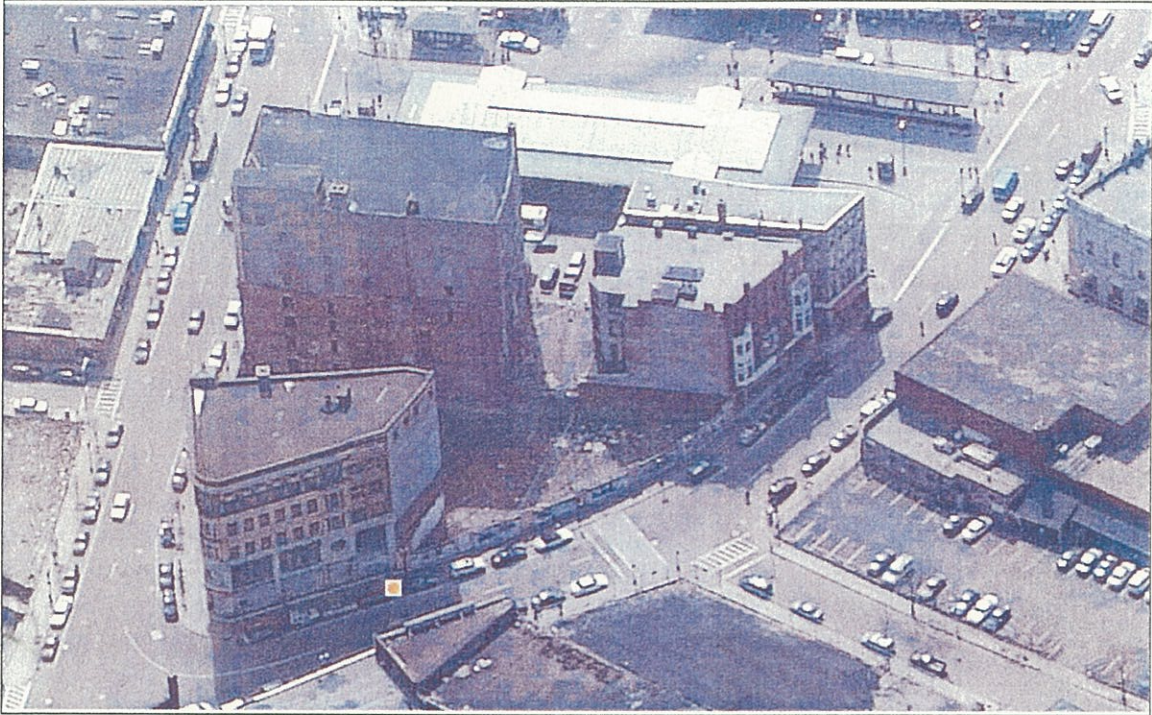




**Article 85 Review – Boston Zoning Code
17-19 Warren Street “Ferdinand’s Blue Store Addition”,
Roxbury, Boston, MA**

Engineering Design for Environmental Remediation
and Site Clearance at Dudley Square
Boston Redevelopment Authority
Project No. 5076



Submitted to: **Boston Landmarks Commission**
One City Hall Square, Room 805
Boston, MA 02201

Submitted by: **Boston Redevelopment Authority**
One City Hall Square
Boston, MA 02201



July 6, 2007

July 6, 2007

Ellen Lipsey, Executive Director
Boston Landmarks Commission
Boston City Hall, Room 805
Boston, MA 02201

Re: Article 85 Application for 17-19 Warren Street, Roxbury, MA
New City Municipal Building
Phase 1 - Engineering Design for Environmental Remediation and
Site Clearance at Dudley Square, Roxbury, MA

Dear Ms. Lipsey:

Enclosed for filing pursuant to Article 85 of the Boston Zoning Code is an Application Form and all required supporting documentation for a demolition permit requested by the Boston Redevelopment Authority (BRA) for the building located at 17-19 Warren Street, "Ferdinand's Blue Store Addition", also known as the "Guscott Building", in Roxbury, MA.

The City of Boston will submit a separate Article 85 application, at a later date, for partial removal of the Ferdinand's Blue Store at 2260-2272 Washington Street. The prominent and ornate façade and part of the structure of Ferdinand's Blue Store will be preserved and integrated into the new city municipal building proposed for the site. Both actions are part of comprehensive program for the new building on this prominent Dudley Square site, whose buildings have been neglected and vacant for more than 30 years, despite several unsuccessful past attempts at redevelopment. The BRA and the City of Boston are firmly committed to ensuring that this project achieves the greatest possible extent of preservation of the major building on the site, and that the new construction is completed to bring new vitality to the Dudley Square neighborhood.

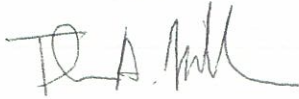
The BRA recommends that the BLC find the Ferdinand's Blue Store Addition building at 17-19 Warren Street significant, as defined in Article 85 of the Boston Zoning Code for the reasons stated in the enclosed application. BRA's future proposal to demolish the Ferdinand's Blue Store Addition building will allow the larger site to be used for the new city municipal building that will incorporate the adjacent historic façade and a portion of the structure of the Ferdinand's Blue Store Building at 2260-2272 Washington Street. We request that the BLC find the Addition building as not preferably preserved in the

Ellen Lipsey, Executive Director
Boston Landmarks Commission
Page 2

context of the proposed project and make a determination of “no feasible alternative to demolition”.

Thank you for your consideration of this important project.

Sincerely,

A handwritten signature in black ink, appearing to read "Tom Miller", written over a horizontal line.

Tom Miller
Director of Economic Development

Enclosures

TABLE OF CONTENTS

Transmittal Letter

1.0 Application Form

2.0 Project Summary – Article 85 Application Continuation.....	1
2.1 Site and Buildings, Description and Significance.....	1
2.2 Project Background.....	2
2.3 Project Summary.....	3

Appendix A - Ownership

Order of Taking

Appendix B – Correspondence

Massachusetts Historical Commission Letter, May 18, 2005

Letter from Boston Inspectional Services Department

Appendix C – Existing Conditions Site Plans and Photographs

Site Plans

Aerial Photographs

Photographs of Building

Appendix D – Historic Documents

Dudley Station National Register Historic District Map

17-19 Warren Street, MHC Inventory Form

Appendix E – Current Reports

Dudley Square Vision 2007, Mayor’s Office, 2007.

Structural Inspection and Investigation Report for Guscott Building. Jacobs Engineering Group, Inc. for Boston Redevelopment Authority June 2007.

Memorandum on Adaptive Reuse, Stull and Lee, Inc., June 15, 2007.

Appendix F – Prior Planning Studies

Roxbury Center at 17 Warren Street Reuse Study. Stull and Lee, Inc., 2003.

Dudley Space Plan 2000 – Scheme 1, Stull and Lee, Inc. 2000.



**APPLICATION
ARTICLE 85 REVIEW**

Please hand
carry or mail to:
Boston City Hall, Room 805
Boston, MA 02201
DO NOT RETURN THIS FORM BY FAX
FAXED APPLICATIONS WILL BE REJECTED

For BLC Use Only

APPLICATION NO.: _____
DATE RECEIVED: _____
HEARING DATE: _____

I. ADDRESS 17-19 Warren Street, Dudley Square, Roxbury (include neighborhood)

II. APPLICANT Boston Redevelopment Authority PHONE 617.722.4300

ADDRESS One City Hall Square, Boston, MA ZIP CODE 02201
(include city or town)

PROPERTY OWNER Boston Redevelopment Authority PHONE _____

ADDRESS Same ZIP CODE _____
(include city or town)

DOES THIS PROPOSED PROJECT REQUIRE ZONING RELIEF? No

III. DESCRIPTION OF PROPOSED WORK: briefly summarize the scope of work. Additional pages may be attached, if necessary, to provide more detailed information, but a **brief outline of the proposed work must be given in the space provided below**. This description provides the basis for the official notice and subsequent decision, and it must clearly represent the entirety of the project.

The Boston Redevelopment Authority for the City of Boston proposes to prepare the site at the intersection of Warren and Washington Streets in Roxbury for redevelopment for a new Dudley Office Building for city offices. The site is within the Dudley Station Historic District, which is listed in the State and National Registers of Historic Places and includes two contributing historic buildings, Ferdinand s Blue Store at 2260-2272 Washington Street and Ferdinand s Blue Store Addition (aka Guscott Building) at 17-19 Warren Street, and a vacant lot. This application pertains to the Addition, which is proposed to be demolished. A separate request will be made for partial demolition of Ferdinand s Blue Store, which will provide for preservation and restoration of the historically and architecturally significant fa ade and retention of side elevations and the majority of the structure to be integrated into the new construction that will help revitalize the core of the Dudley Square area on a site that has been vacant for more than 30 years. (Continued)

IV. DOCUMENTATION: Required documentation must be submitted with this application to receive a hearing date. **Failure to include adequate documentation will cause a delay in the review process and may result in a rejected application.** A list of required documentation has been provided with this packet.

V. NOTARIZED SIGNATURES (both required) **Unsigned or partially signed forms will be rejected.**

Applicant: _____ Owner*/Landlord: _____

***(If building is a condominium or cooperative, the chairman must sign.)**

SIGNATURE PAGE TO
ARTICLE 85 REVIEW APPLICATION

APPLICANT/OWNER:

BSOTON REDEVELOPMENT AUTHORITY

By: _____

Title: _____

COMMONWEALTH OF MASSACHUSETTS

Suffolk County

On this _____ day of _____, 2007, before me, the undersigned notary public, personally appeared _____, proved to me through satisfactory evidence of identification, which was (personal knowledge), to be the person whose name is signed on the preceding or attached documents, and acknowledged to me that s/he signed it voluntarily for its stated purpose.

Notary Public

My Commission Expires: _____

[Seal]

Article 85 Review Application Continuation

2.0 Article 85 Application Continuation

2.1 Site and Buildings, Description and Significance

The proposed 33,000 square-foot new Dudley Office Building site is a triangular parcel located at the intersection of Warren and Washington Streets in the center of Dudley Square in Roxbury. The property is owned by the BRA (Appendix A). It includes the two mentioned vacant buildings, a vacant lot that contained a four-story building at 15 Warren Street that was demolished about 1992, and the vacant right-of-way of the former elevated Orange Line (El) (Appendix C).

The site is within the Dudley Station Historic District, which is listed in the State and National Registers of Historic Places. The Ferdinand's Blue Store at 2260-2272 Washington Street and Ferdinand's Blue Store Addition (also known as the Guscott Building) at 17-19 Warren Street are contributing resources within the historic district and are included in the Inventory of the Historic Assets of the Commonwealth maintained by the Massachusetts Historical Commission (Appendix D). Centered on the copper-clad, formerly elevated rail complex, the Dudley Station Historic District is distinguished by brick commercial blocks and apartment hotels that reflect the prosperity of this major urban transportation and commercial node in the late nineteenth and early twentieth centuries.

The Addition was considered and not accepted as a potential landmark by the BLC. Ferdinand's Blue Store is pending landmark designation.

Ferdinand's Blue Store Addition at 17-19 Warren Street was built in 1922 and designed by Harold Field Kellogg. The eight-story building, the tallest building in Dudley Square at the time, is constructed of steel and concrete with yellow brick façade, red brick side and rear walls, and cast stone detailing. It features a two level store front of cast iron, large display windows, and a prominent cornice with classical ornamentation. The rear of the building is angled to follow the El right-of-way, and second floor display windows faced Dudley Station's northbound platform, now removed. The Addition was connected to the main Ferdinand's Blue store, a furniture store, by an intervening building that has been demolished. The Addition was used for furniture retail, warehouse, showrooms, and offices (Appendices C and D).

Vacant since about 1962, Ferdinand's Blue Store Addition has suffered extensive deterioration as a result of lack of maintenance, vandalism, and excessive water infiltration, primarily through the roof, walls, and open windows. Asbestos-containing materials, lead paint, and extensive mold are present in the building. All interior finishes have been removed. A recent structural inspection and investigation report to assess conditions for demolition workers noted deteriorated concrete covering and exposed rusted steel members, badly deteriorated window frames and lintels, fallen plaster, and some significant cracking of the concrete. However, the structural elements – exterior walls, base slab, beams and columns – were found to possess a moderate degree of deterioration considering the age of the building and its lack of periodic maintenance. No

Article 85 Review Application Continuation

visible signs of serious structural distress or failure were observed. The report concluded that reuse of the building does not appear feasible from a structural and building systems perspective in light of the extensive deterioration and lack of compliance with current building codes and seismic requirements (Jacobs Engineering Group Inc. 2007, Appendix E). A letter from Boston Inspectional Services Department confirming the deteriorated condition of the Addition is included in Appendix B.

2.2 Project Background

The Dudley Station/Square area experienced economic decline in the second half of the twentieth century, witnessed in the closure of Ferdinand's Blue Store complex which has been abandoned and neglected since the 1960s. During the last few decades, public and private investment in Dudley Square has infused new economic and social vitality into the neighborhood and resulted in the redevelopment of numerous existing buildings including Hibernian Hall, Dartmouth Hotel, Palladio Hall, The Fairfield Building, and 2201 Washington Street.

As part of the City of Boston's Roxbury Strategic Master Plan: Building a 21st Century Community, the "Roxbury Plan" (BRA 2004), Mayor Menino and the City of Boston committed to acquire the site and pledged to relocate several city agencies to a new Dudley Office Building to be constructed on the site. This commitment followed on from years of repeated unsuccessful attempts by private and public sector entities to redevelop the site, including the proposed relocation of the State Department of Public Health (DPH) to the Ferdinand Blue Store. The City acquired the site through eminent domain in October 2004.

The redevelopment of this key site in Dudley Square has widespread support in the community, as reflected in the three-year effort of residents and government in preparing the Roxbury Plan, to create more economic, social, and educational opportunities in Roxbury. There was broad support for the DPH relocation proposal, which did not come to fruition. This new project, which is not contingent on any one State agency, is a substantial commitment of the City to the revitalization of the Dudley Square neighborhood. While the community will be concerned that any new demolition sites are developed in a timely fashion and kept secured and neat in the interim, it is anticipated the people of Roxbury will be in favor of demolition of the Addition as the necessary first step towards the goal of complete revitalization of this prominent site in Dudley Square.

Rehabilitation and reuse of the Addition at 17-19 Warren Street has been considered directly on at least three occasions since the early 1980s. Each time, analyses completed by Stull and Lee, Inc., architects and planners, showed significant economic challenges and no viable project emerged. The extremely poor net (usable) to gross (total) floor plate ratio suggests non-feasibility in the private development market, especially so when coupled with new seismic code structural design requirements and the existing deteriorated state of the structure resulting from long-term abandonment. The 2003 reuse study and a summary of all the studies are in Appendix F. Reuse studies were also completed for the Ferdinand Building, one example of which, Scheme 1 of 2000, is also

Article 85 Review Application Continuation

included in Appendix F. Due to the history of failed attempts to adaptively reuse the Addition in the past, either as an independent project or in conjunction with the Ferdinand building, no further reuse studies have been undertaken by the BRA.

In terms of coordination with other reviews, in April 2005, the BRA transmitted preliminary materials regarding proposed project plans at the time for the Ferdinand's Blue Store and Addition. In a letter of May 18, 2005 to the BRA, the MHC stated that the buildings are listed in the State and National Registers as contributing elements in the Dudley Station Historic District, which is listed, and requested that a Project Notification Form (PNF) and supporting documents be filed (Appendix B). The BRA prepared a Draft Expanded PNF in May 2005; however it was not submitted.

2.3 Project Summary

The BRA's vision for the project involves preservation of the ornate street-facing façade, side elevations, and the majority of the structure of the Ferdinand's Blue Store, with construction of the new nine-story, mixed use Dudley Office Building to the rear on the vacant lot and the site of the Addition. At the present time, the new building is expected to be between 10 and 14 stories tall. The new construction will be set back to retain the original structure and floor levels, and to allow the historic building to continue to read as a discrete entity separate from the new construction. Removal and salvage of the storefronts of the Addition for other use will occur, and a reference to the rear wall curvature and the second floor display windows will also be considered for integration into the new building and site design.

The BRA has selected this option following careful consideration of options, and discussion with the BLC. The preservation in place of the main character-defining feature of the Ferdinand's Blue Store – its street façade –, along with the massing and structure of the building, and the introduction of a new office building in a way that will ensure the continued presence of this signature building at the prominent intersection of Washington Street and Warren Street in Dudley Square.

The BRA is pursuing the project in two phases. Phase 1 is the engineering design for environmental remediation and building demolition, which will be followed by Phase 2 involving the architecture and design for the new construction. The proposed demolition of the Ferdinand's Blue Store Addition is occurring under Phase 1. Space planning studies are scheduled to be completed as part of Phase 1, along with a programming update. The need for zoning relief will be determined at that time.

The BRA and the City are committed to proceeding towards Phase 2, as Phase 1 is completed. Mayor Menino recently reiterated this commitment in remarks on June 9, 2007 at a Dudley Square Community Meeting that the City has set aside \$27.6 million to lay the groundwork for the refurbishment and façade rehabilitation of the former Ferdinand Building to provide for City offices and retail and that Phase 2 of the project will begin in August 2007 with the issuing of a Request for Proposals and selection of a

**Article 85 Review Application
Continuation**

design team. The Dudley Square Vision 2007 images presented at the meeting are included in Appendix E.

Currently no State funding or permitting is identified for the project. However, the BRA intends to coordinate with the MHC and to complete any required MHC and MEPA reviews. A community process to provide information about and receive public comments on the proposed project is being designed. It will include an informational public meeting that will be held prior to the BLC's hearing on this application.

APPENDIX A – OWNERSHIP

COMMONWEALTH OF MASSACHUSETTS



Bk: 39206 Pg: 83 Doc: OOT
Page: 1 of 4 03/15/2008 10:19 AM

SUFFOLK, SS.

BOSTON REDEVELOPMENT AUTHORITY

ORDER OF TAKING

WHEREAS, the Boston Redevelopment Authority ("Authority"), a public body politic and corporate, duly organized and existing pursuant to Massachusetts General Laws Chapter 121, as superseded and amended by its successor Chapter 121B, as amended, in pursuance of its powers as set forth in Chapter 121B, Section 46(f) and set out in said laws and every power thereunto enabling, determined that the areas located within the City of Boston and described in Annex A (the "Property"), constitutes a substandard, decadent and blighted area as defined in Chapter 121B, as amended; and

Attested hereto
Francis M. Roache
Register of Deeds

WHEREAS, the Boston Redevelopment Authority has deposited with the Mayor of the City of Boston security to his satisfaction for the payment of such damages as may be awarded in accordance with law to the owner or owners of said area, as required by G.L. c. 79, § 40.

NOW, THEREFORE, BE IT ORDERED that the Boston Redevelopment Authority, acting under the provisions of said c. 121B, and all other authority thereunto enabling and pursuant to the applicable provisions of Massachusetts General Laws Chapter 79, and of any and every power and authority to it, granted or implied, hereby takes for itself in fee simple by eminent domain, for the purposes hereinbefore set forth or referred to, the area located in the City of Boston as hereinafter described in ANNEX A, together with any and all easements and rights appurtenant thereto, including the trees, buildings and other structures standing upon or affixed thereto, and including the fee, if any, in all public streets, highways, and public or private ways in said area or areas or contiguous and adjacent to the Property taken hereby, except all leasehold rights and rights under agreements given by and made with the Boston Elevated Railway Company and subject to all rights of the Boston Elevated Railway Company under any existing leases, agreements or otherwise and excepting any portion or portions thereof which have been taken by eminent domain by and or conveyed to said Boston Elevated Railway Company.

AND FURTHER ORDERED, that in accordance with the provisions of the General Laws, awards are made by the Authority for damages sustained by the owner or owners and all other persons including all mortgagees of record having any and all interest in each parcel

Boston Redevelopment Authority
One City Hall Square
Boston, MA 02201
ATTN: BROPHY

Plan _____
Book 2006 Page 214


described in ANNEX A and entitled to any damages by reason of the taking hereby made. The Authority reserves the right to amend the award at any time prior to the payment thereof by reason of a change in ownership or value of said property before the right to damages therefor has become vested or for other good cause shown. The awards hereby made are set forth in ANNEX B, which ANNEX B is not to be recorded in the Registry of Deeds with this Order of Taking.

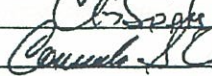
AND FURTHER ORDERED, that the Secretary of the Boston Redevelopment Authority cause this instrument of Taking to be recorded in the Office of the Suffolk County Registry of Deeds.


IN WITNESS WHEREOF, the members of the Authority have caused the corporate seal of the Authority to be hereto affixed and these presents to be signed in the name and behalf of the Boston Redevelopment Authority.


DATED : February 16, 2006

BOSTON REDEVELOPMENT AUTHORITY









ATTEST:



Secretary of the Boston Redevelopment Authority

APPROVED AS TO FORM:



Kevin J. Morrison
General Counsel

ANNEX A

BOSTON REDEVELOPMENT AUTHORITY

TAKING AREA DESCRIPTION

That certain parcel of land shown on a plan entitled "Boston Redevelopment Authority, Taking Plan, No. 17-19 Warren Street, Ward 9, Parcel 3140, Boston (Roxbury), Mass." prepared by Harry R. Feldman, Inc., and dated March 6, 2006, which plan is recorded herewith. Said parcel contains 7,132 square feet.

The supposed owner of the above parcel is the Manchioneal Associates, Inc.

COMMONWEALTH OF MASSACHUSETTS

SUFFOLK, SS.

RESOLUTION

BE IT RESOLVED by the Boston Redevelopment Authority that an ORDER OF TAKING dated February 16, 2006, relating to a certain parcel of land located at 17 Warren Street, in the Roxbury section of Boston, Suffolk County, Commonwealth of Massachusetts, be executed and made a permanent part of these proceedings, a copy of which the Secretary shall cause to be recorded in the Office of the Registry of Deeds for the County of Suffolk.

A true copy.

CERTIFICATE

I hereby certify that the following names constitute the entire membership of the Boston Redevelopment Authority:

Clarence J. Jones
Consuelo Gonzales Thornell
Michael Taylor

Joseph W. Nigro, Jr.
Christopher J. Supple

A true copy.

ATTEST:


Secretary of the Boston Redevelopment Authority

APPENDIX B - CORRESPONDENCE

RECEIVED
MAY 23 2005



BY:

May 18, 2005

The Commonwealth of Massachusetts
William Francis Galvin, Secretary of the Commonwealth
Massachusetts Historical Commission

Thomas A. Miller
Director of Economic Development
Boston Redevelopment Authority
One City Hall Square
Boston, MA 02201-1007

RE: Dudley Office Building / Ferdinand Blue Store, 2262 Washington Street and 17 Warren Street,
Boston (Roxbury), MA; MHC# RC.37053

Dear Mr. Miller:

The Massachusetts Historical Commission has reviewed the information you submitted, received April 25, 2005, concerning the proposed project referenced above. The property at 9-15 Warren Street, also addressed as 2260-2272 Washington Street and historically known as Ferdinand's Blue Store, and the property at 17-19 Warren Street, historically known as Ferdinand's Blue Store Addition, are located within the Dudley Station Historic District and are listed in the State and National Registers of Historic Places. After a review of the information submitted, MHC staff have the following comments.

The proposed project involves the restoration of the street facades of the existing historic buildings and the construction of a new office building with ground floor retail space on the two vacant lots between the two historic buildings. The MHC understands that the proposed project is in the early stages of development and that you would like to schedule a meeting with the MHC to obtain input on the design of the proposed project.

The MHC would be pleased to meet with you, your staff, and the Boston Landmarks Commission regarding the proposed project. Please contact Ryan Maciej at this office to schedule a meeting. In advance of the meeting, please submit current original photographs of the subject properties and adjacent properties, keyed to a sketch map; project plans and elevations; and a detailed project description. In addition, please submit a Project Notification Form, which can be downloaded from the MHC website at www.sec.state.ma.us/mhc, indicating the state and/or federal funding, licensing, or permitting associated with the proposed project as soon as this information becomes available. The MHC looks forward to receiving and reviewing the above requested information.

These comments are offered to assist in compliance with Section 106 of the National Historic Preservation Act of 1966, as amended (36 CFR 800) and M.G.L. Chapter 9, Section 26-27C, as amended by Chapter 254 of the Acts of 1988 (950 CMR 71.00). Please do not hesitate to contact Ryan Maciej of my staff if you have any questions.

Sincerely,

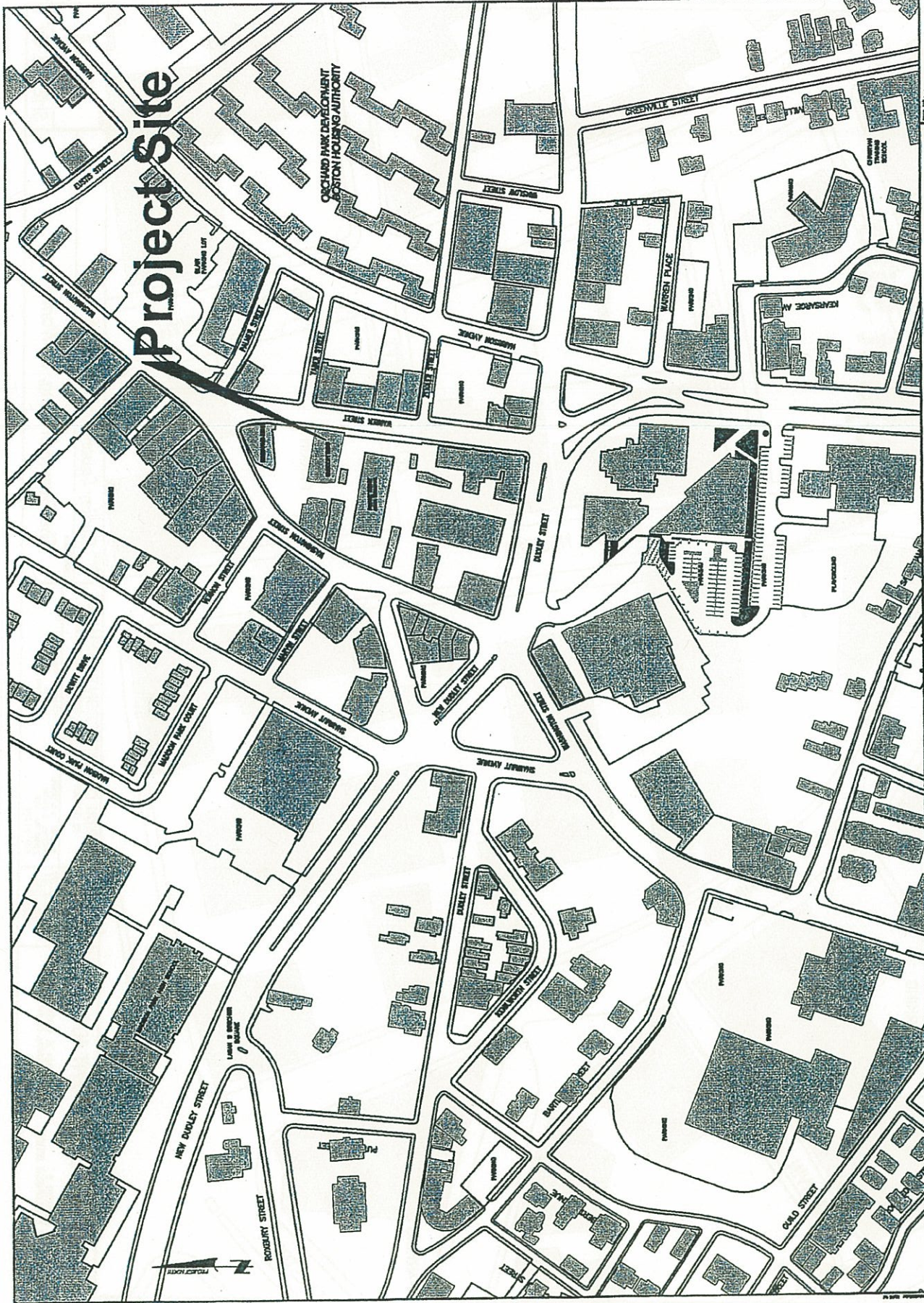
A handwritten signature in cursive script that reads "Brona Simon".

Brona Simon
Deputy State Historic Preservation Officer
Massachusetts Historical Commission

xc: Boston Landmarks Commission

220 Morrissey Boulevard, Boston, Massachusetts 02125
(617) 727-8470 • Fax: (617) 727-5128
www.state.ma.us/sec/mhc

APPENDIX C – EXISTING CONDITIONS SITE PLANS AND PHOTOGRAPHS



Project Site

CYCLAND PARK DEVELOPMENT,
BOSTON HOUSING AUTHORITY

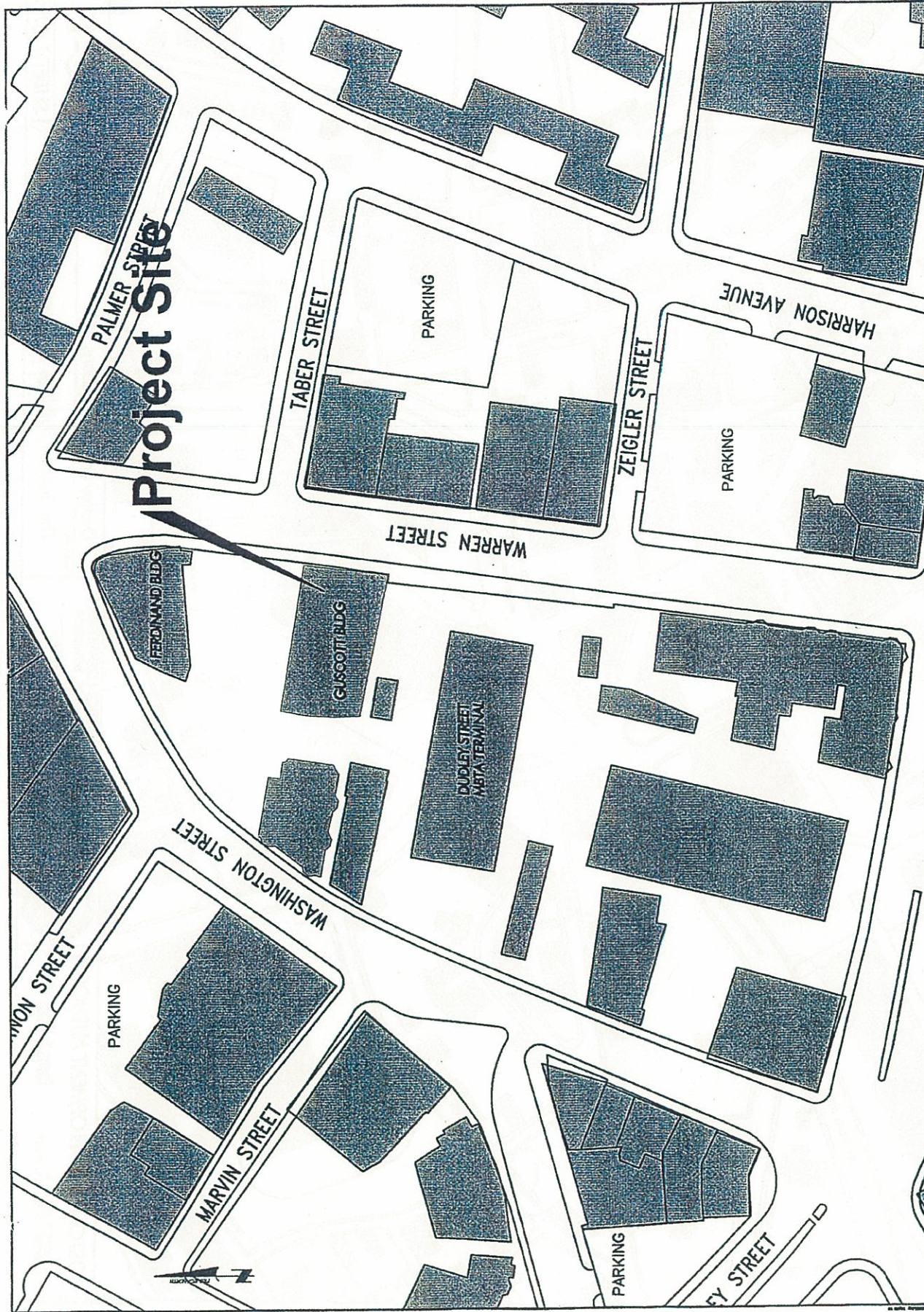
C-1
SHEET 1 OF 1

Dudley Square, Roxbury, MA
The Guscott Building, 17 Warren St

CAPITAL CONSTRUCTION DEPARTMENT
22 BENDOCK AVENUE, BOSTON, MASSACHUSETTS
(617) 725-6500



BOSTON REDEVELOPMENT AUTHORITY
BOSTON'S PLANNING & ECONOMIC DEVELOPMENT OFFICE
Thomas M. Menino, Mayor
Mark Walinsky, Director



C-1
SHEET 1 OF 1

Dudley Square, Roxbury, MA
The Guscott Building, 17 Warren St

CAPITAL CONSTRUCTION DEPARTMENT
22 DUNDON AVENUE, SOUTH BOSTON, MASSACHUSETTS
(617) 732-4300

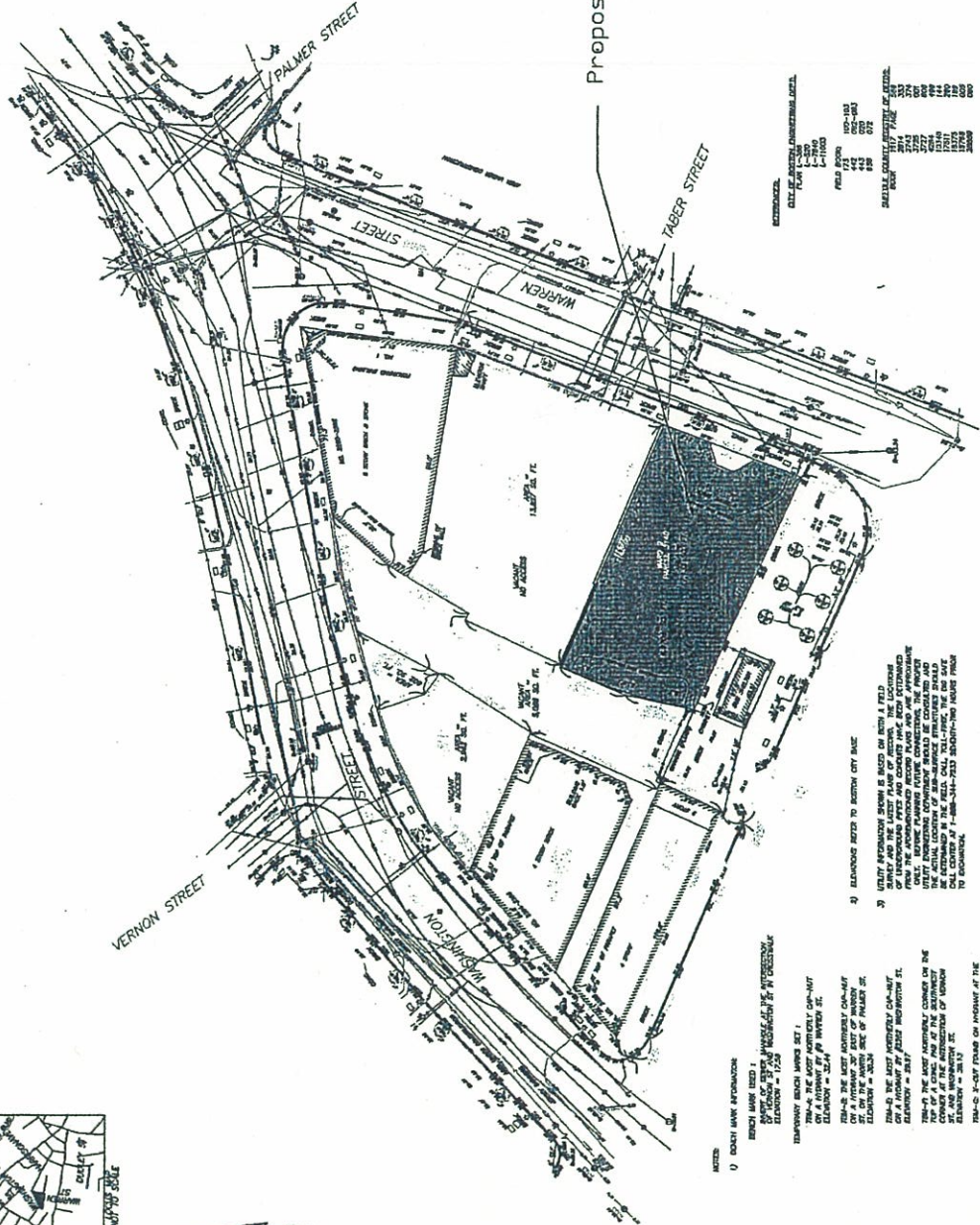


BOSTON REDEVELOPMENT AUTHORITY
BOSTON'S PLANNING & ECONOMIC DEVELOPMENT OFFICE
Thomas M. Menino, Mayor
Mark Maloney, Director



LEGEND

1	NEW MANHOLE	1	RELOCATED FIRE
2	SEWER MANHOLE	2	NEW OR EXISTING
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4	ELECTRIC MANHOLE	4	TOP OF FINISH
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EXISTING UTILITIES

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1-1000	100-144
1-1000	100-145
1-1000	100-146
1-1000	100-147
1-1000	100-148
1-1000	100-149
1-1000	100-150

3) ELEVATIONS REFER TO BOSTON CITY RACE

3) UTILITY INFORMATION SHOWN IS BASED ON BEST AVAILABLE FIELD DATA AND SHOULD BE CHECKED AGAINST THE RECORD DRAWINGS OF UNDERGROUND UTILITIES AND CONDUCTED AS NECESSARY TO VERIFY THE LOCATION AND DEPTH OF UTILITIES. THE PROPOSED DEMOLITION SHALL BE CONDUCTED IN ACCORDANCE WITH THE ACTUAL LOCATION OF UTILITIES SHOWN ON THE RECORD DRAWINGS OF UNDERGROUND UTILITIES AND CONDUCTED AS NECESSARY TO VERIFY THE LOCATION AND DEPTH OF UTILITIES.

NOTES

- 1) CHECK MARK INFORMATION
- 2) CHECK MARKS SHOWN IN THIS PLAN ARE THE PROPERTY OF THE INTERESTED PARTY AND SHOULD BE CHECKED AGAINST THE RECORD DRAWINGS OF UNDERGROUND UTILITIES AND CONDUCTED AS NECESSARY TO VERIFY THE LOCATION AND DEPTH OF UTILITIES.
- 3) THE MOST ACCURATELY SHOWN ON A DRAWING OF THE RECORD DRAWINGS OF UNDERGROUND UTILITIES AND CONDUCTED AS NECESSARY TO VERIFY THE LOCATION AND DEPTH OF UTILITIES.
- 4) THE MOST ACCURATELY SHOWN ON A DRAWING OF THE RECORD DRAWINGS OF UNDERGROUND UTILITIES AND CONDUCTED AS NECESSARY TO VERIFY THE LOCATION AND DEPTH OF UTILITIES.
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- 6) THE MOST ACCURATELY SHOWN ON A DRAWING OF THE RECORD DRAWINGS OF UNDERGROUND UTILITIES AND CONDUCTED AS NECESSARY TO VERIFY THE LOCATION AND DEPTH OF UTILITIES.
- 7) THE MOST ACCURATELY SHOWN ON A DRAWING OF THE RECORD DRAWINGS OF UNDERGROUND UTILITIES AND CONDUCTED AS NECESSARY TO VERIFY THE LOCATION AND DEPTH OF UTILITIES.
- 8) THE MOST ACCURATELY SHOWN ON A DRAWING OF THE RECORD DRAWINGS OF UNDERGROUND UTILITIES AND CONDUCTED AS NECESSARY TO VERIFY THE LOCATION AND DEPTH OF UTILITIES.
- 9) THE MOST ACCURATELY SHOWN ON A DRAWING OF THE RECORD DRAWINGS OF UNDERGROUND UTILITIES AND CONDUCTED AS NECESSARY TO VERIFY THE LOCATION AND DEPTH OF UTILITIES.
- 10) THE MOST ACCURATELY SHOWN ON A DRAWING OF THE RECORD DRAWINGS OF UNDERGROUND UTILITIES AND CONDUCTED AS NECESSARY TO VERIFY THE LOCATION AND DEPTH OF UTILITIES.

BOSTON REDEVELOPMENT AUTHORITY

BOSTON'S PLANNING & ECONOMIC DEVELOPMENT OFFICE

Thomas M. Menino, Mayor
Mark Mahoney, Director

C-1

SHEET 1 OF 1

17-19 Warren St, Dudley Square, Roxbury, MA

Proposed Construction Plan, CP-1, Proj No. 5076

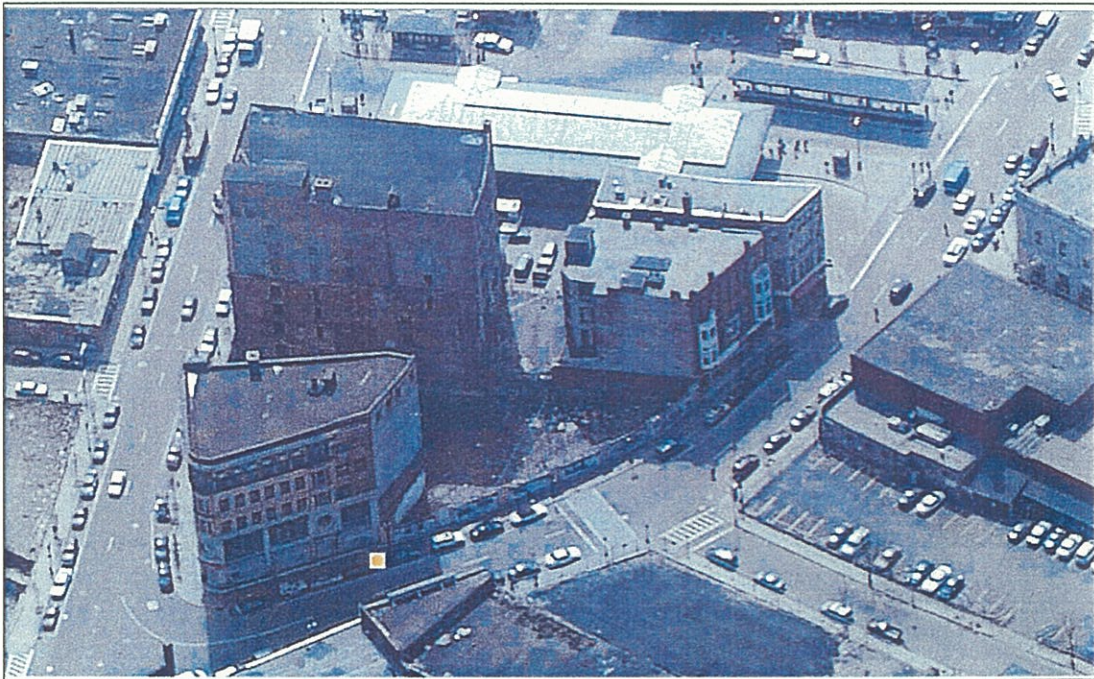
CAPITAL CONSTRUCTION DEPARTMENT
22 DORCHESTER AVENUE, SOUTH BOSTON, MASSACHUSETTS
(617) 722-4300

DATE: MAY 2004

FILE NO.: 03-000000-000
PAGE: 11
DATE: MAY 2004



Photograph 1. Aerial view of site, view north.



Photograph 2. Aerial view of site, view south.



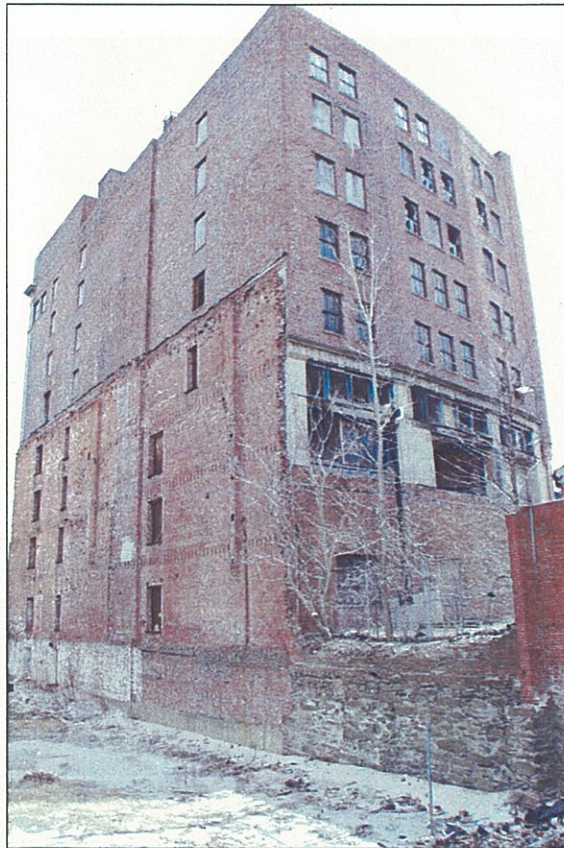
Photograph 3. Front and side elevations, view southwest.



Photograph 4. Side and rear elevations, view southeast.



Photograph 5. Side elevation, view south.



Photograph 6. Side and rear elevations, view southeast.



Photograph 7. Side and rear elevations detail, view southeast.



Photograph 8. Side and rear elevations detail, view northeast.



Photograph 9. Side elevation storefront detail, view north.



Photograph 10. Front elevation entrance detail, view west.



Photograph 11. Front elevation entrance detail, view west.



Photograph 12. Interior, first floor, view west.



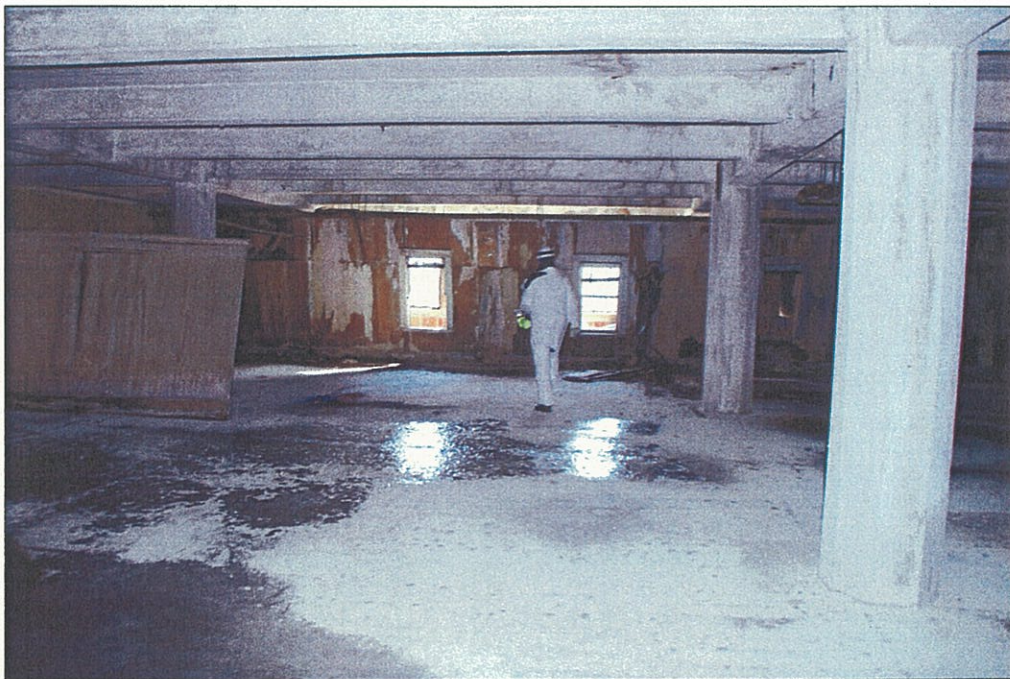
Photograph 13. Interior, basement typical view.



Photograph 14. Interior, , typical structure and layout of slab, columns, and beams.



Photograph 15. Interior, fireplace detail.



Photograph 16. Interior, typical structure and layout of slab, columns, and beams.

APPENDIX D – HISTORIC DOCUMENTS

NAME Blue Store Addition ADDRESS 17-19 Warren Street COR. Low Box
present

Blue Store Addition MAP. No. 20N - 10E SUB AREA Dudley
original Sta.

DATE 1922, Insurance Report PHOTOGRAPHS R.1, 5/2.84
Boston Building Dept. source

ARCHITECT Harold Field Kellogg B.B.D. Ins. Rpt. LOT AREA 7115 sq. feet.
source

BUILDER Turner Constr. Co. B.B.D., Ins. Rpt. Parcel # 3140
source TYPE (residential) single double row 2-fam. 3-dpck. ten. apt. (non-residential) Dept. Store Addition

OWNER Frank Ferdinand NO. OF STORIES (1st to cornice) 8 plus NA
original present ROOF Flat cupola NA dormers NA

MATERIALS (Frame) clapboards shingles stucco asphalt asbestos alum/viny. (Other) brick stone concrete iron steel/alum.

BRIEF DESCRIPTION

3-story yellow brick and cast stone department store addition with Georgian Revival elements. Lower floors (1&2) feature 4 monumental Doric pilasters, large display windows (now boarded over) and a recessed central entrance. Upper floors exhibit 7-bays per fl. spaced 2-3-2. Windows contain 3/3 wood sash and possess simple concrete sills and lintels composed of header brick with concrete key-

stones. The top floor is set off by a continuous concrete sill course. This building culminates in a flat roof with classical Revival cornice. Particularly noteworthy is the main entrance enframements - including Doric pilaster, entablature & pediment. Raised letters on entablature reads "Blue Store". South wall features large mural advertising Ferdinands BLUE STORE. Rear wall is adjacent to north bound elevated railway plat-
 EXTERIOR ALTERATION form.

minor moderate drastic

CONDITION

good fair poor

NOTEWORTHY SITE CHARACTERISTICS



(Map)

Moved; date if known _____

Themes (Check as many as applicable)

Aboriginal	_____	Conservation	_____	Recreation	_____
Agricultural	_____	Education	_____	Religion	_____
Architectural	_____	Exploration/ settlement	_____	Science/ invention	_____
The Arts	_____	Industry	_____	Social/ humanitarian	_____
Commerce	_____	Military	_____	Transportation	_____
Communication	_____	Political	_____		
Community/ development	_____				

Significance (include explanation of themes checked above)

Ferdinand's Blue Store Addition at 17-19 Warren Str., was built in 1922. Together with the Baroque Revival limestone fronted Blue Store building at 2260-2272 Washington Str., this building has significant historical associations with the development of the Dudley Station area as a locally important late 19th early 20th c. commercial center. This 8-story masonry building is a prominent landmark in an area of 3-4 story Victorian commercial blocks and hotels. Although the upper portions of its elevations are utilitarian in design and finishes, its ground floor (Warren Str.) exhibits handsome galvanized iron elements. Ferdinand's Blue Store was founded in 1867 by Frank Ferdinand. His original Blue Store was "a small affair" located near its present site. In 1895 the Baroque Revival building at 2260-2272 Washington Str. was erected to house this enterprise. This store specialized in "Furniture, carpets, stoves, bedding and house furnishing goods". Initially its clientele was drawn almost exclusively from the Roxbury Highlands. The extension of the Boston Elevated R.R. to Dudley Street in 1901 insured patronage from a wider geographic area.

The Blue Store addition was designed by Harold Field Kellogg. He practiced architecture in Boston from 1910 until the early 1960's. He is perhaps best remembered for his Art Deco Batterymarch Building (60 Batterymarch St, 1928). In addition he designed the Harvard Univ. Gym, Eliot Hotel (Back Bay) and consulted on the design of Longwood Towers, Brookline (1922-25).

This building was built by the Turner Construction Co., a _____ firm still active in Boston area contracting.

Preservation Consideration (accessibility, re-use possibilities, capacity for public use and enjoyment, protection, utilities, context)

Bibliography and/or references (such as local histories, deeds, assessor's records, early maps, etc.)

Atlases
Boston Directories
Bldg. DEPT
B.P.L. Architects File



DUDLEY STATION DISTRICT
 Roxbury, Massachusetts

- UTM References:
- A - 19/328430/468856
 - B - 19/328465/468856
 - C - 19/328300/468856
 - D - 19/328020/468856

scale: 1" = approx. 200'



DUDLEY STATION DISTRICT
Roxbury, Massachusetts

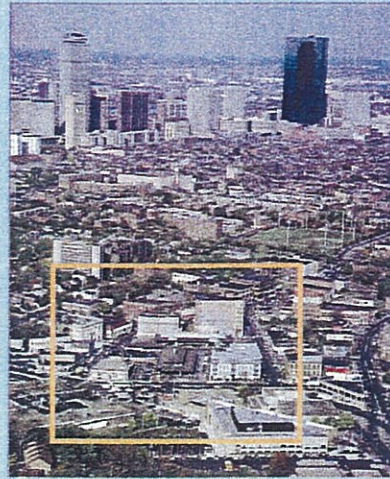
- UIM References:
- A - 19/328430/468856
 - B - 19/328465/468856
 - C - 19/328300/468856
 - D - 19/328020/468856

scale: 1" = approx. 200'

APPENDIX E – CURRENT REPORTS



Context



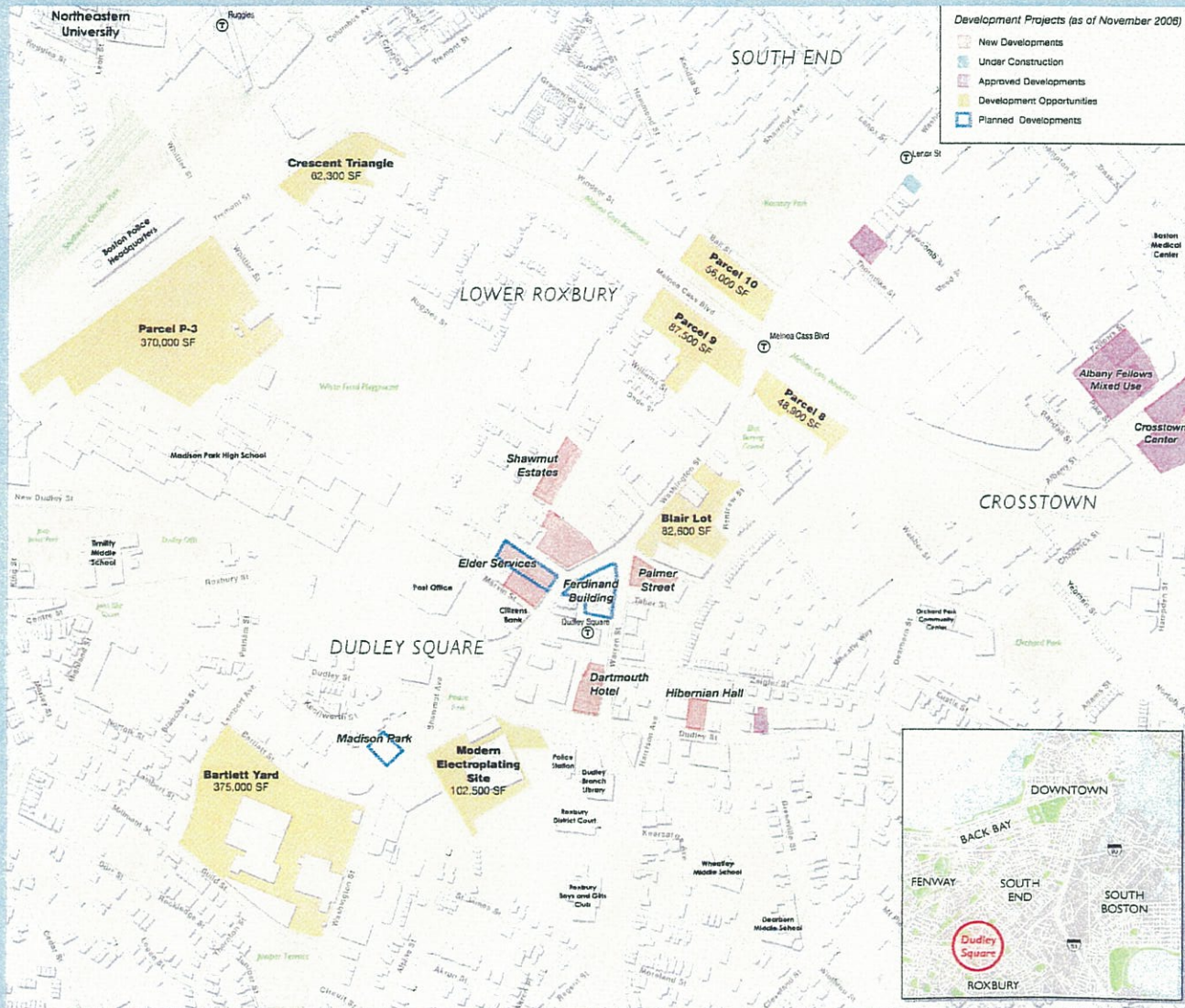
Dudley Square is in the heart of the city and minutes from downtown on the Silverline.

Recently Completed Dudley Square Projects:

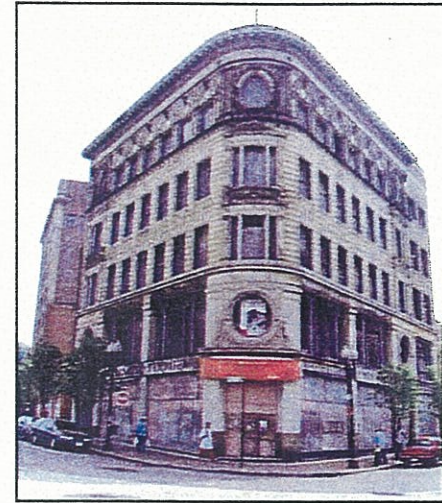
- Fairfield Building – Historic Renovation / Attition
- Palladio Hall – Historic Renovation
- Dartmouth Hotel – Historic Renovation / Addition
- Hibernian Hall – Historic Renovation
- Palmer Building – New Construction
- Central Boston Elder Services – New Construction

Major planned development are underway including:

- P – 3 Redevelopment – Developer Designated
- Bartlett Yard Redevelopment – Developer Designated



Concept



Existing Ferdinand Building



The existing B-2 police station

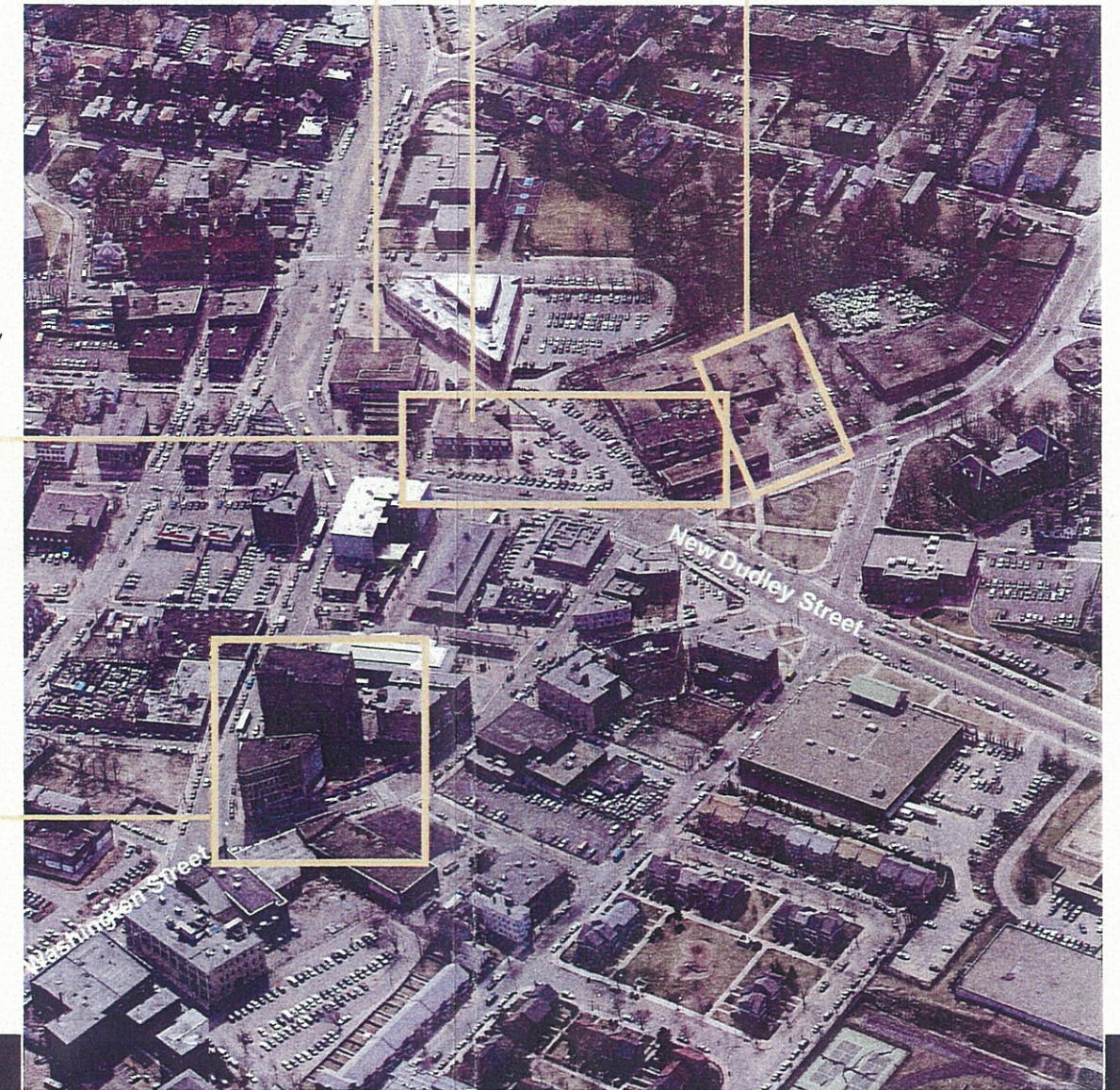
Dudley Branch Library

New B-2 police station

B-2 police station

A new mixed-use development creating a retail edge on the southern side of Dudley Square. The development can provide for a new entrance to the library. Structured parking may be accommodated at the rear of the site.

A new municipal services building incorporating the historic Ferdinand's building.





GOALS

Economic

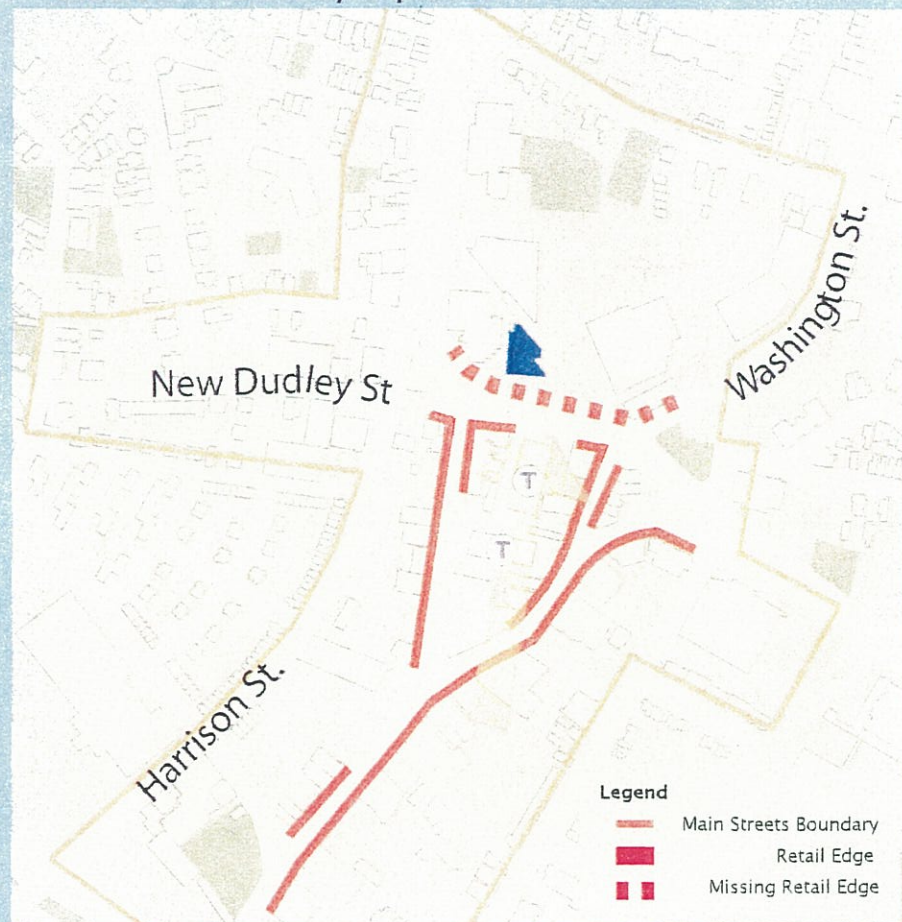
- *Re-establish* southern edge of Dudley Square.
- *Increase* jobs and economic vitality in the commercial district.

Urban Design

- *Create* strong street wall along New Dudley St.
- *Draw* pedestrians from the MBTA station.

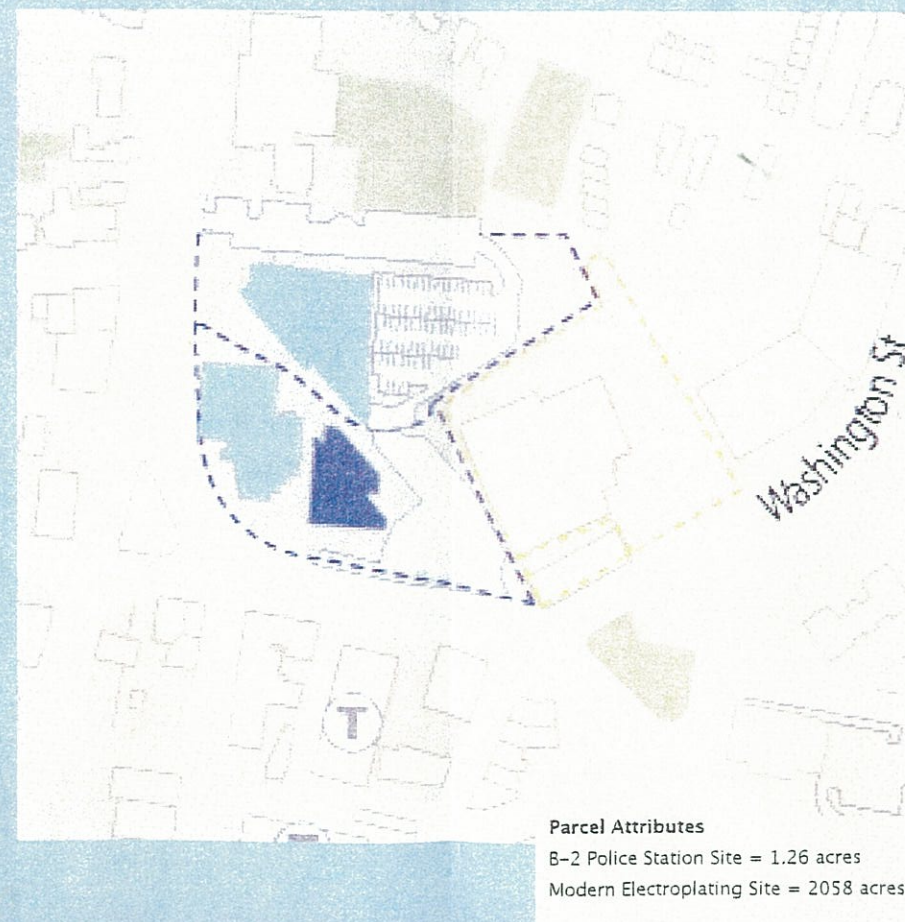
City Services

- *Build* larger, state-of-the-art Police Station.
- *Improve* the civic presence of the B-2 Police Station in Dudley Square.



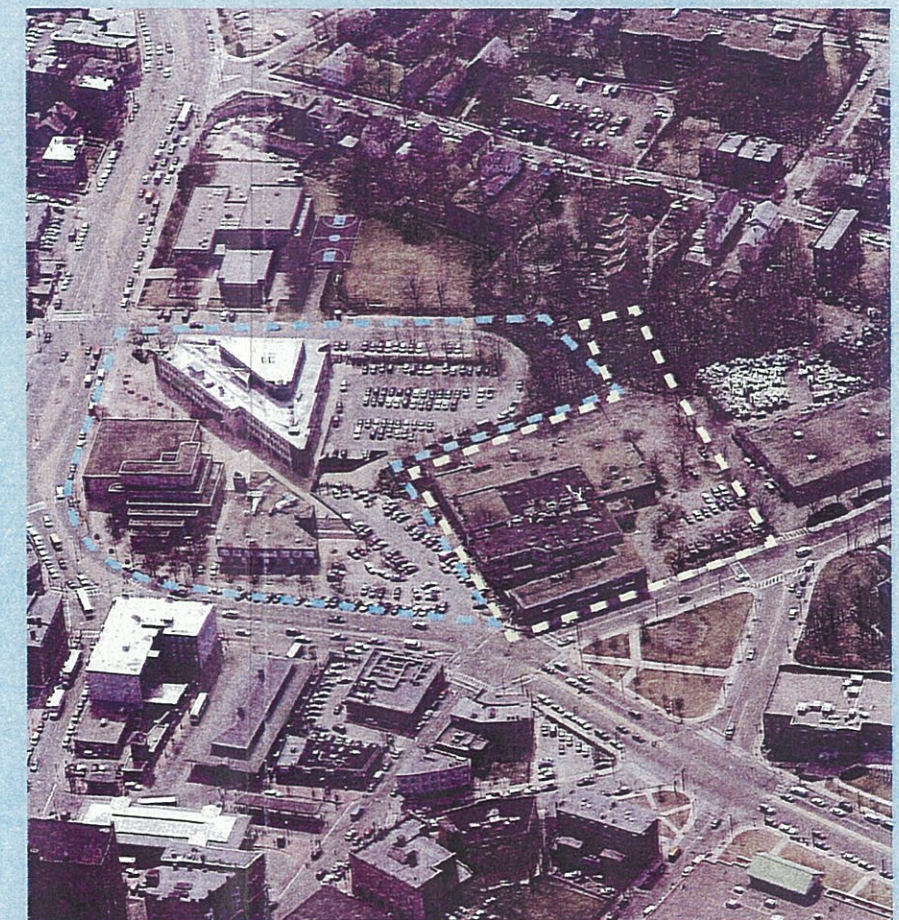
OPPORTUNITIES

- *Eliminate* parking blight from plaza.
- *Improve* pedestrian connection to Dudley Square and reduce traffic on New Dudley St.
- *Provide* new retail space to complement existing business mix.
- *Provide* parking for new commercial space within Dudley Square, including The Ferdinand Building.



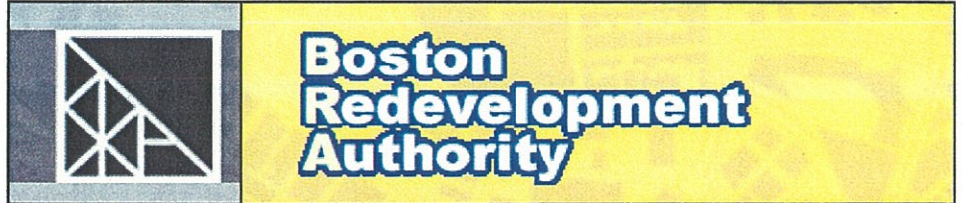
BENEFITS

- New Economic Development opportunity will bring construction and permanent jobs to Dudley Square and Roxbury Community.
 - 365 Construction Jobs (estimated)
 - 1,449 Permanent Jobs (estimated)
- Existing Police Station can remain open during construction and include adequate parking.
- Clean up of Brownfield site.



Presented to:

**Boston Redevelopment
Authority**



Report for:

**Engineering Design Services for
Environmental Remediation and
Building Demolition at Dudley Square**

**Structural Inspection and
Investigation Report
For Guscott Building
17-19 Warren Street
Roxbury, MA.**

In Reference to:

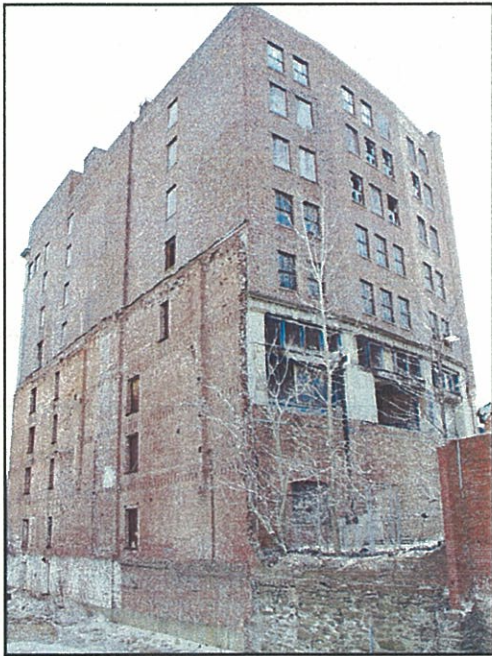
BRA Contract No. 5076

June 2007

Submitted by:

Jacobs Engineering Group Inc.

Two Center Plaza
Boston, Massachusetts 02108



Structural Inspection and Investigation Report For Guscott Building

Engineering Design Services for Environmental Remediation
and Building Demolition at Dudley Square

Roxbury, Massachusetts

June 2007

Prepared for:



Boston Redevelopment Authority
22 Drydock Avenue
Boston, Massachusetts 02210

Prepared by:

JACOBS

Jacobs Engineering Group Inc.
Two Center Plaza
Boston, Massachusetts 02108

Table of Contents

	PAGE
1.0 INTRODUCTION	1
2.0 INSPECTION OBSERVATIONS	2
3.0 GUSCOTT BUILDING EVALUATION	5
 APPENDICES	
APPENDIX A – Photographs	
APPENDIX B – Chloride Tests	
APPENDIX C – Citation Notice of Ferdinand Building	

1.0 Introduction

Background: There are two buildings involved in this site clearance, remediation and building preservation work. The Guscott Building is one of two early twentieth century multistory buildings located near Dudley Square in Roxbury. The other building is the Ferdinand Building. These buildings are planned as part of the Boston Redevelopment Authority's Dudley Square Environmental Remediation, Site Clearance and Building Preservation Project.

Inspection Activities: Jacobs Engineering Group ("Jacobs") conducted an inspection of the Guscott Building on March 8, 2007 and on June 13, 2007. The inspections involved examining areas, making a photographic record for later examination, hammer tapping of concrete for indications of soundness, and obtaining concrete samples for laboratory testing.

Purpose of Inspection: The purpose of the inspections was to evaluate the integrity of the Guscott Building's structural system in preparation for demolition. Detailed knowledge of this building's structural system and its condition are necessary for preparing demolition specifications and for considering the safety of demolition crews working inside the building and around the building.

Other Activities: This document presents the findings from the Guscott Building inspection only. A separate inspection report will be issued at a future date for the Ferdinand Building, which is part of a later building preservation work phase of the Dudley Square Environmental Remediation, Site Clearance and Building Preservation Project.



Site Plan

2.0 Guscott Building's Inspection Observations

Building: The Guscott Building is located at 17-19 Warren Street in Roxbury, Massachusetts and is adjacent to the MBTA's Dudley Square Station. Constructed in 1920, the eight-story building was used primarily as a showroom and warehouse for furniture. The building has not been in use for many years and is currently vacant. It is boarded up at the ground level with exterior door locks. The second floor of the building is also referred to as a mezzanine. All eight stories of the building are essentially the same in size, layout, and construction materials. There is also one basement level within the building.

Structural Systems Overview: The columns and beams of the Guscott building's structural frame are comprised of rolled steel sections encased in concrete. The main girders extend between columns at a spacing of approximately 20 feet. Shallow beams frame between the girders. The floor system is constructed of cast-in-place reinforced concrete. At the time of the construction of the Guscott Building, lower strength steel and concrete than is now available was used. Steel members were typically heavily riveted. Exterior walls of the Guscott Building are constructed of standard size clay brick and mortar. There is no masonry as part of the primarily structural system.

The Basement: The basement is formed by concrete foundation walls and a concrete slab on grade. Water leaks were observed at several locations in the basement. The first floor framing consists of steel columns and steel beam above, all of which are encased in concrete. Concrete cover from the beams has broken off and fallen in some locations, exposing rusted steel beams beneath. The concrete cover many of the columns are also failing, similarly exposing rusted steel. The building has suffered from a lack of periodic maintenance, and the structural elements in the basement – exterior walls,



base slab, beams, and columns – all exhibit a moderate degree of deterioration. There were no structural members that were displaced, seriously deflected, or had experienced a major loss of cross section. Although no signs of imminent failure were evident at the time of inspection, significant structural deficiencies may arise as deterioration of the building's load-resisting elements continues to progress. Basement photographs G0.1 through G0.5 are included in Appendix A.

The First (Ground) Floor: Parts of the floor were covered with a thin sheet of ice in March and replaced with water puddles in June. This ponding of water is likely an indication of some deflection in the floor slab. Water was observed leaking through cracks formed below the location of conduits encased within the floor slab above. The floor was covered with plaster fallen from the ceiling. Concrete cover from the floor beams above has fallen in some locations exposing rusted steel. The structural elements in the First Floor – floor slab, beams, and columns – exhibit a moderate degree of deterioration. There were no structural members that

were displaced, seriously deflected, or had experienced a major loss of cross section. Although no signs of imminent failure were evident at the time of inspections, significant structural deficiencies may arise as deterioration of the building's load-resisting elements continues to progress. First Floor photographs G1.1 through G1.5 are included in Appendix A.

The Second (Mezzanine) Floor: Parts of the floor were covered with a thin sheet of ice and water leaking through the floor slab above was evident. The floor was covered with plaster fallen from the ceiling. Concrete cover from the floor beams above has fallen in some locations exposing rusted steel. Rusted reinforcing bars were evident on the underside of the floor slab above. The structural elements in the Second Floor – floor slab, beams, and columns – exhibit a moderate degree of deterioration. There were no structural members that were displaced, seriously deflected, or had experienced a major loss of cross section. Although no signs of imminent failure were evident at the time of inspections, significant structural deficiencies may arise as deterioration of the building's load-resisting elements continues to progress. Second Floor photographs G2.1 through G2.4 are included in Appendix A.

The Third Floor: Observations made on the Third Floor were similar to those made on the lower floors (ice on the floor, fallen plaster, deteriorated concrete cover and exposed, rusted steel beams). There were no structural members that were displaced, seriously deflected, or had experienced a major loss of cross section. Although no signs of imminent failure were evident at the time of inspections, significant structural deficiencies may arise as deterioration of the building's load-resisting elements continues to progress. Third Floor photographs G3.1 through G3.6 are included in Appendix A. A concrete sample from one of the overhead beams was obtained and tested for presence of water soluble chloride ions. Chlorides test results are included in Appendix B and are discussed in the Evaluation section.

The Fourth Floor: Observations made on the Fourth Floor were similar to those made on the lower floors (ice on the floor, fallen plaster, deteriorated concrete cover and exposed, rusted steel members). In addition some windows are open, the consequences of which are rusted and deteriorated window frames and deteriorated concrete around window lintels, and rusted steel lintels. Perimeter partitions have collapsed. There were no structural members that were displaced, seriously deflected, or had experienced a major loss of cross section. Although no signs of imminent failure were evident at the time of inspections, significant structural deficiencies may arise as deterioration of the building's load-resisting elements continues to progress. Fourth Floor photographs G4.1 through G4.4 are included in Appendix A. The aforementioned chloride testing program presented in Appendix B includes a sample obtained from a fourth floor column.

The Fifth Floor: Observations made on the Fifth Floor were similar to those made on the lower floors (ice on the floor, fallen plaster, deteriorated concrete cover and exposed, rusted steel members). Several window frames were found to be badly deteriorated to the point where they could fall out and injure people on the ground or damage vehicles. There were no structural members that were displaced, seriously deflected, or had experienced a major loss of cross section. Although no signs of imminent failure were evident at the time of inspections, significant structural deficiencies may arise as deterioration of the building's load-resisting elements continues to progress. Fifth Floor photographs G5.1 and G5.2 are included in Appendix A. The third and final concrete sample in the chloride testing program was obtained from a column on the fifth floor.

The Sixth Floor: Observations made on the Sixth Floor were similar to those made on the lower floors (ice on the floor, fallen plaster, deteriorated concrete cover and exposed, rusted steel members). There appeared to be more ice than on the lower floors. As on the Fourth and Fifth Floors, window frames and lintels have deteriorated badly due to leaking water. Relatively large cracks were observed in areas of the floor slab. There were no structural members that were displaced, seriously deflected, or had experienced a major loss of cross section. Although no signs of imminent failure were evident at the time of inspections, significant structural deficiencies may arise as deterioration of the building's load-resisting elements continues to progress. Sixth Floor photographs G6.1 through G6.4 are included in Appendix A.

The Seventh Floor: Observations Seventh Floor was similar to those made on the lower floors (ice on the floor, fallen plaster, deteriorated concrete cover and exposed, rusted steel members). There appeared to be more ice than on the lower floors. As on the Sixth Floor, there appeared to be more ice or water than on lower floors. Similar to the Sixth Floor, window frames and lintels have deteriorated badly due to leaking water. There were no structural members that were displaced, seriously deflected, or had experienced a major loss of cross section. Although no signs of imminent failure were evident at the time of inspections, significant structural deficiencies may arise as deterioration of the building's load-resisting elements continues to progress. Seventh Floor photographs G7.1 and G7.2 are included in Appendix A.

The Eighth Floor: Observations made on the Eight Floor were similar to those made on the lower floors (ice on the floor, fallen plaster, deteriorated concrete cover and exposed, rusted steel members). Unexpectedly, there was much less ice on the floor compared with lower floors, but there appeared to be more fallen plaster. Many stalactites could be seen on the underside of the concrete roof slab – evidence that the roof membrane has failed, at least in places. We also observed that many window frames were badly deteriorated, some of which were in danger of falling out. There were no structural members that were displaced, seriously deflected, or had experienced a major loss of cross section. Although no signs of imminent failure were evident at the time of inspections, significant structural deficiencies may arise as deterioration of the building's load-resisting elements continues to progress. Eighth Floor photographs G8.1 through G8.6 are included in Appendix A.

Building Exterior: Based on visual inspection from Warren Street, from the MBTA's property on the south side, and from the vacant lot on the north side of the building, the walls (exterior faces) of the Guscott Building are in fair condition except for isolated areas of the north wall where brick appears to be somewhat precarious because of deteriorated mortar. The building's cornice along Warren Street is highly deteriorated and presents a public safety danger. The existing ground-level scaffolding along the Warren Street sidewalk is testament to the poor condition of the cornice. Building exterior photographs GEX.1 through GEX.8 are included in Appendix A.

3.0 Guscott Building Evaluation

General Observations: The Guscott Building's structural system has deteriorated due to age, abandonment, and lack of maintenance. Water enters the building freely through the compromised roof system, the compromised wall system, and broken windows. A major blow to the integrity of the Guscott Building took place when adjacent buildings were removed. The walls exposed by the removal of the adjacent buildings were not designed for direct exposure to the environment and any measures taken to counteract the situation were inadequate to prevent water intrusion. Once water has entered the interior of the building it finds its way through the structural system through fissures and through passageways such as conduit embedded in the concrete slabs. Evidence of deterioration includes ice and water on floors, spalled, cracked, and broken concrete, rusted structural steel elements, exposed and rusted reinforcing bars, and rusted window frames. This type of damage is progressive and irreversible.

Emergency Measures: Rusted window frames, some of which are precarious, should be removed before falling out and injuring the public on the ground or damaging vehicles. There are no signs of imminent structural failure.

Loading for Demolition Work: The floors may be occupied by a reasonable number of construction workers, but no more than twenty per floor, engaged in demolition activities using light equipment. Use of heavy equipment, such as a bobcat or a large compressor, will require approval by a Professional Structural Engineer.

Seismic Resistance: The building was not designed for earthquake loads in accordance with modern codes which are based on current knowledge of structural behavior during a seismic event. This does not necessarily mean that by chance the building will not perform adequately during an earthquake. No temporary measures to prevent a catastrophic collapse of the building during an earthquake are justified.

Roof System: The building has a flat roof with parapet wall around the perimeter. The roof structure is protected with a waterproofing membrane that has been thoroughly compromised. Stalactites on the underside of the concrete roof slab indicate that the roof system has experienced pervasive and long term deterioration.

Cornice: The building's cornice exhibits considerable deterioration. The building has an elaborate sheet metal cornice systems on the side fronting on Warren Street. This cornice plays no role in the structure of the building. The fall zone of the cornice hazards has been fenced off to protect the public.

Mechanical and Electrical Systems: The remnants of the mechanical and electrical system consist of metal, ceiling-hung pipelines and conduits, ceiling hung light fixtures and conduits embedded in structural concrete slabs, and some roof top equipment. All metal elements are thoroughly rusted. The embedded items have provided a passageway for water penetration.

Stairs and Elevator: The existing stair and elevator systems are in place. All metal elements are thoroughly rusted and no equipment is operable.

Window Systems: All windows systems are completely deteriorated and some are not secured in place. There is no potential for reuse of these elements. Broken glass is a safety concern that is pervasive throughout the building and the site.

Exterior Masonry Walls: Exterior wall brick construction has experienced loss of mortar and in many areas bricks have been displaced beyond the plane of the wall. There are many opportunities for water to affect the masonry construction and enter the building interior. For example, the remaining party wall facing the previously-demolished building contains dozens of beam pockets that have not been filled in with mortar. These pockets allow water to collect and infiltrate into the wall structure.

Steel Corrosion: The inspection of the structural steel revealed widespread deterioration of the structural steel columns, the structural steel beams, and the reinforcing steel in the floor slabs. The steel deterioration is typically more severe than just minor surface-level corrosion as partial steel delamination has often taken place. Steel corrosion was seen not only where concrete had spalled off but also in hidden locations where Jacobs personnel removed the concrete with taps from a hammer. The presence of corrosion in unexposed locations is significant; it indicates that steel corrosion may be pervasive throughout the structure. Water infiltration is extensive at all levels of the building and has likely been present for much of the four-decade-long period in which the building has been vacant. Through cracks, voids, and passageways in the concrete cover, moisture has penetrated through to the steel and has caused corrosion.

Chloride Ions in Concrete: The corrosion of embedded structural steel and reinforcing steel bars has likely been accelerated by the rather considerable amount of water soluble chloride ions that are found in the concrete column and beam encasement and concrete floor slabs. According to the American Concrete Institute (ACI) 222R-96, *Corrosion of Metals in Concrete*, "Chloride ions are common in nature and small amounts are usually unintentionally contained in the mix ingredients of concrete. Chloride ions also may be intentionally added, most often as a constituent of accelerating admixtures." It is likely that calcium chloride was used as a concrete admixture, since this practice was sometimes employed during the time period in which the Guscott Building was constructed. Such admixtures are no longer used because their deleterious effect on steel is now understood. As indicated in Appendix B, three representative concrete samples were tested. The maximum percent of water soluble chlorides by weight of cement was found to be approximately 0.42%. ACI 318 *Building Code Requirements for Structural Concrete* the most commonly used reference for permissible chloride ion content, prescribes a maximum of 1.00% for reinforced concrete in "dry service" and 0.30% for reinforced concrete in "damp service". Unfortunately, the Guscott Building structural system has been in damp service for quite some time. In this case, the measured concentrations would therefore exceed the ACI 318 limits. It is worth noting that ACI 201 *Guide for Durable Concrete* and ACI 222R *Protection of Metals in Concrete against Corrosion* contain stricter chloride limits than ACI 318. It is likely that high concentrations of soluble chloride ions in the concrete encasements and floor slabs have contributed to the steel corrosion that has been progressing over the years.

Appendix A
Photographs

REMARKS & PHOTOS

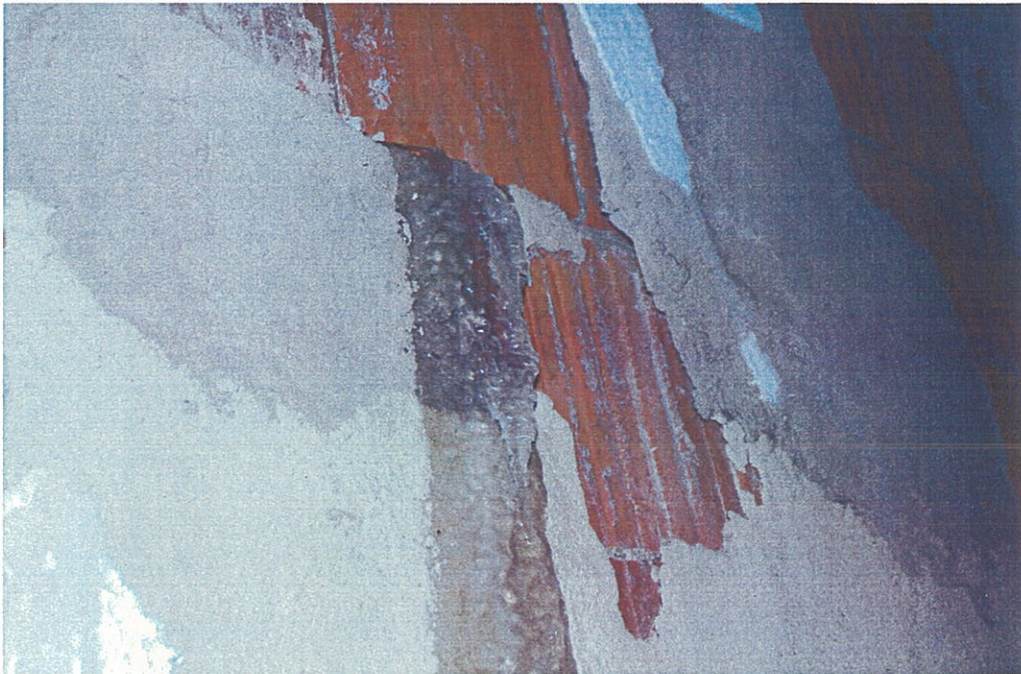


Photo G0.1 - Basement

Ice covering exterior wall indicative of water infiltration through foundation.



Photo G0.2 - Basement

General view of basement structural system.

REMARKS & PHOTOS



Photo G0.3 - Basement

Delamination of concrete encasement at underside of beam revealing corrosion of steel section. Ceiling-mounted piping system also shown.



Photo G0.4 - Basement

Typical layout of concrete-encased steel columns shown. Large areas of floor covered with ice. Delaminated clay brick walls shown in foreground.

REMARKS & PHOTOS



Photo G0.5 - Basement
Typical beam-to-column framing.

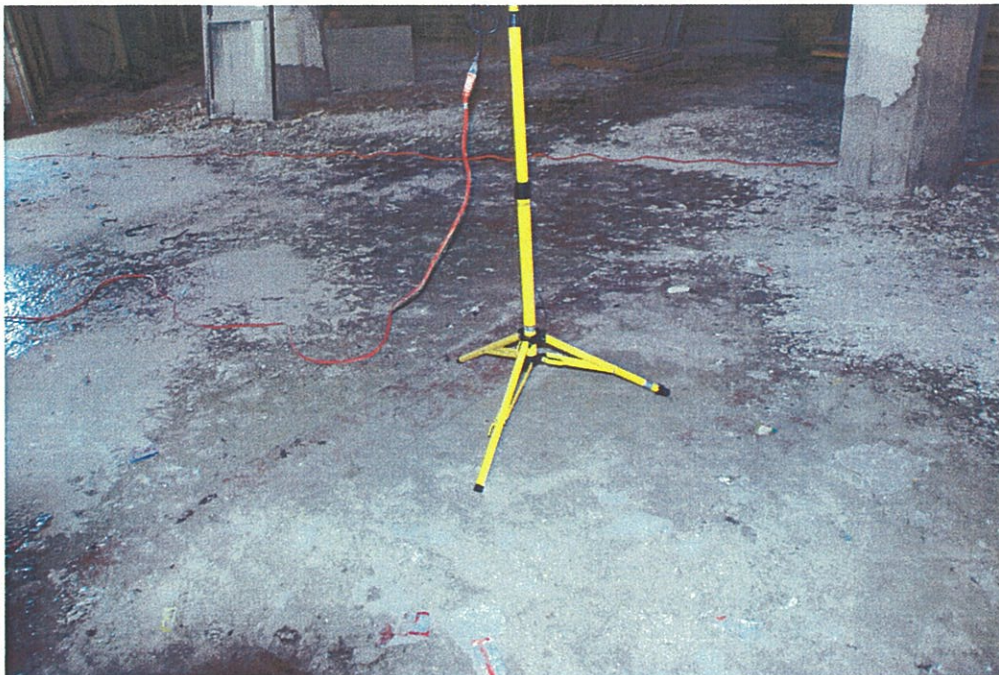


Photo G1.1 - 1st Floor
Ice covering floor area and large amount of debris scattered.

REMARKS & PHOTOS



Photo G1.2 – 1st Floor

Minor delamination of concrete encasement at underside of beam revealing corrosion of steel section.



Photo G1.3 – 1st Floor

Delamination of concrete encasement at base of column revealing corrosion and section loss of the steel member.

REMARKS & PHOTOSPhoto G1.4 – 1st Floor

Concrete staircase to Mezzanine (2nd floor) with wood structure adjacent both sides. A large amount of plaster is seen on floor.

Photo G1.5 – 1st Floor

Typical beam-to-column framing at Mezzanine (2nd floor). Delamination and spalling of concrete encasement is seen. Rust stains indicative of internal corrosion of the encased steel members.

REMARKS & PHOTOS



Photo G2.1 – 2nd (Mezzanine) Floor
Exposed abandoned utilities and showroom wood work on walls and columns shown. Floor covered with ice and fallen plaster.



Photo G2.2 – 2nd (Mezzanine) Floor
Delamination and spalling of concrete encasement at column and beams revealing corrosion of steel sections.

REMARKS & PHOTOS



Photo G2.3 – 2nd (Mezzanine) Floor

Delamination of concrete encasement at base of column revealing corrosion and section loss of the steel member.



Photo G2.4 – 2nd (Mezzanine) Floor

Loose and spalled concrete at underside of 3rd floor concrete floor slab revealing deterioration of slab reinforcement. Delamination of concrete encasement at underside of floor beam also shown.

REMARKS & PHOTOS



Photo G3.1 – 3rd Floor

Delamination of concrete encasement at base of column revealing corrosion and section loss of the steel member.



Photo G3.2 – 3rd Floor

Large areas of ice covering the floor.

REMARKS & PHOTOS

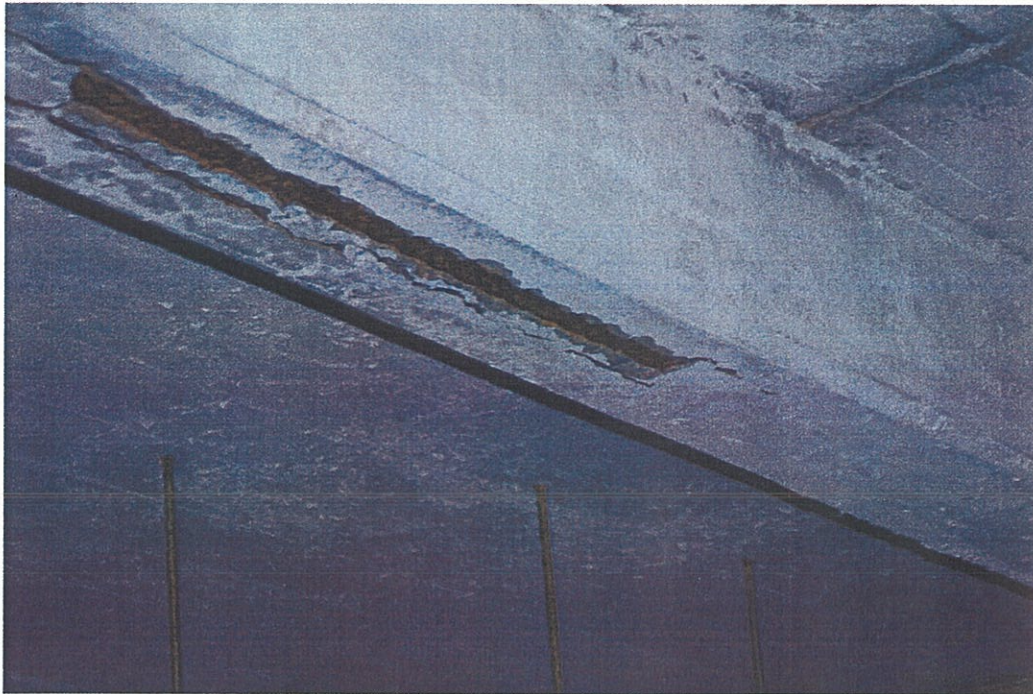
Photo G3.3 – 3rd Floor

Elevation of the abandoned elevator shaft (looking up). Clay brick masonry and window bays within elevator shaft can be seen.

Photo G3.4 – 3rd Floor

Elevation of the abandoned elevator platform (looking down from 3rd floor).

REMARKS & PHOTOS

Photo G3.5 – 3rd Floor

Delamination of concrete encasement at underside of beam revealing corrosion of steel section.

Photo G3.6 – 3rd Floor

Typical beam and column layout shown. Ice present over widespread area of floor.

REMARKS & PHOTOS



Photo G4.1 – Typical condition for 4th, 5th, & 6th Floors
Broken glass and deteriorated window frames.



Photo G4.2 – Typical condition for 4th, 5th, & 6th Floors
Broken glass and deteriorated window frames.

REMARKS & PHOTOS



Photo G4.3 – 4th Floor
Deteriorated concrete around window lintels.



Photo G4.4 – 4th Floor
Unstable wall partitions ready to fall.

REMARKS & PHOTOS

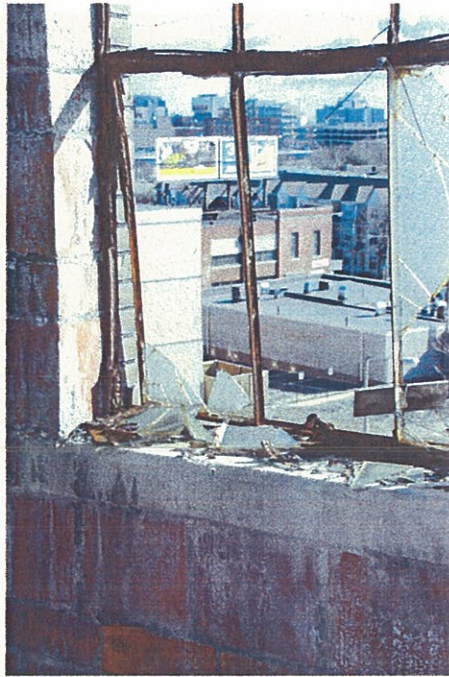


Photo G5.1 - Typical condition for 4th, 5th, & 6th Floors
Broken glass and deteriorated window frames, some located over Warren and Dudley Streets.



Photo G5.2 - 5th Floor
Spalling at underside of 6th floor slab and concrete-encased steel beams. Water stains follow apparent conduit to fixtures and junction boxes.

REMARKS & PHOTOS



Photo G6.1 – 6th Floor
Exposed, corroded reinforcement in concrete floor.



Photo G6.2 – 6th Floor
Exposed corroded reinforcement in concrete floor.

REMARKS & PHOTOSPhoto G6.3 – 6th Floor

Typical beam and column layout shown. Ice present over widespread area of floor.

Photo G6.4 – 6th Floor

Typical delamination of concrete column encasement revealing corrosion and section loss of the steel member. Simple taps from hammer crumble additional concrete cover.

REMARKS & PHOTOS

Photo G7.1 – 7th Floor

Representative condition at underside of concrete slab. Widespread evidence of water infiltration, delaminated and spalled concrete, and exposed and corroded slab reinforcement.

Photo G7.2 – 7th Floor

Clay masonry deterioration at interior wall.

REMARKS & PHOTOS

Photo G8.1 – 8th Floor

General configuration of building corner. Sample area reveals evidence of water infiltration, deterioration of underside of concrete slabs, and exposed and rusted reinforcement.

Photo G8.2 – 8th Floor

Spider cracking at top of floor slab (evident in top 3 floors of building).

REMARKS & PHOTOS



Photo G8.3 – 8th Floor
Broken glass and deteriorated window frame.



Photo G8.4 – 8th Floor
Ceiling deterioration at exterior walls.

REMARKS & PHOTOS



Photo G8.5 – 8th Floor
Ceiling framing suspended from structure above.

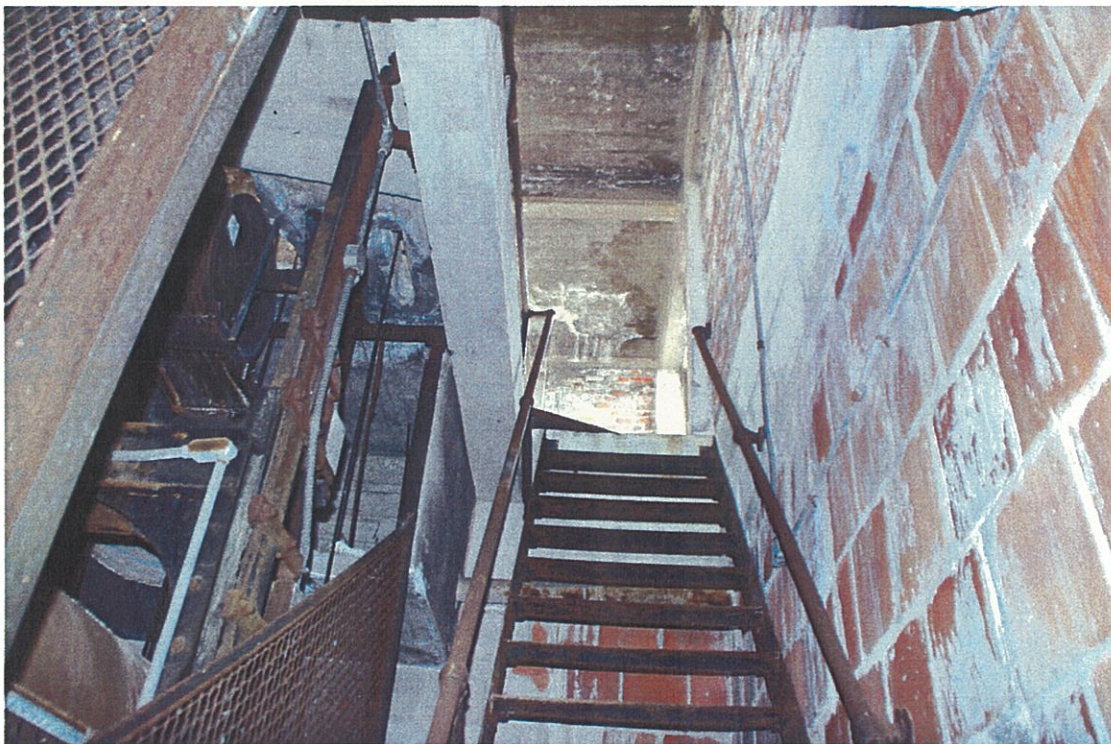


Photo G8.6 – 8th Floor
Highly deteriorated connections along stair leading to building roof.

REMARKS & PHOTOS

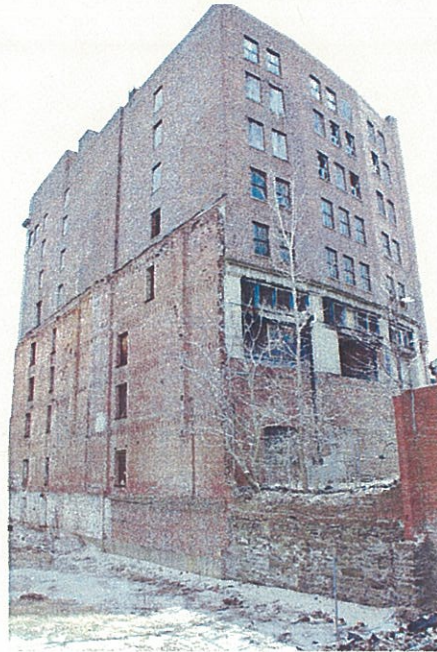


Photo GEX.1 - Elevation
Picture taken from vacant lot near Washington Street gate.



Photo GEX.2 - Elevation
Picture taken from vacant lot opposite side of Warren Street gate. Scaffolding placed along sidewalk to protect pedestrians from falling debris. Deteriorated glass and window frames can be observed.

REMARKS & PHOTOS



Photo GEX.3 – Exterior Wall

Picture taken from vacant lot. Exposed beam pockets remain from previously-demolished building. Widespread masonry deterioration is present.

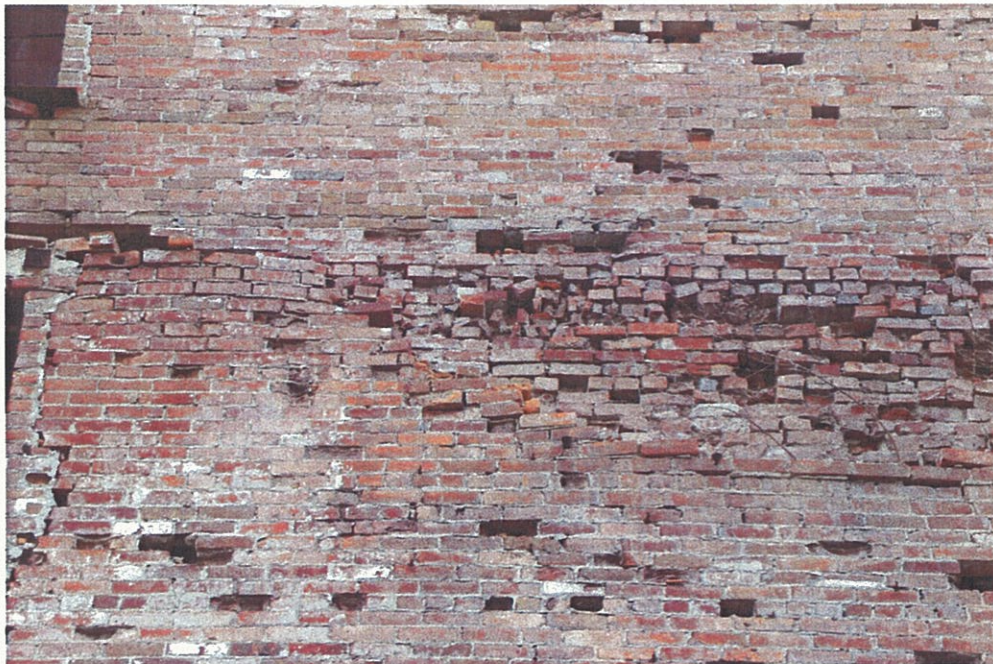


Photo GEX.4 – Exterior Wall

Picture taken from vacant lot. Significant masonry deterioration shown.

REMARKS & PHOTOS



Photo GEX.5 - Elevation

Picture taken from Warren Street opposite MBTA Dudley Square Bus Station.

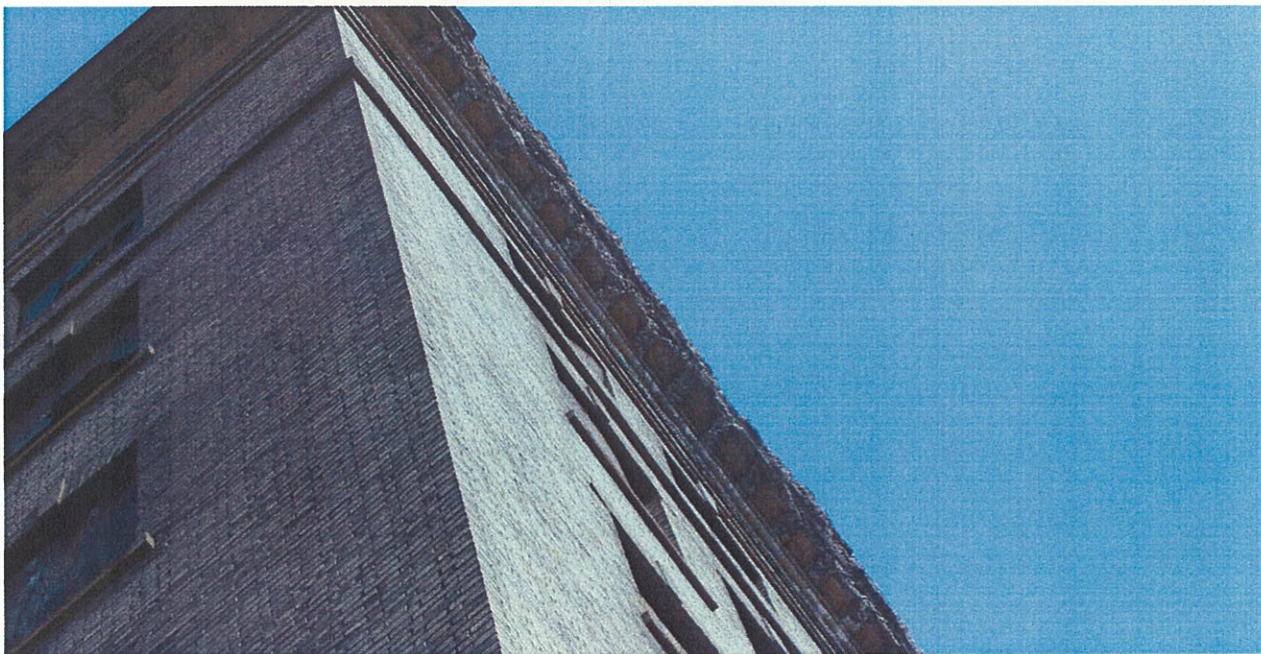


Photo GEX.6 – Elevation

Significant deterioration of cornice over Warren Street.

REMARKS & PHOTOS



Photo GEX.7 – Partial Elevation
Some rooftop equipment seen, not inspected.



Photo GEX.8 – Front Entrance
Scaffolding placed along sidewalk to protect pedestrians from falling debris.

Appendix B
Chloride Tests

THE THOMPSON & LICHTNER COMPANY, INC.

Consulting Engineers
Engineering and Testing Laboratories

111 First Street
Cambridge, Massachusetts 02141
Tel (617) 492-2111 Fax (617) 492-7353
www.thompsonlichtner.com

June 18, 2007

JE JACOBS
BOSTON, MASSACHUSETTS
CHLORIDE TESTS OF CONCRETE
THE GUSCOTT BLDG
ROXBURY, MASSACHUSETTS

Test Number -- FF 446
Date Received -- 6-13-07
Source -- Submitted by your Mr. Jeffrey A. Sarin, P.E

Specimens -- Three pieces of concrete with rusted steel identified as follows:
1, 3rd floor beam
2, 4th floor column #10
3, 5th floor column #8

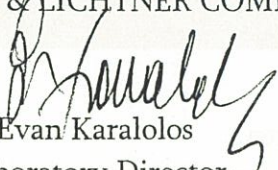
Test Procedure -- Request was made to determine Water Soluble Chlorides

Results -- The following data have been obtained:

Specimen No.	Water Soluble Chlorides	
	<u>% by Weight of Sample</u>	<u>% by weight of cement*</u>
1	0.012	0.08
2	0.051	0.33
3	0.065	0.42

* Based on an assumed 611 lbs of cement per cubic yard and Unit Weight of 145 PCF

THE THOMPSON & LICHTNER COMPANY, INC.


Evan Karalolos
Laboratory Director

REMARKS & PHOTOS

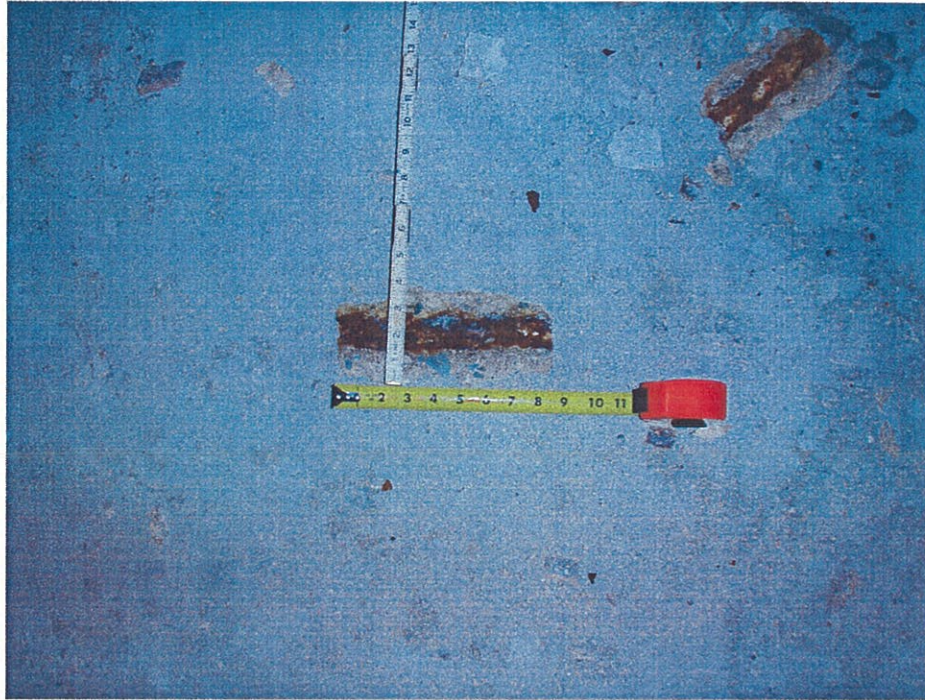


Photo CT0.1 - 3rd Floor Beam
Concrete sample removed by sledge hammer is 8.5"x 3.75".



Photo CT0.2 - 3rd Floor Beam
Location of beam where sample was taken.

REMARKS & PHOTOS

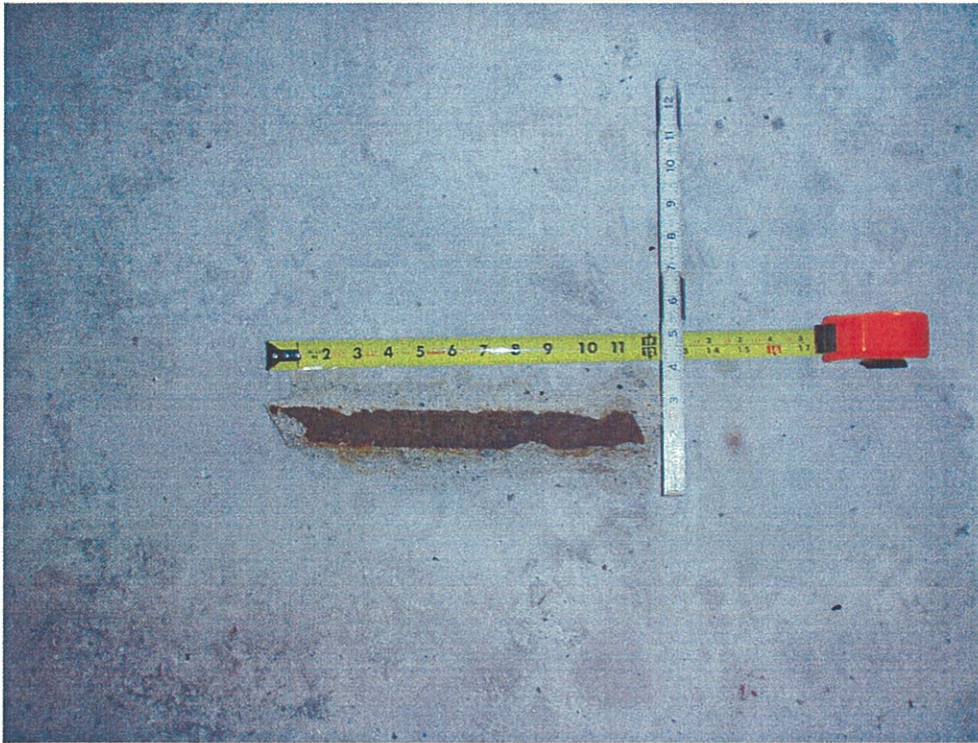


Photo CT0.3 – 4th Floor Column
Concrete sample removed by sledge hammer is 12"x 4".



Photo CT0.4 – 4th Floor Column
Location of column where sample was taken.

REMARKS & PHOTOS



Photo CT0.5 – 5th Floor Column
Concrete sample removed by sledge hammer is 22” x 4”.



Photo CT0.6 – 5th Floor Column
Location of column where sample was taken.

Appendix C

Citation Notice from Ferdinand Building

Commonwealth of Massachusetts

BD 203



CITY OF BOSTON
Thomas M. Menino
Mayor

SUFFOLK, ss.

DATE FILED: 05/01/2007
INSPECTOR: 417 WALESH, J
DATE MAILED:

GREETING, BRG
PAUL MCCAHN
1 CITY HALL SQ 9TH FLR
BOSTON MA 02201

owner or in control of property located in the City of Boston at:

2250 - 2262 WASHINGTON

WARD: 09

The Commissioner of the Inspectional Services Department of the City of Boston has adjudged certain property which you own or are in control of is in violation of the State Building Code 780 CMR 118.1 sixth edition, authorized under Chapter 143, Sections 93-94 of the Massachusetts General Laws, as amended to wit:

780 CMR _____:

CHAPTER 121.2 UNSAFE AND DANGEROUS; BUILDING IS OPEN TO ELEMENTS AND TRESPASS WITH BROKEN WINDOWS, PLYWOOD BOARDS FOR WINDOWS, LOOSE AND FALLING AND METAL CORNICE LOOSE HANGING IN DANGER OF FALLING; CREATING A DANGEROUS CONDITION TO PUBLIC.

TO REMEDY THIS CONDITION APPLY FOR AND SECURE A PERMIT TO REMEDY THE ABOVE DESCRIBED CONDITION OR TAKE THE ACTIONS DESCRIBED BELOW:

SECURE PERMIT AND MAKE BUILDING SAFE OR RAZE BUILDING.
INSPECTOR: JOHN WALESH

VIOLATION NO.: UB00172-2007

HEREOF FAIL NOT, under penalty of law to comply with said Building Code, within 30 days/ 24 hours (circle one) of the service of this Order.

William J. Good III
Commissioner

Gary P. Moccia
Inspector of Buildings

For the Commissioner

(SEE REVERSE SIDE FOR FURTHER NOTICE)

A TRUE COPY.
ATTEST:

DRAFT

MEMORANDUM



Date: 15 June 07

To: BRA Building Demolition at Dudley Square
Jacobs – Article 85 / Assignment #2 Project File

From: Don Stull

Subject: The Guscott Building

**StullandLee
Incorporated**
architecture · planning

38 Chauncy Street
Boston, Massachusetts
02111-2301

tel 617-426-0406
fax 617-426-2835

www.stullandlee.com

Donald L. Stull - FAIA

M. David Lee - FAIA

Thomas V. Clasby

Kevin A. Benjamin

Over the past several years, S+L has been commissioned to provide architectural services for design studies related to the adaptive reuse development of the Ferdinand Building Annex, now known as the Guscott Building, at Dudley Square.

The first of these studies was commissioned in 1988. The program at that time called for ground floor and mezzanine level retail and upper floor office space development. It was also understood that a build-out including a minimum of two additional floors was required for financial feasibility. This first attempt was subsequently abandoned because of market circumstances which were largely a result of a negative perception of Dudley Square and surrounding areas that altered market expectations. The architectural appropriateness of adding two additional floors to the Annex was not addressed at that time; however the concept of so doing was thought to be structurally feasible.

Ten years later, in 1998 S+L was again engaged to provide space planning studies for the adaptive reuse of the Guscott. At that time it was felt that: 1) Dudley Square was on its way to a turnaround, evidenced by other proposed new developments and property





improvements in and around the area, and 2) a public agency commitment to a long term lease of the Annex would jump start total development of the Ferdinand site as well as several other development opportunities in and around Dudley Square. It is our understanding that the level of debt service required in costing out this development was substantially greater than the rent level limitations of public agency users.

S+L's last and most recent space planning and marketing related work on the Guscott Building occurred in 2003, several representative documents of which are attached. These studies assumed a "Faneuil Hall / Haymarket" retail concept directly relating to the recently redeveloped Dudley 'T' Station on the ground floor and mezzanine levels of the building. The upper floors were to be developed for office space users. Several major factors challenged the viability of this latest effort at private development of the Ferdinand Annex: 1) The net (usable) to gross (build-out) ratio exceeded 20% of a typical office floor plate, 2) Two of the four primary building systems – Structure and Envelope – had further deteriorated to the point of excessive cost, 3) A new Seismic Code recently adopted had further exacerbated the building's structural issues and related costs, and 4) A market driven necessity to fully fenestrate the south facing wall for the full height of the building in order to facilitate natural light penetration into interior spaces. These four primary factors, together with a still lingering doubt that if "you build it, they will come" ended this latest effort to adaptively reuse the Ferdinand Annex.



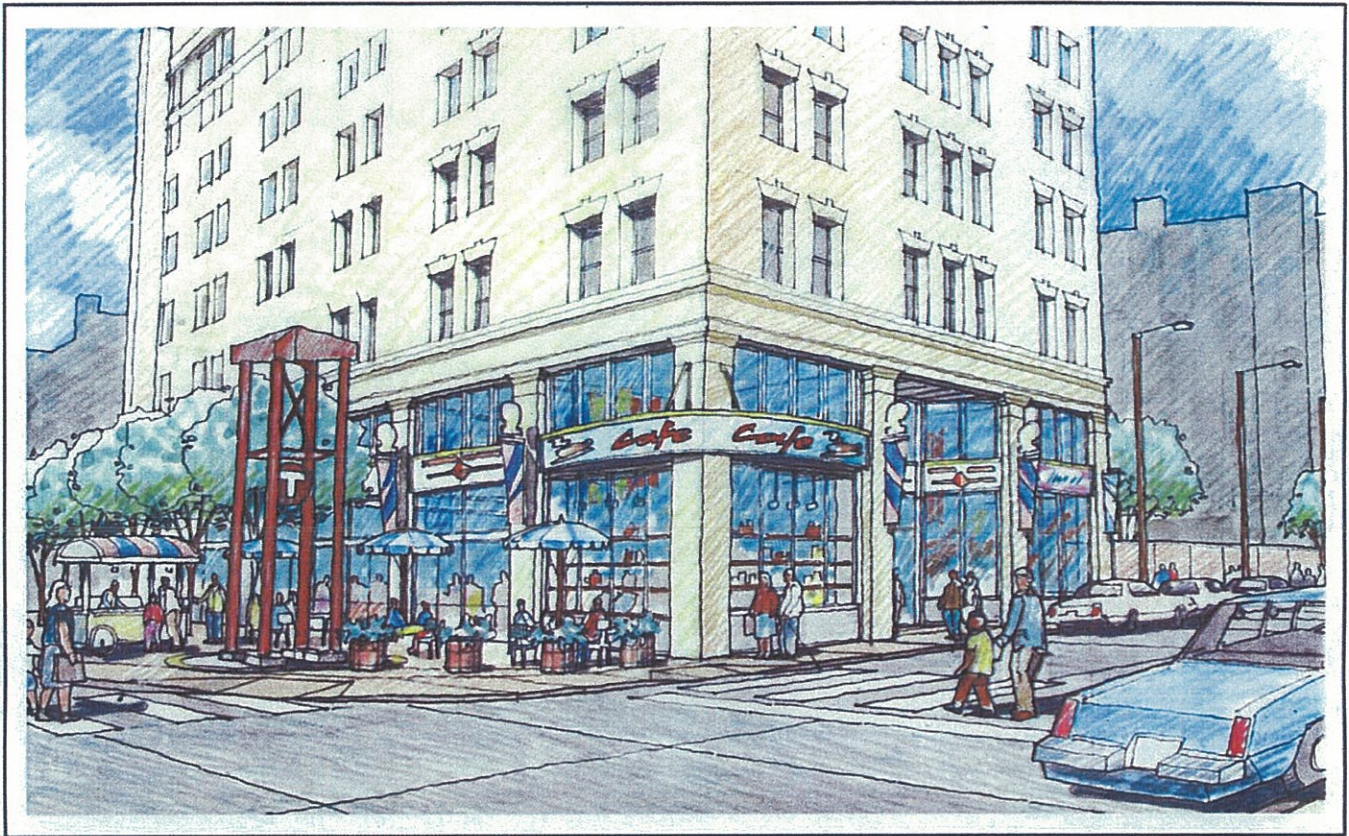
APPENDIX F – PRIOR PLANNING STUDIES



Roxbury Center at 17 Warren Street

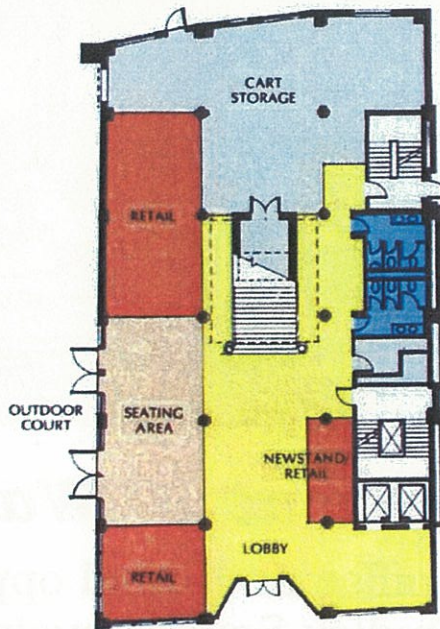
is ***the*** landmark office and retail opportunity in the re-emerging Dudley Square business district.





The introduction of the Boston elevated railway above Washington Street at the turn of the 20th century, established the area around historic Dudley Station as the commercial center and heart of Roxbury.

Every day, thousands of residents, workers, students and shoppers move through this, the busiest MBTA bus terminal in Boston. Now, the new **Roxbury Center at 17 Warren Street** is the symbolic center of a successful, thriving Dudley Square.



First Floor Plan



Mezzanine Level



Known in its heyday as the "Ferdinand Building" and the "Blue Store", **Roxbury Center at 17 Warren Street** has been cited by the Landmarks Commission for its attractive Georgian Revival treatment and for its handsome main entry which features elaborate masonry and galvanized iron elements. The rich detail of its 1900 facade provides a glimpse of the historic architectural beauty now being rediscovered throughout Dudley Square.

As an office and retail building it will provide over 5,000 square feet of flexible office space on each of its six upper floors. Each floor will be updated to meet contemporary tenant design standards and current codes. The first and second floors will be a lively mix of specialty and service shops. The ground floor will serve the dual function of formal office lobby and food court featuring attractive retail opportunities for vending carts and outdoor cafe seating. Access to the second floor mezzanine level will utilize

the existing monumental stair for an upscale single tenant retail operation.

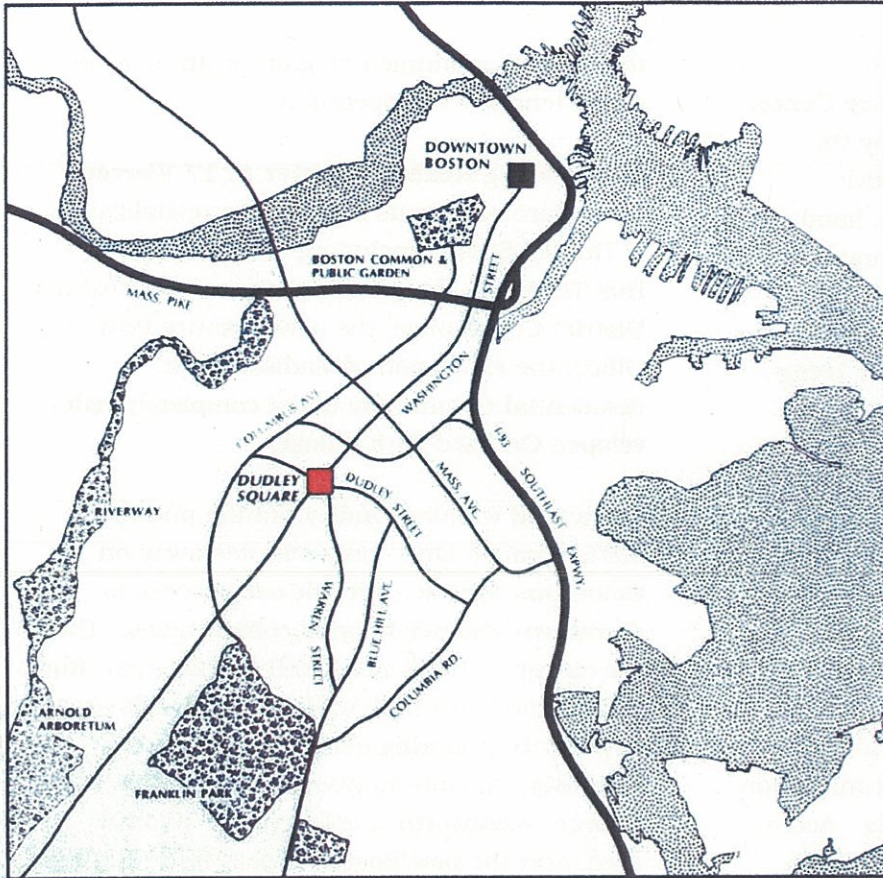
Surrounding **Roxbury Center at 17 Warren Street** are numerous signs of the revitalization of Dudley Square including: the new MBTA Bus Terminal, the modernization of the Roxbury District Courthouse, the new Roxbury Post Office, the expansion of Madison Park Residential Community and a completely redeveloped Orchard Park Village.

The award winning Dudley Station and the MBTA Orange Line - only minutes away on Columbus Avenue - provide easy access to downtown and neighboring communities. There are current studies to build the new Urban Ring transit corridor which will easily link this area to many neighboring institutions including: Northeastern University, Roxbury Community College, Wentworth, the Longwood Medical Area, and the new Boston Police Headquarters.

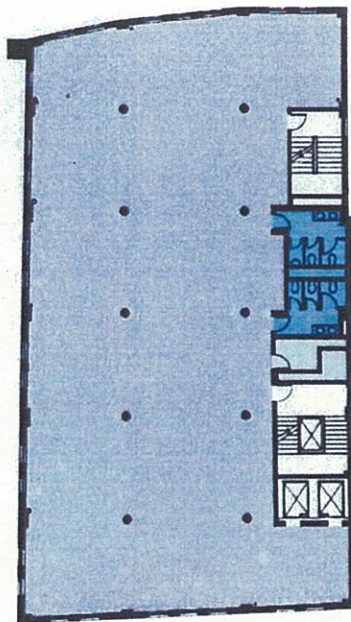


View of Interior Lobby and Food Court





Located less than 20 minutes from Downtown Boston at the intersection of Washington and Warren Streets, the site is easily accessible by automobile and public transportation (both train and bus), making **Roxbury Center at 17 Warren Street**, the happening place to be!



Typical Office Floor Plan

Owned and managed by:



**Long Bay Management
Company**

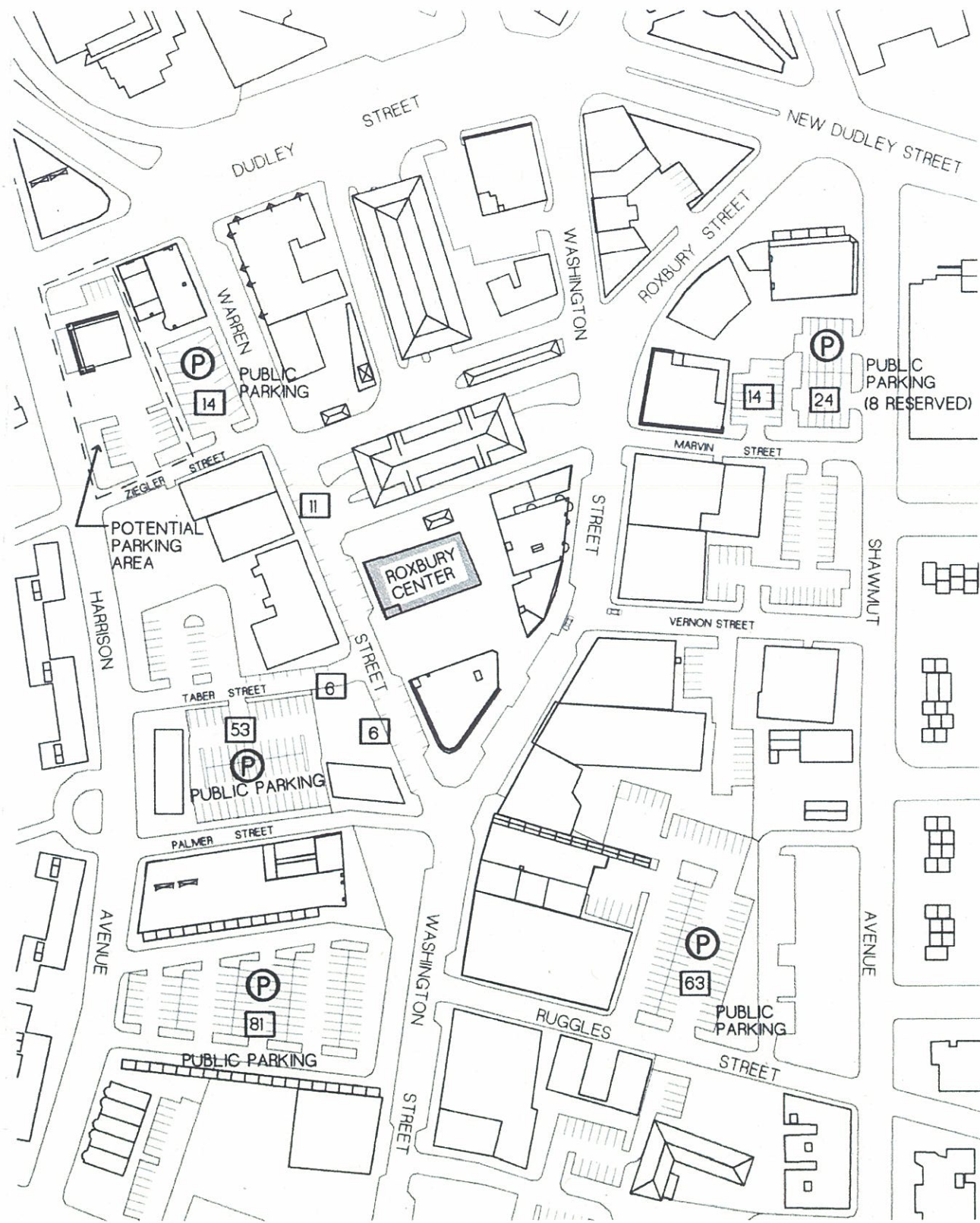
351 Massachusetts Avenue Boston, MA 02199

For further leasing information, contact:

Ken Guscott / Otis Gates
(617) 266-8604

Brochure prepared by: **Stull and Lee, Incorporated**
Architects and Planners





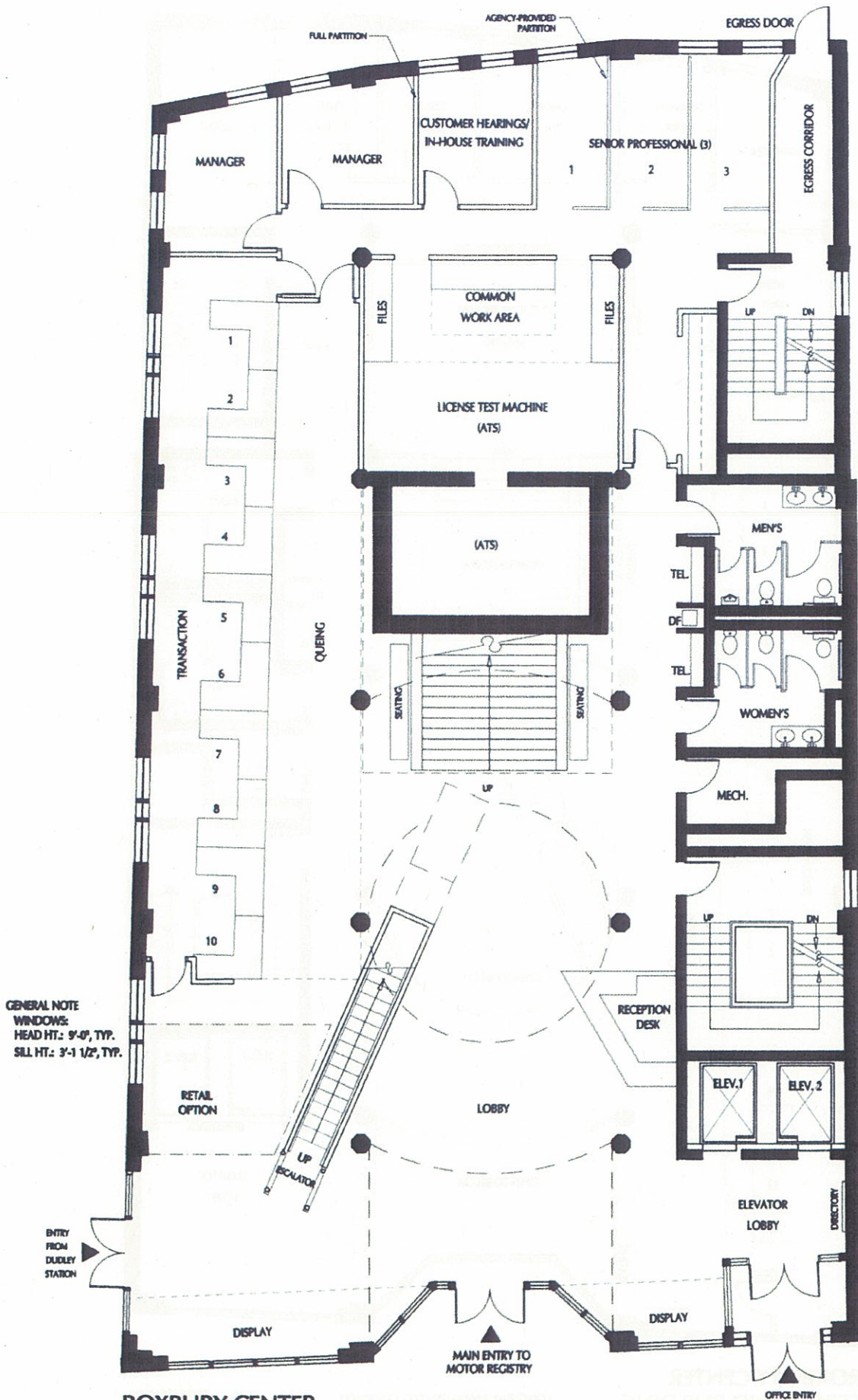
**ROXBURY CENTER
FERDINAND BUILDING
17 WARREN STREET**

LONG BAY MANAGEMENT COMPANY
351 Massachusetts Avenue
Boston, Massachusetts 02115

Stull and Lee, Inc.
Architect and Planner
28 Chestnut Street, Suite 1100
Boston, Massachusetts 02108
617 452-2020 FAX 617 452-2022

SITE PLAN





1

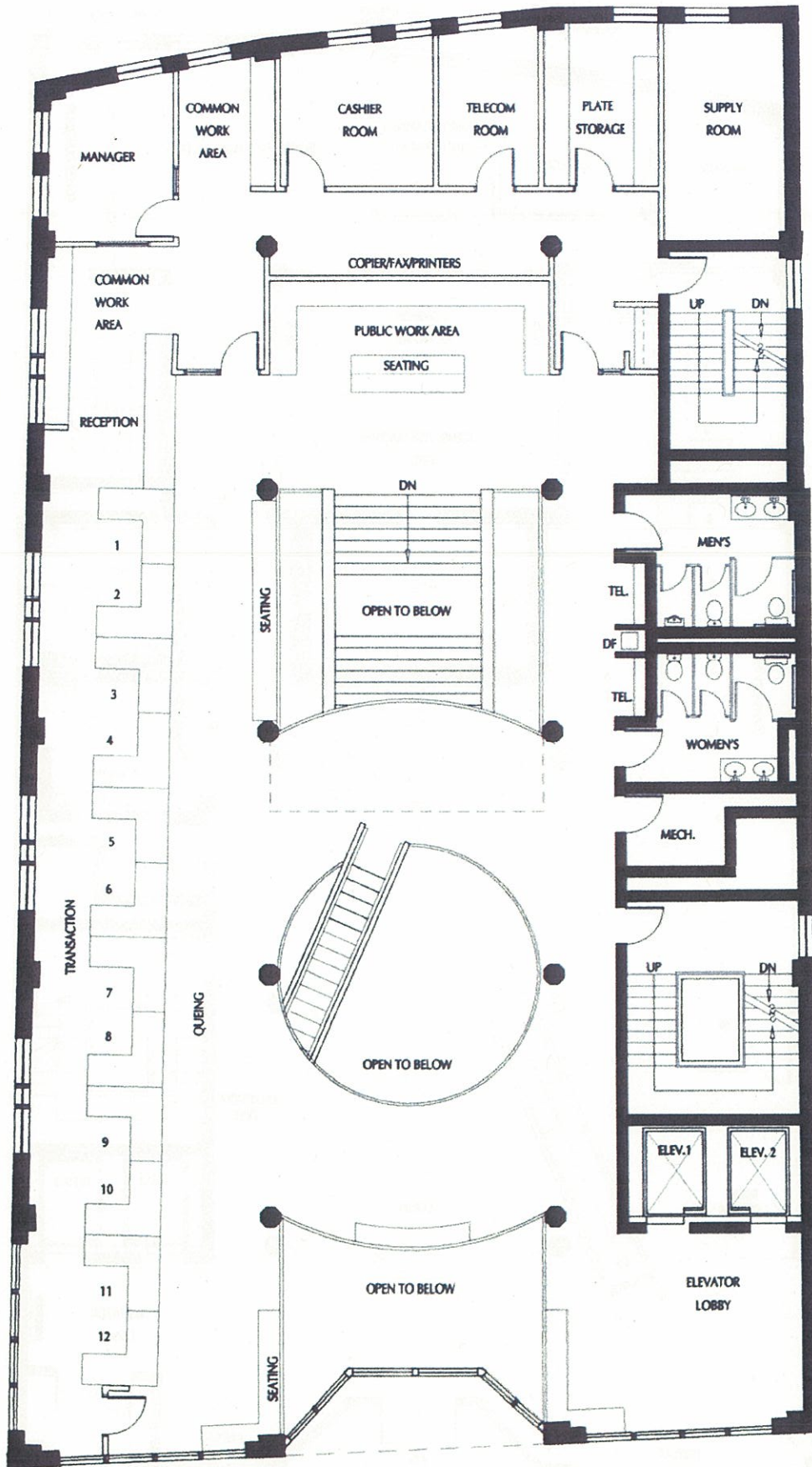
**ROXBURY CENTER
FERDINAND BUILDING**
17 WARREN STREET

LONG BAY MANAGEMENT COMPANY
351 Massachusetts Avenue
Boston, Massachusetts 02115

Stull and Lee, Inc.
Architects and Planners
38 Chestnut Street, Suite 1100
Boston, Massachusetts 02108
617-452-0400 FAX 452-2033

PHOTO LICENSE ● GROUND FLOOR





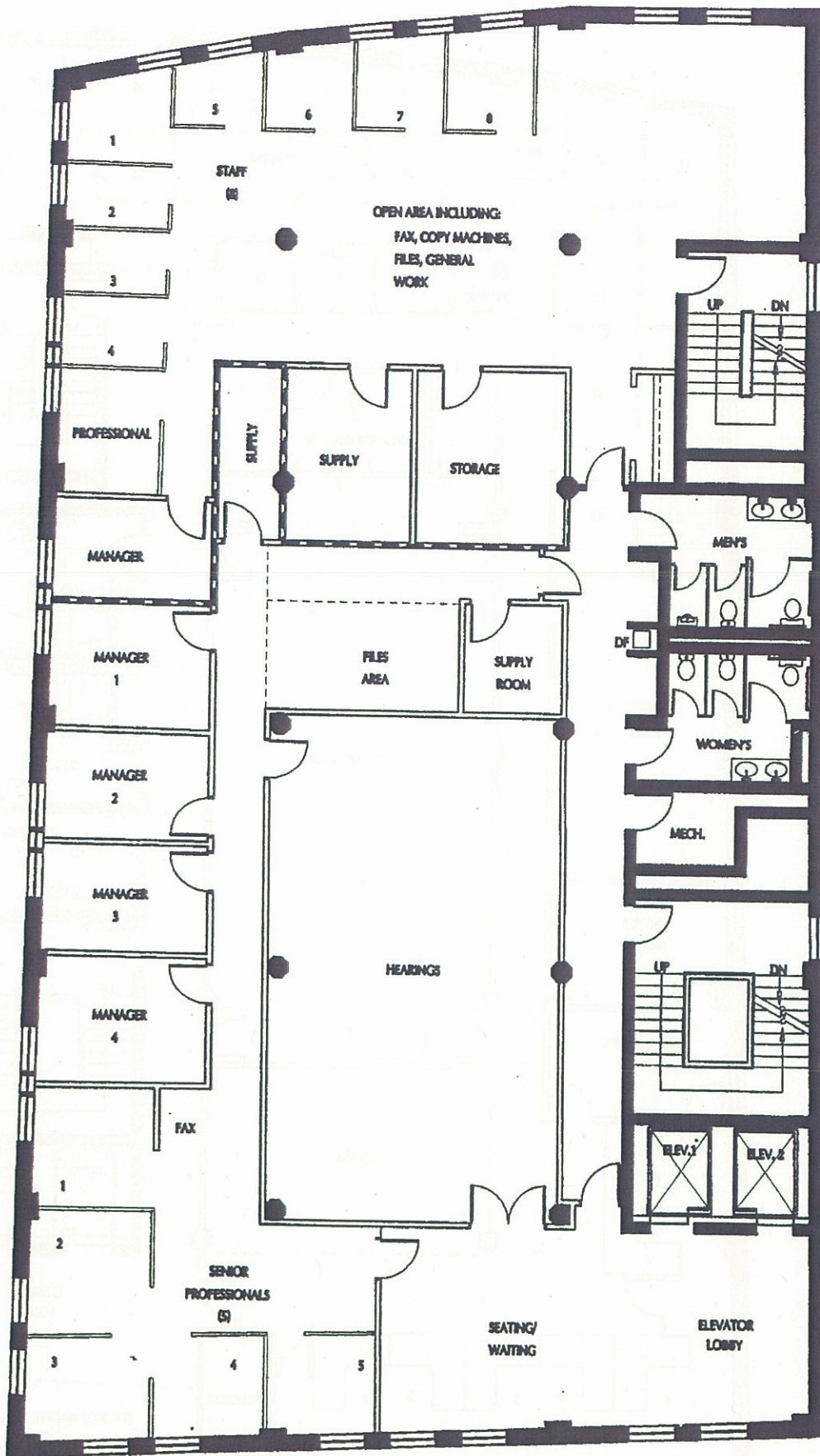
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**ROXBURY CENTER
FERDINAND BUILDING**
17 WARREN STREET
REGISTRATION ● MEZZANINE

LONG BAY MANAGEMENT COMPANY
351 Massachusetts Avenue
Boston, Massachusetts 02115

Stull and Lee, Inc.
Architects and Planners
25 Clarence Street, Suite 1100
Boston, Massachusetts
617 426-0900 FAX 426-8200





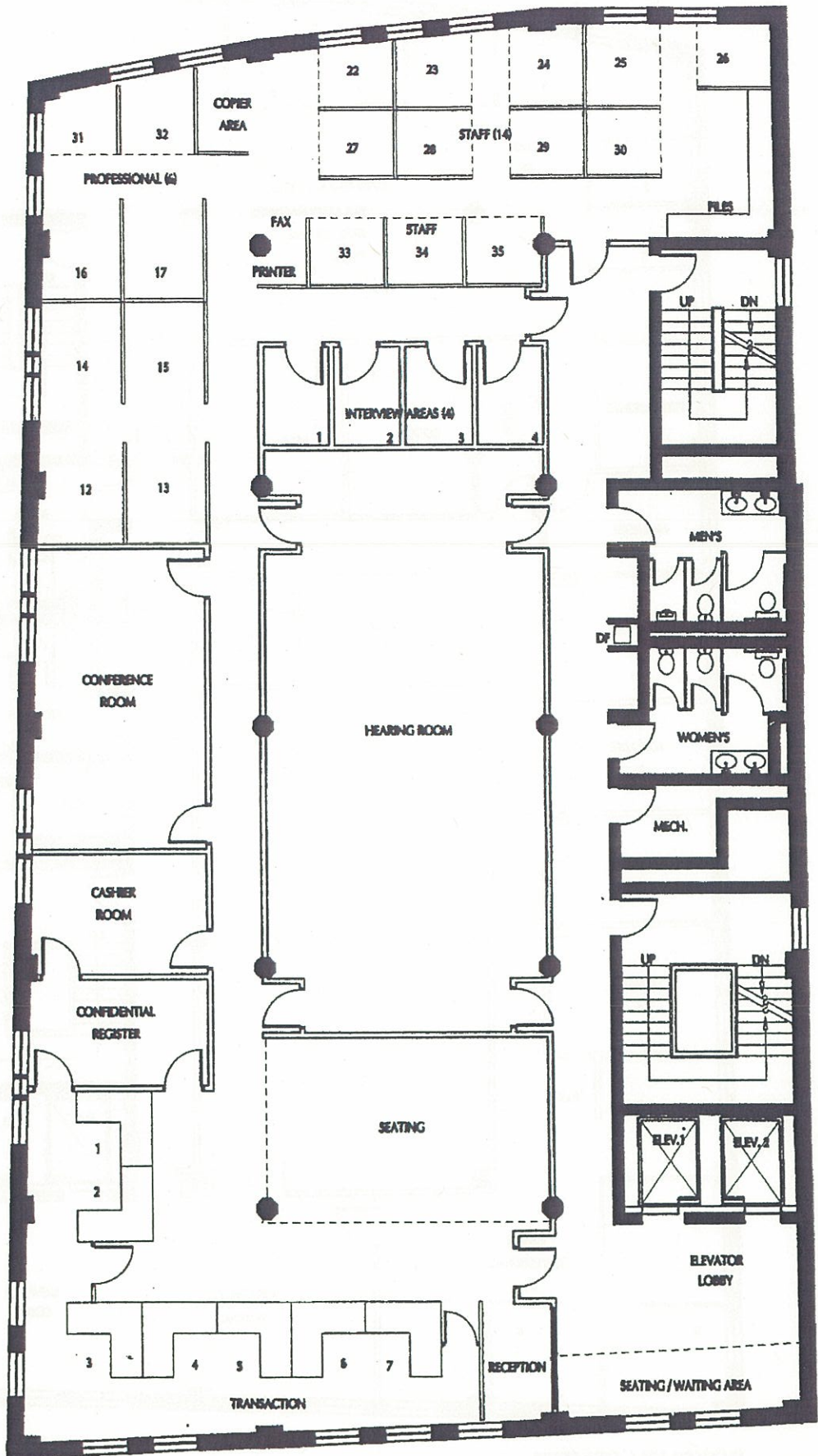
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**ROXBURY CENTER
FERDINAND BUILDING
17 WARREN STREET**

LONG BAY MANAGEMENT COMPANY
351 Massachusetts Avenue
Boston, Massachusetts 02115

Shall and Lee, Inc.
Architect and Planner
23 Cambridge Street, Suite 1100
Boston, Massachusetts
617-452-0000 FAX 617-452-0000

BOARD OF APPEALS and MAIL OPERATIONS ● 1ST FLOOR



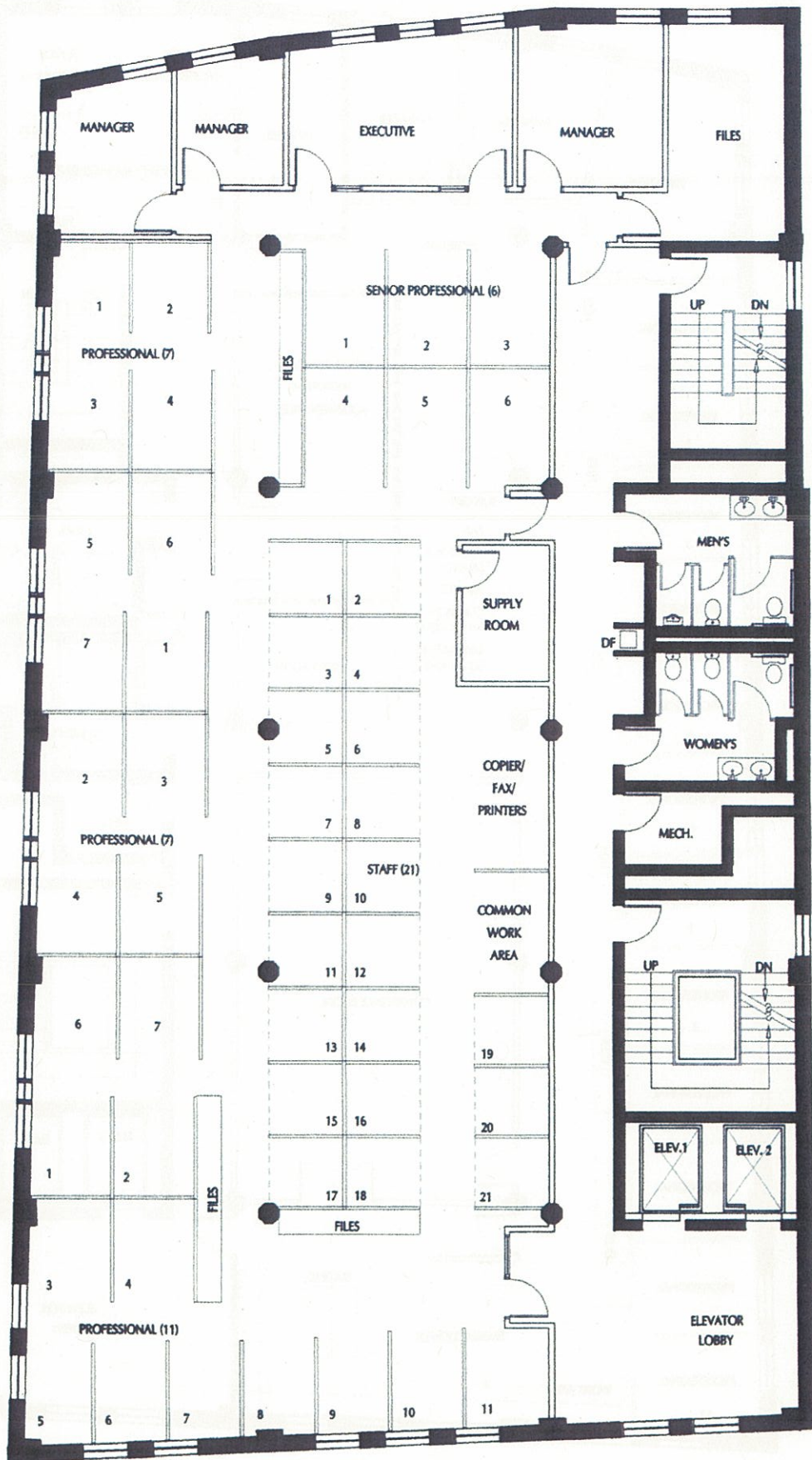
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**ROXBURY CENTER
FERDINAND BUILDING**
17 WARREN STREET

LONG BAY MANAGEMENT COMPANY
351 Massachusetts Avenue
Boston, Massachusetts 02115

Shull and Lee, Inc.
Architects and Planners
80 Clarendon Place, Suite 1100
Boston, Massachusetts 02116
Tel: 617-552-1100 Fax: 617-552-1101

DRIVER CONTROL (1st Level) ● 2ND FLOOR



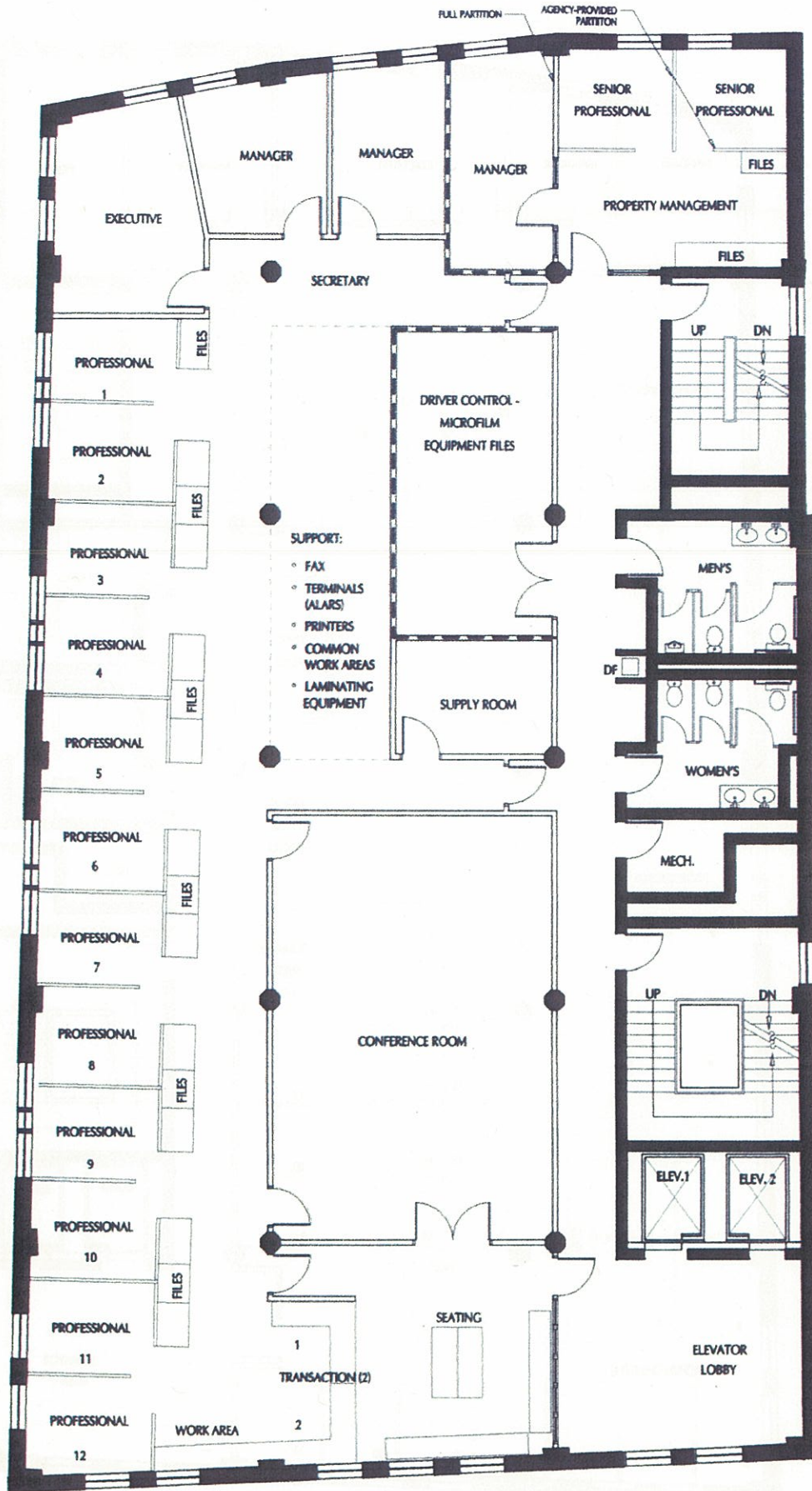
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**ROXBURY CENTER
FERDINAND BUILDING**
17 WARREN STREET

LONG BAY MANAGEMENT COMPANY
351 Massachusetts Avenue
Boston, Massachusetts 02115

DRIVER CONTROL (2nd Level) ● 3RD FLOOR

Stull and Lee, Inc.
Architects and Planners
28 Company Street, Suite 1100
Boston, Massachusetts
617 488-8888 FAX 617 488-2888



6

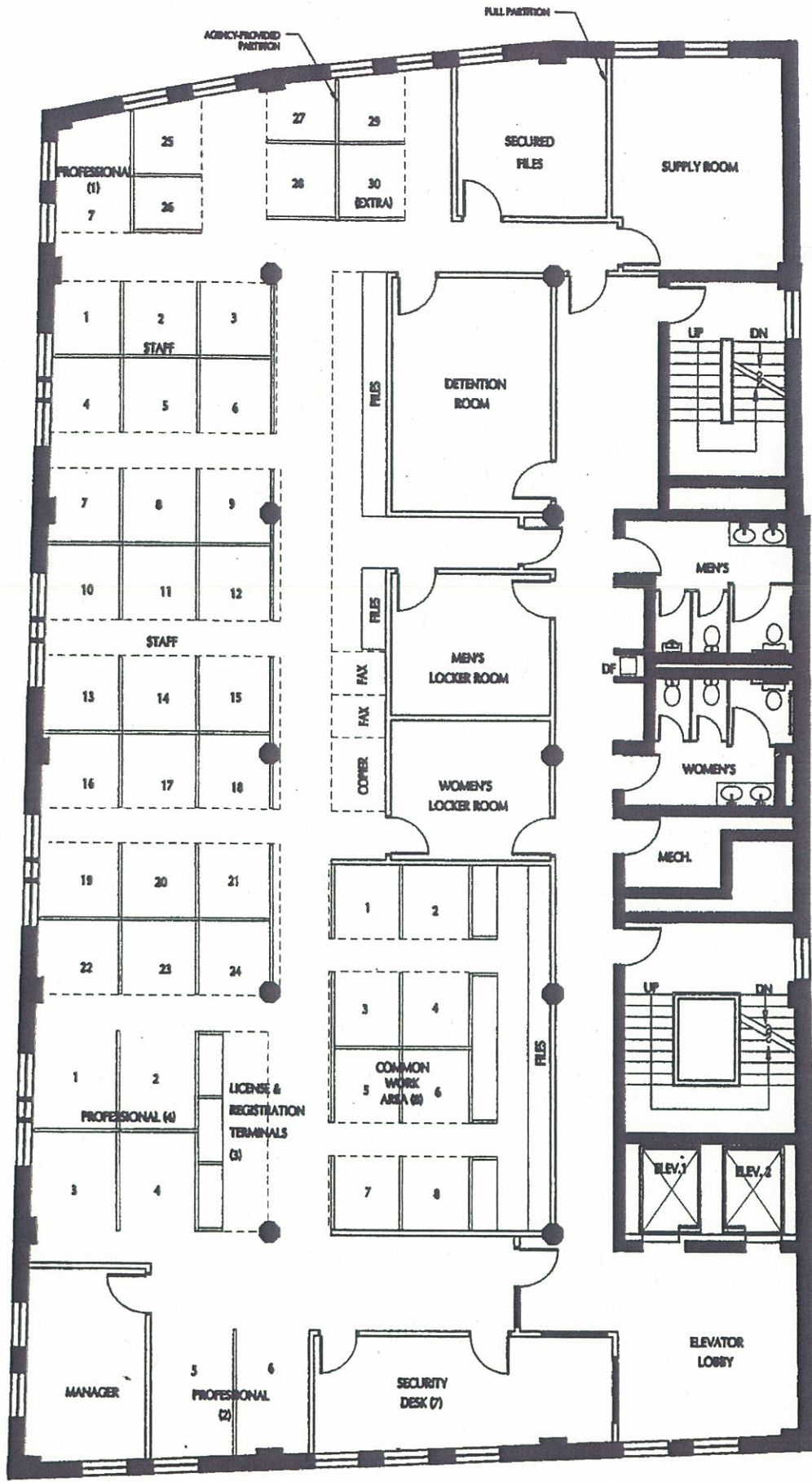
**ROXBURY CENTER
FERDINAND BUILDING
17 WARREN STREET**

LONG BAY MANAGEMENT COMPANY
351 Massachusetts Avenue
Boston, Massachusetts 02115

Stull and Lee, Inc.
Architects and Planners
20 Channing Street, Suite 1100
Boston, Massachusetts
617-426-2400 FAX 617-426-2511

MEDICAL AFFAIRS & PROPERTY MANAGEMENT @ 4TH FLOOR





7

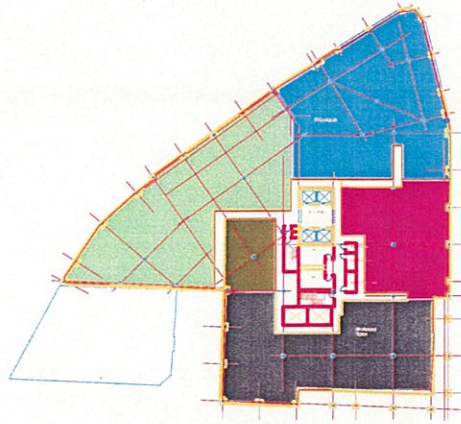
**ROXBURY CENTER
FERDINAND BUILDING
17 WARREN STREET**

STATE POLICE ● 5TH FLOOR

LONG BAY MANAGEMENT COMPANY
351 Massachusetts Avenue
Boston, Massachusetts 02115

Stull and Lee, Inc.
Architect and Planner
20 Claver Street, Suite 1100
Boston, Massachusetts
617-452-9900 FAX 617-452-9901

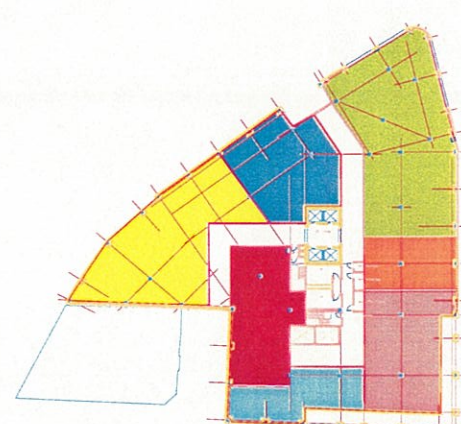
Basement Level
25,000 sq ft



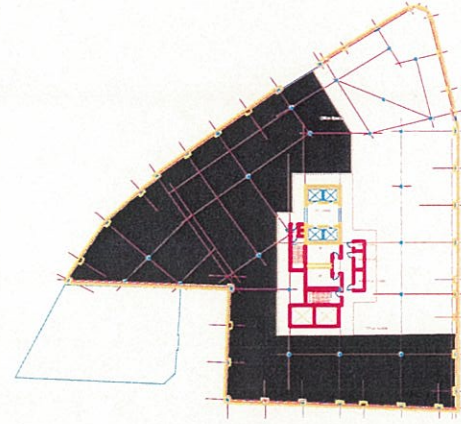
1st Floor
18,000 sq ft



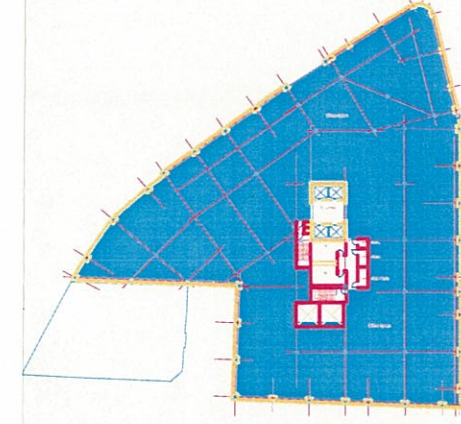
2nd Floor
23,500 sq ft



3rd Floor
25,000 sq ft



4th Floor
25,000 sq ft



	Proposed	Existing
Mech	5,250	
BSD	6,100	4,800
BCS	1,100	1,150
ED	3,000	2,800
DND	6,250	6,100

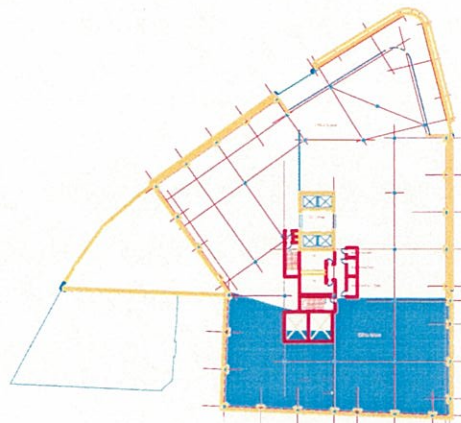
	Proposed
Retail	18,000

	Proposed	Existing
OBD	4,150	3,428
BMC	2,600	1,753
CP	2,550	2,191
M & WB	1,600	1,329
FC	1,400	1,149
PMD	2,800	2,359
OCC	5,500	4,000

	Proposed	Existing
HR	9,000	7,646
PFD	14,000	11,700

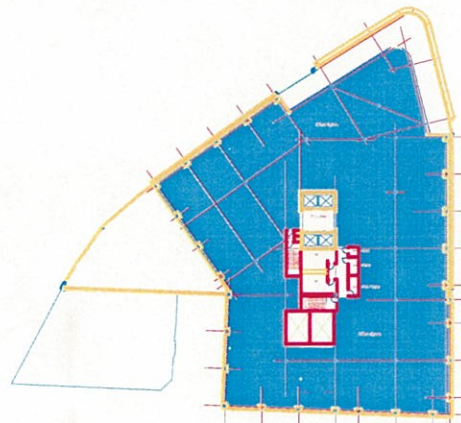
	Proposed
BSD	25,000

5th Floor
22,000 sq ft



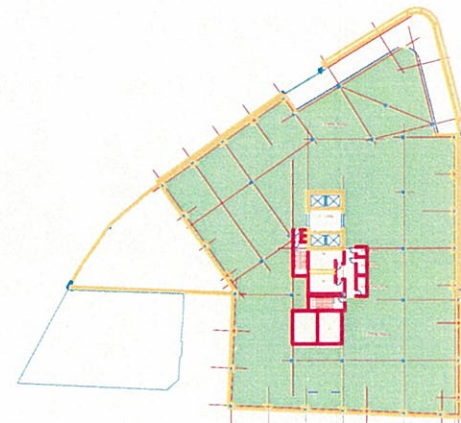
	Proposed
BSD	22,000

6th Floor
20,008 sq ft



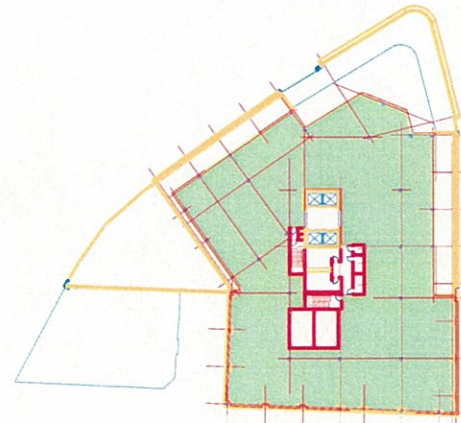
	Proposed
BSD	20,008

7th Floor
20,008 sq ft



	Proposed
DND	20,008

8th Floor
14,200 sq ft



	Proposed
DND	14,200

	Total Proposed	Total Existing
BSD TOTAL	73,100	69,276

	Total Proposed	Total Existing
DND TOTAL	34,208	30,000

- BCS - Building Custodial Support
- BMC - Boston Management Consortium
- BSD - Boston School District
- CP - Community Partnership
- DND - Department of Neighborhood Development
- ED - Environmental Department
- FC - Finance Commission
- HR - Human Resources
- M & WB - Minority & Women Business
- Mech - Building Mechanical Space
- OBD - Office of Business Development
- OCC - Office of Cable Communications
- PFD - Public Facilities Department
- PMD - Property Management Department

