

Fairmount Indigo Planning Initiative

Upham's Corner Working Advisory Group (WAG) Meeting #4

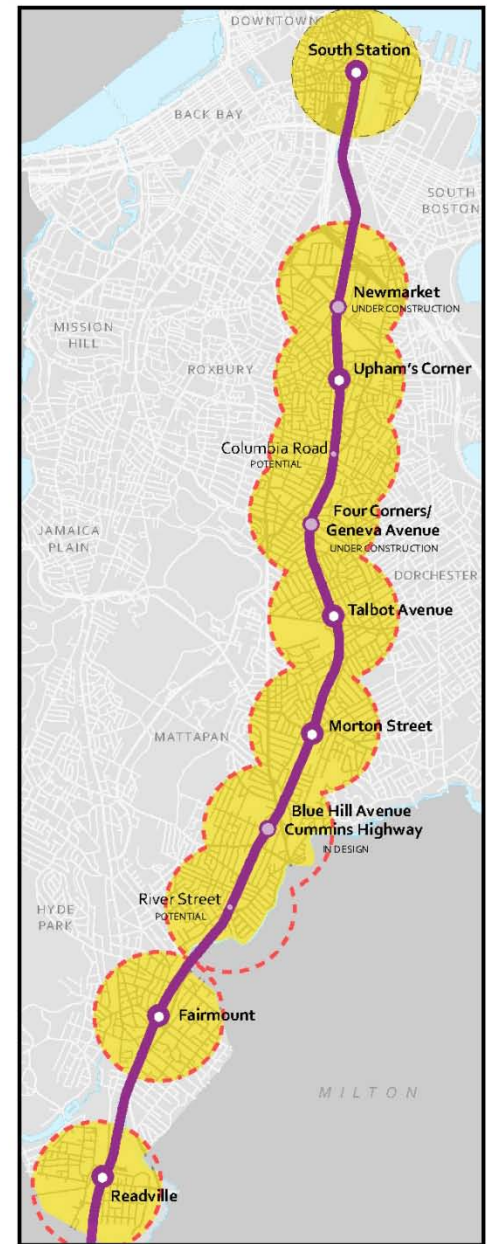
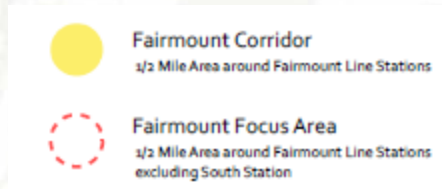
Wednesday, December 5th

Prepared by:
The Cecil Group Team
 The Cecil Group
 HDR Engineering, Inc.
 Byrne McKinney & Associates, Inc.
 McMahon Associates
 Bioengineering
 SAS Design, Inc.
 Shook Kelley



Agenda

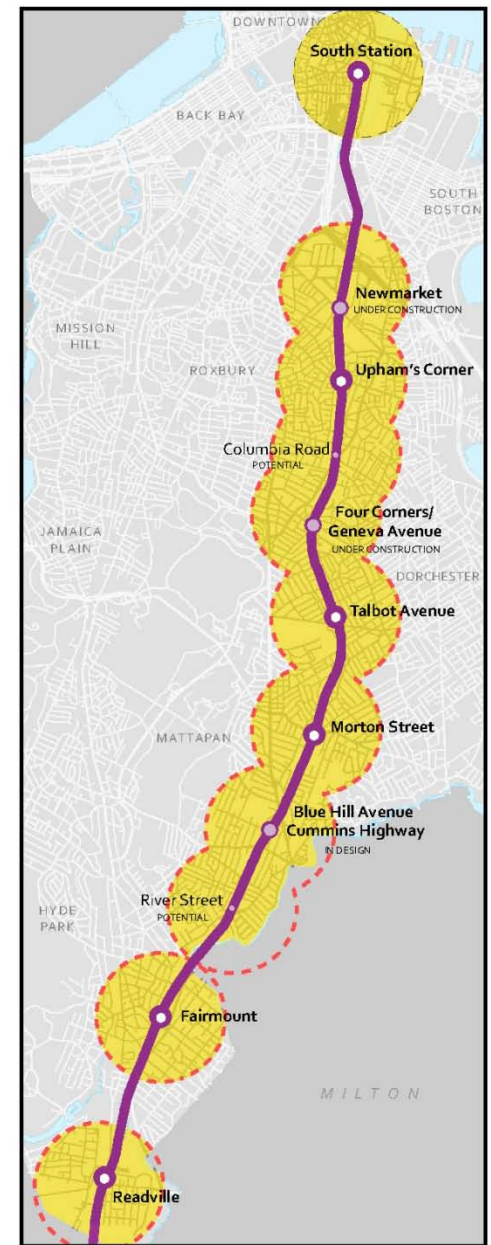
1. Welcome and Introductions
2. Upham's Corner Infrastructure Improvements Update
3. Community Forum Review – *Upham's Perspective*
4. Proposed Upham's Corner Visioning Forum
5. Youth Outreach
6. Next Steps



Welcome and Introductions

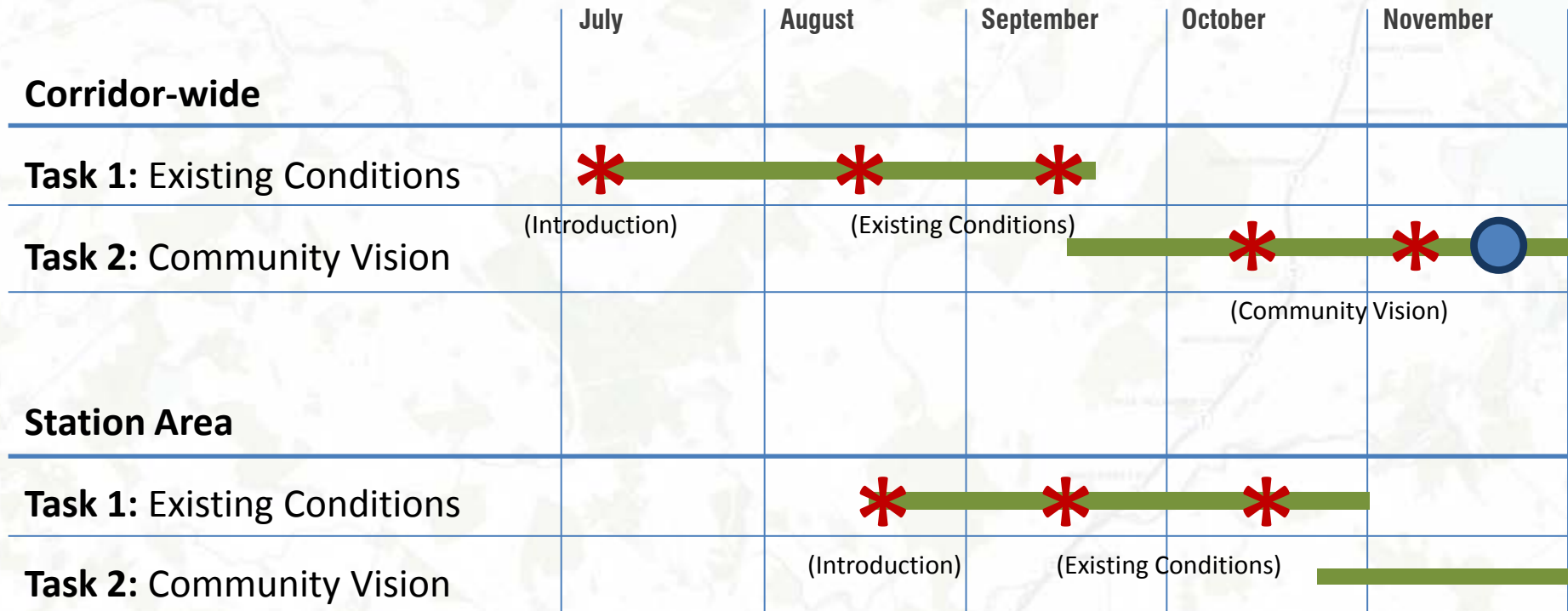
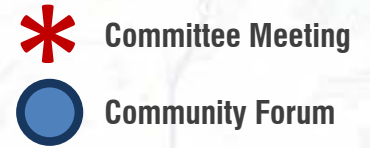
Study goals

- Guide physical and economic development
- Encourage sustainable growth and TOD
- Limit displacement of existing residents and businesses
- Incorporate existing planning initiatives (City-led and Community-based) into one vision for the future



Welcome and Introductions

Progress To Date

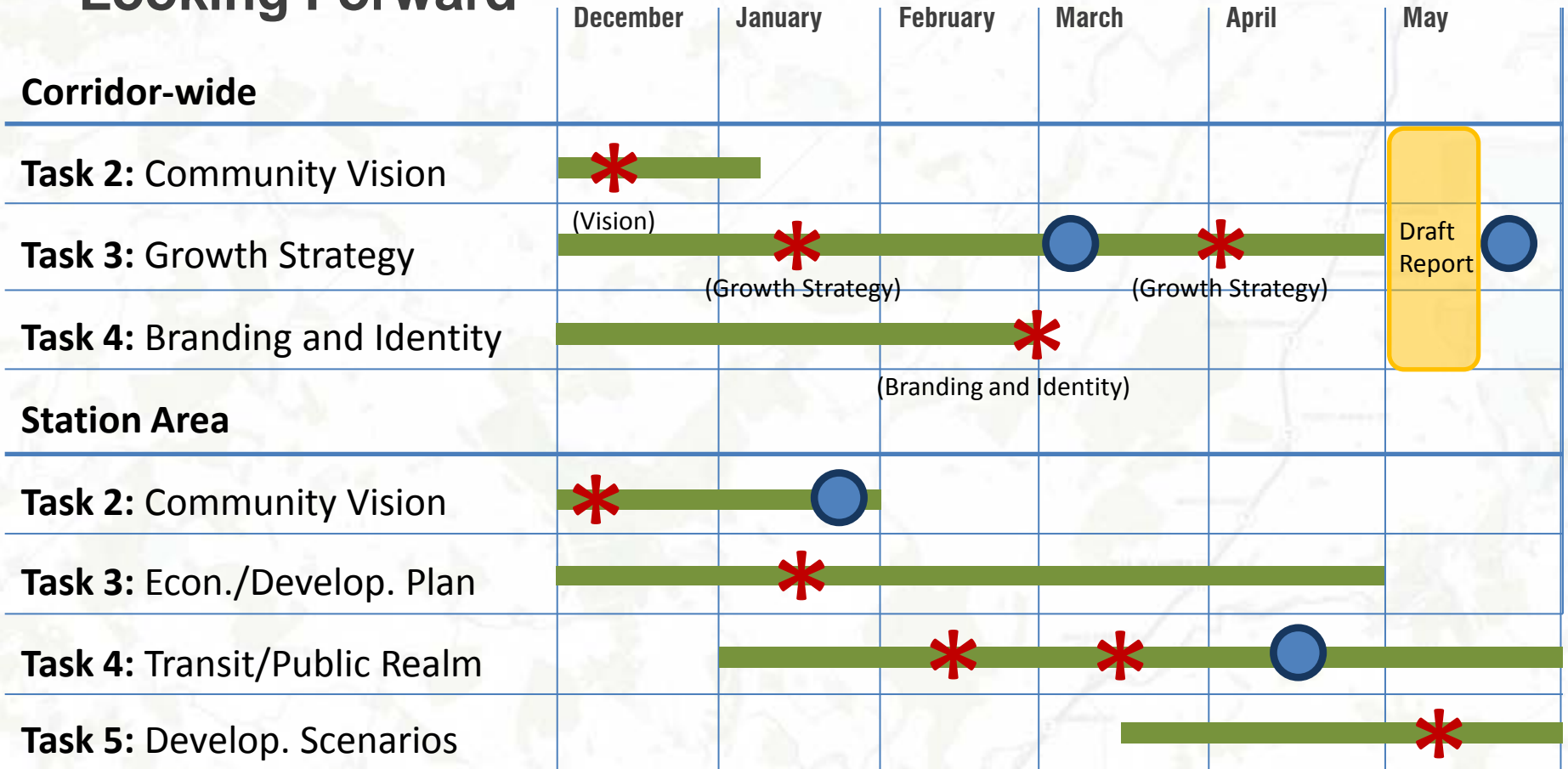


Welcome and Introductions

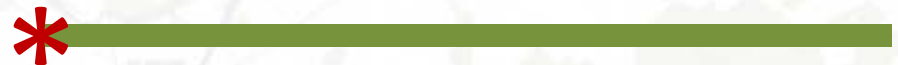
Looking Forward

 Advisory Group Meetings

 Community Forums and Meetings

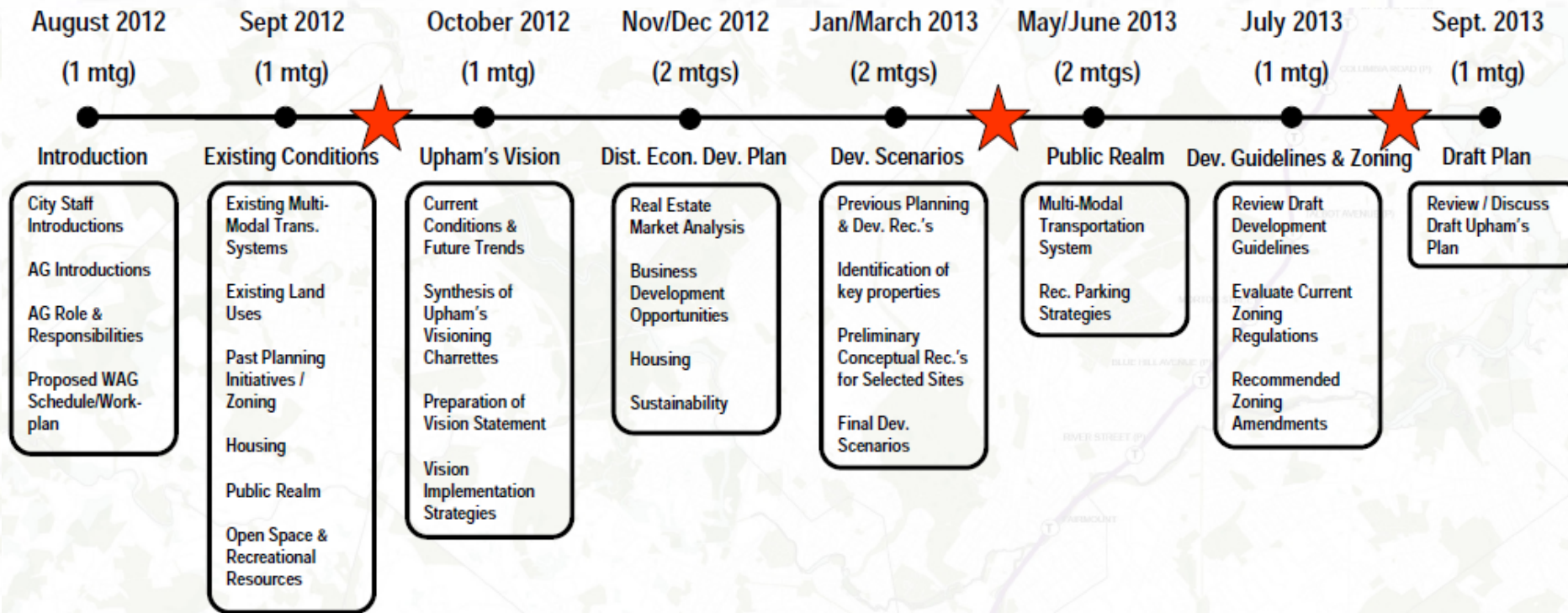


Two Additional Stations



Welcome and Introductions

Overall Schedule



Upham's Infrastructure Improvements Update

Sub-Committee Scope:

- Advise PWD Team
- 4 sub-committee meetings

Timeline:

- December 2012—Community meeting
- December-March 2013—Design process
- June 2013—Contract bidding
- October 2013—Begin construction



Community Forum Review – *Upham's Perspective*

1. Engaging and thoughtful discussions
2. WAG member perspectives
3. Synthesizing a vision – the corridor and Upham's Corner
4. Testing emerging themes
5. Model for Upham's Visioning Forum



Community Forum Review – Upham’s Perspective

Station Area Characteristics

Station Status	Current Station
Station Population (within ½ mile)	17,000
Dominant Land Use	Residential
Typical Daily Boardings (2009)	154
Bus Connection(s)	Routes 15, 41 and 16
Major Cross Street	Dudley Street
Major Open Space	Hannon Playground

½ Mile Walking Radius



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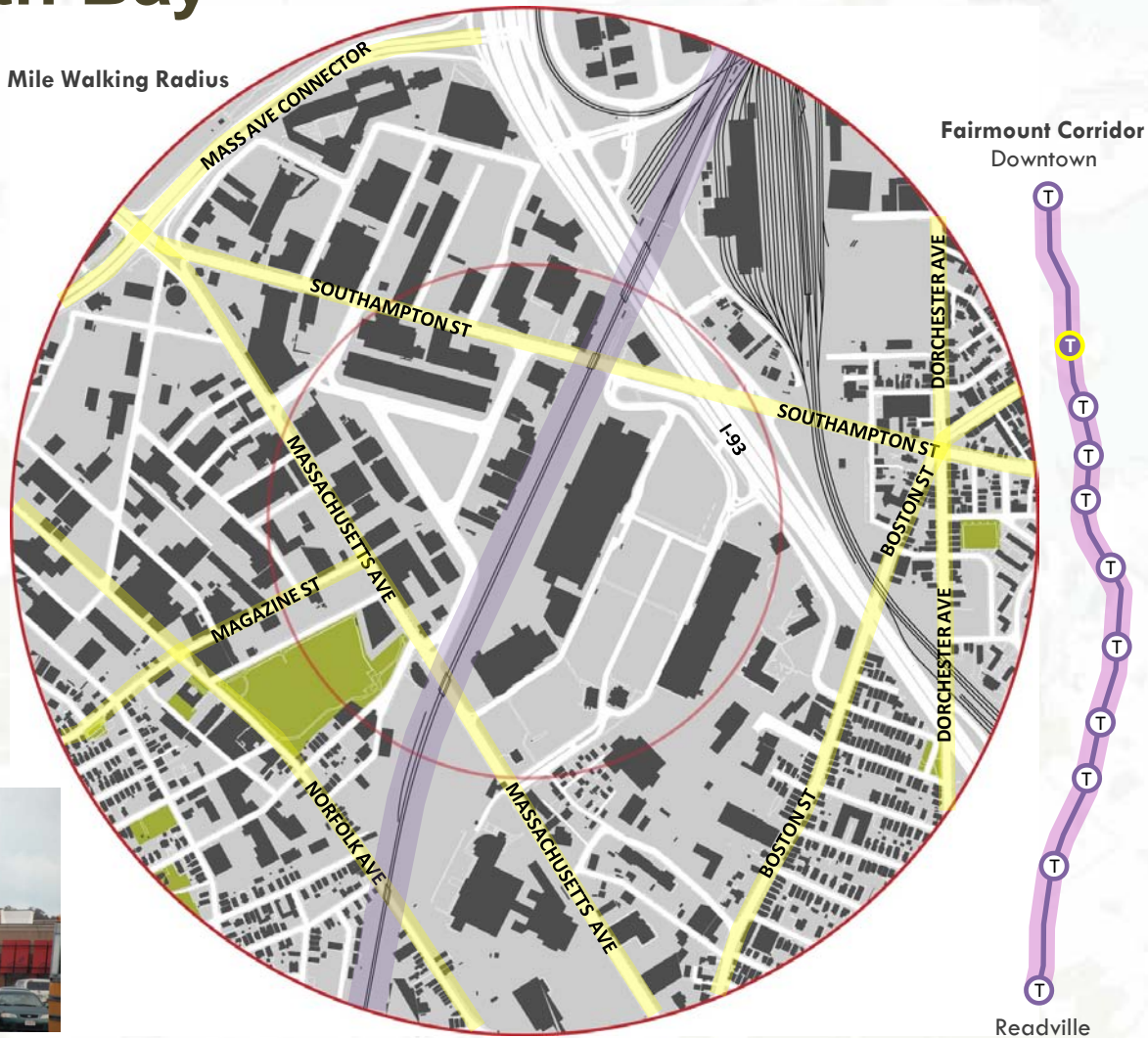


Community Forum Review – Upham’s Perspective Newmarket / South Bay

Station Area Characteristics

Station Status	Under Construction (opening in 2013)
Station Population (within ½ mile)	5,000
Dominant Land Use	Commercial
Typical Daily Boardings (2009)	Not in operation
Bus Connection(s)	Routes 8 and 10
Major Cross Street	Mass Ave
Major Open Space	Clifford Playground

½ Mile Walking Radius



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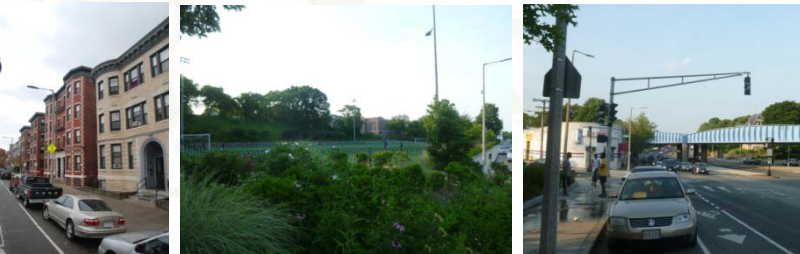
Community Forum Review – Upham’s Perspective

Columbia Road

Station Area Characteristics

Station Status	Potential Station
Station Population (within ½ mile)	18,000
Dominant Land Use	Residential
Typical Daily Boardings (2009)	Not in operation
Bus Connection(s)	Route 16
Major Cross Street	Columbia Road
Major Open Space	Ceylon Park and Brunswick-King Play Area

½ Mile Walking Radius



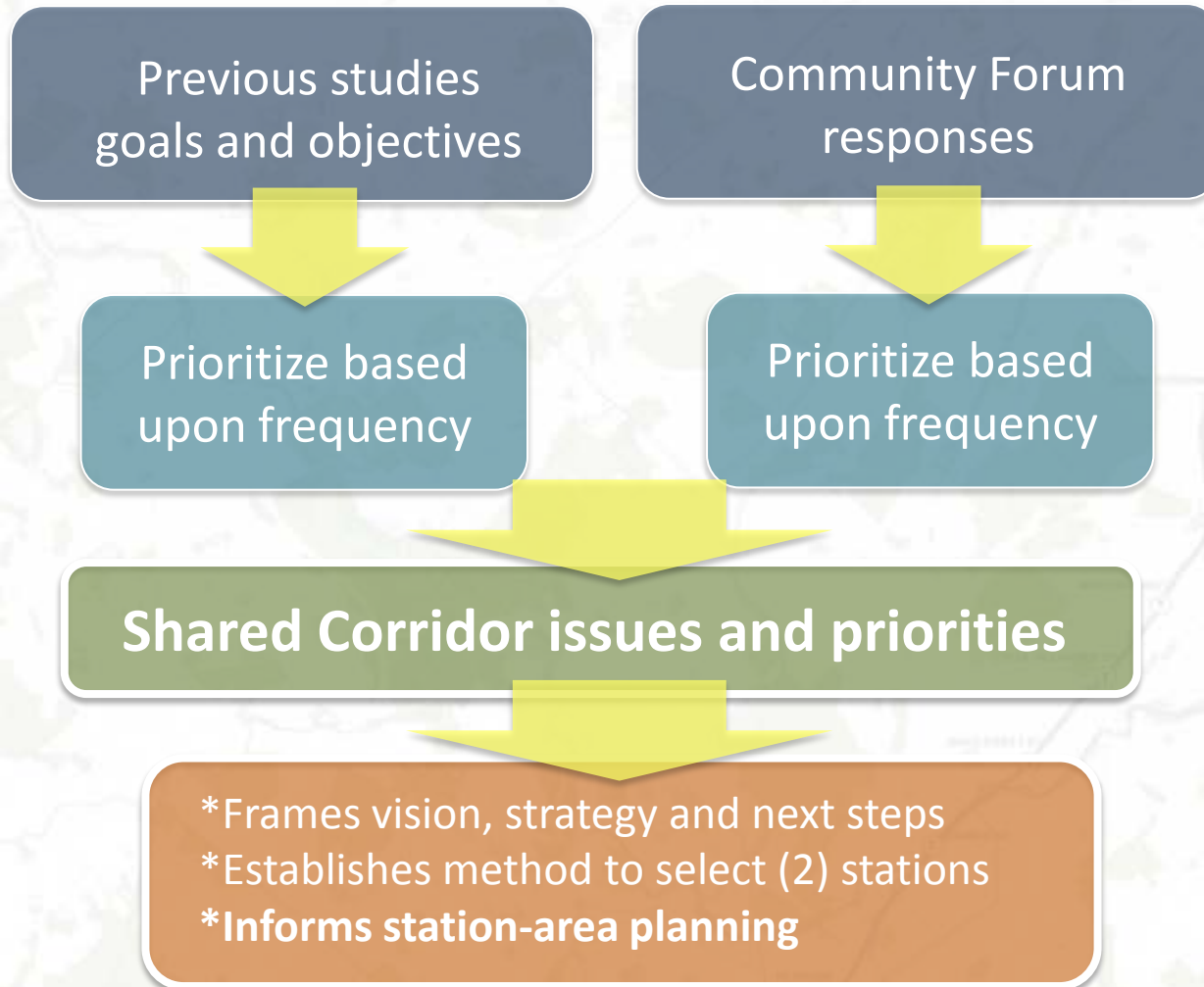
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Community Forum Review – Upham’s Perspective

Synthesizing a Vision



Community Forum Review – Upham’s Perspective

Corridor-wide Scale:
Branding, vision

Corridor Identity

Culturally rich residential neighborhoods served by corridor Main Streets and village centers and book-ended by vital job centers

Corridor-wide Scale:
economics, urban design, sustainability

Corridor-wide Plan
(Comprehensive Corridor Plan)

Diverse collection of station areas each with a unique set of priorities and characteristics that are cultivated to create synergy in the corridor

Neighborhood Scale:
economics, urban design, public realm/landscape, complete infrastructure, sustainability

Station Area Plans

Reinforce Upham’s Corner as a vibrant commercial and cultural village center surrounded by active residential neighborhoods



Community Forum Review – Upham’s Perspective

Topic

Most Frequently Discussed Themes

Economic Development

- Attract businesses to corridor
- Activate underutilized buildings and sites
- Empower residents for upward mobility
- Connect to more jobs downtown
- Business incubators and job training centers
- Create a corridor-wide Chamber of Commerce
- Create a corridor Business Improvement District
- More destinations within corridor

Land Use

- Destinations around stations
- Celebrate ethnic cultures along the corridor
- Target uses that contribute to the corridor
- Reinforce every station with its own identity
- More housing to support businesses and stores
- Encourage mixed-use development
- Ability to find everything you need along the corridor
- Mixed-use buildings at stations

Housing

- Increased density brings activity and business
- Mixed income and mix of housing
- More homeownership opportunities
- Absentee landlords are a problem
- Avoid displacement of residents due to new investment
- Need for affordable housing
- More housing in walking distance of stations
- Utilize vacant and abandoned land

Transportation

- Improve local station multi-modal connections –
- More parking near stations
- Create awareness of stations and neighborhoods
- Connections from stations to commercial areas
- Hubway stations at rail stations
- Special rail fares, reduced rates to attract ridership
- Improve signage and wayfinding for stations/neighborhoods
- Increase rail frequency and operate on weekends

Public Realm/Open Space

- Distinct identity of stations
- Unifying streetscape elements
- Reclaim vacant and blighted lots
- The new emerald necklace
- Add digital community information boards at stations
- Stations at “front door” to identity of the neighborhood
- Urban agriculture for jobs and healthy food sources
- Community gardens and farmers markets

Quality of Life

- Pride in community
- Improve safety and perception of neighborhoods
- Capitalize on cultural diversity at each station
- Destination corridor events and festivals
- Increase family-oriented activities
- Improve general community cleanliness
- Distribute resources throughout neighborhoods
- Too many cars through area, slow down traffic



Community Forum Review – Upham’s Perspective

Location

Most relevant priority or issue by station area

	Economic Development	Land Use	Housing	Transportation	Public Realm/ Open Space	Quality of Life
Newmarket	• Job Center	• Light industrial and commercial	• Minimal	• Balance vehicular and ped activity	• Pedestrian safety	• Improve safety/perception
Upham’s Corner	• Destination	• Commercial at center, multifamily	• Density at Main Streets	• Connect station to comm center	• New open spaces	• Capitalize on cultural diversity
Columbia Road	• Neighborhood	• Multifamily, residential	• Density at Main Streets	• Balance vehicular and ped activity	• Connections to Franklin Park	• Improve safety/perception
Four Corners/Geneva	• Neighborhood	• Multifamily, retail/service	• Density at Main Streets	• Connect to neighborhoods	• Connections to Franklin Park	• Improve safety/perception
Talbot Avenue	• Neighborhood	• Multifamily, residential	• Density at Main Streets	• Connect station to comm center	• Pedestrian safety	• Capitalize on cultural diversity
Morton Street	• Neighborhood	• Multifamily, retail/service	• Infill projects	• Connect to neighborhoods	• Pedestrian safety	• Improve safety/perception
Blue Hill Avenue/ Cummins Highway	• Neighborhood Center	• Multifamily, retail/service	• Density at Main Streets	• Connect station to comm center	• Connections to Neponset River	• Capitalize on cultural diversity
River Street	• Neighborhood	• Multifamily, residential	• Infill projects	• Connect to neighborhoods	• Connections to Neponset River	• Improve connections
Fairmount	• Destination	• Commercial at center, multifamily	• Maintain neighborhoods	• Connect station to comm center	• New open spaces	• Capitalize on cultural diversity
Readville	• Job Center	• Light industrial and commercial	• Maintain neighborhoods	• Balance vehicular and ped activity	• Pedestrian safety	• Improve connections



Community Forum Review – Upham’s Perspective

Location

Most difficult issue by location – “unlocks” others

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Community Forum Review – Upham’s Perspective

Potential Station Area Typologies

“Job Centers”



Newmarket/South Bay



Readville



Talbot Avenue



Morton Street



Blue Hill/Cummins

“Neighborhood-serving centers”



Upham’s Corner



Fairmount



Columbia Road



Four Corners



River Street

“Village Centers/Destinations”

“Neighborhood”



Community Forum Review – *Upham's Perspective*

- Conclusions informing Upham's Corner Visioning Forum:
 - Different stations, let them naturally evolve
 - How is Upham's different from and contributing to the overall corridor – Cultural destination, attracting non-residents to the corridor

Proposed Upham's Corner Visioning Forum

- Confirmation of forum dates with Committee:
 - Saturday, January 26th 9:00 am to Noon
 - Wednesday, January 30th 6:00 pm to 9:00 pm



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The Cecil Group Team

The Cecil Group • HDR • Byrne McKinney & Associates • McMahon Associates • Bioengineering • SAS Design • Shook Kelley

Community Visioning Meeting

Upham's Corner Stakeholder Meeting Dates

Today < > January 2013							Day	Week	Month	4 Days	Agenda	More ▾	⚙
Sun	Mon	Tue	Wed	Thu	Fri	Sat							
30	31 New Year's Eve	Jan 1 New Year's Day	2	3 UCMS Design	4	5							
6	7	8 Dorchester EDC UCWNA	9 DSNI Board Jones Hill	10 UCMS ER	11	12							
13	14	15 UCMS Board	16	17 UCMS Eastman Elder Hancock Civi	18	19 							
20	21 Martin Luther King, Jr's Day	22	23 	24 DSNI Committee Annapolis	25	26							
27	28	29	30 	31	Feb 1	2 Groundhog Day 							

 = Potential 1st Community Meeting Date

Proposed Upham's Corner Visioning Forum

- **Potential Forum Agenda:**
 - Introductory Presentation
 - Overview of Study
 - Purpose of Forum
 - Existing Patterns/Conditions
 - Virtual Walking Tour
 - WAG Member Speakers
 - Word Cloud Exercise
 - Youth Presentation
 - Break-out Groups
 - Mapping Issues/Opportunities
 - Report back
 - Setting Priorities/Targeting Specific Sites
 - Report back
 - Diagramming a Future Vision
 - Report back on Vision, Concluding Presentation/Next Steps



Proposed Upham's Corner Visioning Forum

“Virtual Walking Tour”



Source: BRA, City of Boston and MassGIS
Prepared by The Cecil Group
DRAFT September 24, 2012

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Proposed Upham's Corner Visioning Forum

“Virtual Walking Tour”



Proposed Upham's Corner Visioning Forum

"Virtual Walking Tour"



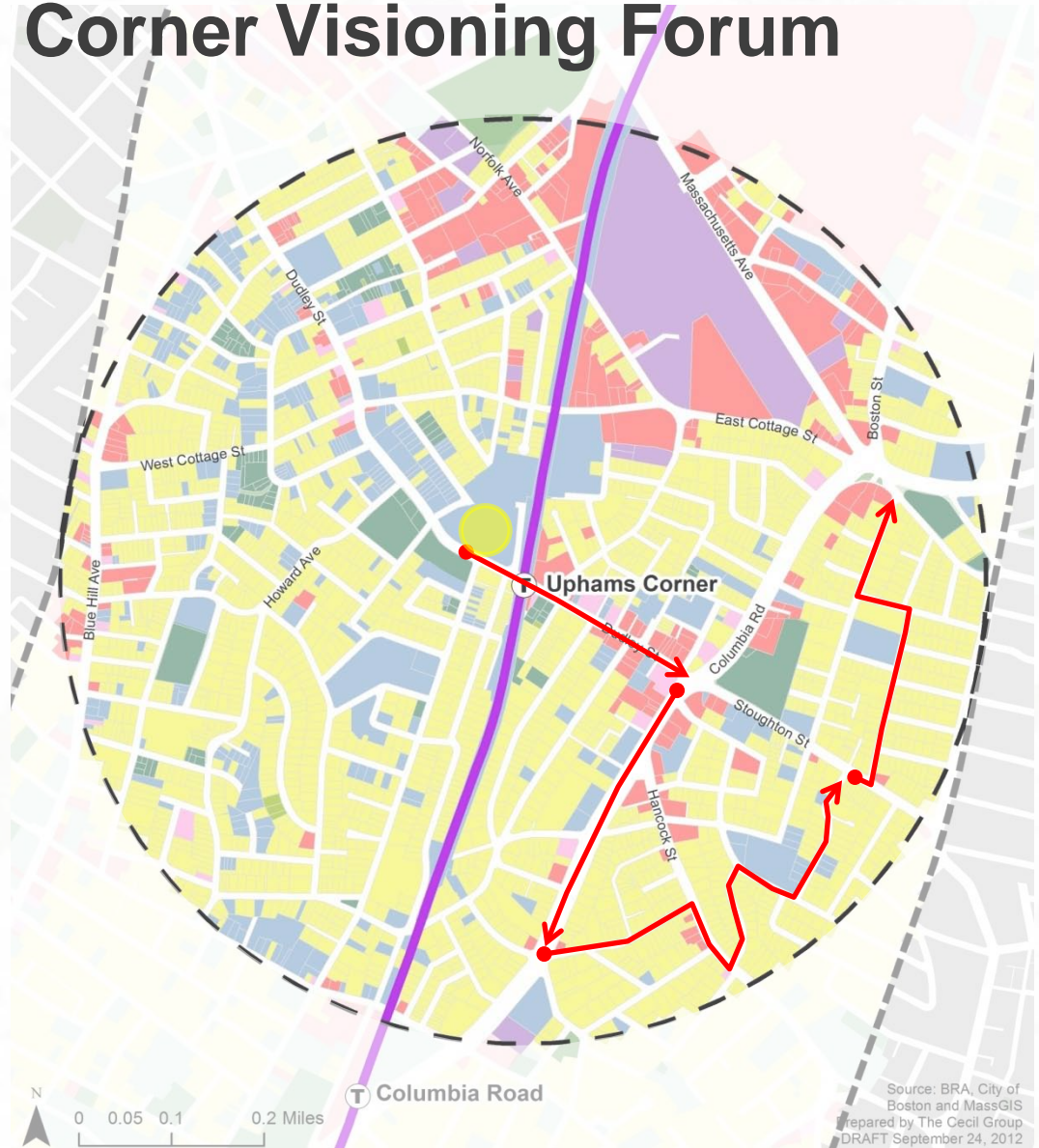
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Proposed Upham's Corner Visioning Forum

"Virtual Walking Tour"



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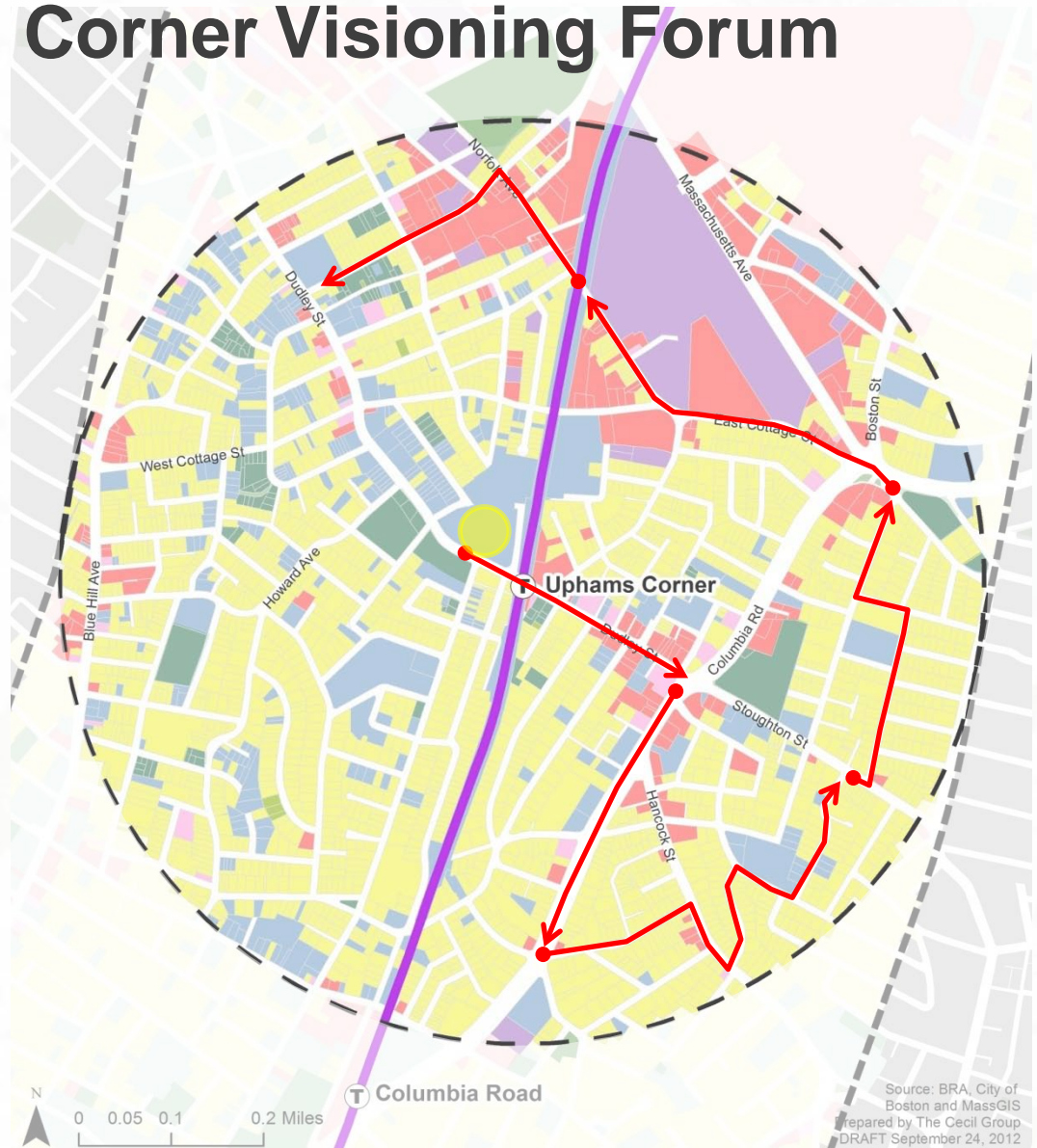
Proposed Upham's Corner Visioning Forum

“Virtual Walking Tour”



Proposed Upham's Corner Visioning Forum

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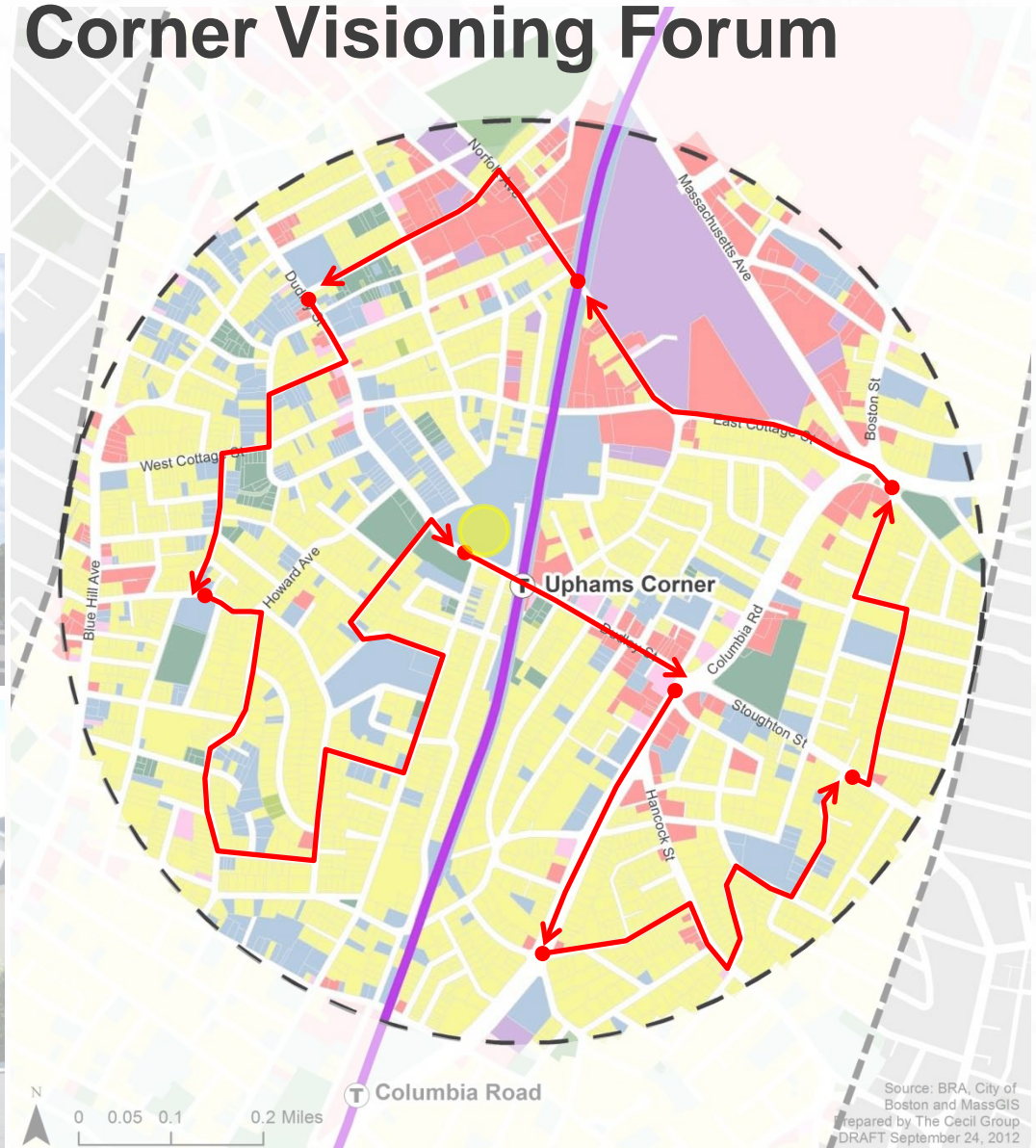
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"Virtual Walking Tour"



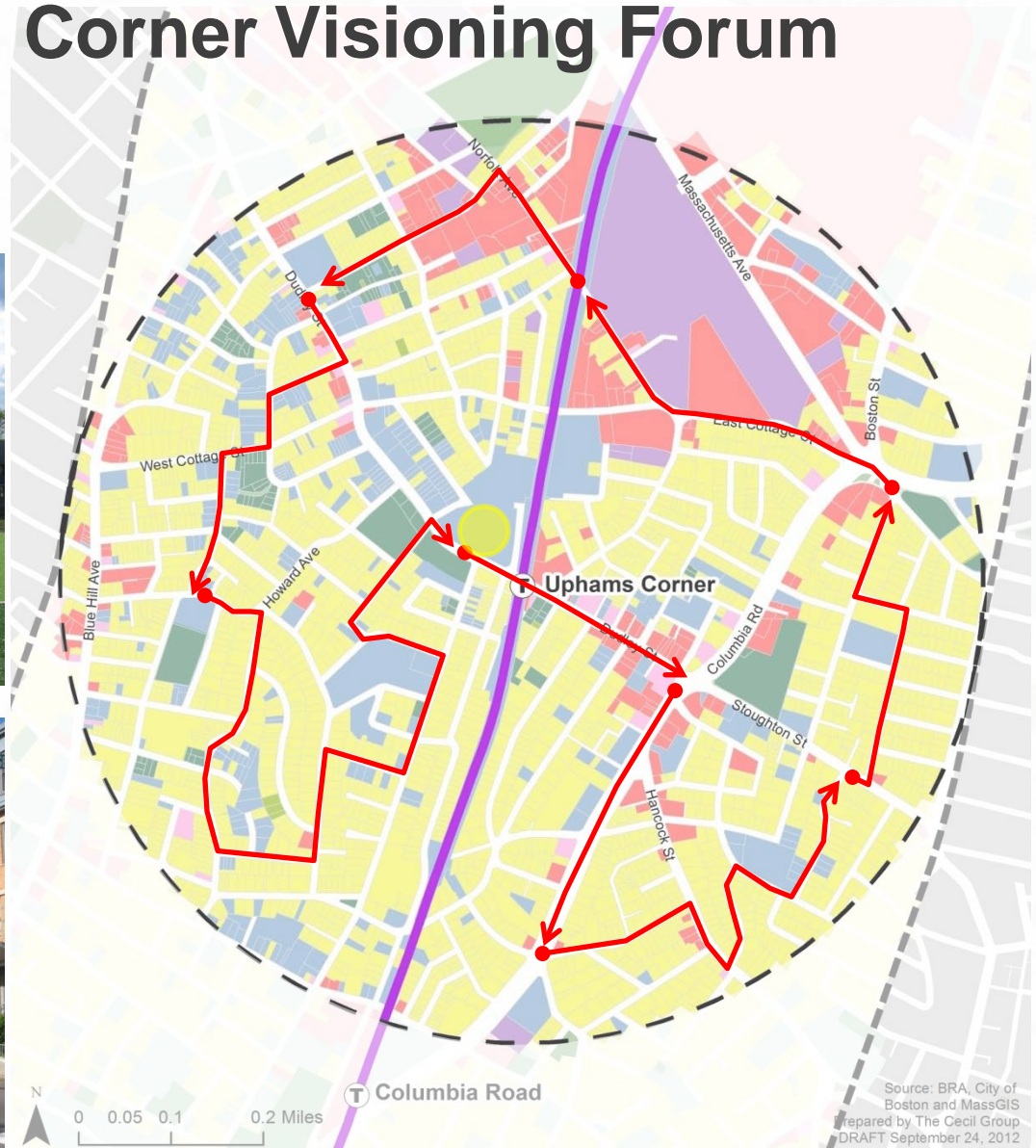
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Proposed Upham's Corner Visioning Forum

“Virtual Walking Tour”



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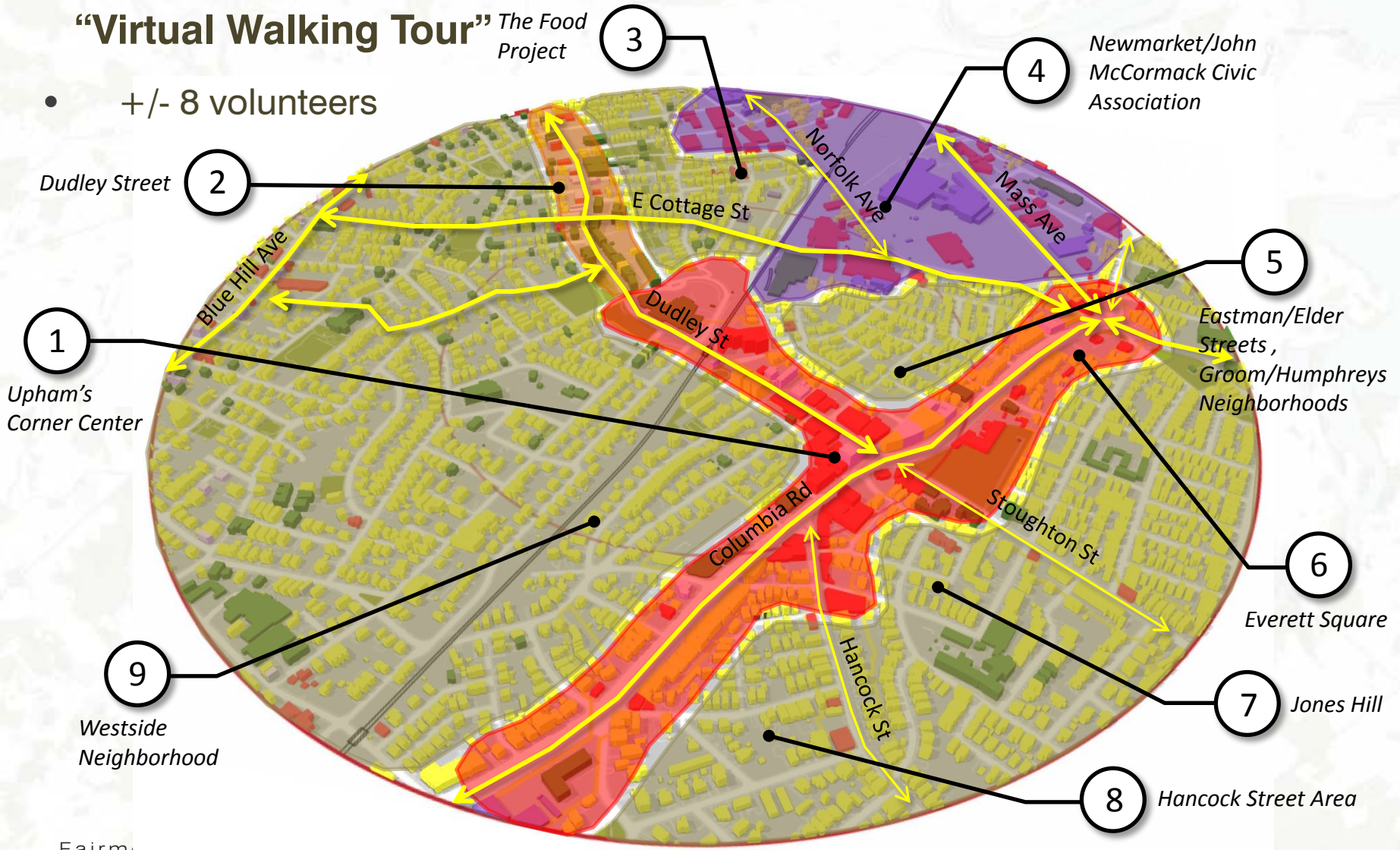
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Proposed Upham's Corner Visioning Forum

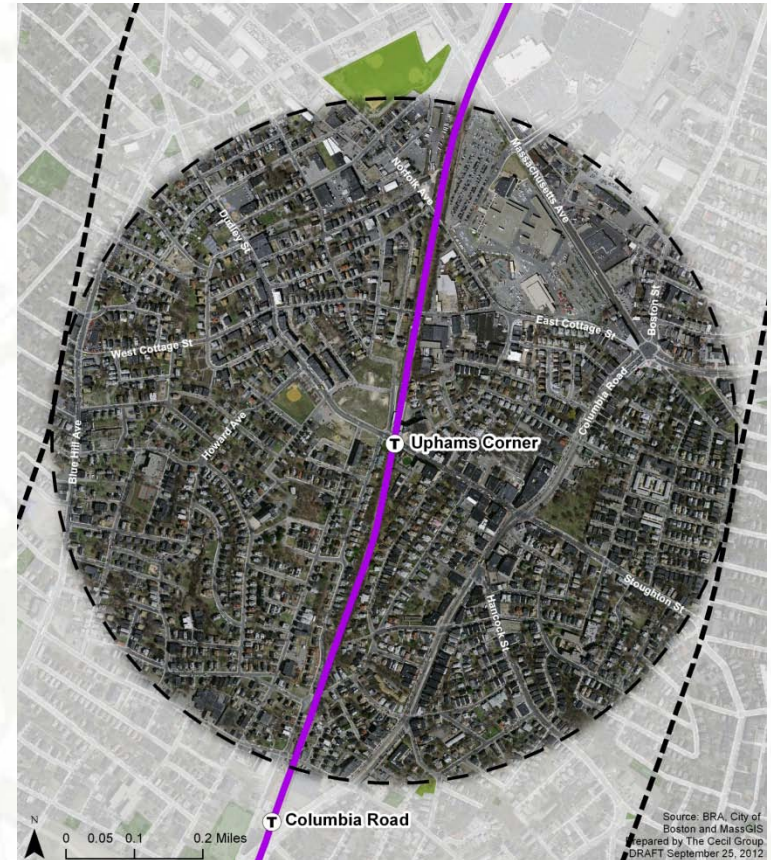
"Virtual Walking Tour" The Food Project

- +/- 8 volunteers



Proposed Upham's Corner Visioning Forum

- **Break-out Groups:**
 - Mapping Issues/Opportunities
 - Prosperity, Home, Parks and Public Space, Place, Getting Around, Quality of Life
 - Setting Priorities/Targeting Specific Sites
 - Diagramming a Future Vision
- **Concluding Presentation**
 - Report back on Future Vision
 - Word cloud results and comparison to corridor results
 - Concluding remarks
 - Next steps



Proposed Upham's Corner Visioning Forum

Outreach and Promotion Strategy:

- Flyers
- Translations
- Media (Newspapers, radio, websites, etc.)
- Outreach

Proposed Upham's Corner Visioning Forum

Upham's Corner Stakeholders:

Project RIGHT
Upham's Corner Main Street
UCWNA (Upham's Corner West Side)
Upham's Corner Improvement Association
Annapolis Civic Association
Eastman Elder Neighborhood Assoc.
Jones Hill Civic Assoc.
Hancock Civic Assoc.
Groom Humphrey Civic Assoc.
Bird Street Community Center
Quincy/Geneva CDC
DSNI
Dorchester Bay EDC

Elected Officials

City of Boston Resources

MAPC

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Youth Outreach

- Community-led visioning, inquiry, brainstorming and mapping
- Harvard Kennedy School of Government
- Dudley Street Neighborhood Initiative



Photo from DSNi website

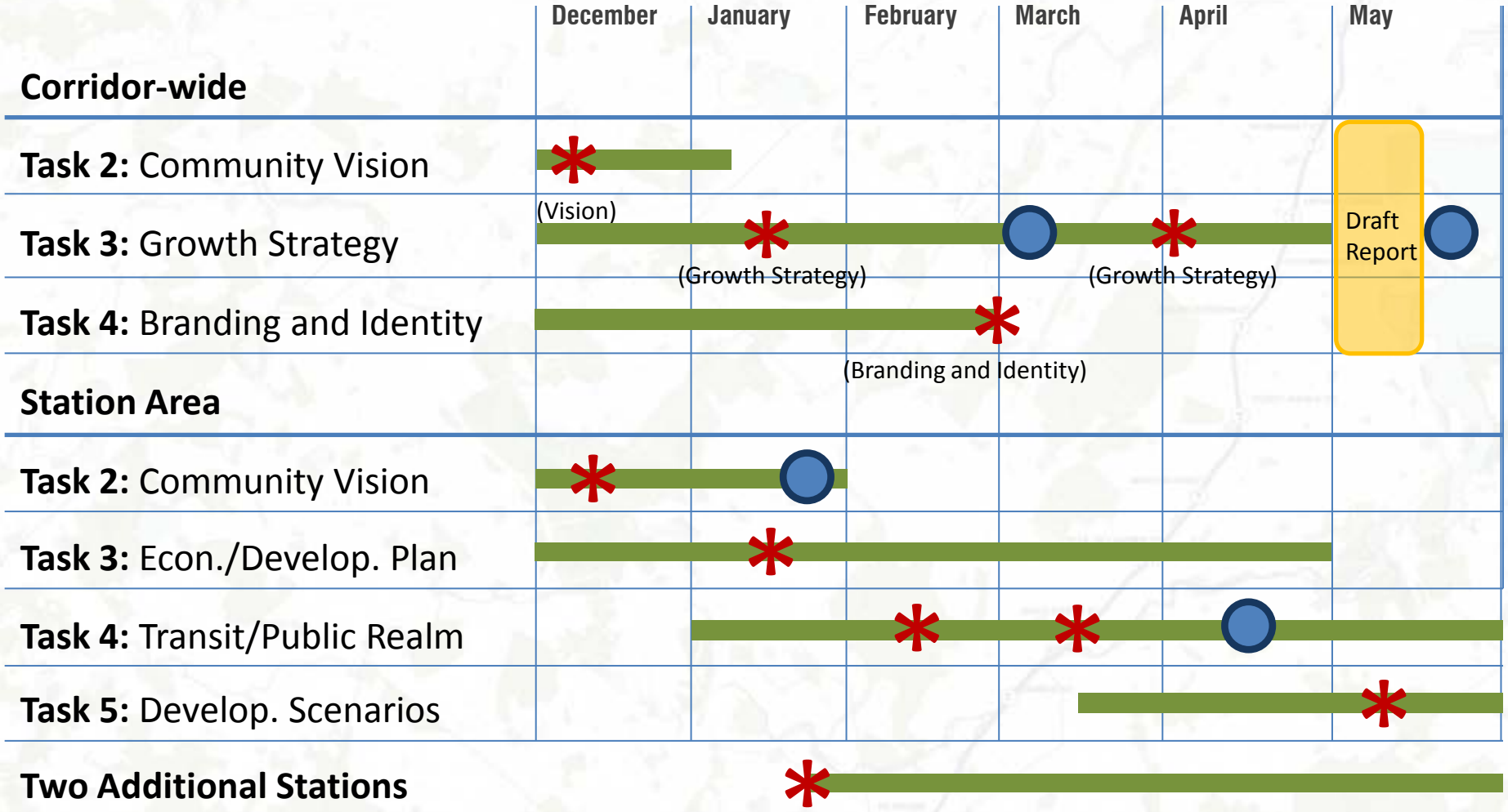
Next steps

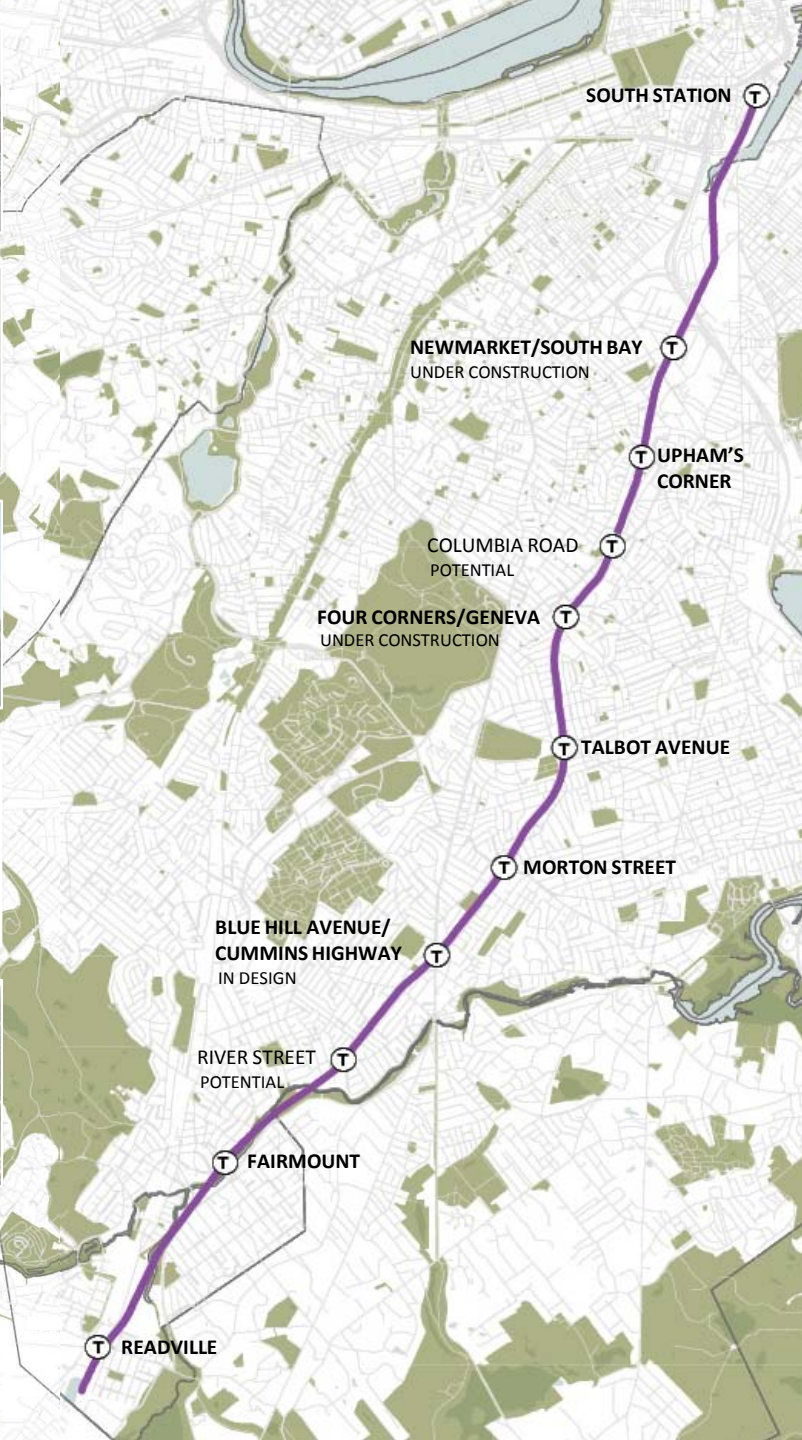
- Synthesis of community vision
- *Growth Strategy* interviews and setting targets
- *Branding and Identity* focus group meetings
- CAG vision statement and additional station selection
- Upham's Corner community visioning forum
- Upham's Corner market analysis



Next Steps

-  Advisory Group Meetings
-  Community Forums and Meetings





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