

PLAN: Dudley Square

Preserve. Enhance. Grow.



Draft Urban Design & Development Guidelines Workshop Summary

October 24, 2016

The purpose of this workshop was to introduce and discuss urban design context and elements for the of publicly held parcels within the PLAN: Dudley Square area.

The PowerPoint presentation, which includes an explanation of urban design principles by using the Dudley Commercial site (the former location of the B2 Police Station) as an example can be found online at: <http://bit.ly/PlanDudley>.

OPEN HOUSE AND NETWORKING

Prior to the start of the workshop, staff from the BPDA and City of Boston spoke with workshop participants. Several informational boards from previous workshops were displayed, as well as boards highlighting development parcel information.

WELCOME AND UPDATE

Lara Merida, Deputy Director for Community Planning, welcomed participants and reviewed the goals of the PLAN: Dudley Square study and context.

URBAN DESIGN & DEVELOPMENT GUIDELINES

A BPDA staff member presented an overview of the Study Area's neighborhood context and how the context could influence urban design concepts. Important elements of Dudley Square's context include the area's street network and historic resources. Developers will be asked to enhance the neighborhood's street network, respond to the historic context, and reinforce the identity of Dudley Square.

After a Q&A session with attendees, BPDA staff member Jeong-Jun Ju described how programming can influence building form and design. The Dudley Commercial Site was used to demonstrate this (see the October 24th workshop presentation). To depict differences in building form related to different uses inside the building, concepts were presented with different mixes of programming.

Q&A SESSION/BREAKOUTS

Following the Urban Design presentation, BPDA staff members opened the meeting to discussion.

Members of the audience prioritized access to jobs and affordability in their questions and comments. The use of publicly-owned parcels in the PLAN: Dudley Square process means that opportunities coming out of any development would benefit the community. Along those lines, participants emphasized that topics such as jobs and affordability should be

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looked at comprehensively and that affordable units in new developments should exceed the 13% minimum requirement of the City's Inclusionary Development Policy (IDP). A BPDA staff member responded that the community and BPDA need to work together to figure out what the right mix of programming and affordability should be, understanding there would likely be a trade-off of reducing another use on-site—such as retail or incubator spaces discussed in earlier PLAN: Dudley Square workshops. BPDA staff members confirmed that a housing study for the area will be completed, and that it is in fact already underway.

In response to a member of the audience's concern that the example buildings used to illustrate urban design principles that were shown in the presentation were not relevant to Dudley Square, BPDA staff agreed to show more examples in the future, and noted that the conversation will be continued.

The workshop then split into several breakout group discussions. Groups held individual conversations, using large diagrams of the Dudley Commercial site to discuss concept plans and potential building footprints, massing and uses. Each breakout group discussion was facilitated by BPDA staff. Participants and staffers noted comments and suggestions by marking up the diagrams, which are included at the end of this summary.

NEXT STEPS

The next PLAN: Dudley Square workshop is scheduled for Monday, November 21st at the Bruce C. Bolling Municipal Building. This workshop will be an opportunity to share data with the community, discuss community benefits from future development, and discuss potential development scenarios (including testing feasibility of opportunities on specific parcels). BPDA staff will also present a summary of a housing analysis of the Study Area, as requested by the community.

ABOUT PLAN: DUDLEY SQUARE

PLAN: Dudley Square is an initiative to think strategically about the types of uses and the scale of development best suited for the future of Dudley Square and Roxbury. The goals of this study are to provide an inclusive community engagement process, create an updated vision with the community, and establish an implementation plan that will lead to the issuance of Requests for Proposals ("RFPs") for publicly-owned and vacant privately-owned parcels in Dudley Square.

PLAN: Dudley Square

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FOR MORE INFORMATION

Visit the project website at: [http://bit.ly/Plan Dudley](http://bit.ly/PlanDudley)

For any questions, comments or to join our mailing list please contact:

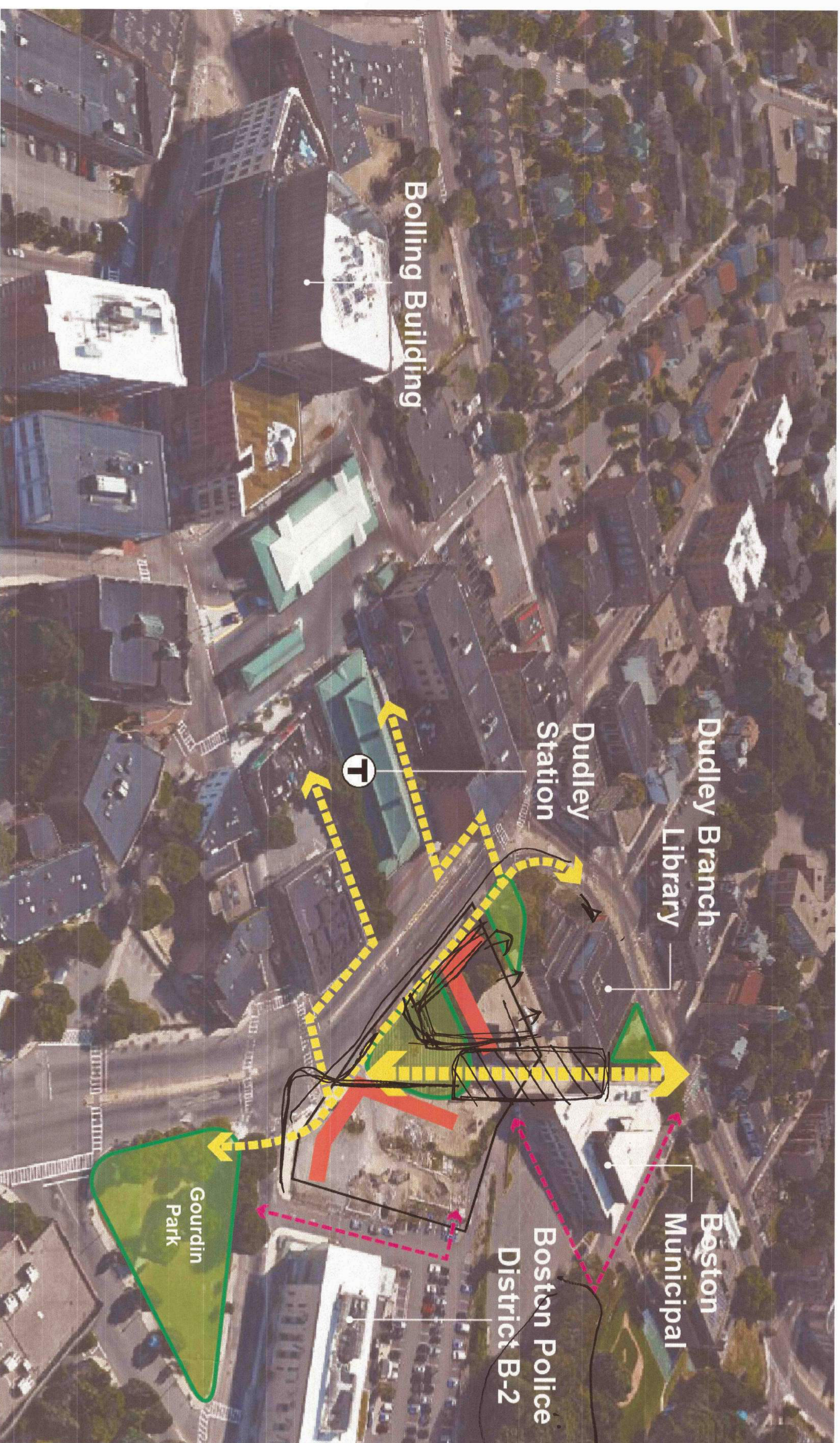
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Lillian.Mensah@Boston.gov

DUDLEY COMMERCIAL SITE

Central Plaza Concept

W. V. ... / ...



Notes: + *Design Principles:*
 → Design Principles:
 + Equify for design for
 - Design for advanced manufacturing jobs
 - Design for advanced manufacturing jobs
 - Design for advanced manufacturing jobs
 - Design for advanced manufacturing jobs

Notes: + *Zoning:* Dudley Square Economic Development Area, 55 feet height, 2.0 FAR

- Uses:*
- Incubator
 - Maker
 - Cultural / Fed
 - on / the way
 - Active heritage
 - + Ground floor
 - + Green
- Notes:*
- Design for advanced manufacturing jobs
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HOUSING

RETAIL

Single Use: Residential

Driver: 140 Units of Mixed-Income Housing
 Subsidized Use: 15,000 SF Ground-Level Retail
 Jobs: 30-50 Jobs

HOUSING

RETAIL

St James link

Dudley Station

Dudley Street

OFFICE

INCUBATOR

Single Use: Office

Driver: 175,000 SF Corporate Office
 Subsidized Use: 25,000 SF Incubator Use
 Jobs: 100 Incubator Jobs (+700 Corporate Jobs)

Dudley Station

Dudley Street

HOUSING

RETAIL

OFFICE

INCUBATOR

Mixed Use: Residential + Office

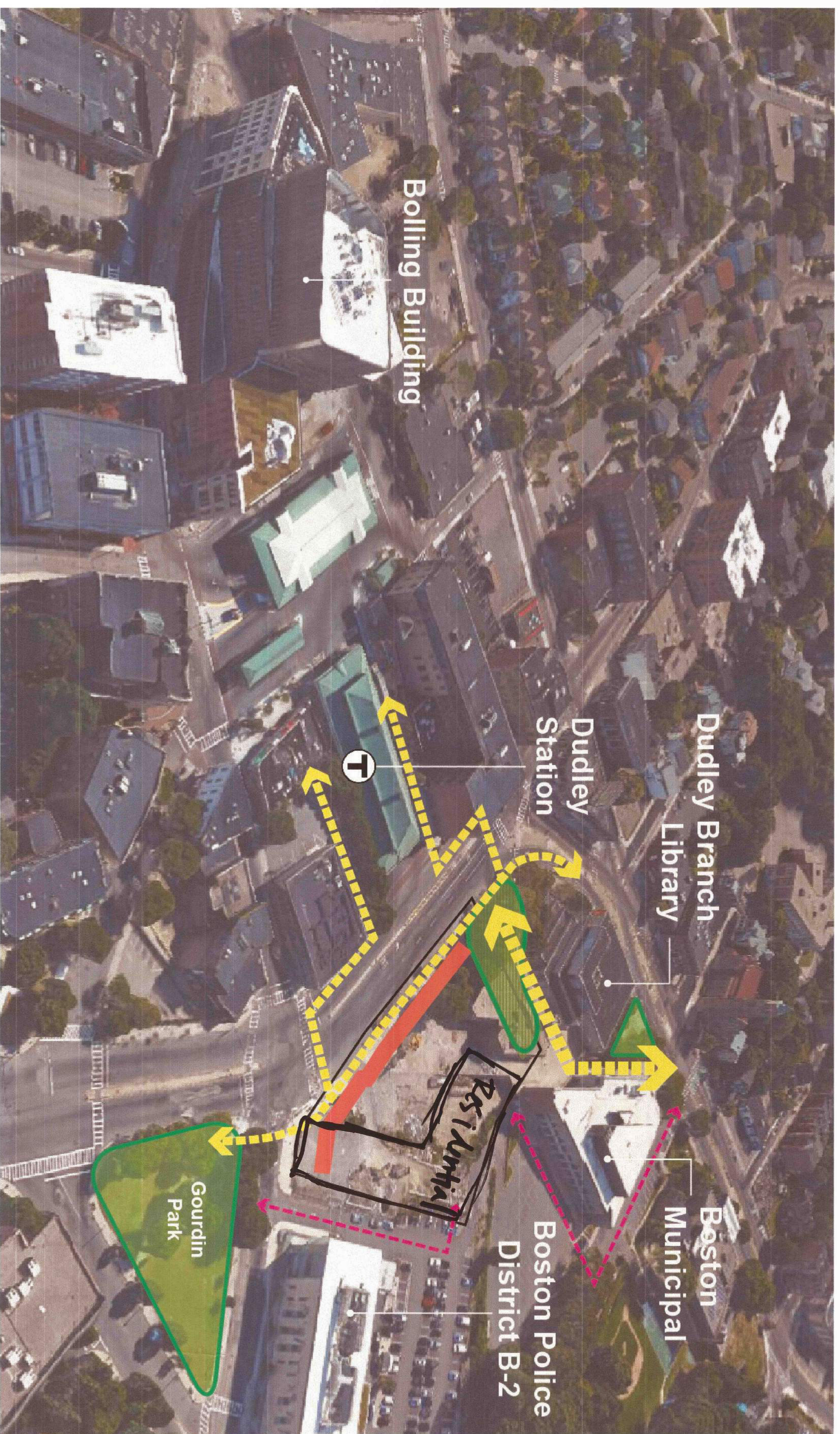
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Dudley Station

Dudley Street

DUDLEY COMMERCIAL SITE

Street Wall Concept



Lot Area: 70,000 SF (1.6 acres)
 Zoning: Dudley Square Economic Development Area,
 55 feet height, 2.0 FAR

- Notes:**
- Historic & cultural context of Roxbury → maintain this through development
 - Seating, street furniture, passive spaces
 - Systems of open space → include park behind B2 & Cow House
 - ↳ connectivity of open spaces, network of all green spaces
 - Relationship of new development to existing uses & parking needs
 - Overall parking strategy & clear guidelines if parking is not on site

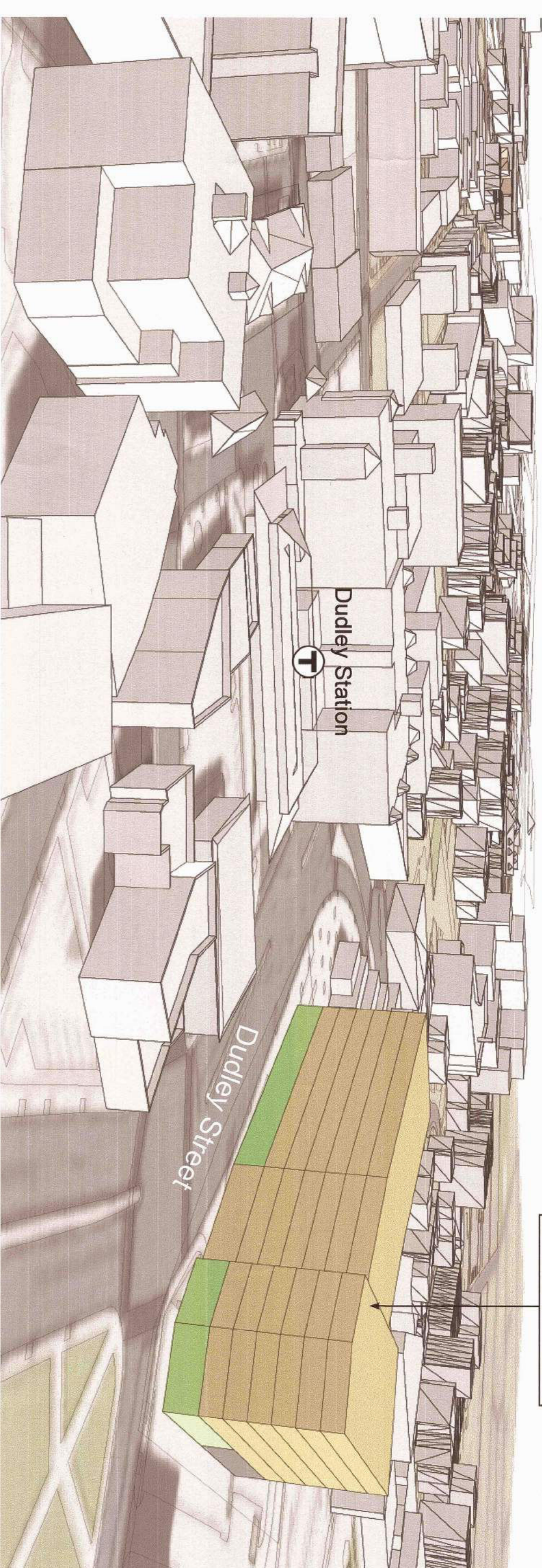
Handwritten note in a circle: MNR 2024

HOUSING

RETAIL

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6 Stories Residential (75')

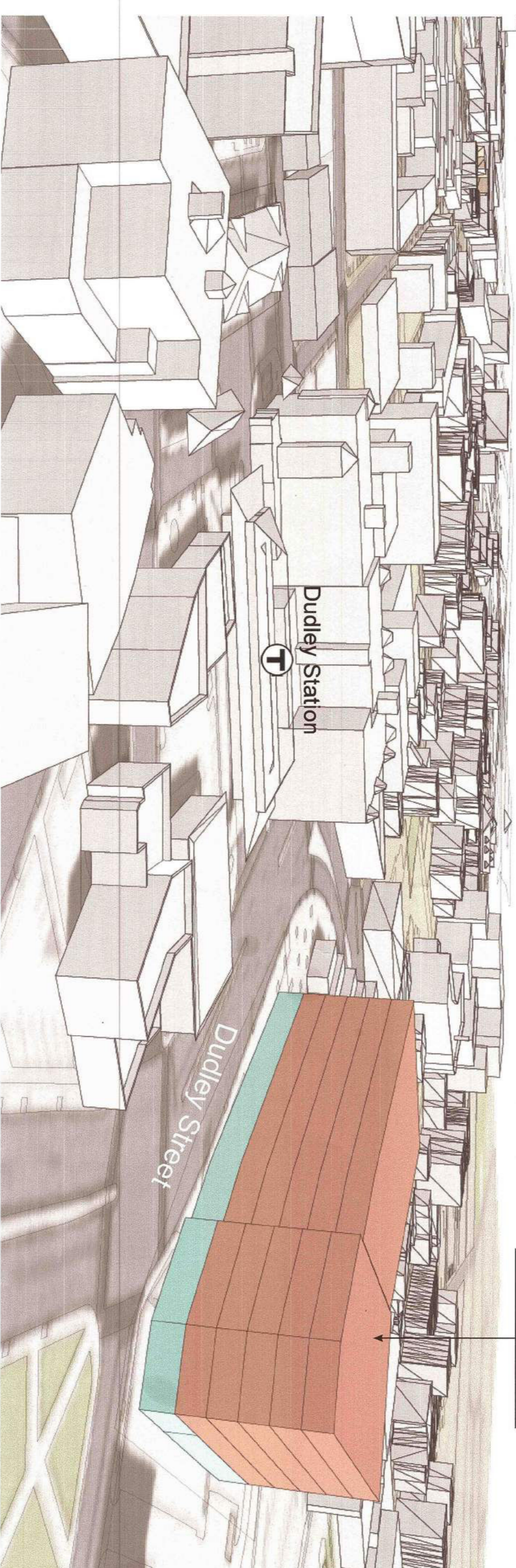


OFFICE

INCUBATOR

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5 Stories Office (80')



HOUSING

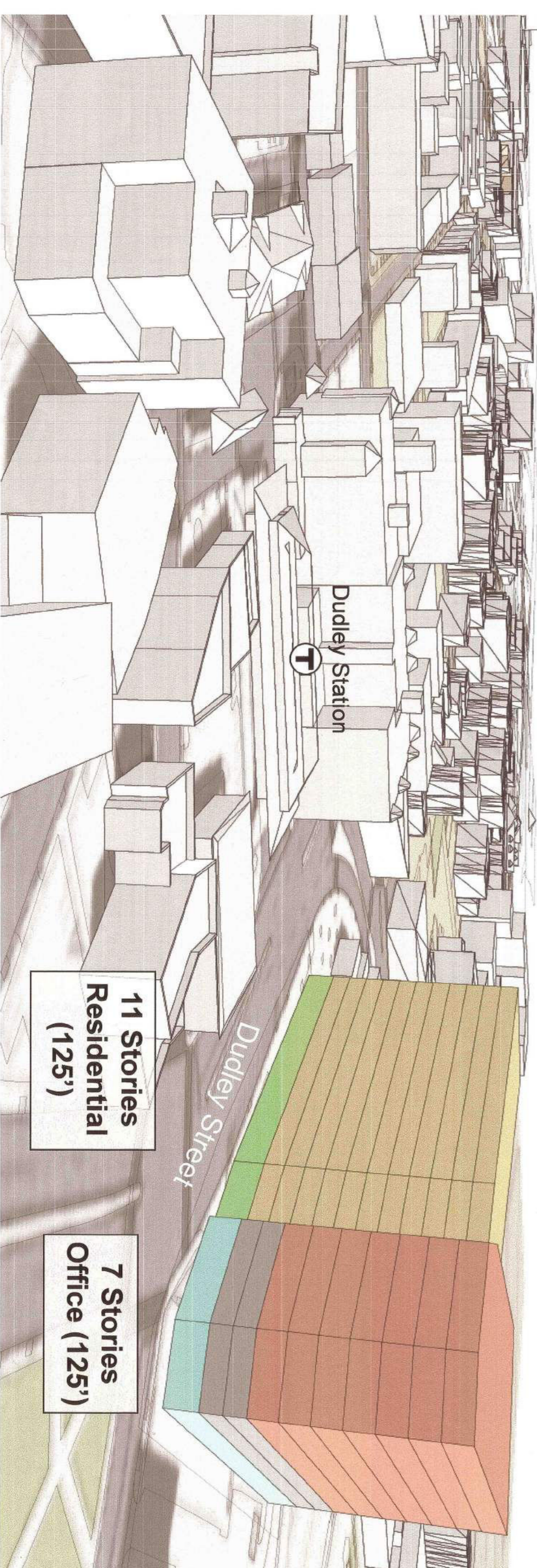
RETAIL

+

OFFICE

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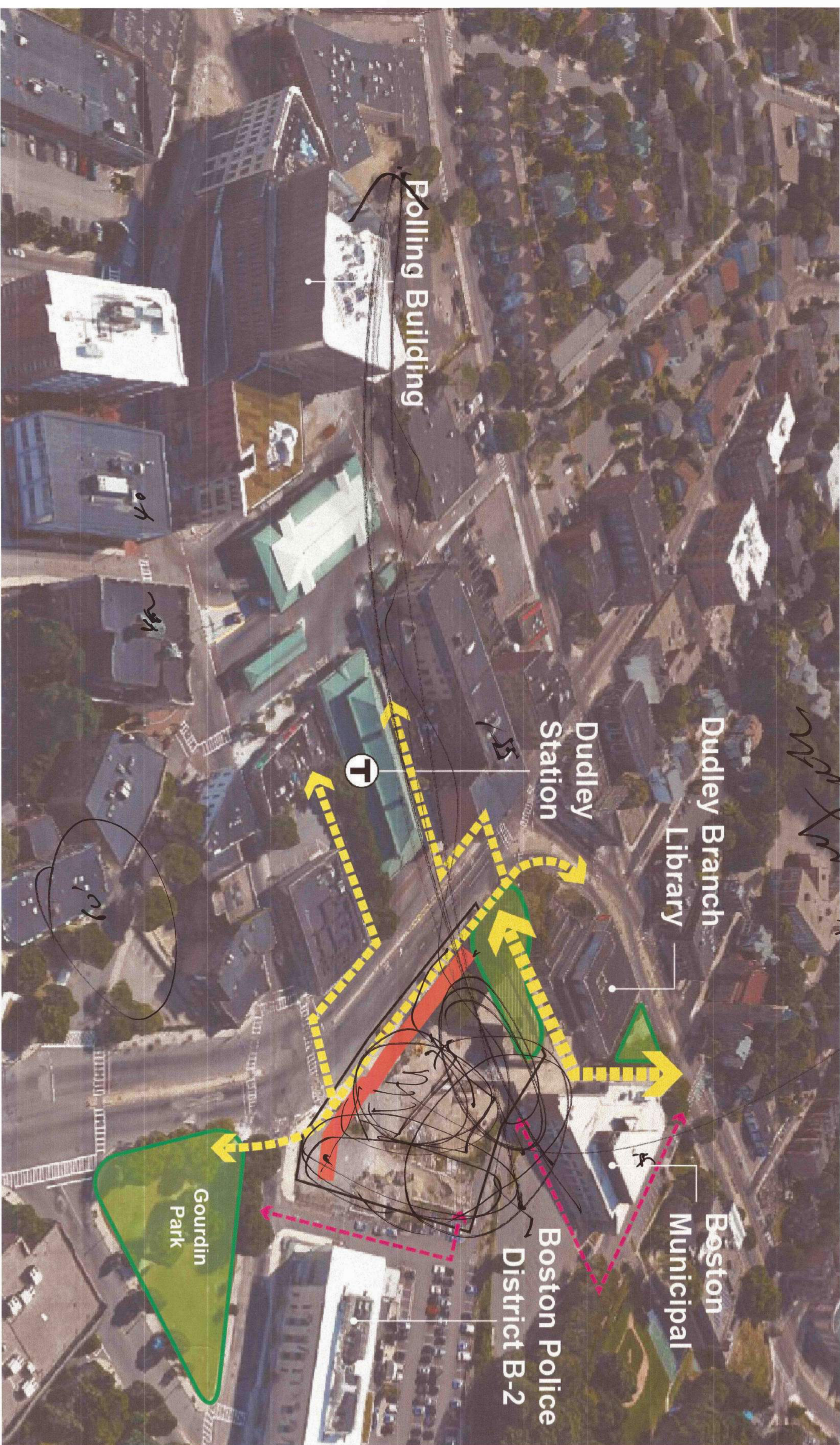


DUDLEY COMMERCIAL SITE

Street Wall Concept

Transparent through (we all want to see through) - we all want to see through

WAA



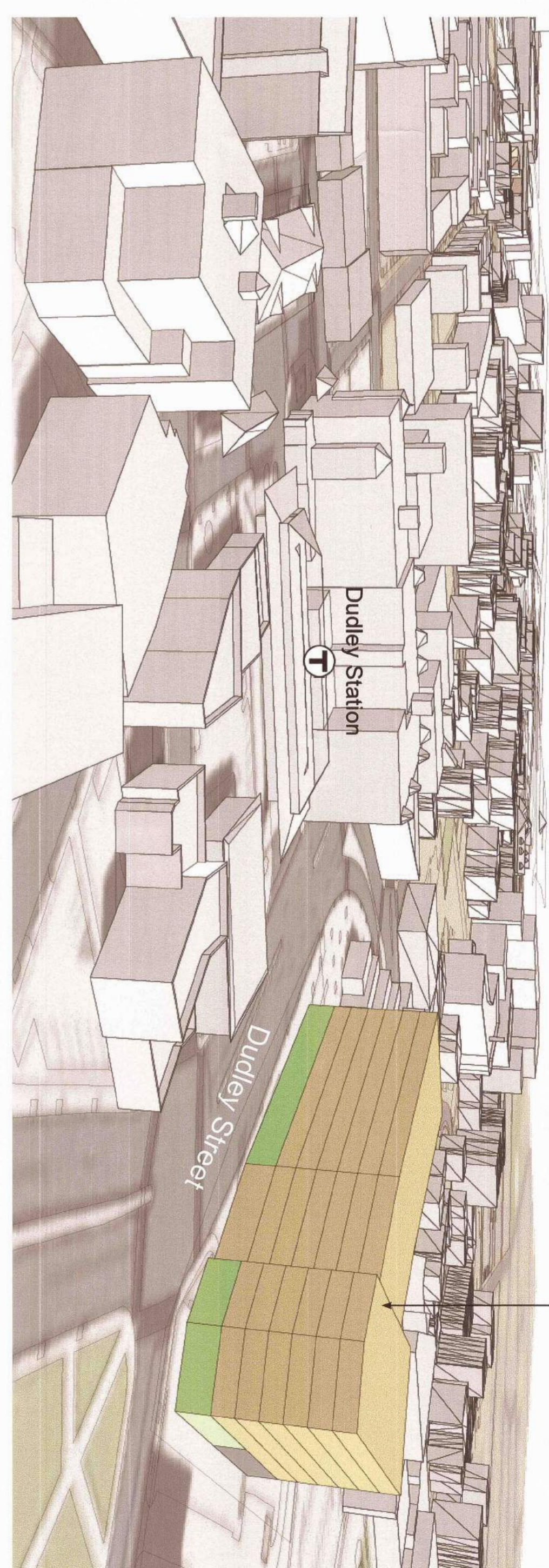
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Notes:

HOUSING
RETAIL

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OFFICE
INCUBATOR

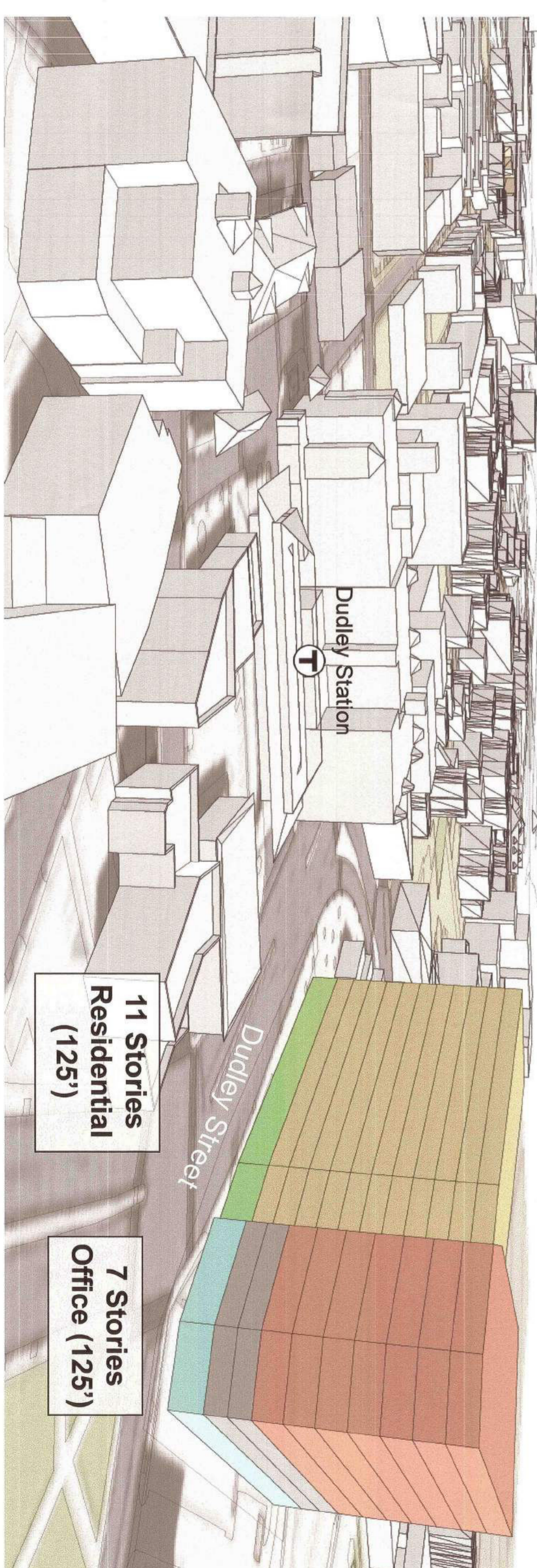
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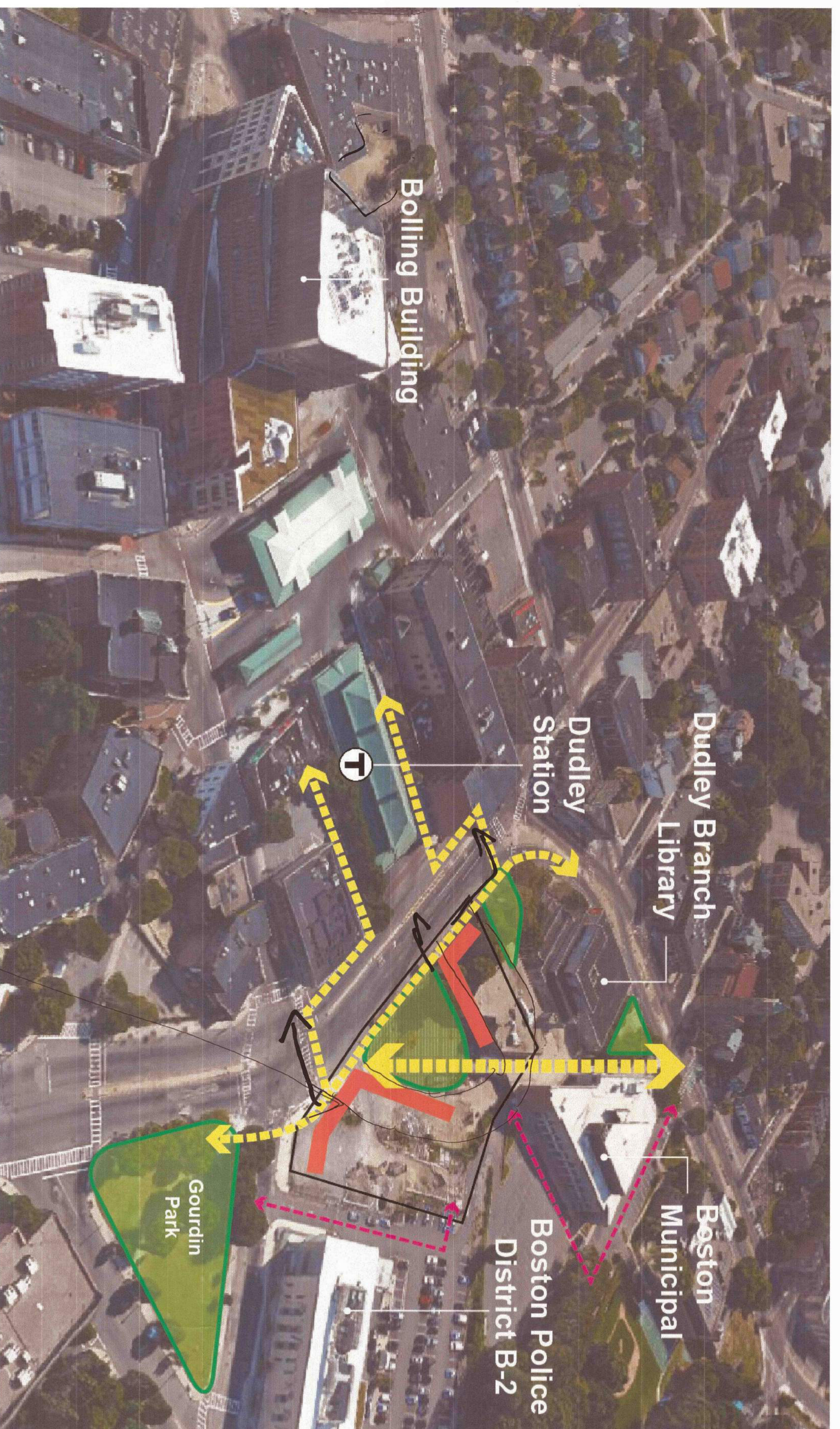
HOUSING + **OFFICE**
RETAIL + **INCUBATOR**

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DUDLEY COMMERCIAL SITE

Central Plaza Concept



Lot Area: 70,000 SF (1.6 acres)
 Zoning: Dudley Square Economic Development Area,
 55 feet height, 2.0 FAR

HOUSING
 RETAIL

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HOUSING
 OFFICE
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Dudley Station
 Dudley Street

HOUSING
 RETAIL

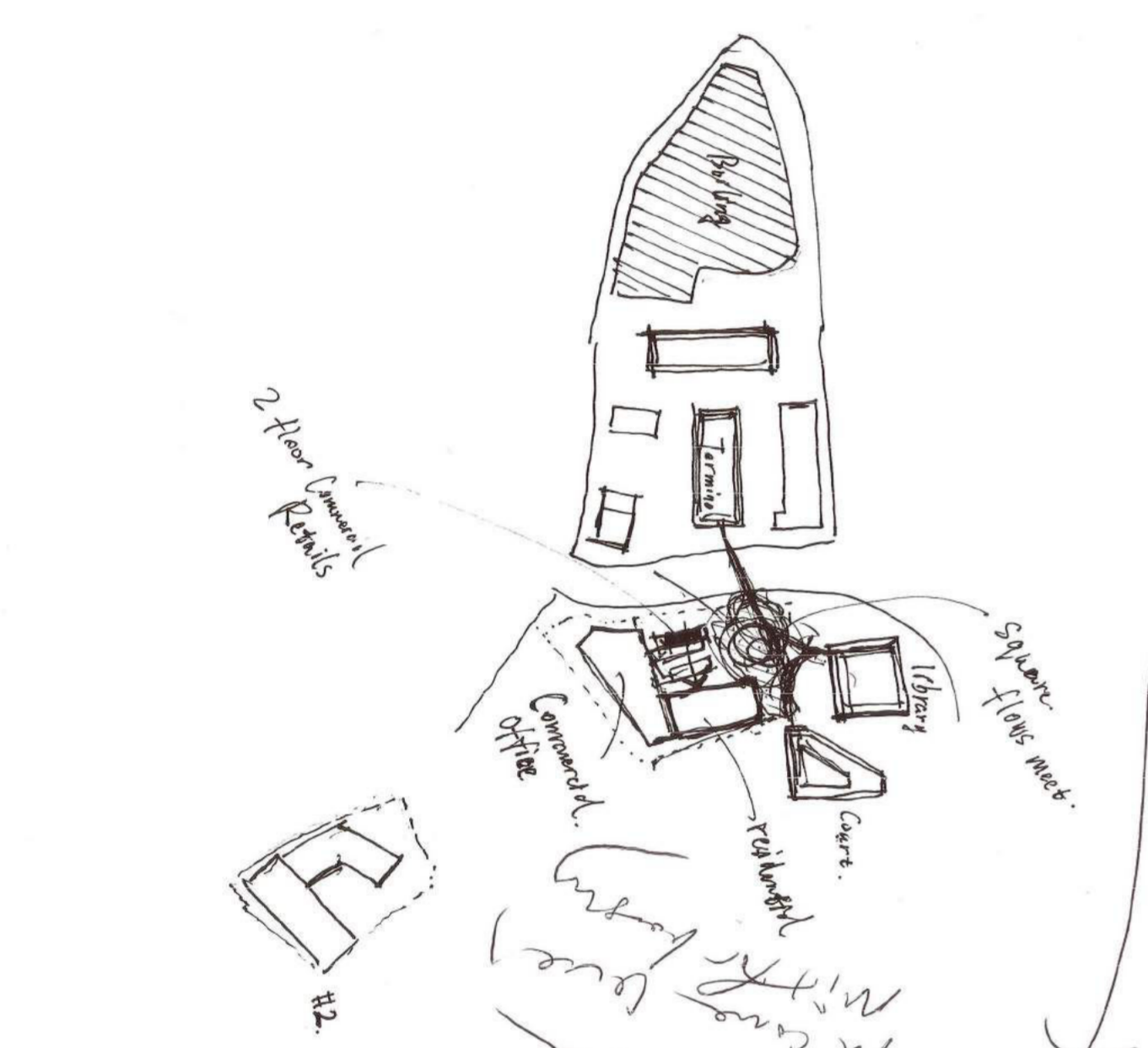
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12 Stories Residential (135')
 7 Stories Office (125')

Dudley Station
 Dudley Street

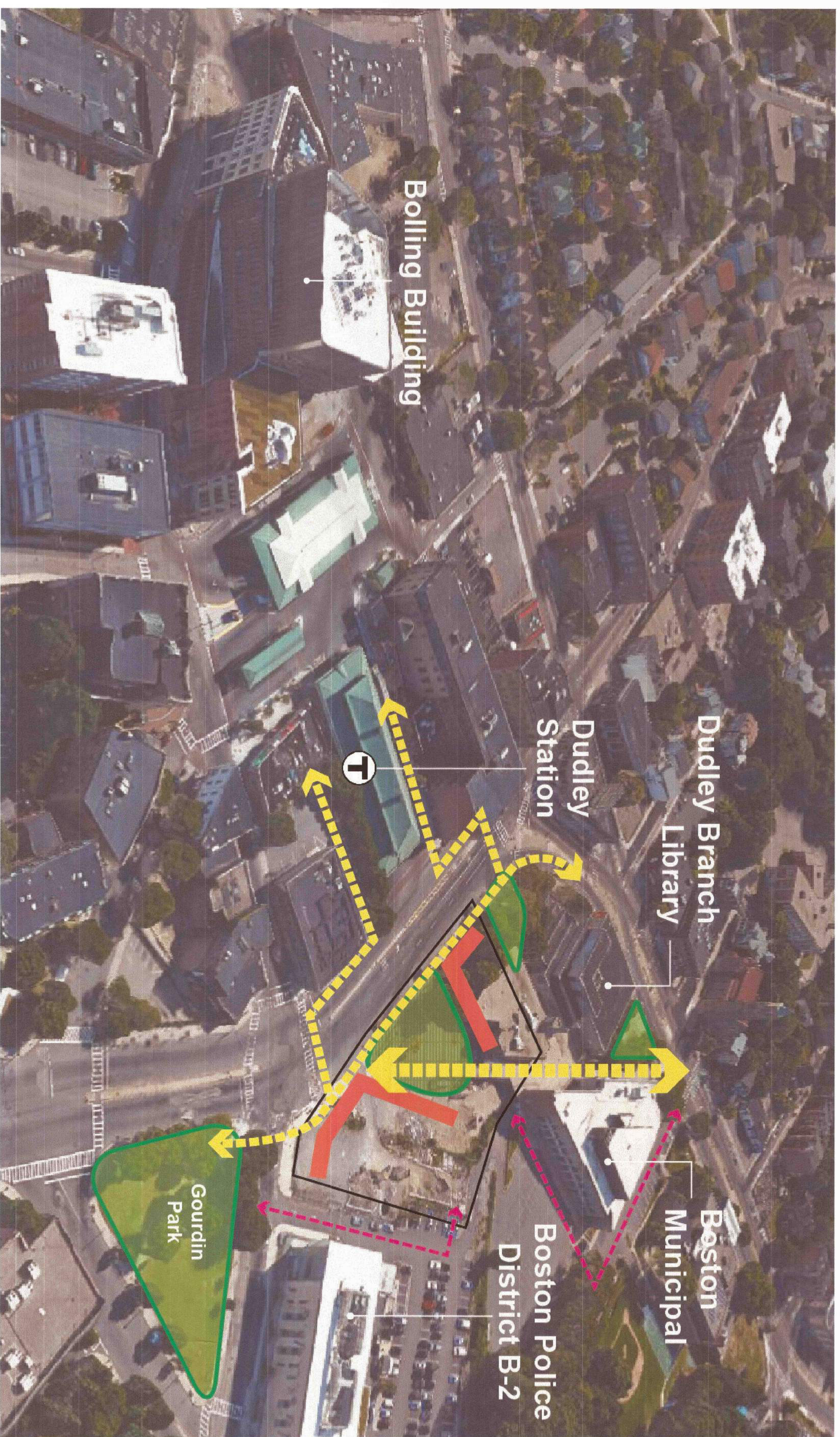
Notes:
 Streets (local, main, arterial, boulevard, highway, expressway, etc.)
 Bolling
 Dudley
 Dudley Station
 Dudley Branch
 Boston Municipal
 Boston Police District B-2
 Gourdin Park



DUDLEY COMMERCIAL SITE

Central Plaza Concept

WDA



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Notes:

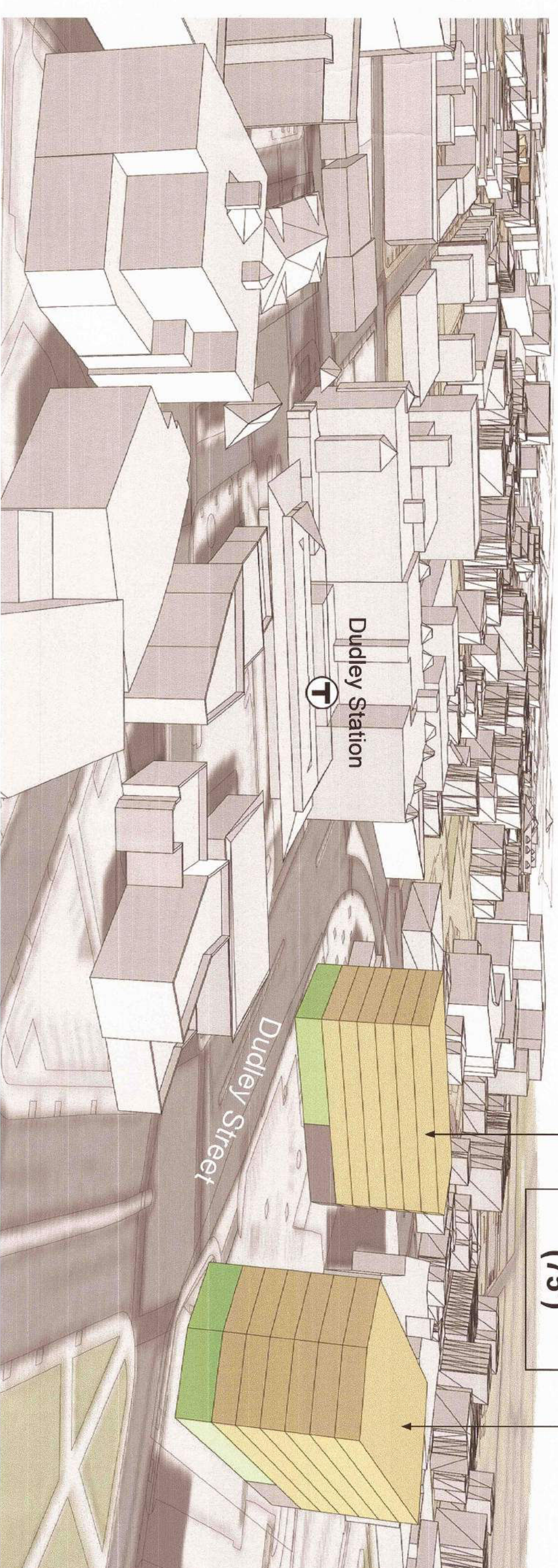
- Public Space - think inside vs. outdoor space
- Similar to Bolling Bldg vs. library, Park, ledge
- Integrate same space around B-2 to library, Park, ledge
- Walkway
- How does this plan incorporate family planning around B-2 to library, Park, ledge
- daycare, playgrounds, courts, connecting Parks
- festival, cultural events
- Community building,
- lighting
- Discussion of more eyes on Park
- get off the transit in the street
- Cultural center
- Mix of income housing
- Central Elder Services
- Feels appropriate size
- design excellence

HOUSING

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6 Stories Residential (75')

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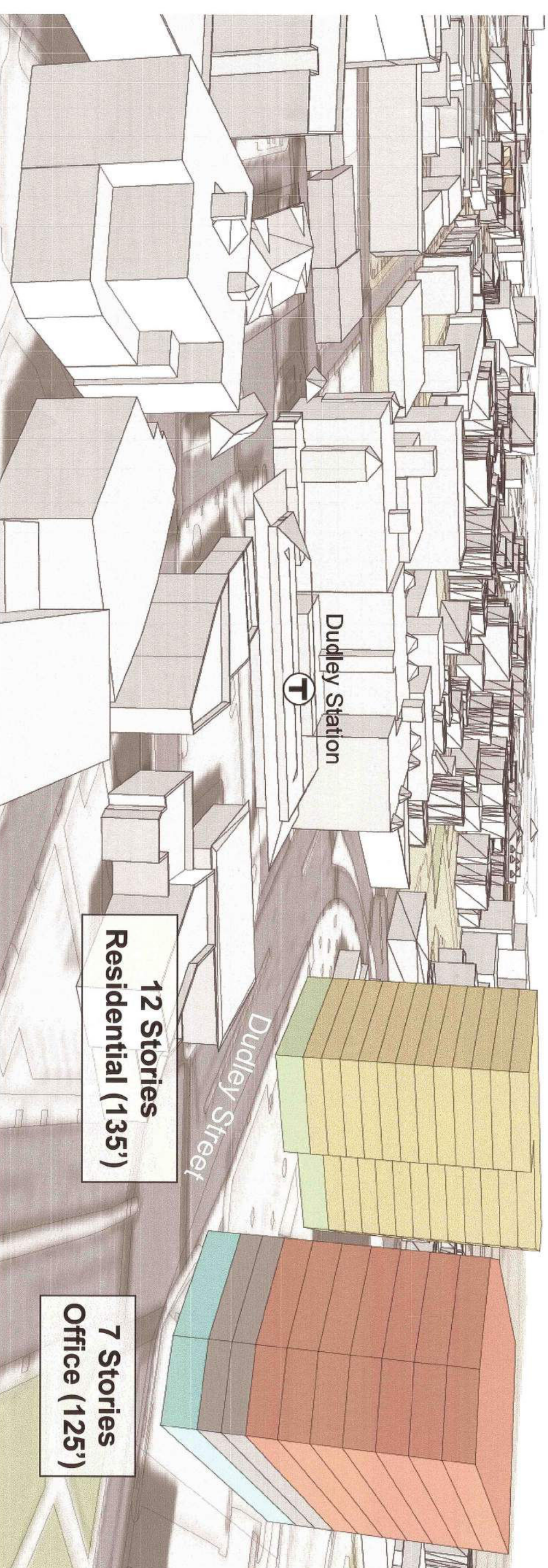
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