

Ferdinand's Blue Store Addition

Guscott Building, 17-19 Warren Street

Roxbury, Massachusetts



Preservation and Salvage Plan

October 2007



BUILDING CONSERVATION ASSOCIATES INC

FERDINAND'S BLUE STORE ADDITION: GUSCOTT BUILDING

Preservation and Salvage

The following drawings and specifications are the preservation and salvage plan for the Ferdinand's Blue Store addition at 17-19 Warren Street, also known as the Guscott Building. Both documents call for the salvage and possible restoration and reuse of the significant architectural elements found on the building. These elements include, but are not limited to:

- Metal, wood and limestone storefront and display window and door surrounds.
- Carved limestone beltcourses, frieze, cornice, etc.
- Granite cornerstone.
- Art painted on plywood panels.
- Signage.

SECTION 02055

SELECTIVE SALVAGE AND STORAGE

PART 1 – GENERAL

1.01 GENERAL REQUIREMENTS

- A. Work of this Section, as shown or specified, shall be in accordance with the requirements of the Contract Documents.

1.02 WORK INCLUDED

- A. Work of this Section includes all labor, materials, equipment, and services necessary to disassemble, salvage and store the historic building elements from the Guscott Building, also known as the Ferdinand's Blue Store Addition, at 17-19 Warren Street, Boston, Massachusetts, as shown on the Drawings and specified herein, including, but not limited to, the following:
 - 1. Removal for restoration and possible reuse all elements at the Guscott Building identified by Salvage notes on the Selective and Storage Drawings, (Sheets R-01 – R-04) appended at the end of this section as Appendix A, or any additional items identified for preservation by the Architectural Conservator (BCA), and storage of same within the Ferdinand Building, 2260-2272 Washington Street. These items include, but are not limited to:
 - a. Metal, wood and limestone storefront and display window and door surrounds.
 - b. Carved limestone beltcourses, frieze, cornice, etc.
 - c. Granite cornerstone.
 - d. Art painted on plywood panels.
 - e. Signage.
- B. Provide detailed documentation of all elements to be removed for storage. Provide documentation methodology and assignment of identification marks on salvage material, submittals, etc.
- C. Protection for Elements and Materials To Be Removed and Salvaged: Protection for elements and materials to be removed and stored shall comply with the following requirements:

1. Prevent damage and deterioration from abrasion, impact, water (precipitation, condensation, and humidity level), forces caused by handling and transportation, and other exterior forces.
 2. Prevent soiling, staining, or marking.
 3. Provide optimum support to all portions of all elements to prevent cracking, breakage, and application of undue stress during removal, handling, transportation, and storage.
- D. Provide access to the building to the Architectural Conservator who will be working with the Removal and Salvage Subcontractor to identify building elements to be preserved and discarded.
- E. Necessary provisions for layout, evaluation and storage of the historic building elements by the Architectural Conservator within the Ferdinand Building.
- F. Removal: Removal of elements and materials to be removed shall be accomplished without causing damage or deterioration to elements and materials to be removed.
- G. Storage: Until the work of this section is complete, the Removal and Salvage Subcontractor shall comply with the following conditions:
1. Provide security from theft, loss, damage, and/or deterioration.
 2. Prevent exposure to abrasion, impact, water (precipitation, condensation, and high humidity), substances that might cause soiling or staining, and other deleterious forces.
 3. Provide for inspection of elements and materials at Architectural Conservator's request.
- H. Work on the façade should be regarded as a disassembly of an historic structure and be governed by the principles of an Historic Restoration, with the utmost care being taken to protect the historic building elements as they are disassembled and stored.
- I. Intent: It is the specific intent of this Section to provide for disassembly of the identified building elements for storage or disposal as indicated without damaging items to be stored for restoration or surrounding buildings. All work required to accomplish this intent shall be included. Damage to items removed for storage or to neighboring buildings shall be corrected to satisfaction of Architectural Conservator at no additional cost to Authority and shall assume full responsibility for safety of construction personnel, occupants, and the public.
- J. Related Sections:
- a. Section 01568 – Dust Control

b. Section 02060 – Building Demolition

1.03 PERMITS AND CODES

- A. Work as specified herein shall conform to the Drawings and Specifications and shall comply with applicable codes and regulations.
- B. Comply with all rules, regulations, laws and ordinances of the local authorities, the City of Boston, the Commonwealth of Massachusetts, and all other authorities having jurisdiction. Anything necessary to make the work comply with the above requirements shall be provided without additional cost to the Authority.
- C. Contractor shall procure and pay for all permits and licenses required for the complete work specified or inferred herein.

1.04 QUALITY ASSURANCE

- A. Removal and Salvage Subcontractor: Award selective removal and salvage work to a firm regularly engaged in dismantling, protecting, salvaging, and preparing for storage elements and materials from historic buildings similar to those required to be removed and salvaged as work of this Section that can demonstrate to Authority's satisfaction that, within previous five years, it has successfully performed and completed in a timely manner at least three projects similar in scope and type to work required on this Project involving buildings designated as Landmarks by local governmental authorities, or buildings listed on the National Register of Historic Places or on a State Register of Historic Places. As used in this section, the term Removal and Salvage Subcontractor refers to the Contractor's subcontractor who is so licensed, or to the Contractor himself if he holds such a license. Although the term Removal and Salvage Subcontractor is used throughout this Section, it is not intended to and does not relieve the Contractor of ultimate responsibility for the proper performance and execution of the work of this section.
 - 1. Foreman: Selective removal and salvage work shall be directly supervised by a full-time foreman employed by the Removal and Salvage Subcontractor with experience equal to or greater than that required of Removal and Salvage Specialist. Foreman shall read and speak English fluently. Foreman shall be on site daily for duration of work of this Section. Same foreman shall remain on Project throughout the work of this section unless his performance is deemed unacceptable.
 - 2. Laborers: Selective removal and salvage work shall be carried out by steady crews of skilled laborers employed by Removal and Salvage Subcontractor who are thoroughly experienced in the removal, protection, and preparation for storage of materials from historic buildings and have a minimum of three years experience with work on historic buildings similar to that required by this Section.

- B. Exercise extreme care to preserve original historic building elements and remove for storage without damage.
- C. Notify the Architectural Conservator that selective salvage and removal work is proceeding and arrange for supervision of the work by the Architectural Conservator.
- D. The Architectural Conservator shall be on site during façade disassembly. An Architectural Conservator will evaluate all elements removed from the building and determine all elements to be preserved and disposed.

1.05 SUBMITTALS

- A. Qualification Data: Qualification data for firm and personnel specified in “Quality Assurance” Article that demonstrates that both firm and personnel have capabilities and experience complying with requirements specified. For firm and foreman, provide a list of at least three completed projects similar in size and scope to the work required on this Project. For each project list project name, address, architect, conservator, supervising preservation agency, scope of contractor’s work, and other relevant information. Submit this information with the bid.
- B. Selective Salvage and Storage Program: Detailed description of methods and procedures, equipment, tools, and materials proposed for use in selective salvage and storage operations including, but not limited to, the following:
 - 1. Sequence and schedule for performing work of this Section.
 - 2. Protection for materials and elements to be removed. Include methods of supporting elements during removal, hoisting and lowering procedures, and other relevant information.
 - 3. Releasing or freeing materials and elements from existing construction.
 - 4. Controlling dust and noise.
 - 5. Documentation Program for Selective Removals and Storage: Detailed description of methods and equipment proposed for use in documenting existing surfaces and the conditions of existing elements, materials, and finishes, including but not limited to the following
 - i. Materials and equipment.
 - ii. Procedure for documenting conditions of materials and elements to be removed for salvage.
 - 6. Handling and transporting materials and elements removed.
 - 7. Packaging elements removed.

8. Storage procedures and provisions for security and protection.

- E. Inventory: After selective removal and salvage work is complete, submit a list of items that have been removed and salvaged. Note location of each item or material.
- F. Shoring and Bracing: Drawings and calculations by a Professional Engineer retained by Removal and Salvage Subcontractor indicating design of all temporary bracing, shoring, and other provisions required to ensure stability of protection.
 - 1. All drawings and calculations shall bear the Engineer's original signature and seal indicating the Engineer's State of Massachusetts Registration.

1.06 STANDARD OF CARE

- A. General: Before beginning general selective removal and salvage work, perform removal and salvage of selected units as described below to establish a standard of care for work of this Section. Do not proceed with selective removal and salvage work until Architectural Conservator has approved standard of care associated with activities below.
 - 1. Elements to be removed to establish a standard of care will be selected by Architectural Conservator.
 - 2. Notify Architectural Conservator 48 hours prior to start of each removal.
 - 3. Use crew that will execute the work and follow requirements of this Section.
 - 4. Repeat removals as necessary to obtain Architectural Conservator's approval.
 - 5. Protect removed elements to ensure that they are without damage, deterioration, or alteration at time of Substantial Completion.
 - 6. Approved removals above will represent minimum standards for selective removal and salvage work.
 - 7. The following elements will be removed to establish a standard of care:
 - a. Removal of Storefront Frame for Salvage: One Location.
 - b. Removal of Carved Limestone for Salvage: One Unit.
 - c. Removal of Painted Plywood Art for Salvage: One Panel.

1.07 PROJECT CONDITIONS

- A. Shoring and Bracing: Provide temporary shoring and bracing as required to ensure stability of all components of the work.

- B. Coordination: Coordinate work of this Section with work of other sections to ensure proper completion of the Work.
- C. Security: Ensure that materials and elements to be removed and stored are secure from theft, defacement, or other actions detrimental to use of elements and materials in restored construction at all times.
- D. Ownership: All elements and materials indicated to be selectively removed and salvaged are the property of the Authority.
- E. Laws and Regulations: Perform all work of this Section in compliance with all applicable federal, state, and local laws and regulations.
 - 1. Comply with ANSI/NFPD 241 "Building Construction and Demolition Operations."
 - 2. Hazardous Materials: If hazardous materials are encountered during removal work notify engineer.
 - 3. Disposal of Waste Materials: Handle, transport, and dispose of removed existing materials and excess new materials in compliance with all applicable laws and regulations.
- F. Protection of Persons: Take all necessary measures to protect all persons, whether or not they are involved with work of this Section, from harm caused by work of this Section.
- G. Protection of Historic Building Elements: Protect historic building elements being removed for storage from damage or deterioration caused or allowed to occur by work of this Section using all means necessary. Repair or replace materials or finishes damaged as a result of work of this Section to satisfaction of Architectural Conservator at no additional cost.
 - 1. Protection from Weather.
 - 2. Protection from Fire.
- H. Protection of Site and Surroundings: Protect adjacent buildings, (including the Ferdinand Building), site, landscape features, public rights of way, motor vehicles, and other surrounding elements from damage and deterioration resulting from work of this Section.
- I. Dust Control: Take appropriate action to limit spread of dust and to avoid creation of a nuisance in surrounding areas. Refer to Section 01568, Dust Control.
- J. Selective Salvage and Storage Drawings: The Selective Salvage and Storage Drawings are two-dimensional representations of three-dimensional objects and do not show all surfaces. Perform work on all surfaces of projections, reveals, parapets, and other elements associated with areas on which work is indicated.

1. Questions regarding historic building element salvage and storage should be clarified with the Architectural Conservator before work proceeds.

PART 2 – PRODUCTS

2.01 PROTECTION MATERIALS

- A. General: Provide materials that will fulfill requirements specified as indicated for each use in approved Selective Salvage and Storage Program. Materials shall be suitable for use intended and shall not in any way cause damage or deterioration of materials and elements protected.
 1. Separate materials and elements protected from contact with any material used for protection that might stain or discolor them.
- B. Resilient Materials: Natural or synthetic batting, foam boards, bubble wrap, and other approved cushioning materials that are non-staining and non-abrasive.
- C. Rigid Materials: Plywood, minimum 3/4-inch thick, and other approved materials. Reinforce sheet materials as required to resist deflection and impact damage using sound wood members.
- D. Anchors and Fasteners: Of suitable size and design for use intended. Fasteners shall be of stainless steel (Series 300), except that fasteners for use in protection of copper-alloy elements shall be of compatible copper alloy.

2.02 TOOLS AND EQUIPMENT

- A. General: Use tools and equipment approved by Architectural Conservator that will not damage historic elements and materials that are to remain in place or those that are to be removed for salvage and restoration.
- B. Tools for Removing Mortar from Joints in Stonework: Special knives, special thin cutter blades, hand-operated hacksaw blades, hand-operated abrasive-coated reciprocating saw blades, or other similar blades no thicker than 5/8 times joint width.
- C. Equipment for Handling Limestone Units: Suction cups and wood and plastic tools that will not damage or mar surfaces and arrises. Ensure that tools will not stain materials handled. Do not use metal tools directly in contact with stone; provide wood or other suitable protection.
- D. Tools for Removing and Disassembling Metal-Clad Wood Storefront Frames: All metal-clad wooden elements are to be disassembled with Sawz-Alls. Flat bars may be used as needed, but must not damage or crush wood in any way.
 1. Crowbars may not be used in any circumstances.

- E. Tools for Removing Painted Plywood Art: Special thin non-corrosive blades to separate plywood from backing without damaging painted art in any way.

PART 3 – EXECUTION

3.01 PROTECTION

- A. General: Provide protection to prevent damage to, or deterioration of, building elements and materials to be removed for storage and reuse and to neighboring buildings. Removal and Salvage Subcontractor shall repair or replace all building components and finishes damaged or deteriorated as a result of work of this Section to Architectural Conservator's satisfaction at no additional cost.

3.02 INSPECTION

- A. Inspect existing conditions, including elements subject to damage or to movement, frequently during selective salvage and storage work.
- B. Report problems with building materials or conditions to Architectural Conservator in writing. Do not proceed with work until Architectural Conservator has provided further instructions.

3.03 DISASSEMBLY – GENERAL

- A. Removal and Salvage Subcontractor will work with the project's Architectural Conservator to determine order of removal, method of removal and labeling, condition evaluation, and layout of all historic building fabric.
- B. Execute cutting and removals by methods that will prevent damage to the historic building elements.
 - 1. Crowbars may not be used under any circumstances.
- C. Label each historic building element as it is removed from the structure for storage according to the methodology prepared prior to the start of disassembly.
- D. Proceed with removals in a systematic manner, as directed by the Architectural Conservator.

3.04 LAYOUT OF DISASSEMBLED HISTORIC BUILDING FABRIC

- A. Removal and Salvage Subcontractor shall provide space with adequate lighting to layout historic building elements as they are disassembled.

- B. Historic building elements shall be laid out to document its condition and method of assembly.
- C. After the historic building elements have been documented by the Architectural Conservator, they will be prepared for storage by the Removal and Salvage Subcontractor.

3.05 STORAGE

- A. Removal and Salvage Subcontractor shall move all of the historic building elements removed from the Guscott Building to the weather-tight and secure storage space provided by the Authority in the Ferdinand Building.
- B. Historic building elements will be stored as follows:
 - 1. All elements shall be stacked and supported so that they incur no damage during storage.
 - 2. Elements that will require repair or replication shall be accessible during storage.

3.06 DISPOSAL OF REMOVED MATERIALS

- A. Materials or items demolished and removed that are not designated to be reinstalled shall become property of Contractor. Refer to Section 02060, Building Demolition.

Appendix A – Selective Salvage and Storage Drawings

The Selective Salvage and Storage Drawings listed below are attached to, and form a part of, this Section. Refer to paragraph 1.02 A.1.

Listing of Selective Salvage and Storage Drawings

- Drawing 1 of 4: Selective Salvage and Storage Drawing – East Elevation
- Drawing 2 of 4: Selective Salvage and Storage Drawing – South Elevation
- Drawing 3 of 4: Selective Salvage and Storage Drawing – West Elevation
- Drawing 4 of 4: Selective Salvage and Storage Drawing – North Elevation

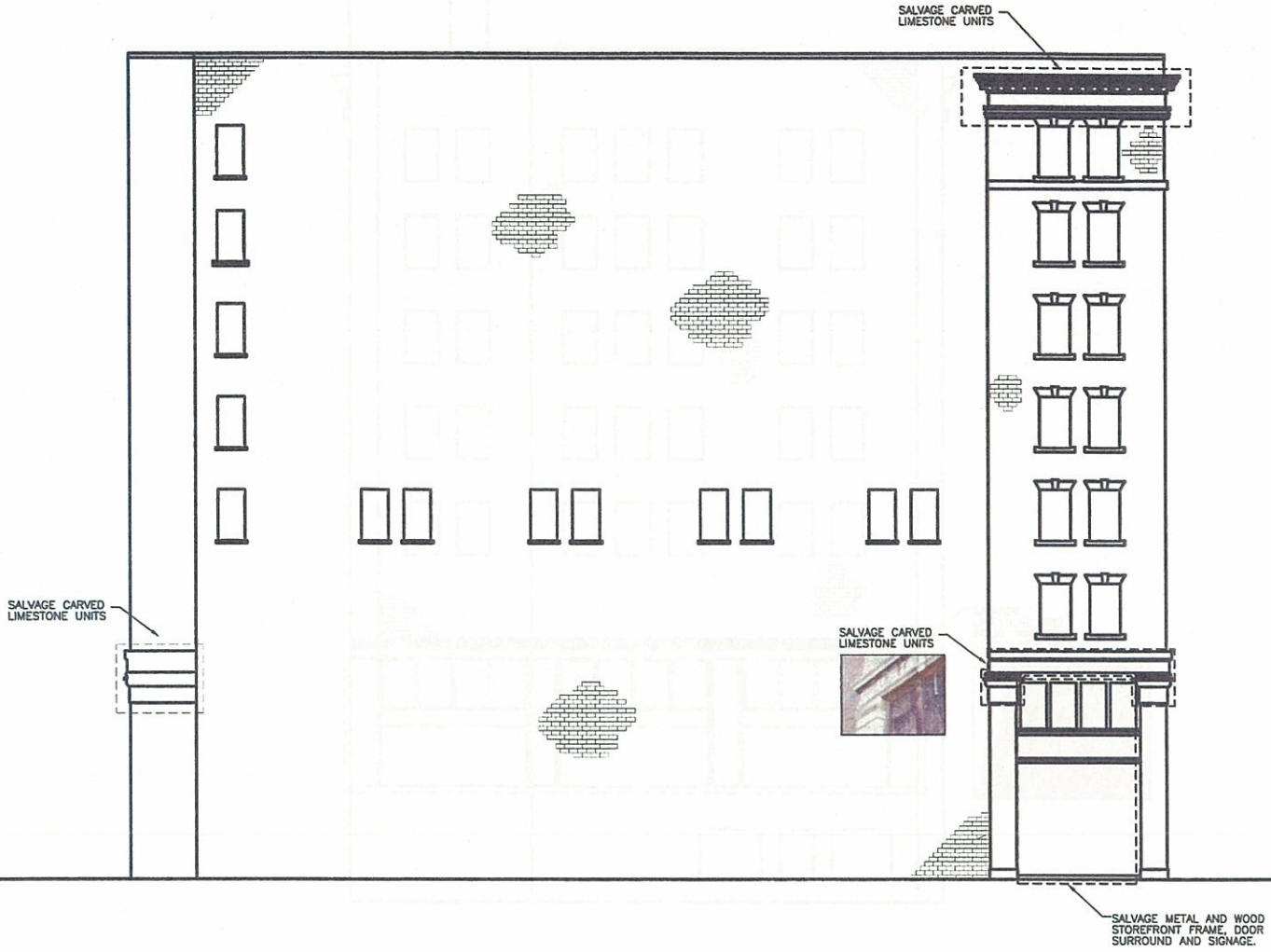
END OF SECTION



 = MATERIAL TO BE SALVAGED



EAST ELEVATION
 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

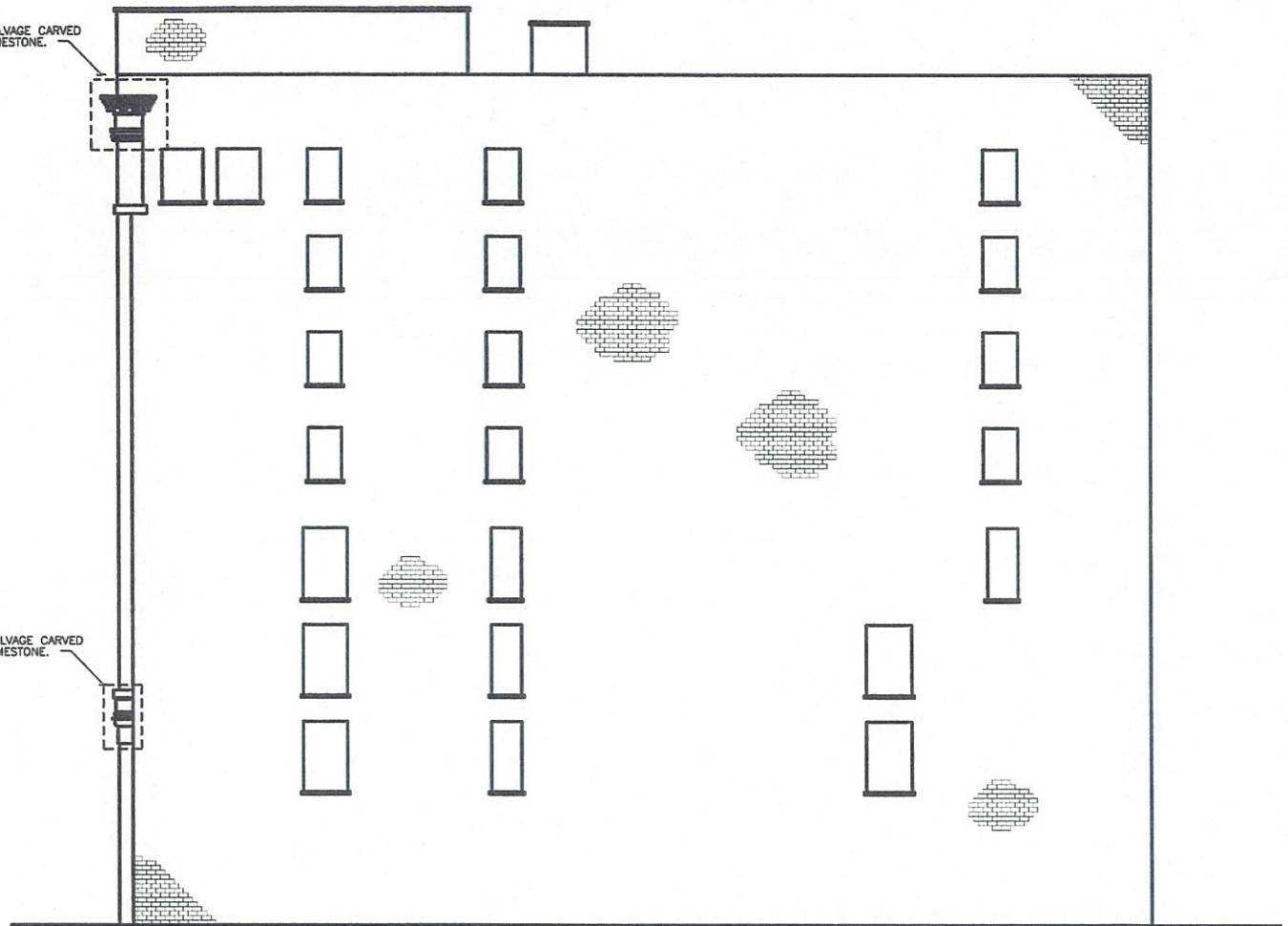
Selective Salvage and Storage – South Elevation
 Guscott Building, Roxbury, MA
 Drawing 2 of 4

Date: October 2007
 Drawn by: NM
 Scale: NTS

BCA
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SALVAGE CARVED LIMESTONE.

SALVAGE CARVED LIMESTONE.



— MATERIAL TO BE SALVAGED

NORTH ELEVATION
SCALE: 1/8" = 1'-0"

Selective Salvage and Storage – North Elevation
Guscott Building, Roxbury, MA
Drawing 4 of 4

Date: October 2007
Drawn by: NM
Scale: NTS

BCA
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