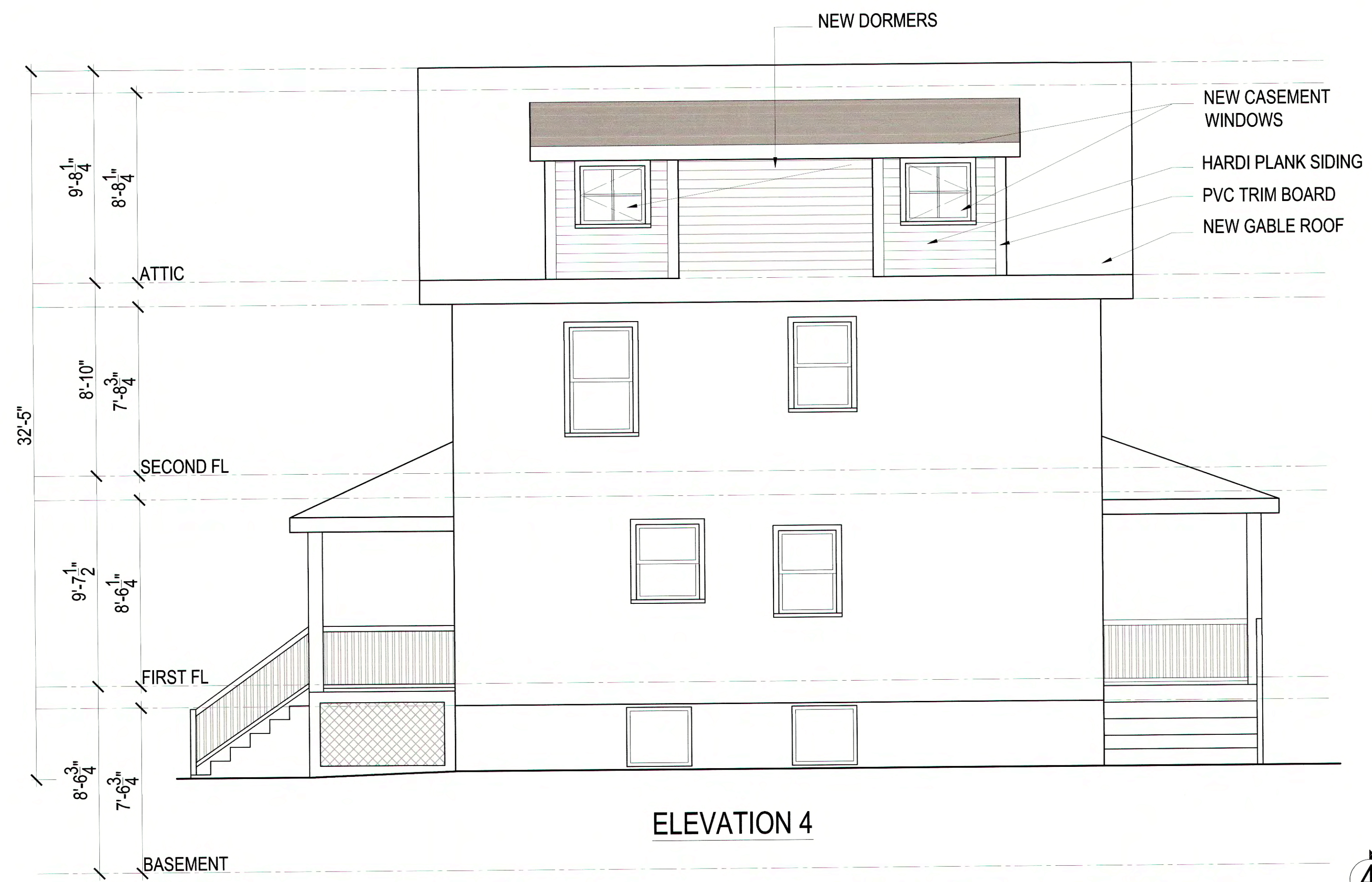
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PROPOSED ELEVATIONS

A4



1' 0' 1' 5' 10'
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Evan Harkin, P.E.
Structural Engineer

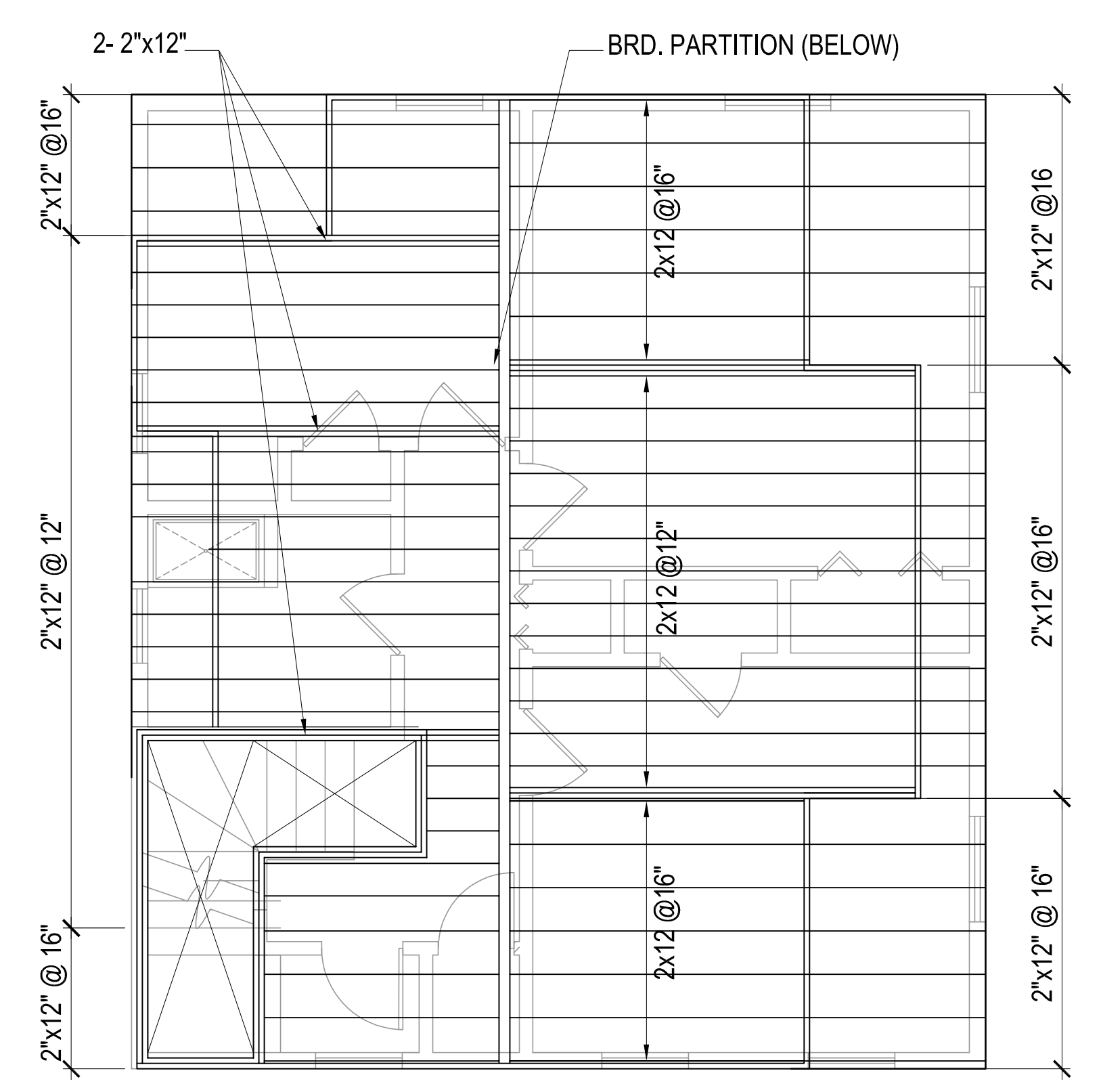
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CHECKED BY:	E.H.

PROPOSED FRAMING
PLANS

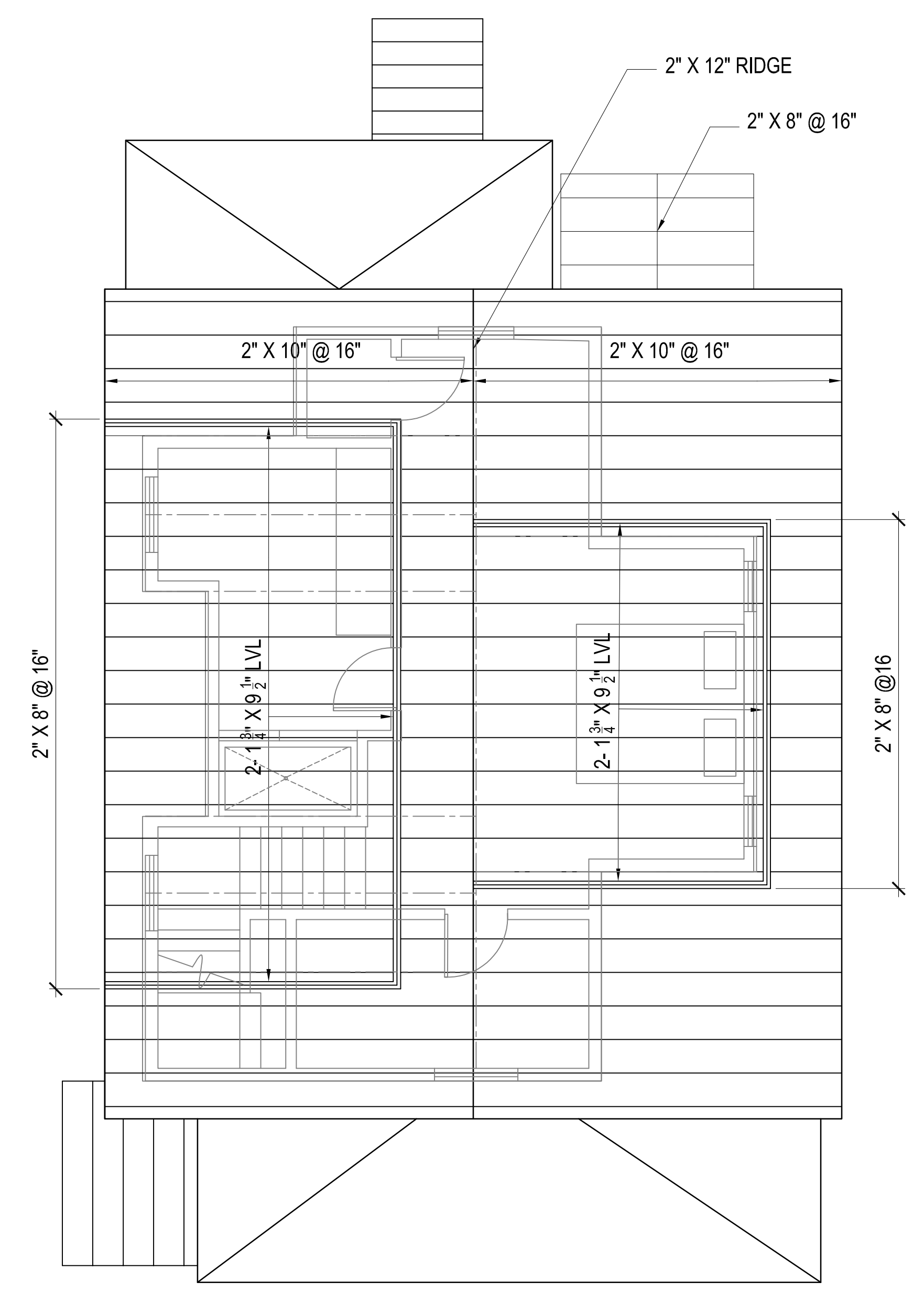
S1

NOTE:
.3/4" PLYWOOD SHEATHING
GLUED & SCREWED



ATTIC FRAMMING PLAN

NOTE:
.5/8" PLYWOOD SHEATHING
. HURRICAN TILES @ EACH RAFTER



ROOF FRAMING PLAN

STRUCTURAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MSBC, 8TH EDITION.
- LOADING: LL = 40 PSF.; P_G = 40 PSF. (GROUND SNOW).
V = 100 MPH.
- PROVIDE TEMPORARY SHORING PRIOR TO DEMOLITION.
- MATERIAL:
 - A. LUMBER: LVL: F_B = 2,600 PSI; E = 2.0 X 10⁶ PSI
POSTS: PSL
WOOD: HEM-FIR NO.1 & BTR.
JOISTS: TJI SERIES OR APPROVED EQUAL
 - B. METAL CONNECTORS: SIMPSON OR APPROVED EQUAL



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