

TASK 4.1

Form-Based Code Case Studies

1: Overview of Form-Based Codes

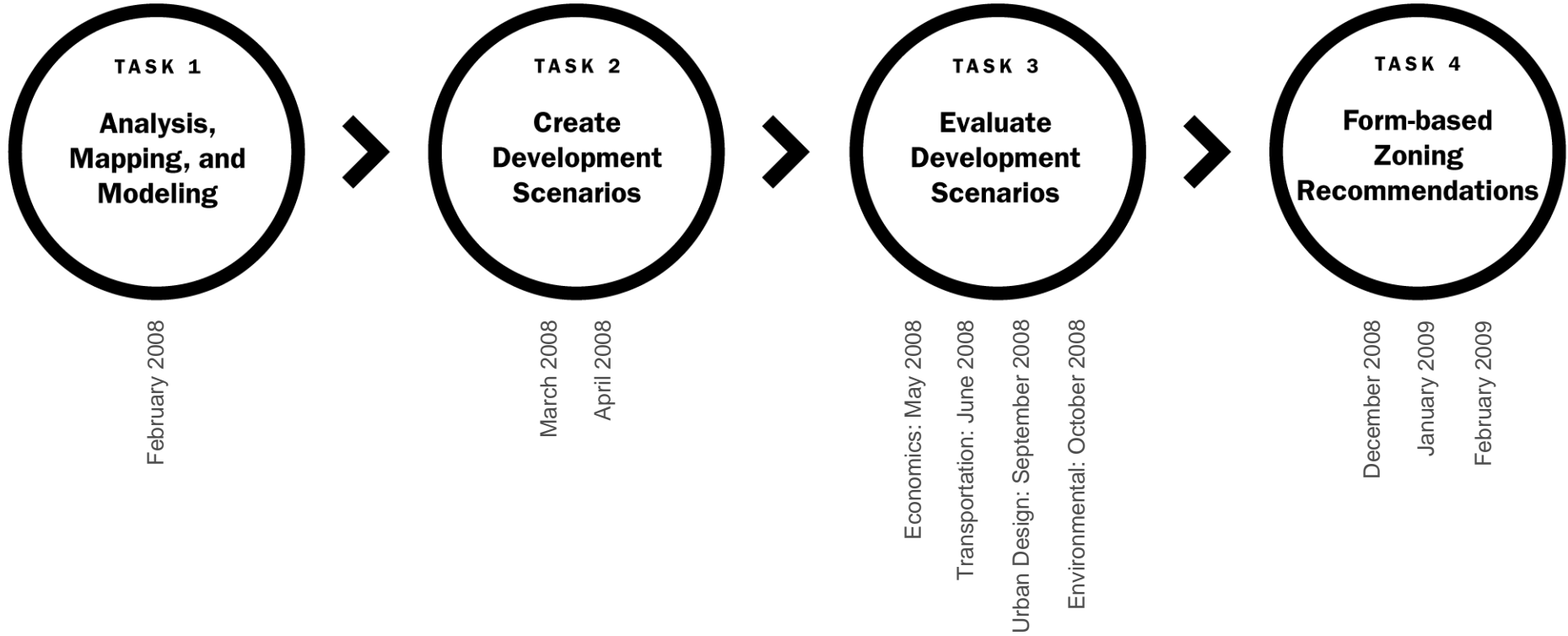
2: Battery Park City, NYC

3: Miami, Florida

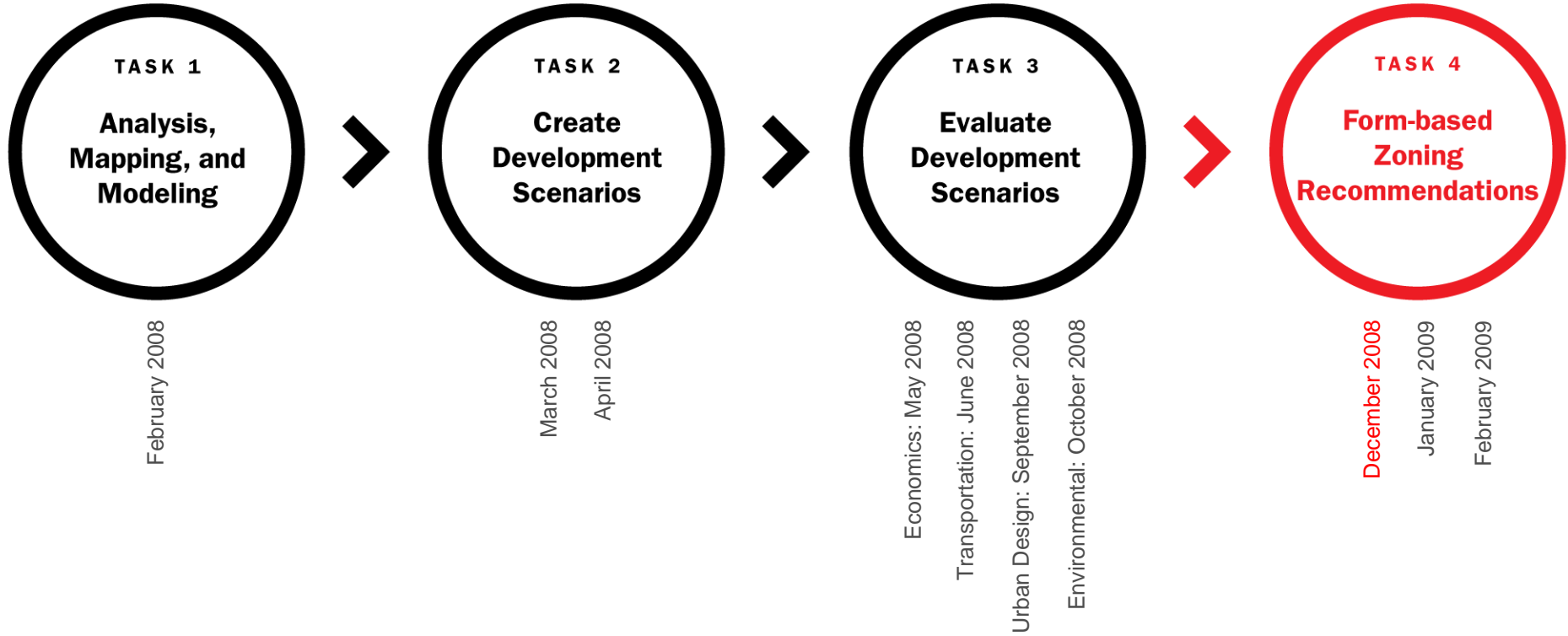
4: Existing Stuart Street Zoning

5: Proposed Zoning Principles





Project Timeline



Project Timeline

TASK 4.1

Form-Based Code Case Studies

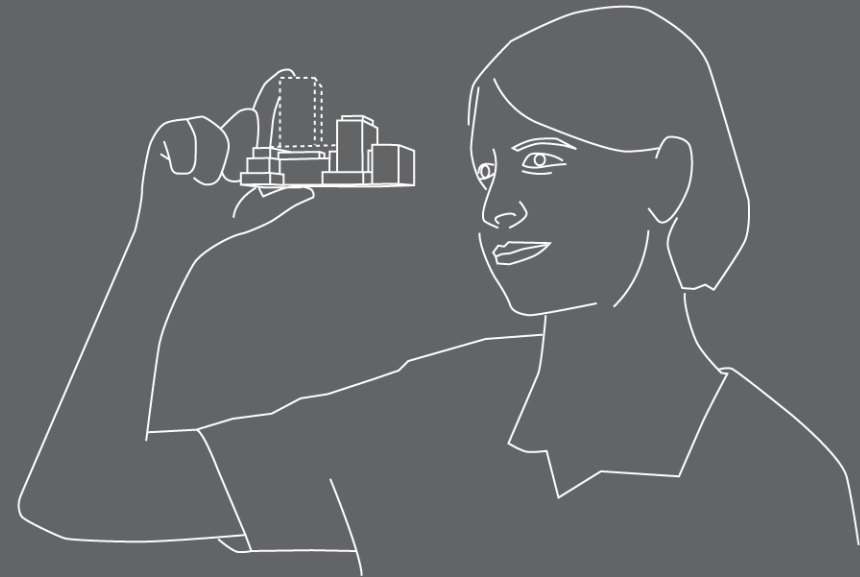
1: Overview of Form-Based Codes

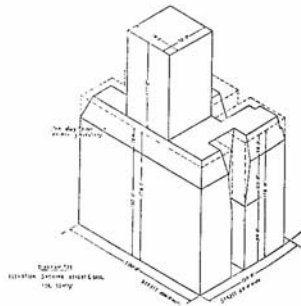
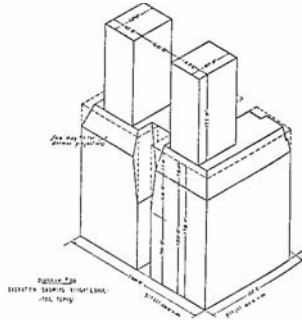
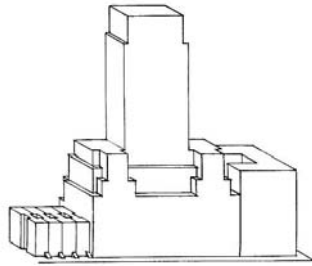
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4: Existing Stuart Street Zoning

5: Proposed Zoning Principles

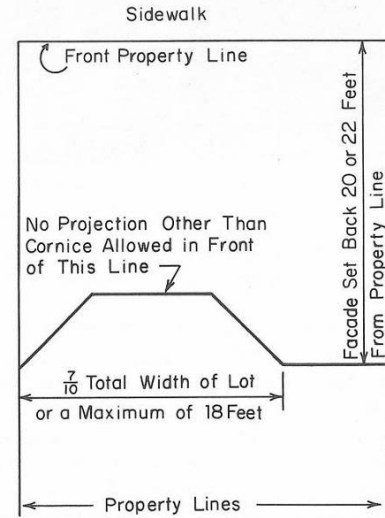




The New York Zoning Law of 1916
A choice with clear limits

New York Zoning Law, 1916

A summary of setback requirements for Back Bay structures.



160 Facade of 385-389 Marlborough Street, 1880, by O. F. Smith. When compared with similar sized houses of 1863, fig. 29, these facades illustrate how bay windows and other appendages destroy the continuity of later rows of houses. The gutter stones and fire walls were required by fire laws.

Back Bay Zoning: Form-Based Components

Source: Houses of Boston's Back Bay, Bainbridge Bunting, 1967

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1: Overview of Form-Based Codes

2: Battery Park City, NYC

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4: Existing Stuart Street Zoning

5: Proposed Zoning Principles





Battery Park City



Environmental Impacts

- Wind
- Shadows
- Utility Infrastructure
- Groundwater



Transportation

- Public Transit Access
- Automobile Traffic
- Loading and Servicing
- Parking



Economics and Real Estate

- Financial Viability: Total GSF
- Financial Viability: Floorplates
- Retail Capacity



Urban Design

- Public Realm Contribution
- Pedestrian Connectivity
- Ground-Level Active Uses
- Streetscape Definition
- View Corridors
- Skyline Design and Composition
- Program and Use Mix

How does the code address these issues?

Environmental Impacts



Mandated

- > Curb Cut Locations
- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions
- > Ground Floor Entrances (to retail, building lobby and courtyard)
- > Open Space
- > Use
- > Street Wall Heights
- > Courtyard Heights
- > Maximum FAR
- > Tower Locations
- > Building Heights
- > Tower Setbacks

Economics and Real Estate



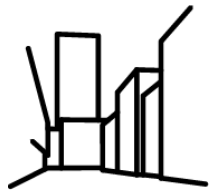
Transportation

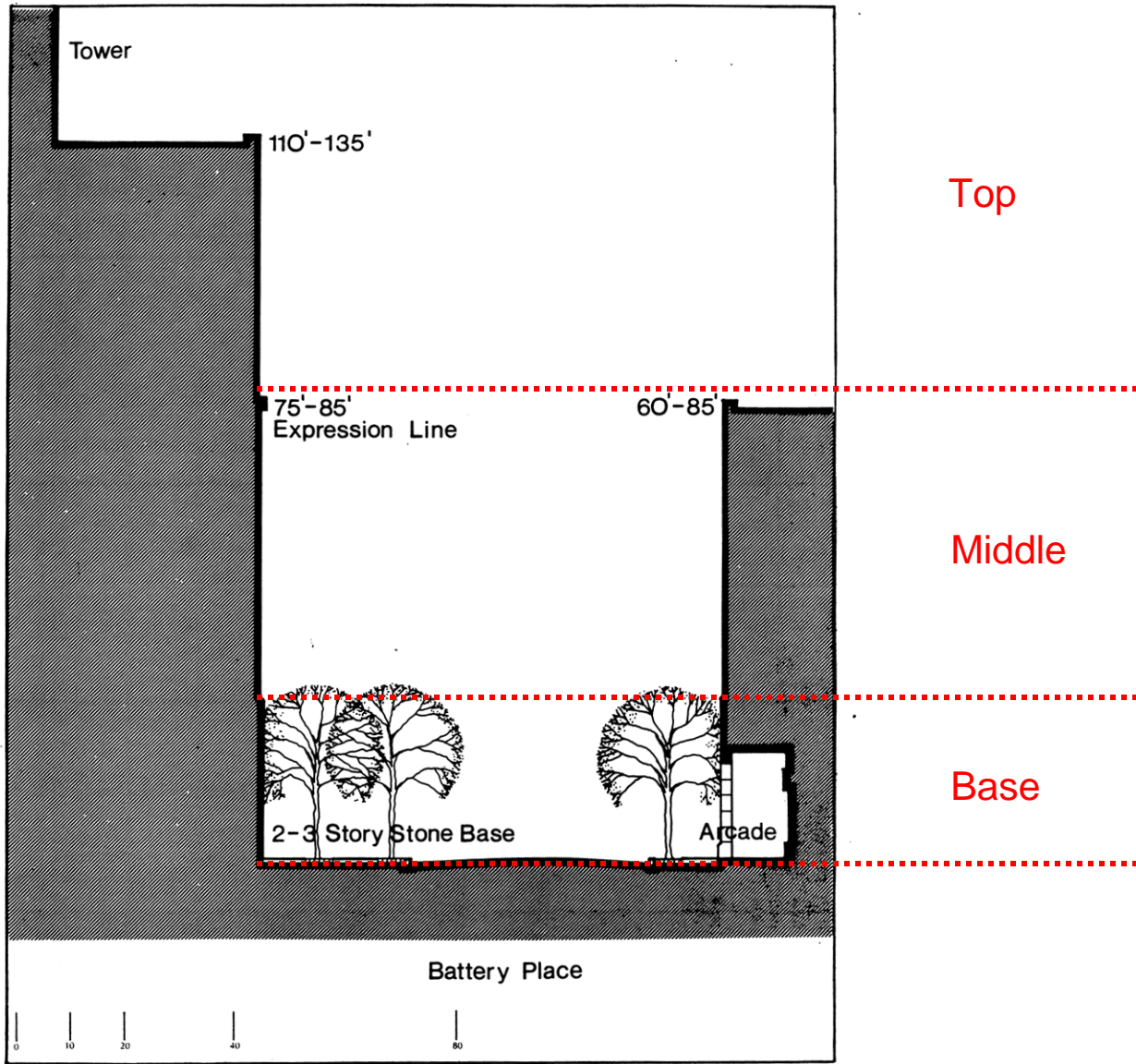


Recommended

- > Lobby Locations
- > Ground Floor Uses

Urban Design





Top

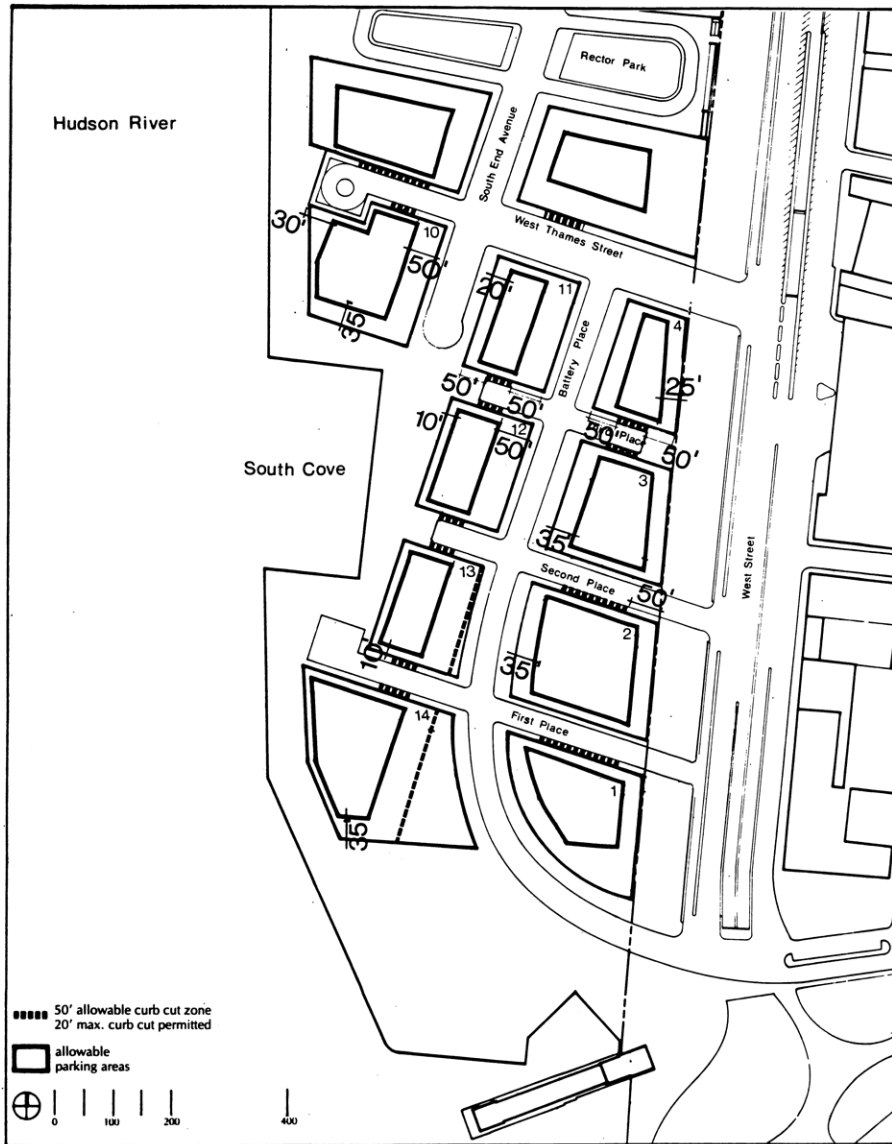
Middle

Base

Battery Park City
 Battery Place Residential Area
 Cooper, Eckstut Associates

Section of Battery Place
 Looking South
 Fig. 30





Battery Park City
 Battery Place Residential Area
 Cooper, Eckstut Associates

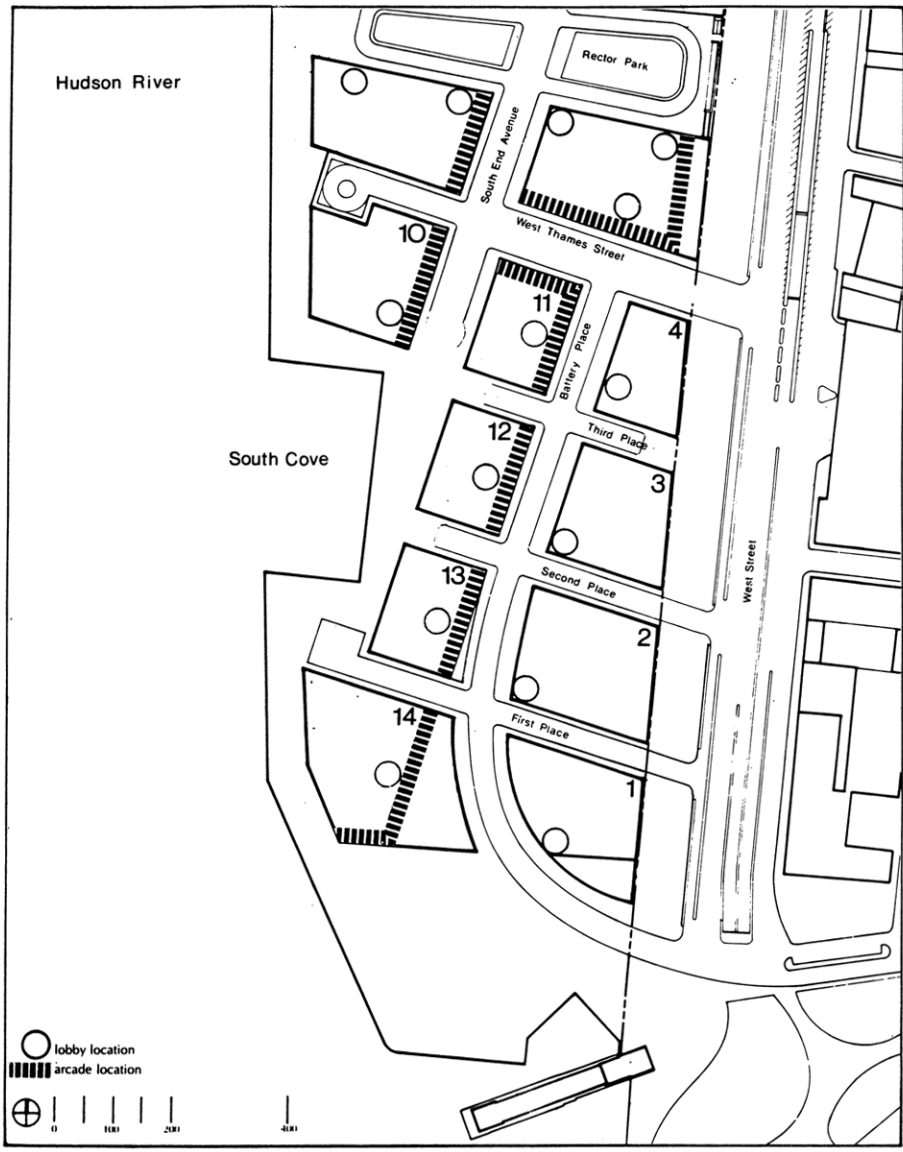
Curb Cut and Parking Structure Location Zone
 Fig. 24



Mandated

Recommended

- > Curb Cut Locations
- > Parking Locations (in both plan and section)



Mandated

- > Curb Cut Locations
- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions

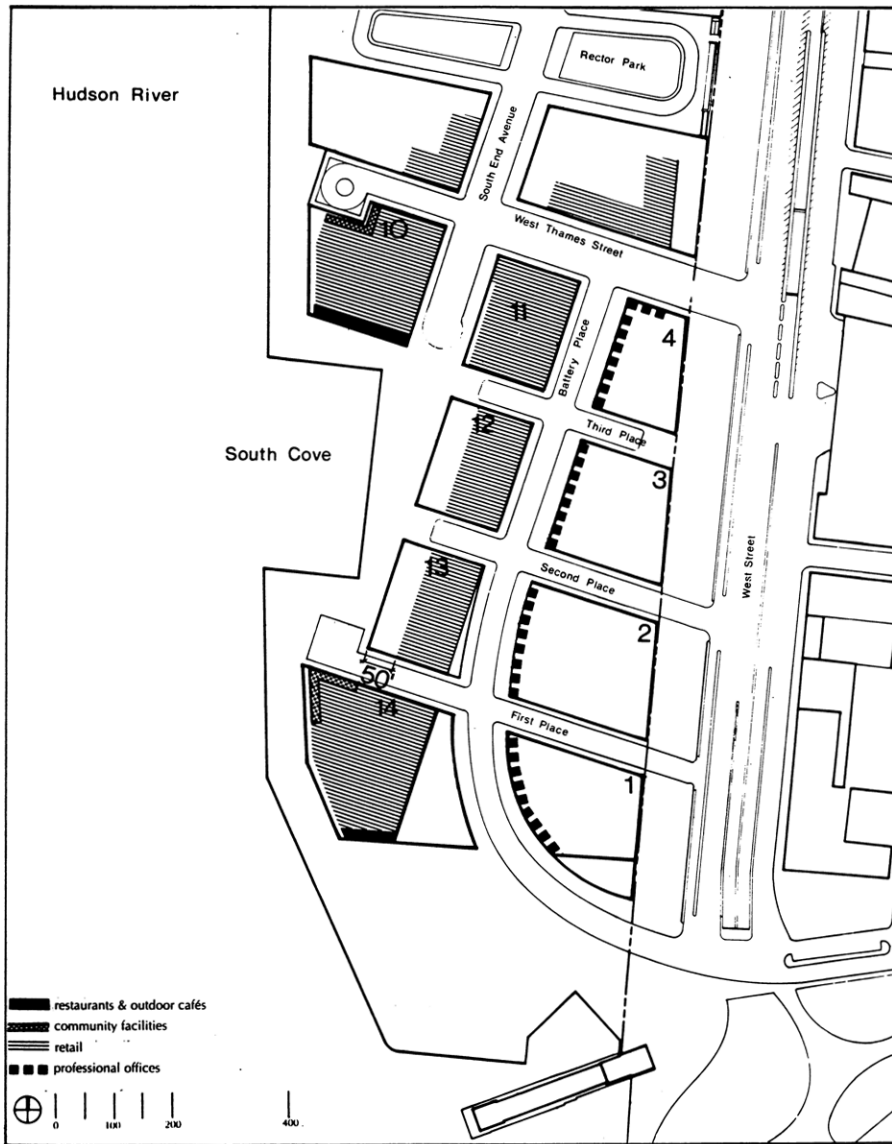
Recommended

- > Lobby Locations

Battery Park City
 Battery Place Residential Area
 Cooper, Eckstut Associates

Arcades and Preferred Lobby Locations
 Fig. 23





Battery Park City
 Battery Place Residential Area
 Cooper, Eckstut Associates

Preferred Ground Floor Uses

Fig. 22

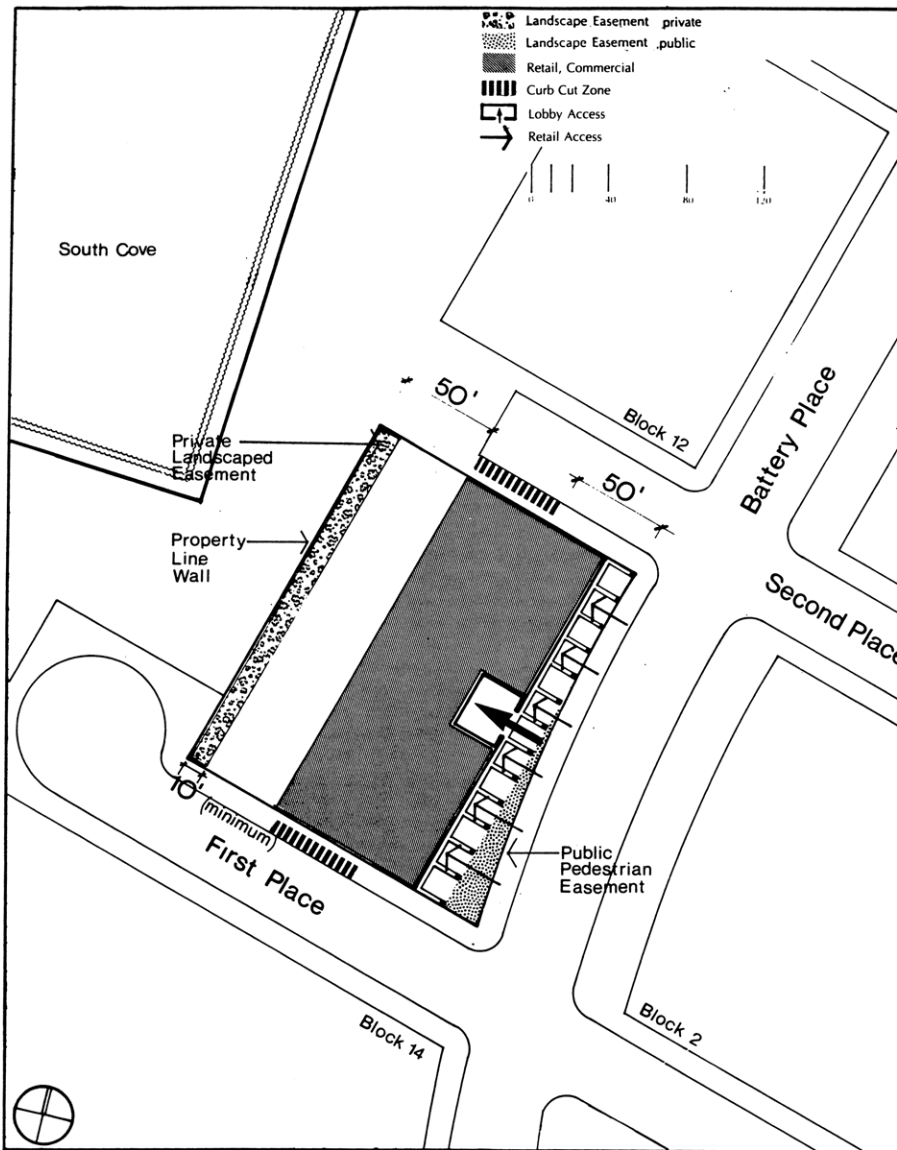


Mandated

- > Curb Cut Locations
- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions

Recommended

- > Lobby Locations
- > Ground Floor Uses



Battery Park City
 Battery Place Residential Area
 Cooper, Eckstut Associates

Ground Level Summary
Block 13
 Fig. 49

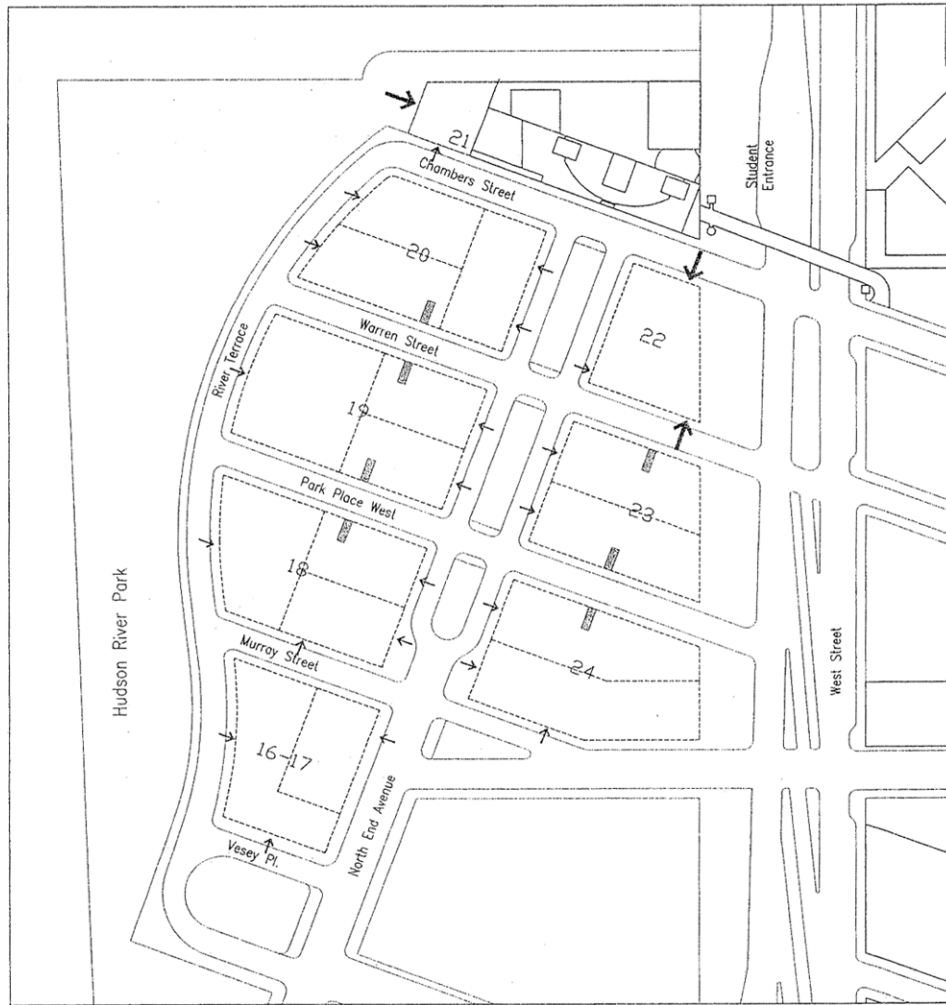


Mandated

- > Curb Cut Locations
- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions
- > Ground Floor Entrances (to retail, building lobby and courtyard)

Recommended

- > Lobby Locations
- > Ground Floor Uses



- Lobby Access
- Public Entrance
- ▣ Courtyard Entrance

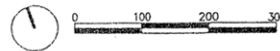


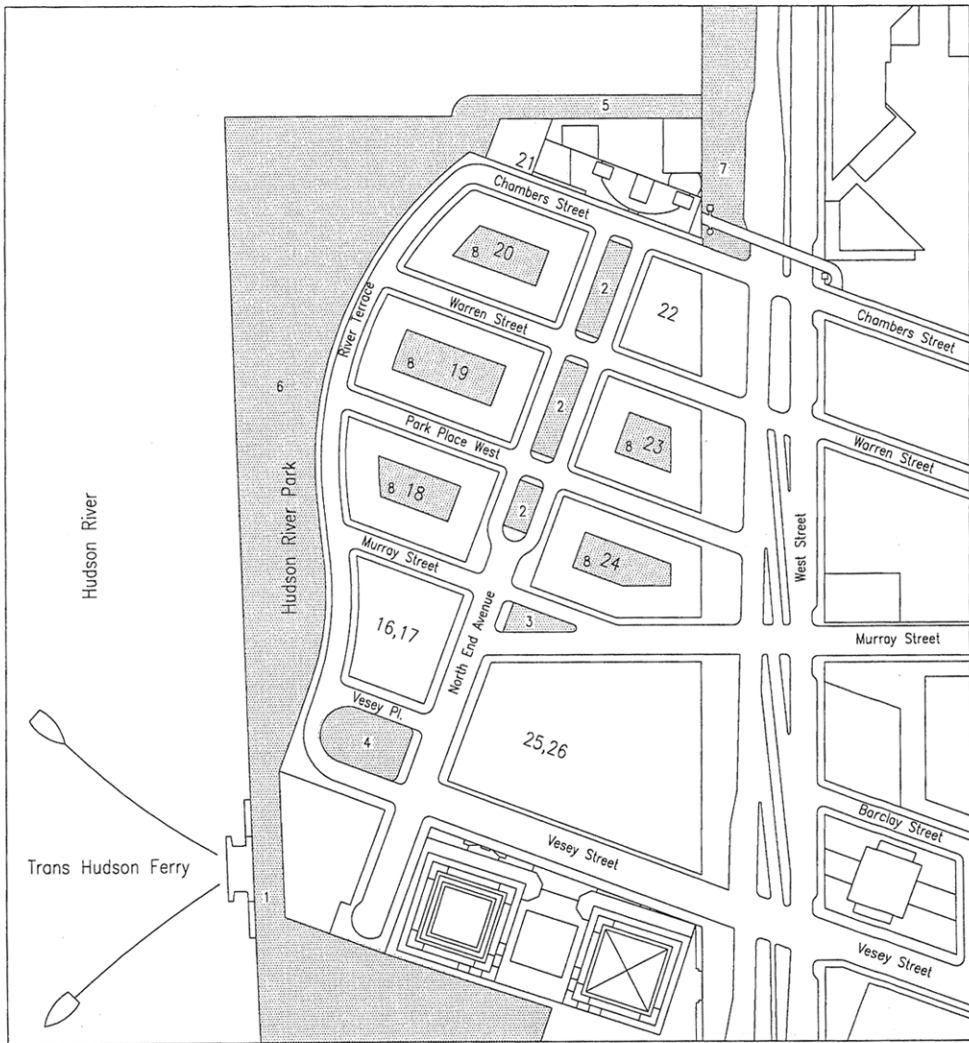
Fig. 25
Preferred Entrances

Mandated

- > Curb Cut Locations
- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions
- > Ground Floor Entrances (to retail, building lobby and courtyard)

Recommended

- > Lobby Locations
- > Ground Floor Uses



- | | |
|----------------------|------------------------|
| 1 Esplanade | 5 Stuyvesant Esplanade |
| 2 North End Avenue | 6 Hudson River Park |
| 3 Murray Street Park | 7 Stuyvesant Plazo |
| 4 Vesey Turnaround | 8 Courtyards |

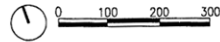


Fig. 16
Open Space

Mandated

- > Curb Cut Locations
- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions
- > Ground Floor Entrances (to retail, building lobby and courtyard)
- > Open Space

Recommended

- > Lobby Locations
- > Ground Floor Uses

Block 13

- A. Area (approximate): 31,100 s.f.
- B. Floor area; maximum permitted: 157,200 s.f.
- C. Location and Easements: Block 13 is bounded by the South Cove, First Place, Battery Place, and Second Place. A minimum 10 foot private, uninterrupted landscape easement is required along the western property line, built to a design approved by the Authority, and a public pedestrian easement, built to the design and specifications supplied by the Authority, on the south-easterly portion of the site located east of the arcade. The Authority will build the Esplanade property wall on Authority land adjacent to the west property line. The developer must provide for the transition where the Esplanade property wall meets a building wall or parcel property wall.
- D. Use and Access: The primary use is residential. The ground and second floors of block 13 except west of a point 50 feet east of the western property line may be devoted to predominantly retail uses. However, it is anticipated that the entire building site may be used for a cultural facility such as the Museum of the Jewish Heritage. Residential units are not permitted to face into the arcade. An arcade at least 12 feet clear width and 20 feet high, is required along the Battery Place frontage, built to a building line which is the southward extension of the eastern property line of Block 12. However, the requirement of an arcade along the eastern build to line is to be eliminated if a proposed zoning amendment is approved. The design objective is to keep an unimpeded view corridor looking south on Battery Place. All entrances to the retail must be from the arcade. Elsewhere, residential uses

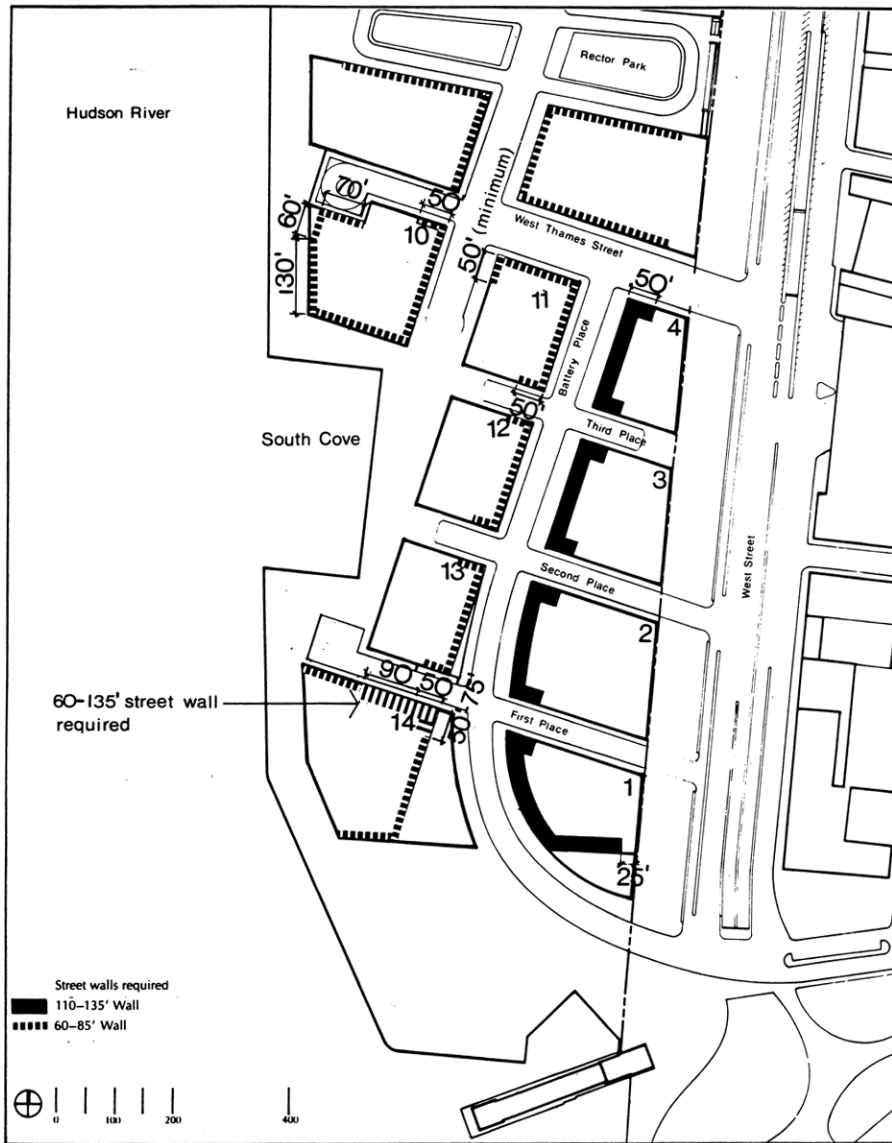
(1 of 3)

Mandated

- > Curb Cut Locations
- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions
- > Ground Floor Entrances (to retail, building lobby and courtyard)
- > Open Space
- > Use

Recommended

- > Lobby Locations
- > Ground Floor Uses



Battery Park City
 Battery Place Residential Area
 Cooper, Eckstut Associates

Streetwalls
 Fig. 25



Mandated

- > Curb Cut Locations
- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions
- > Ground Floor Entrances (to retail, building lobby and courtyard)
- > Open Space
- > Use
- > Street Wall Heights

Recommended

- > Lobby Locations
- > Ground Floor Uses

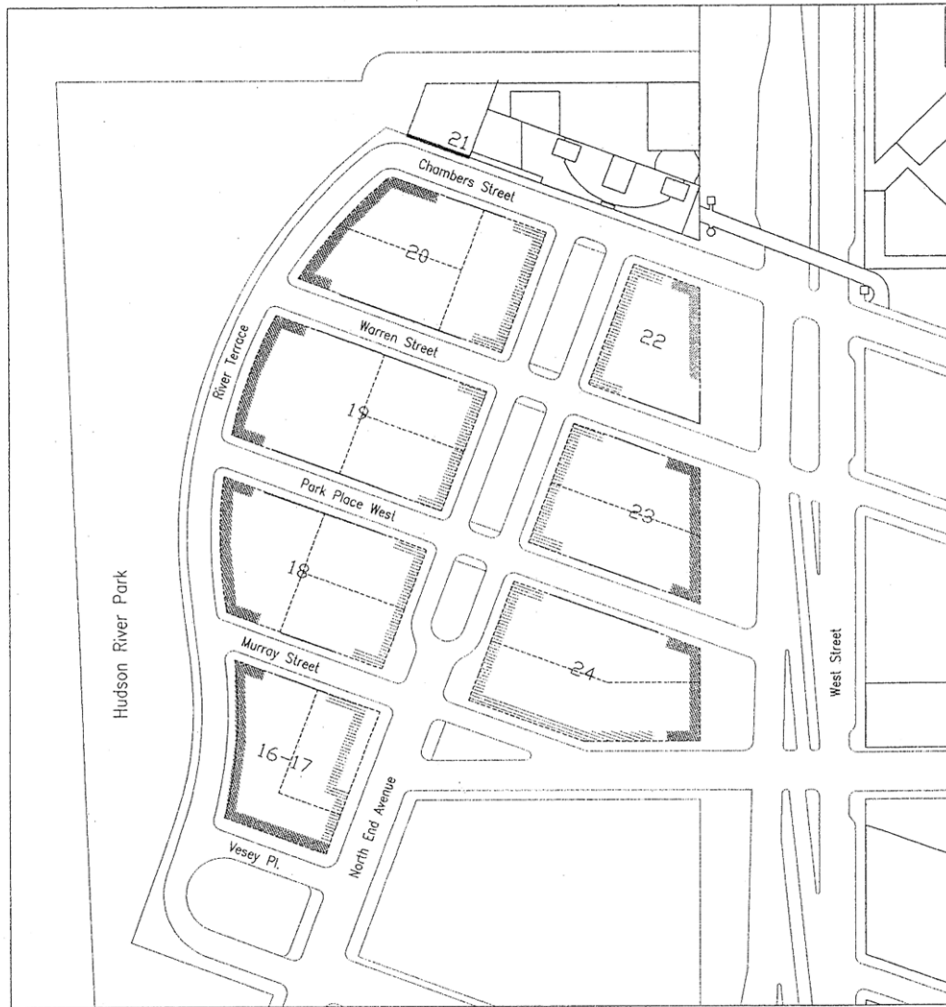


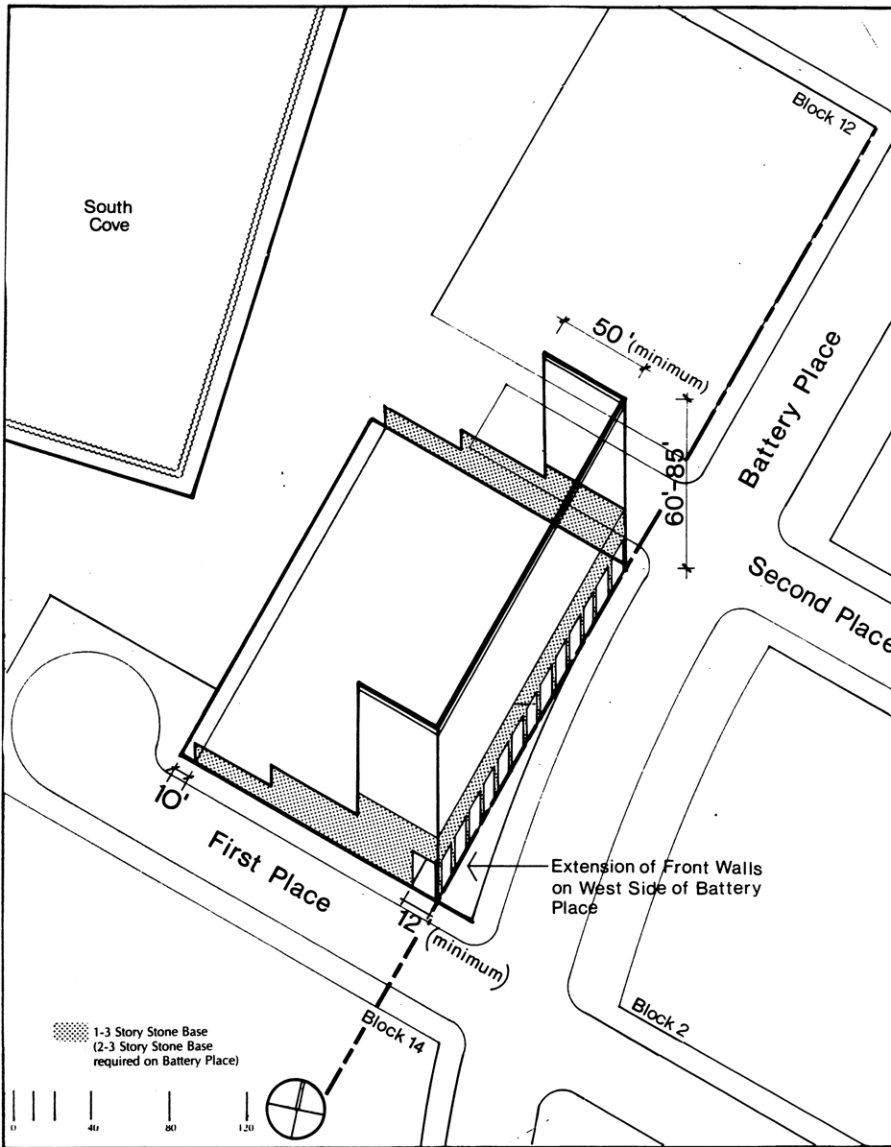
Fig. 23
Street-Walls

Mandated

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- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions
- > Ground Floor Entrances (to retail, building lobby and courtyard)
- > Open Space
- > Use
- > **Street Wall Heights**

Recommended

- > Lobby Locations
- > Ground Floor Uses



Mandated

- > Curb Cut Locations
- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions
- > Ground Floor Entrances (to retail, building lobby and courtyard)
- > Open Space
- > Use
- > Street Wall Heights

Recommended

- > Lobby Locations
- > Ground Floor Uses

Battery Park City
Battery Place Residential Area
Cooper, Eckstut Associates

Bulk Summary
Block 13
Fig. 50



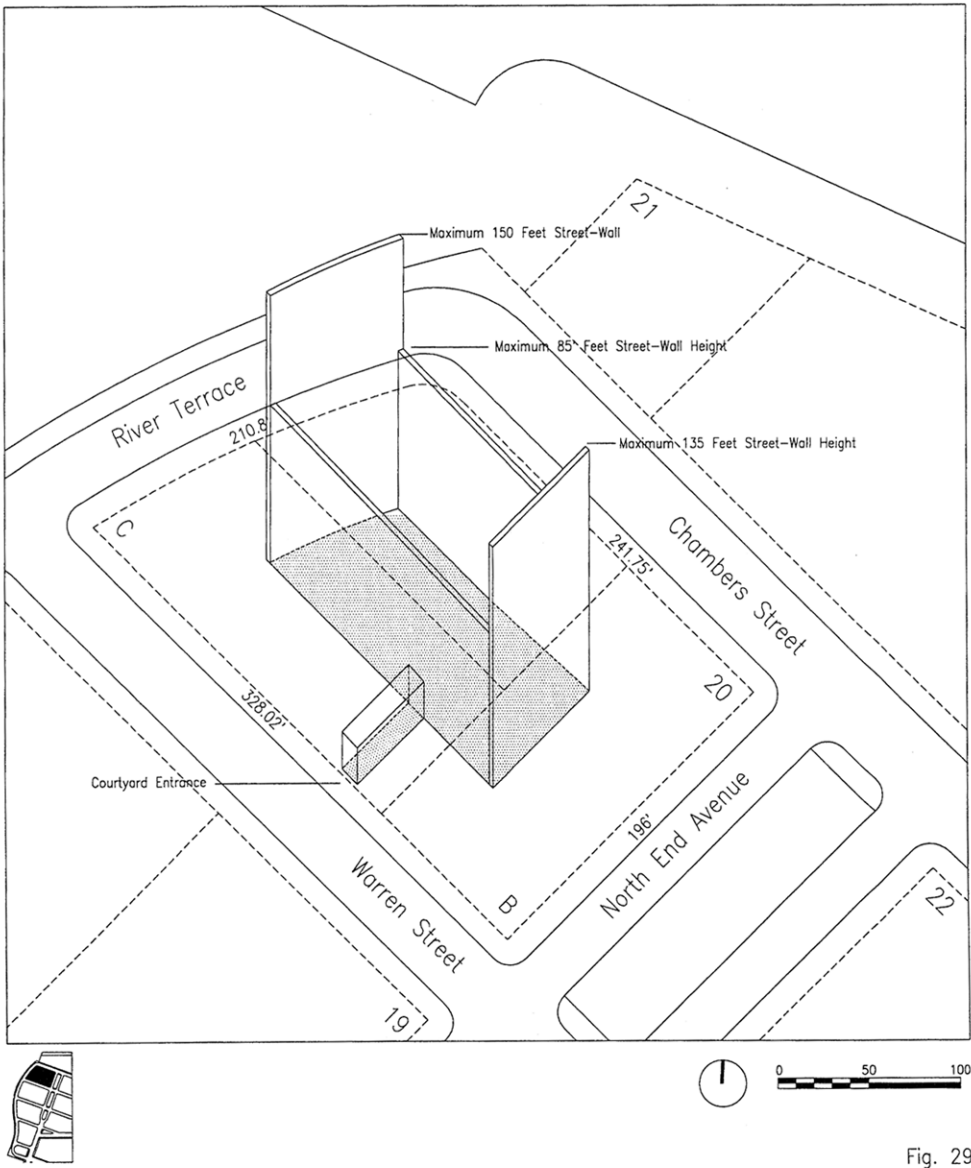


Fig. 29
Bulk Summary: Courtyard, Block 20

Mandated

- > Curb Cut Locations
- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions
- > Ground Floor Entrances (to retail, building lobby and courtyard)
- > Open Space
- > Use
- > Street Wall Heights
- > Courtyard Heights

Recommended

- > Lobby Locations
- > Ground Floor Uses

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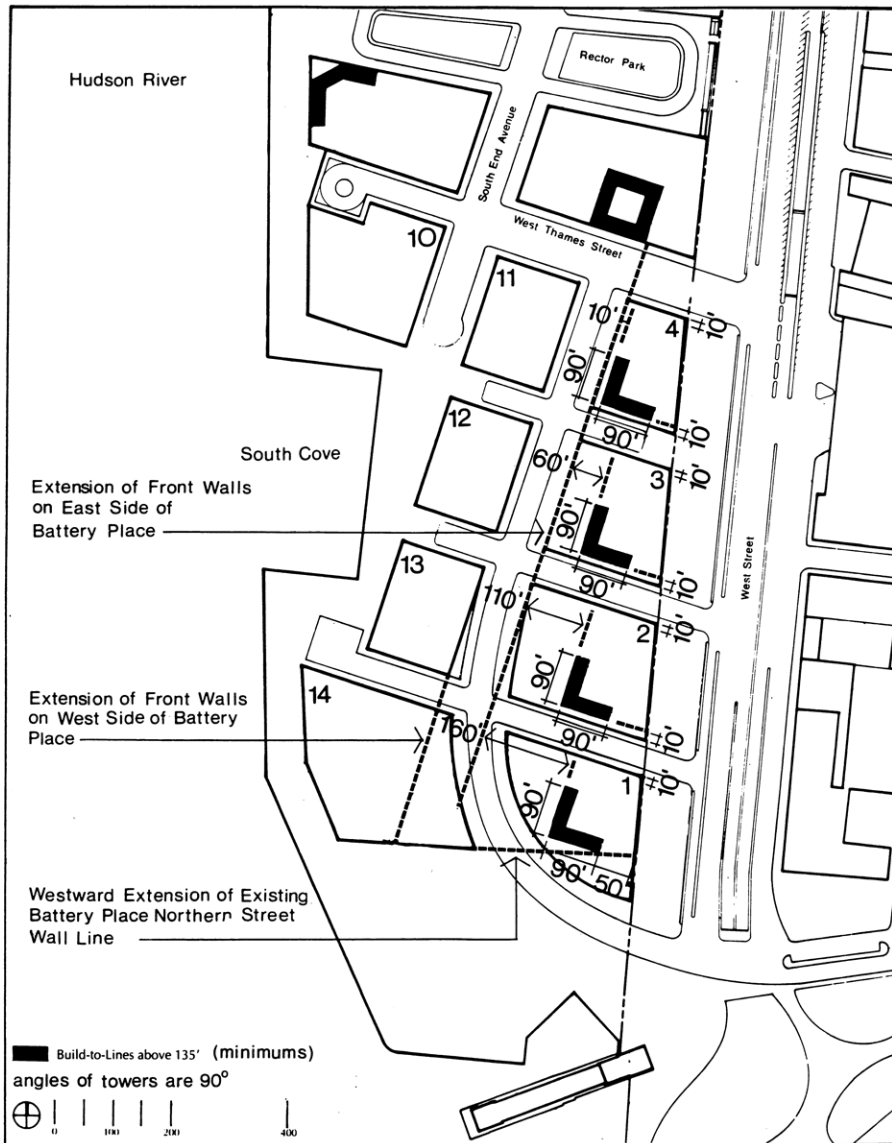
(1 of 3)

Mandated

- > Curb Cut Locations
- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions
- > Ground Floor Entrances (to retail, building lobby and courtyard)
- > Open Space
- > Use
- > Street Wall Heights
- > Courtyard Heights
- > Maximum FAR

Recommended

- > Lobby Locations
- > Ground Floor Uses



Battery Park City
 Battery Place Residential Area
 Cooper, Eckstut Associates

**Tower Locations
 and Guidelines**
 Fig. 26

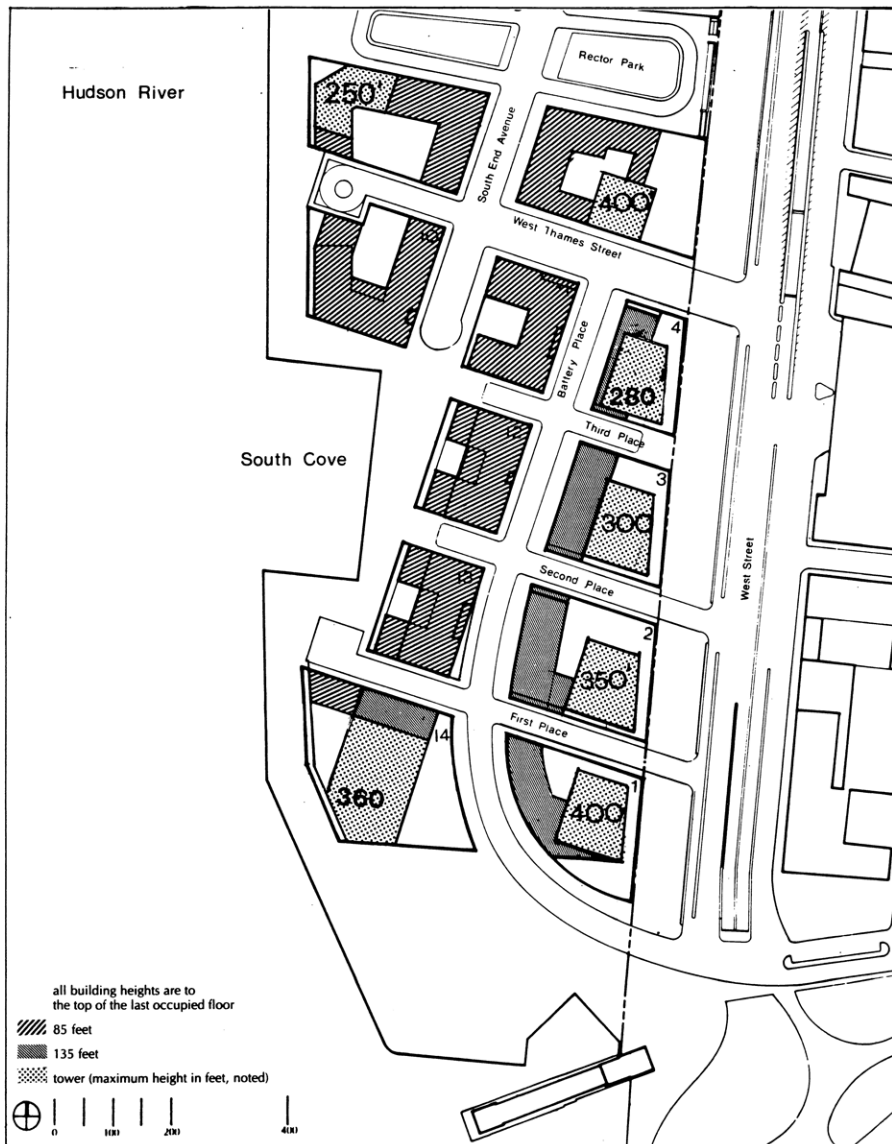


Mandated

- > Curb Cut Locations
- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions
- > Ground Floor Entrances (to retail, building lobby and courtyard)
- > Open Space
- > Use
- > Street Wall Heights
- > Courtyard Heights
- > Maximum FAR
- > Tower Locations

Recommended

- > Lobby Locations
- > Ground Floor Uses



Battery Park City
 Battery Place Residential Area
 Cooper, Eckstut Associates

Maximum Building Heights

Fig. 28



Mandated

- > Curb Cut Locations
- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions
- > Ground Floor Entrances (to retail, building lobby and courtyard)
- > Open Space
- > Use
- > Street Wall Heights
- > Courtyard Heights
- > Maximum FAR
- > Tower Locations
- > **Building Heights**

Recommended

- > Lobby Locations
- > Ground Floor Uses

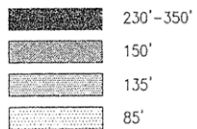
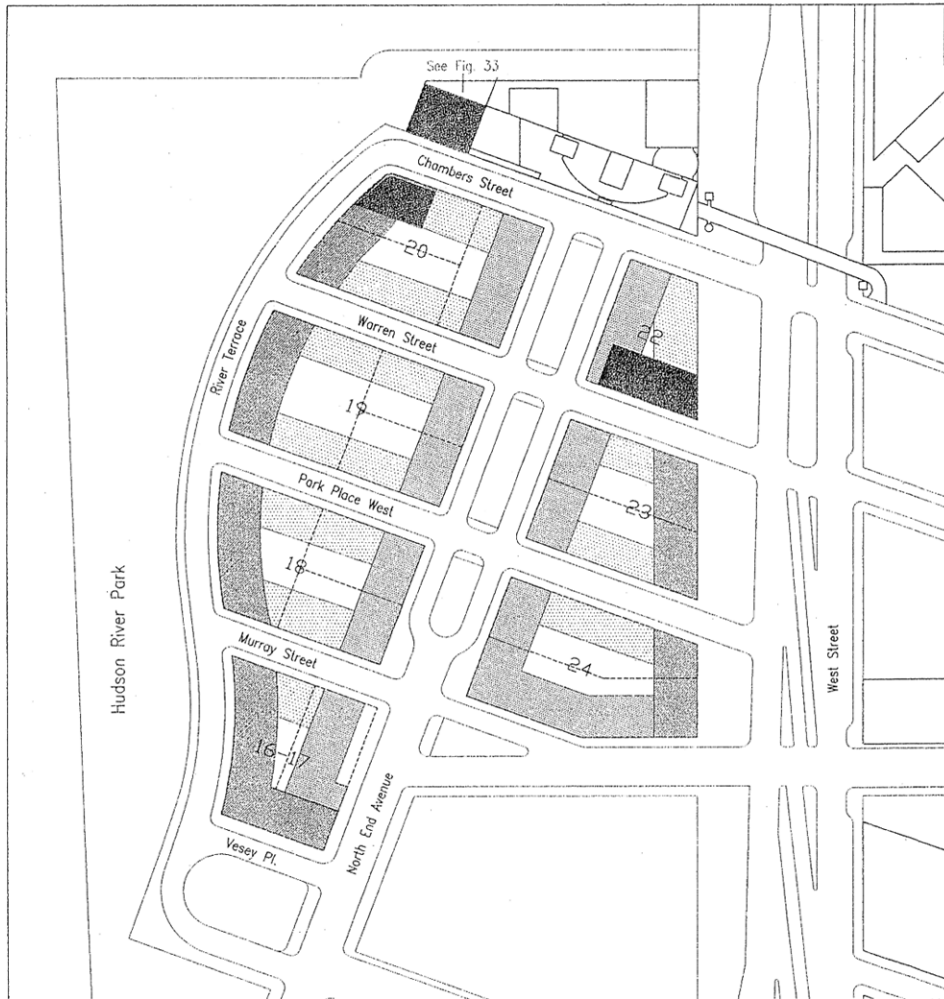


Fig. 22
Maximum Building Heights

Mandated

- > Curb Cut Locations
- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions
- > Ground Floor Entrances (to retail, building lobby and courtyard)
- > Open Space
- > Use
- > Street Wall Heights
- > Courtyard Heights
- > Maximum FAR
- > Tower Locations
- > **Building Heights**

Recommended

- > Lobby Locations
- > Ground Floor Uses

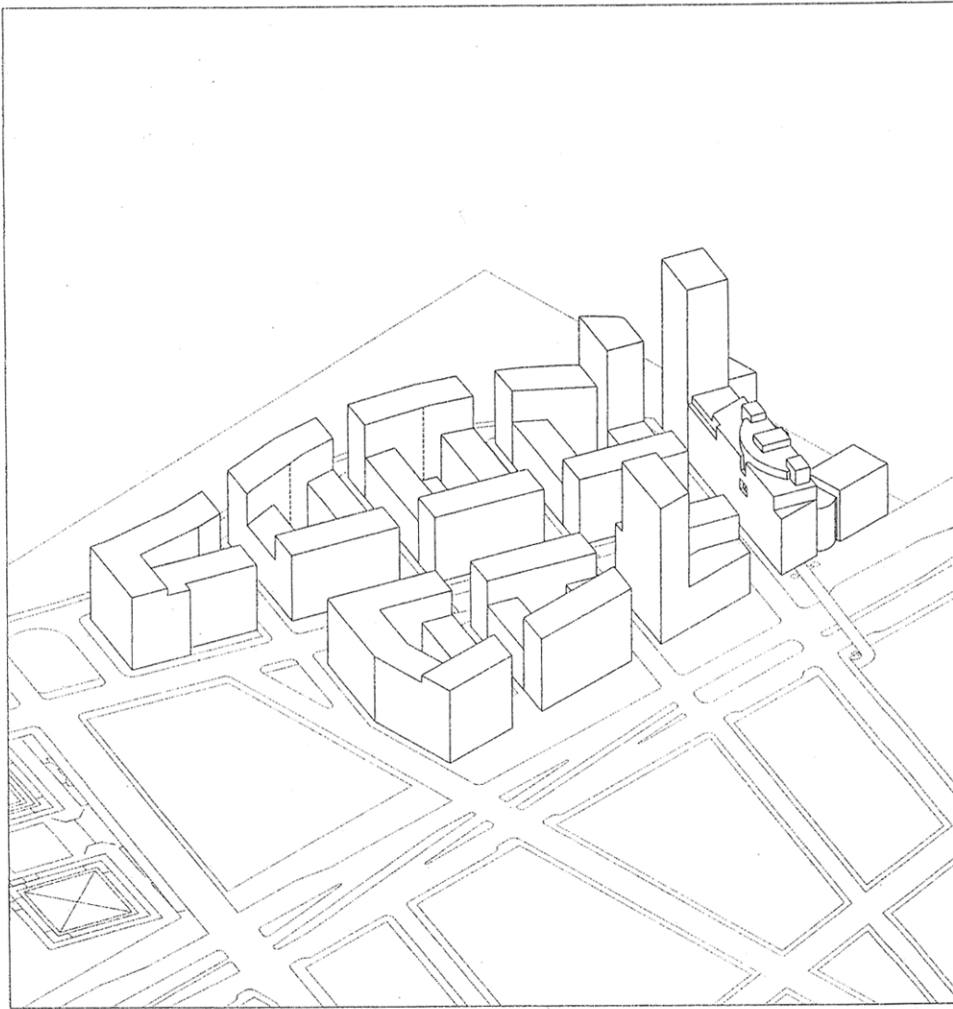


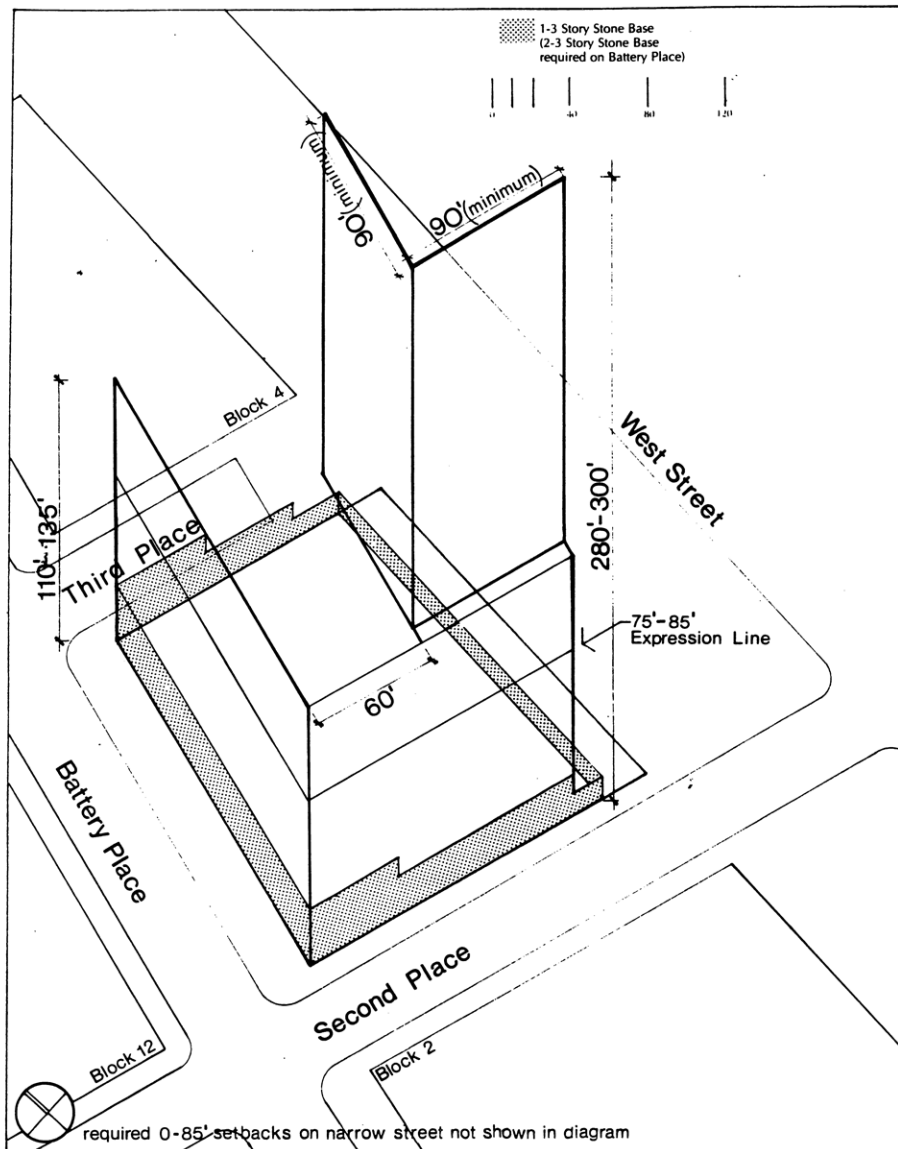
Fig. 20
Axonometric Looking North—West
of the North Residential Neighborhood

Mandated

- > Curb Cut Locations
- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions
- > Ground Floor Entrances (to retail, building lobby and courtyard)
- > Open Space
- > Use
- > Street Wall Heights
- > Courtyard Heights
- > Maximum FAR
- > Tower Locations
- > **Building Heights**

Recommended

- > Lobby Locations
- > Ground Floor Uses



Battery Park City
Battery Place Residential Area
Cooper, Eckstut Associates

Bulk Summary
Block 3
Fig. 40



Mandated

- > Curb Cut Locations
- > Parking Locations (in both plan and section)
- > Arcade Locations and Dimensions
- > Ground Floor Entrances (to retail, building lobby and courtyard)
- > Open Space
- > Use
- > Street Wall Heights
- > Courtyard Heights
- > Maximum FAR
- > Tower Locations
- > Building Heights
- > Tower Setbacks

Recommended

- > Lobby Locations
- > Ground Floor Uses

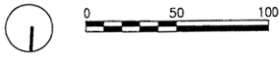
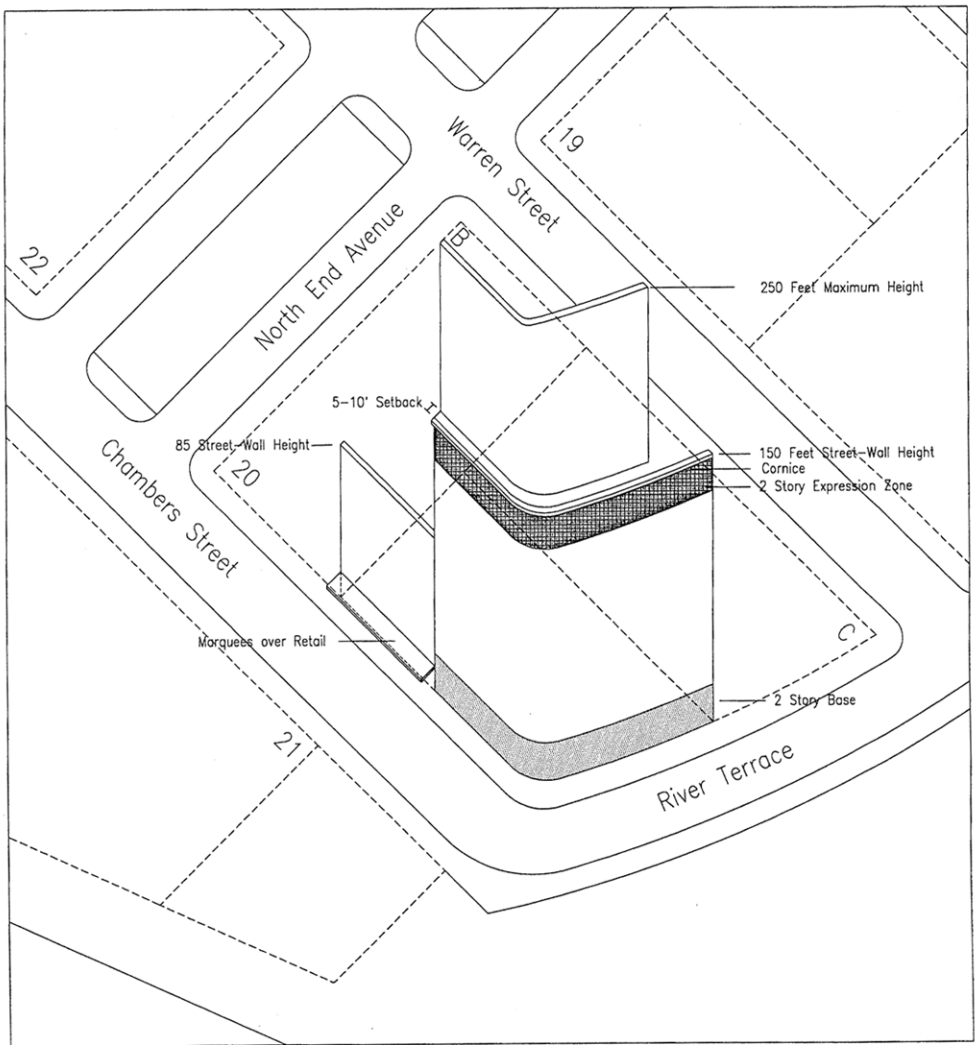


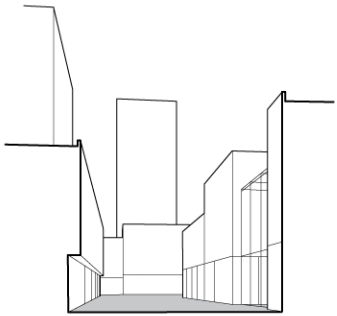
Fig. 28
Bulk Summary: Parcel 20A

Mandated

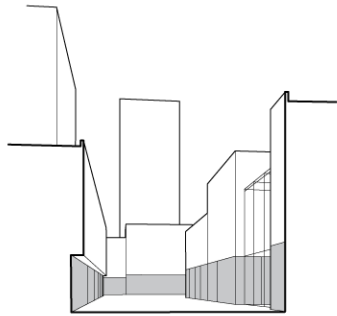
- > Curb Cut Locations
- > Parking Locations (in both plan and section)
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- > Ground Floor Entrances (to retail, building lobby and courtyard)
- > Open Space
- > Use
- > Street Wall Heights
- > Courtyard Heights
- > Maximum FAR
- > Tower Locations
- > Building Heights
- > Tower Setbacks

Recommended

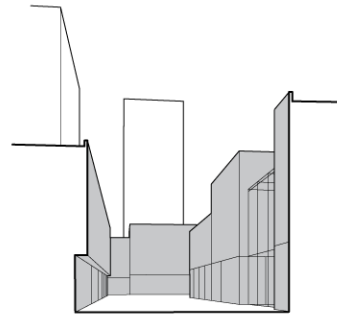
- > Lobby Locations
- > Ground Floor Uses



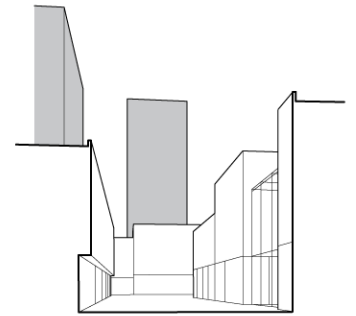
Street



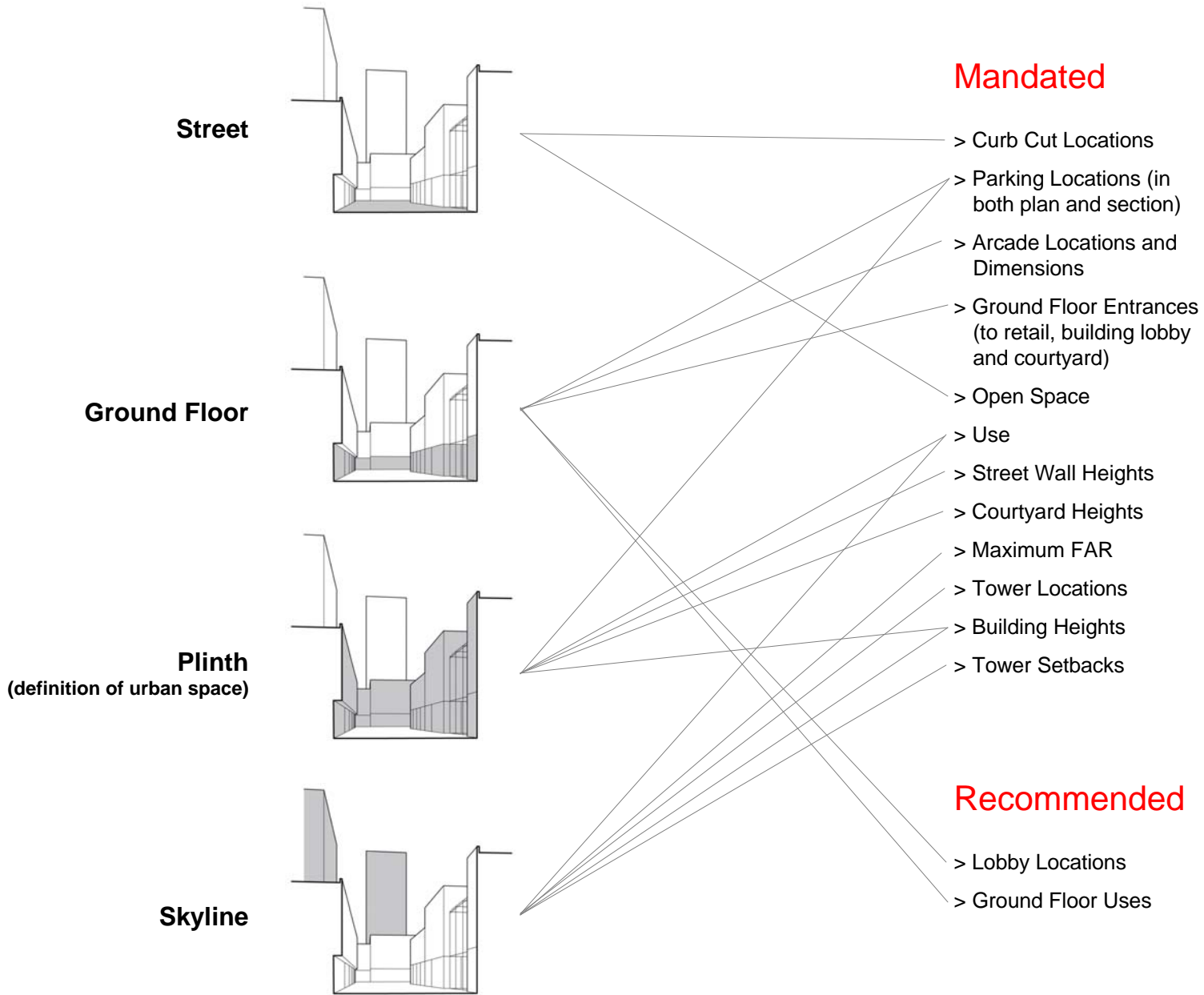
Ground Floor

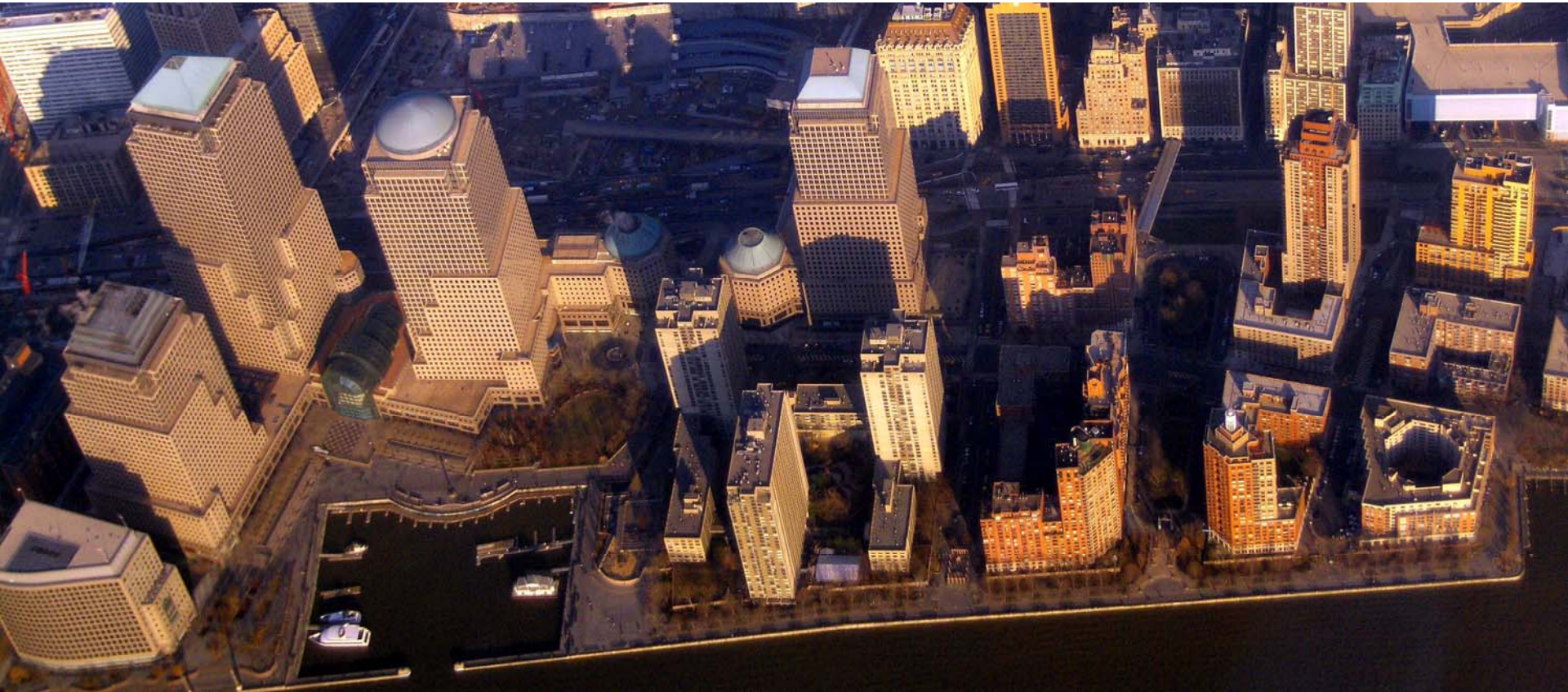


Plinth
(definition of urban space)



Skyline





Battery Park City



Battery Park City



Battery Park City

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Form-Based Code Case Studies

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3: Miami, Florida

4: Existing Stuart Street Zoning

5: Proposed Zoning Principles





Miami, Florida

Mandated

Environmental Impacts



Economics and Real Estate



Transportation

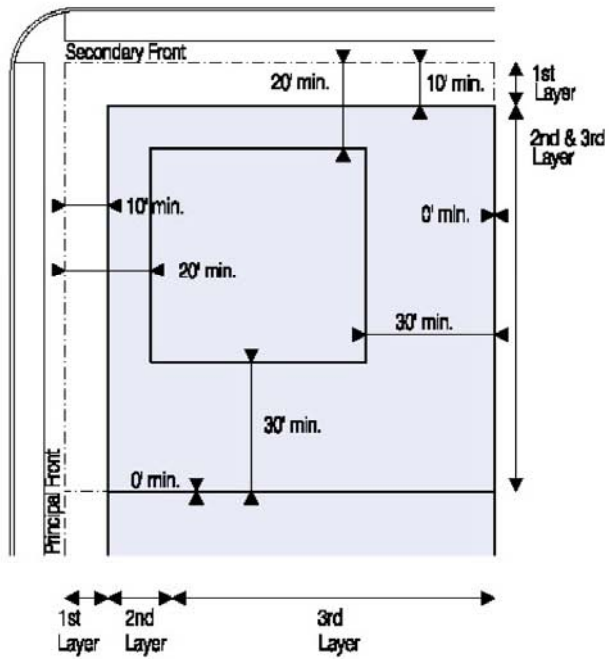


Urban Design

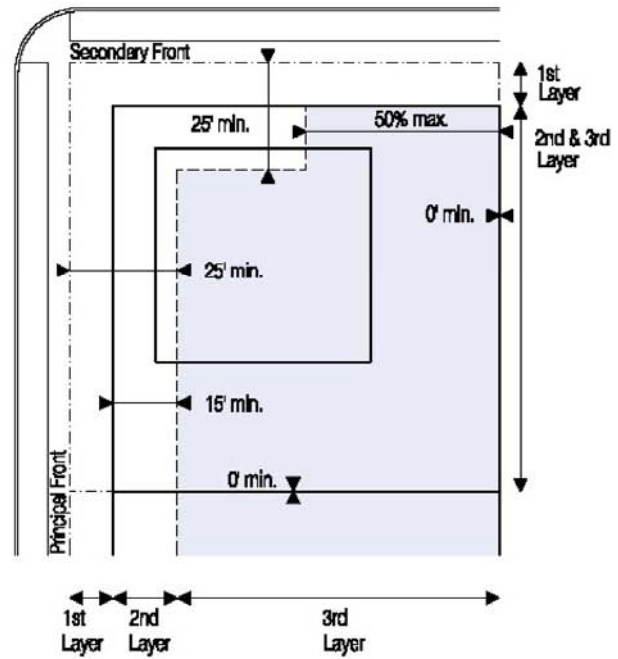


- > Curb Cut Locations (alleys or secondary frontage; minimum distance between curb cuts)
- > Parking Locations (in plan)
- > Maximum Distance Between Pedestrian Entrances
- > Frontage
- > Maximum FLR
- > Building Heights (maximum and minimum)
- > Bonus Heights
- > Tower Setbacks
- > Tower GSF (floorplate maximum GSF based on use)
- > Tower Length (maximum length based on use)
- > Density (units/acre)
- > Green Buildings

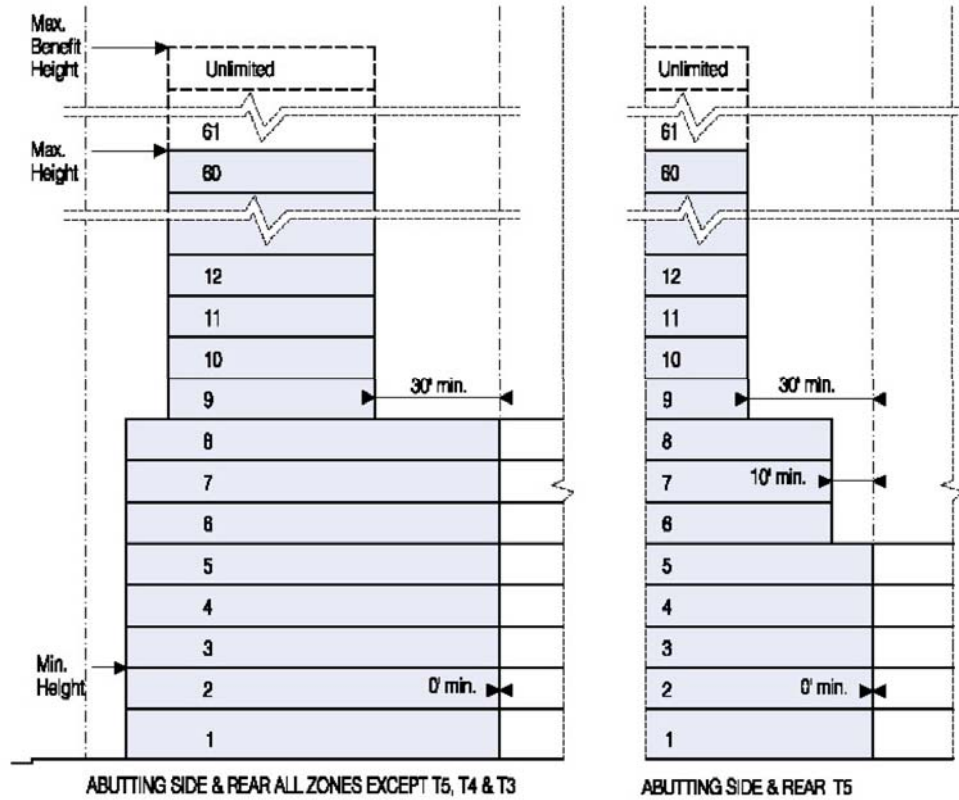
BUILDING PLACEMENT



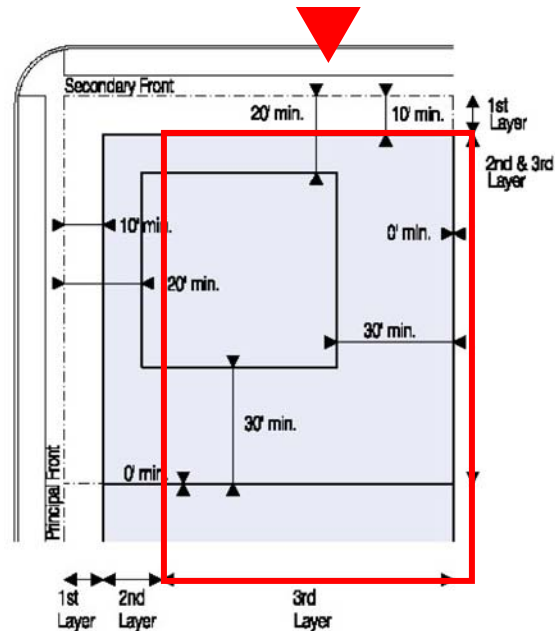
PARKING PLACEMENT



BUILDING HEIGHT



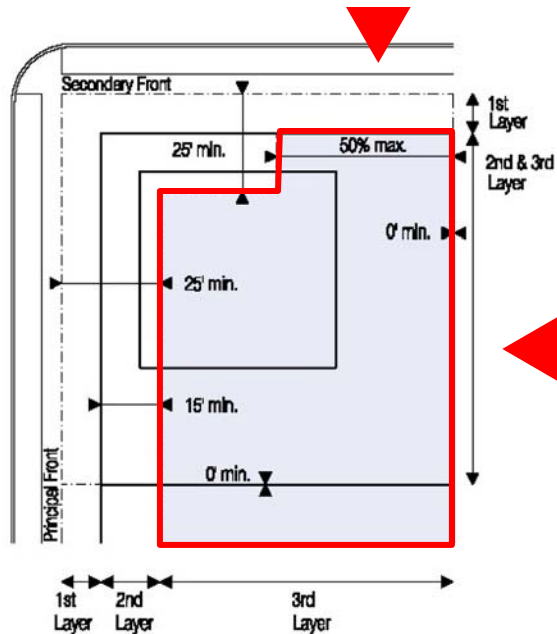
Loading and service entries shall be within the Third Layer and shall be accessed from Alleys when available, and otherwise from the Secondary Frontage.



Mandated

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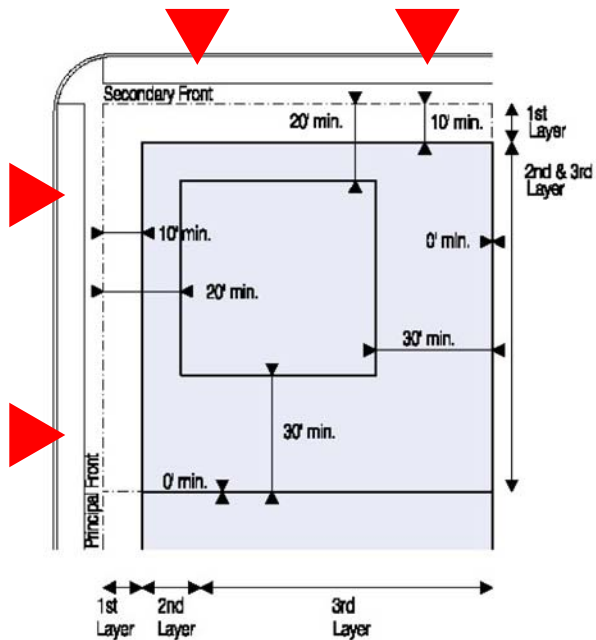
Parking location and access is regulated.
Maximum entrance width = 30 ft. Minimum distance between entrances = 60 ft.



Mandated

- > Curb Cut Locations (alleys or secondary frontage; minimum distance between curb cuts)
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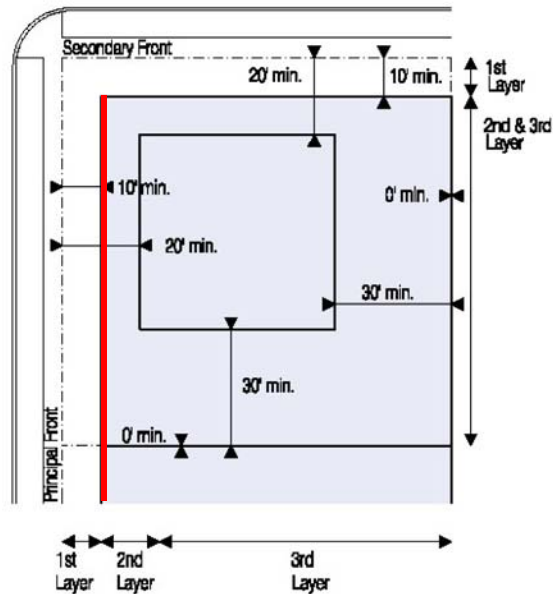
Maximum spacing between pedestrian entrances is 75 ft.



Mandated

- > Curb Cut Locations (alleys or secondary frontage; minimum distance between curb cuts)
- > Parking Locations (in plan)
- > **Maximum Distance Between Pedestrian Entrances**
- > Frontage
- > Maximum FLR
- > Building Heights (maximum and minimum)
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- > Tower GSF (floorplate maximum GSF based on use)
- > Tower Length (maximum length based on use)
- > Density (units/acre)
- > Green Buildings

For the minimum Height, Facades shall be built parallel to the Principal Frontage Line along a minimum of seventy percent (70%) of its length on the Setback Line. In the absence of Building along the remainder of the Frontage Line, a Street screen shall be built co-planar with the Façade to shield parking and service areas.



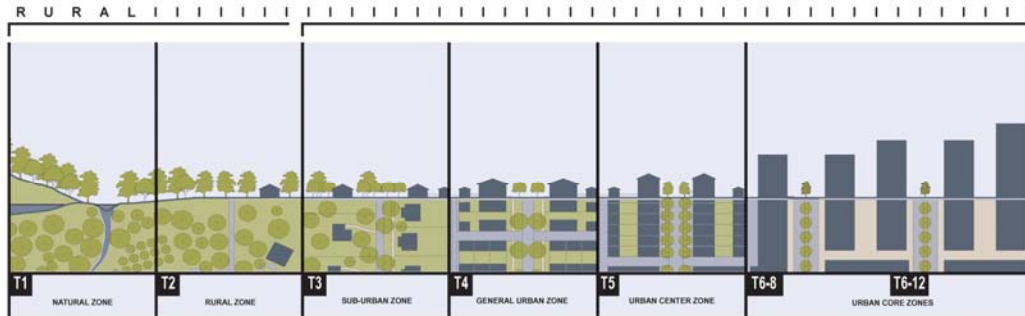
Mandated

- > Curb Cut Locations (alleys or secondary frontage; minimum distance between curb cuts)
- > Parking Locations (in plan)
- > Maximum Distance Between Pedestrian Entrances
- > **Frontage**
- > Maximum FLR
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- > Tower Setbacks
- > Tower GSF (floorplate maximum GSF based on use)
- > Tower Length (maximum length based on use)
- > Density (units/acre)
- > Green Buildings

FLR (floor-lot-ratio) varies for each district. In the urban core, FLR=8. Unlike typical FAR calculations, FLR includes parking.

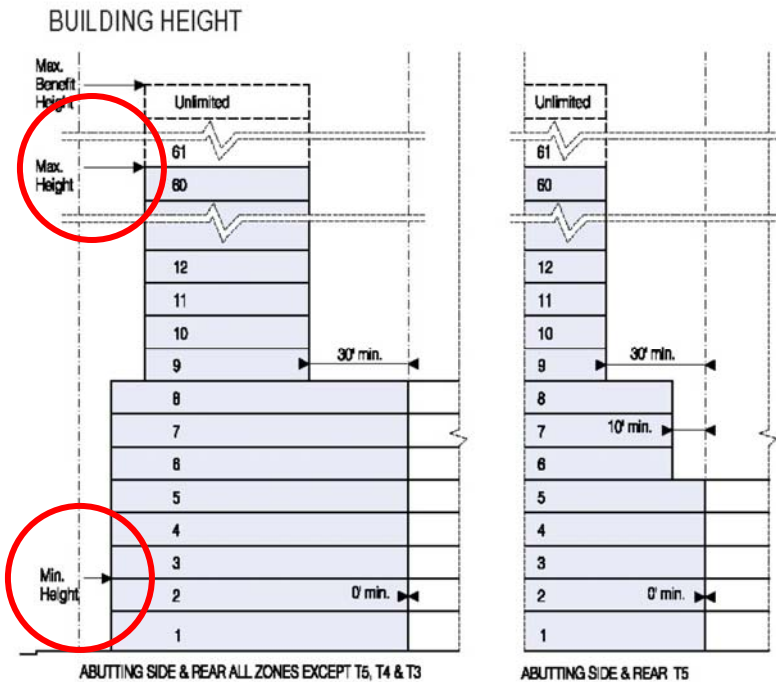
Mandated

- > Curb Cut Locations (alleys or secondary frontage; minimum distance between curb cuts)
- > Parking Locations (in plan)
- > Maximum Distance Between Pedestrian Entrances
- > Frontage
- > **Maximum FLR**
- > Building Heights (maximum and minimum)
- > Bonus Heights
- > Tower Setbacks
- > Tower GSF (floorplate maximum GSF based on use)
- > Tower Length (maximum length based on use)
- > Density (units/acre)
- > Green Buildings



LOT OCCUPATION	T1	T2	T3	T4	T5	T6-8	T6-12
a. Lot Area			5,000 s.f. min.	1,400 s.f. - 20,000 s.f. **	1,200 s.f. - 40,000 s.f.**	5,000 sf. min 40,000 s.f. max.**	5,000 sf. min. 70,000 s.f. max.**
b. Lot Width			50 ft. min.	16 ft. min / 50 ft. min.**	16 ft. min / 50 ft. min.**	50 ft. min.	50 ft. min.
c. Lot Coverage			50% max. 1st Floor 30% max. 2nd Floor for T3 R & T3L only	60% max.	80% max.	80% max.**	80% max.**
d. Floor Lot Ratio (FLR)						5	8
e. Frontage at front Setback				50% min.	60% min.	70% min.	70% min.
f. Green / Open Space Requirements			25% Lot Area min.	15% Lot Area min.	10% Lot Area min.	10% Lot Area min.	10% Lot Area min.
g. Density			9-18 du/acre max.**	36 du/acre max.	65 du/acre max.	150 du /acre *	150 du /acre *

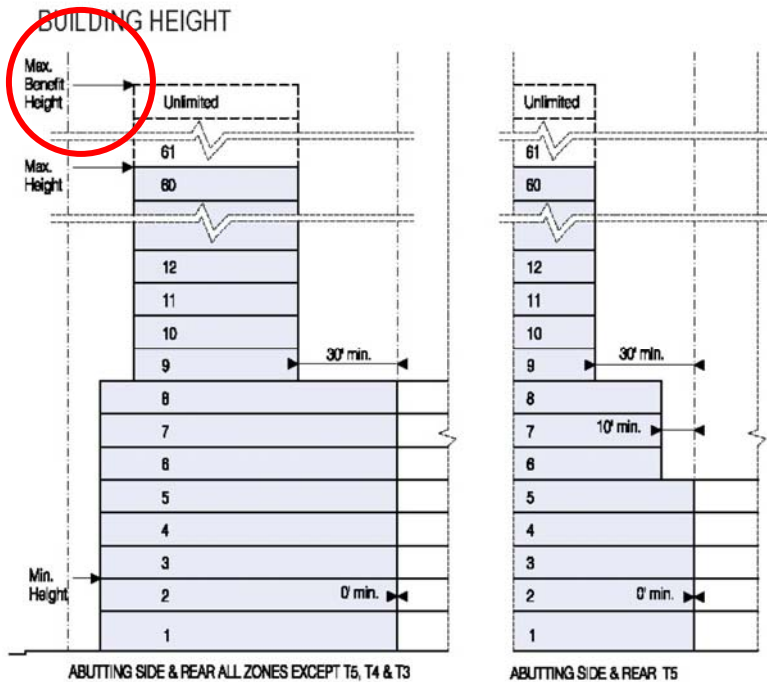
Maximum and minimum building heights



Mandated

- > Curb Cut Locations (alleys or secondary frontage; minimum distance between curb cuts)
- > Parking Locations (in plan)
- > Maximum Distance Between Pedestrian Entrances
- > Frontage
- > Maximum FLR
- > Building Heights (maximum and minimum)
- > Bonus Heights
- > Tower Setbacks
- > Tower GSF (floorplate maximum GSF based on use)
- > Tower Length (maximum length based on use)
- > Density (units/acre)
- > Green Buildings

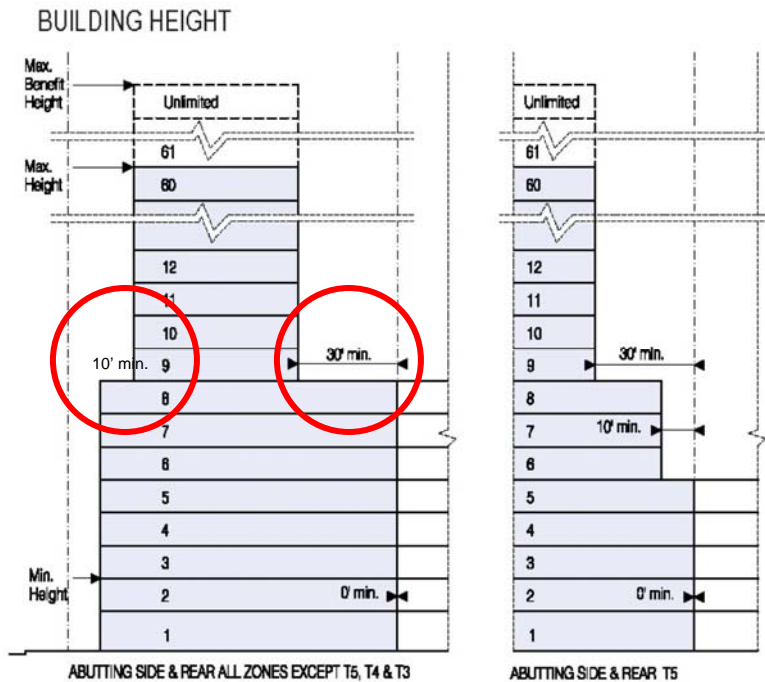
Bonus Heights = Bonus Programs benefit housing, parks, civic facilities, green building and brown fields



Mandated

- > Curb Cut Locations (alleys or secondary frontage; minimum distance between curb cuts)
- > Parking Locations (in plan)
- > Maximum Distance Between Pedestrian Entrances
- > Frontage
- > Maximum FLR
- > Building Heights (maximum and minimum)
- > **Bonus Heights**
- > Tower Setbacks
- > Tower GSF (floorplate maximum GSF based on use)
- > Tower Length (maximum length based on use)
- > Density (units/acre)
- > Green Buildings

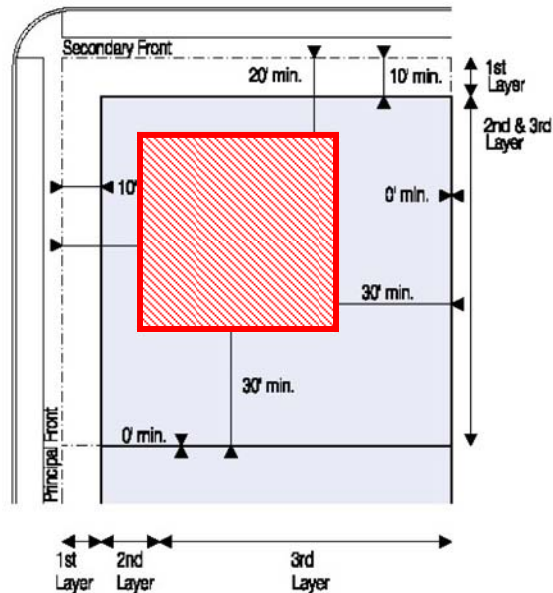
Tower Setbacks



Mandated

- > Curb Cut Locations (alleys or secondary frontage; minimum distance between curb cuts)
- > Parking Locations (in plan)
- > Maximum Distance Between Pedestrian Entrances
- > Frontage
- > Maximum FLR
- > Building Heights (maximum and minimum)
- > Bonus Heights
- > **Tower Setbacks**
- > Tower GSF (floorplate maximum GSF based on use)
- > Tower Length (maximum length based on use)
- > Density (units/acre)
- > Green Buildings

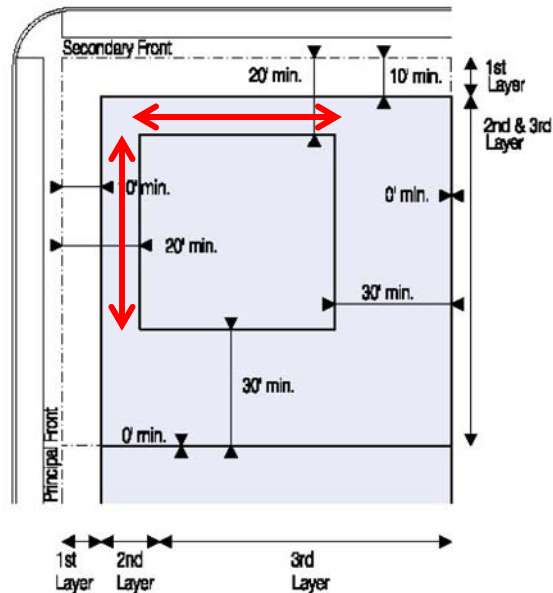
Maximum residential floorplate: 15,000 gsf
Maximum commercial floorplate: 30,000 gsf



Mandated

- > Curb Cut Locations (alleys or secondary frontage; minimum distance between curb cuts)
- > Parking Locations (in plan)
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- > Building Heights (maximum and minimum)
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- > Tower Setbacks
- > Tower GSF (floorplate maximum GSF based on use)
- > Tower Length (maximum length based on use)
- > Density (units/acre)
- > Green Buildings

Maximum residential tower length: 180 ft
Maximum commercial tower length: 215 ft



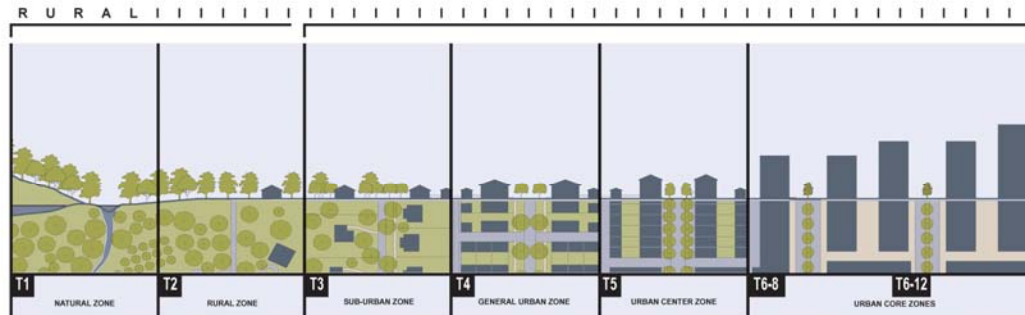
Mandated

- > Curb Cut Locations (alleys or secondary frontage; minimum distance between curb cuts)
- > Parking Locations (in plan)
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- > Tower GSF (floorplate maximum GSF based on use)
- > Tower Length (maximum length based on use)
- > Density (units/acre)
- > Green Buildings

Density varies for each district. In the urban core, maximum density is 150 du/acre.

Mandated

- > Curb Cut Locations (alleys or secondary frontage; minimum distance between curb cuts)
- > Parking Locations (in plan)
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LOT OCCUPATION							
a. Lot Area			5,000 s.f. min.	1,400 s.f. - 20,000 s.f. **	1,200 s.f. - 40,000 s.f.**	5,000 sf. min 40,000 s.f. max.**	5,000 sf. min. 70,000 s.f. max.**
b. Lot Width			50 ft. min.	16 ft. min / 50 ft. min.**	16 ft. min / 50 ft. min.**	50 ft. min.	50 ft. min.
c. Lot Coverage			50% max. 1st Floor 30% max. 2nd Floor for T3 R & T3L only	60% max.	80% max.	80% max.**	80% max.**
d. Floor Lot Ratio (FLR)						5	8
e. Frontage at front Setback				50% min.	60% min.	70% min.	70% min.
f. Green / Open Space Requirements			25% Lot Area min.	15% Lot Area min.	10% Lot Area min.	10% Lot Area min.	10% Lot Area min.
g. Density			9-18 du/acre max.**	36 du/acre max.	65 du/acre max.	150 du /acre *	150 du /acre *

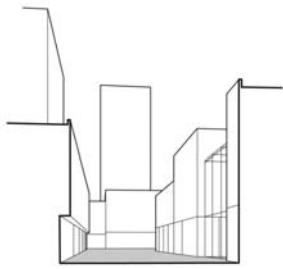
Buildings over 50,000 sf in the urban core must be minimum LEED Silver.

A performance bond is used to ensure compliance.

Mandated

- > Curb Cut Locations (alleys or secondary frontage; minimum distance between curb cuts)
- > Parking Locations (in plan)
- > Maximum Distance Between Pedestrian Entrances
- > Frontage
- > Maximum FLR
- > Building Heights (maximum and minimum)
- > Bonus Heights
- > Tower Setbacks
- > Tower GSF (floorplate maximum GSF based on use)
- > Tower Length (maximum length based on use)
- > Density (units/acre)
- > Green Buildings

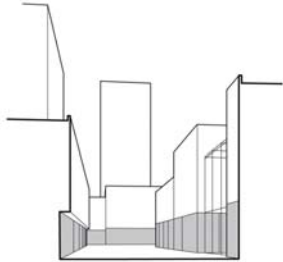
Street



Mandated

> Curb Cut Locations (alleys or secondary frontage; minimum distance between curb cuts)

Ground Floor



> Parking Locations (in plan)

> Maximum Distance Between Pedestrian Entrances

> Frontage

> Maximum FLR

> Building Heights (maximum and minimum)

> Bonus Heights

> Tower Setbacks

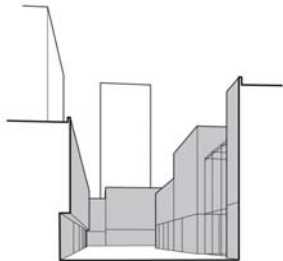
> Tower GSF (floorplate maximum GSF based on use)

> Tower Length (maximum length based on use)

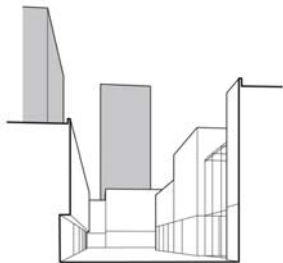
> Density (units/acre)

> Green Buildings

Plinth
(definition of urban space)



Skyline



Architects

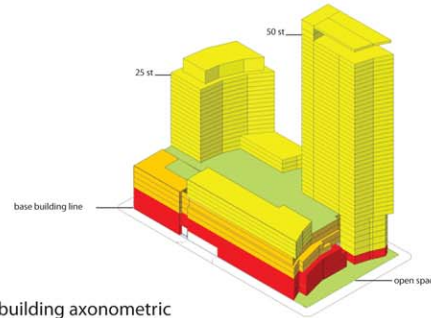
Elkus Manfredi Architects - Boston

Premise

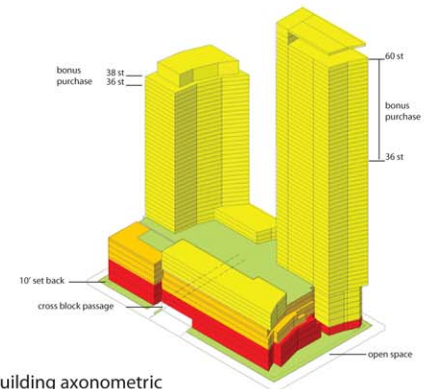
- program similar to original design, modified for SD 16.1
- net floor area similar to original design, modified for SD 16.1
- gross floor area similar to original design, modified for SD 16.1
- general massing similar to original design, modified for SD 16.1
- other : original design from 1650 Biscayne Blvd was modified to fit the Parkwest site and code

Comparative Zoning Atlas Sheet

11,000 - Miami 21



11,000 - building axonometric



Miami 21 - building axonometric

Zoning Table	11,000	Miami 21
Zoning Designation	SD 16.1	T6-36
Density	213 DU / 300 DUA	298 DU / 300 DUA
Lot Area	192,246 (GLA)	124,923 (NLA)
Capacity Ratio	4.32 # FAR	12 # FLR
Lot Coverage Allowed	123,132 SF 85% of NLA	99,937 SF 80% of NLA
Lot Coverage Provided	122,990 SF 85% of NLA	99,895 SF 80% of NLA
Open Space Required	19,224 SF 10% of GLA	12,492 SF 10% of NLA
Open Space Provided	21,872 SF 15% of NLA	25,028 SF 20% of NLA
Height Allowed AOR	60 stories; FT	36 Stories
Height Provided	50 stories; 510 FT	36 Stories
Bonus Height Allowed	N/A	60 St; bonus height 24 Stories
Bonus Height Provided	N/A	60 St; bonus height 24 Stories
Area Allowed AOR	830,502 SF NFA	1,499,076 SF GFA
Area Provided	1,323,492 SF GFA	1,499,020 SF GFA
Bonus Area Provided	N/A	262,252 SF / 17% of AOR
Bonus Area Allowed	45 % of AOR	40% of AOR
Required Parking	846 Spaces	876 Spaces
Provided Parking	920 Spaces	920 Spaces
Notes / Special Features	Liner building not required but provided.	Tower setback waiver required.



11,000 - building rendering



Miami 21 - building rendering

Comparison of Downtown Buildings
Ordinance 11,000 / Miami 21
Miami, Florida

Rendering Comparison
Existing Zoning to Miami 21 w/ height bonus

November 21, 2007

ELKUS | MANFREDI
ARCHITECTS

MIAMI 21 - Comparative Design Information Sheet

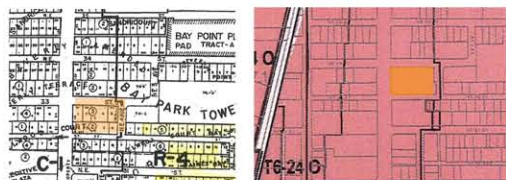
Project Name: PARK LANE TOWER
 345 NE 32nd Street
 Miami, FL 33137

OPPENHEIM ARCHITECTS

Premise

- same program as original design
- same net floor area as original design
- same gross floor area as original design
- same general massing as original design
- designed differently to further each code's intent
- other (describe)

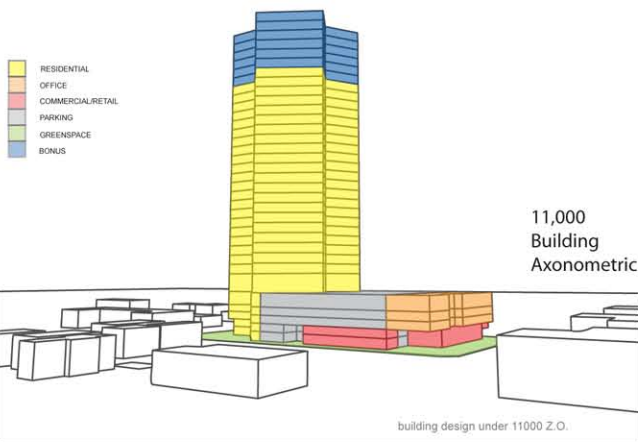
Comparative Zoning Atlas Sheet
 11,000 - Miami 21



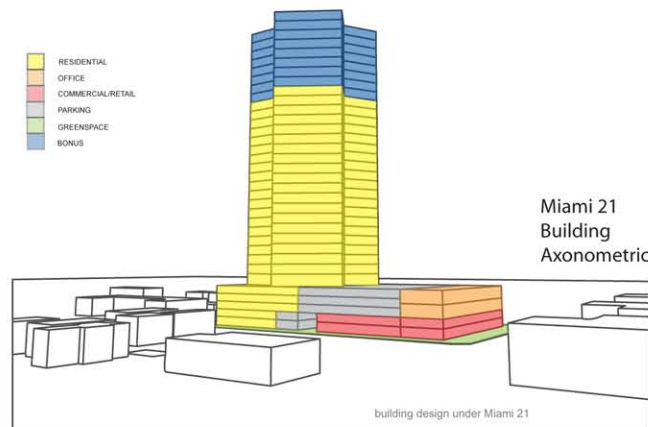
11,000 - Atlas

Miami 21 - Atlas

Zoning Table	11,000	Miami 21
Zoning Designation	C1 - SD 20 Overlay	T6 - 24O
Density	216 DU / 150 DUA	216 DU / 150 DUA
Lot Area	98,884 SF	62,596 SF
Capacity Ratio	2.0 FAR / 197,768 SF	6.0 FLR / 375,576 SF
Lot Coverage Allowed	60% of GLA	80% of NLA
Lot Coverage Provided	40% of GLA	80% of NLA
Open Space Required	16% of GLA	10% of NLA
Open Space Provided	21% of GLA	10% of NLA
Height Allowed AOR	No Limit	24 Stories
Height Provided	360 FT	36 Stories
Bonus Height Allowed	N/A	24 Stories
Bonus Height Provided	N/A	12 Stories
Area Allowed ADR	645,000 SF	685,880 SF
Area Provided	645,000 SF	685,880 SF
Bonus Area Provided	14%	16%
Bonus Area Allowed	45%	30%
Required Parking	241 Spaces	232 shared Spaces
Provided Parking	353 Spaces	353 total / (232 shared) Spaces
Notes / Special Features		



building design under 11000 Z.O.



building design under Miami 21



11,000 - Building Rendering



Miami 21 - Building Rendering

TASK 4.1

Form-Based Code Case Studies

1: Overview of Form-Based Codes

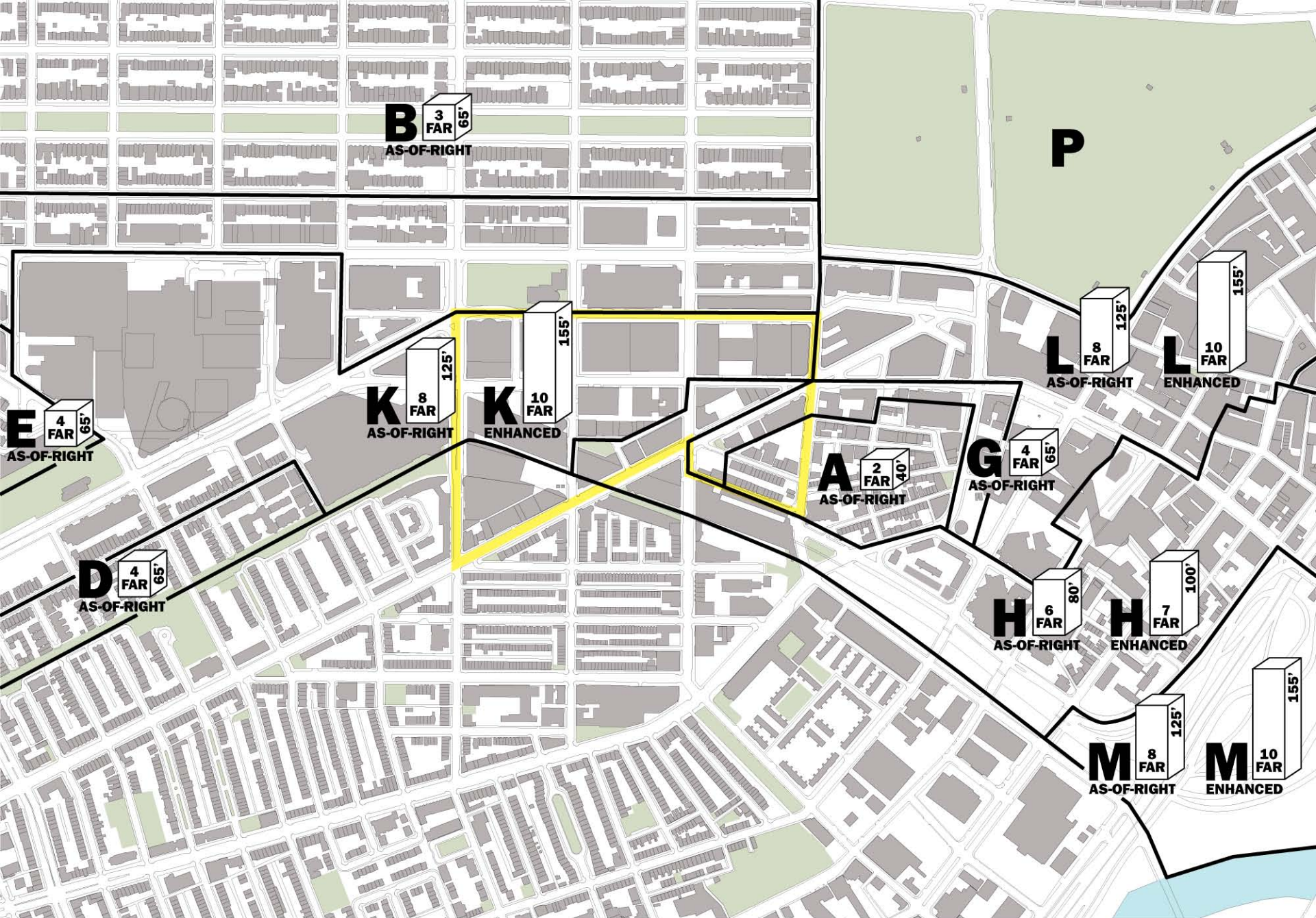
2: Battery Park City, NYC

3: Miami, Florida

4: Existing Stuart Street Zoning

5: Proposed Zoning Principles

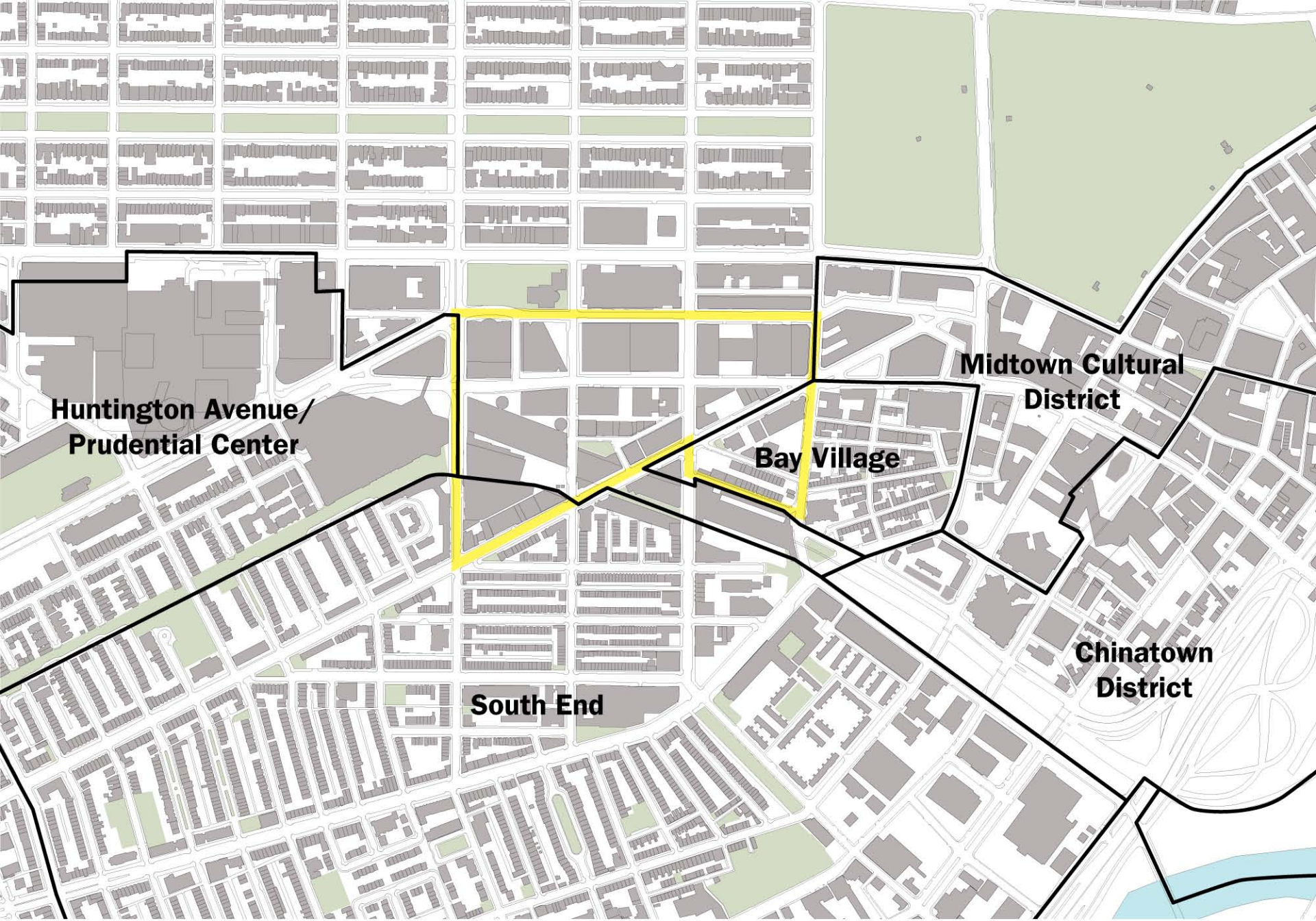




1987: Downtown IPOD Subdistricts Established

Source: Boston Zoning Code Article 27 and Article 27D





**Huntington Avenue/
Prudential Center**

South End

Bay Village

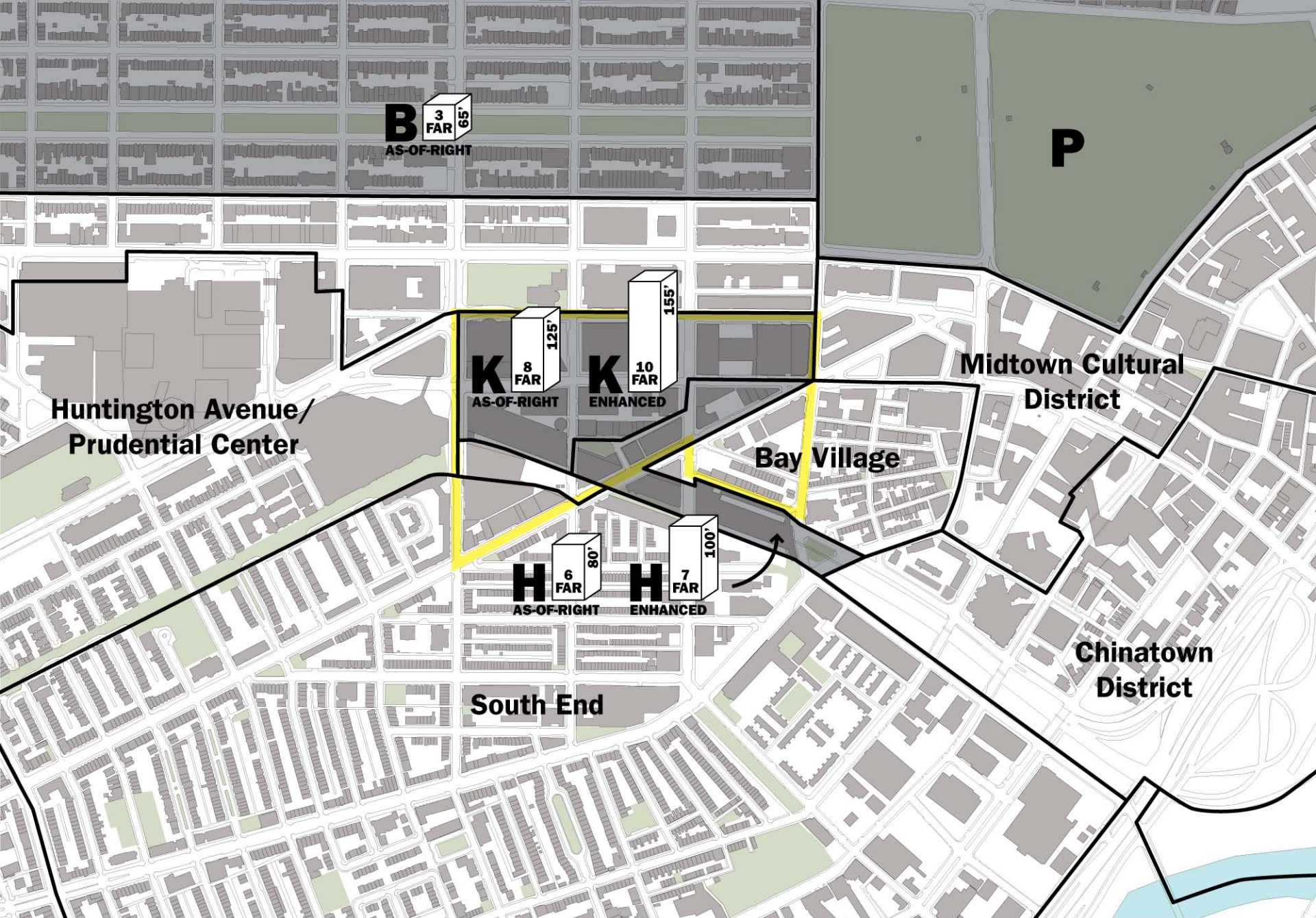
**Midtown Cultural
District**

**Chinatown
District**

1990's and 2000's: Zoning Districts Replace IPOD Subdistricts

Source: Boston Zoning Code





Huntington Avenue/
Prudential Center

B
3 FAR
65'
AS-OF-RIGHT

K
8 FAR
125'
AS-OF-RIGHT

K
10 FAR
155'
ENHANCED

Bay Village

Midtown Cultural
District

H
6 FAR
80'
AS-OF-RIGHT

H
7 FAR
100'
ENHANCED

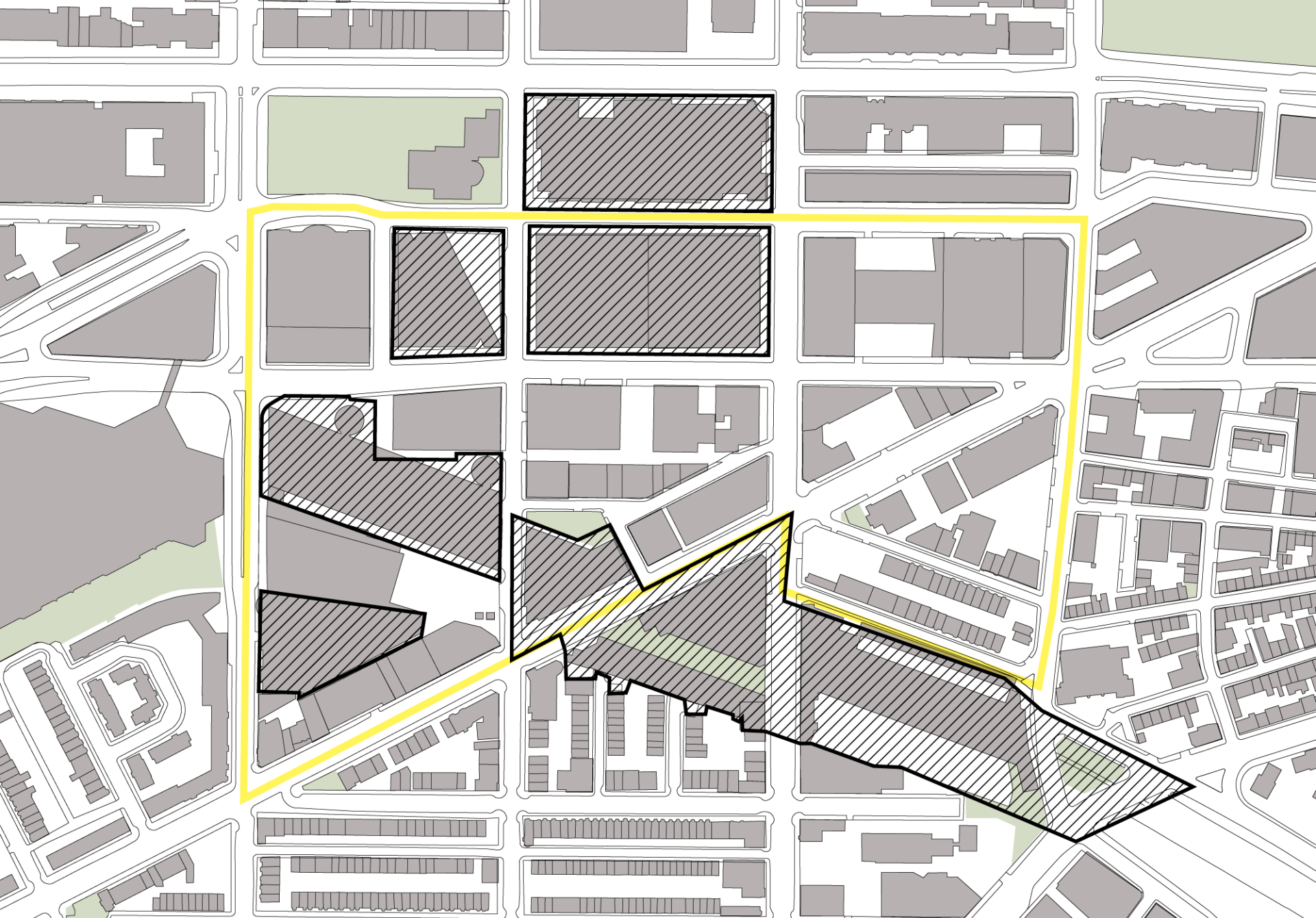
South End

Chinatown
District

Today: Pockets of IPOD Subdistricts Remain

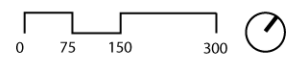
Source: Boston Zoning Code

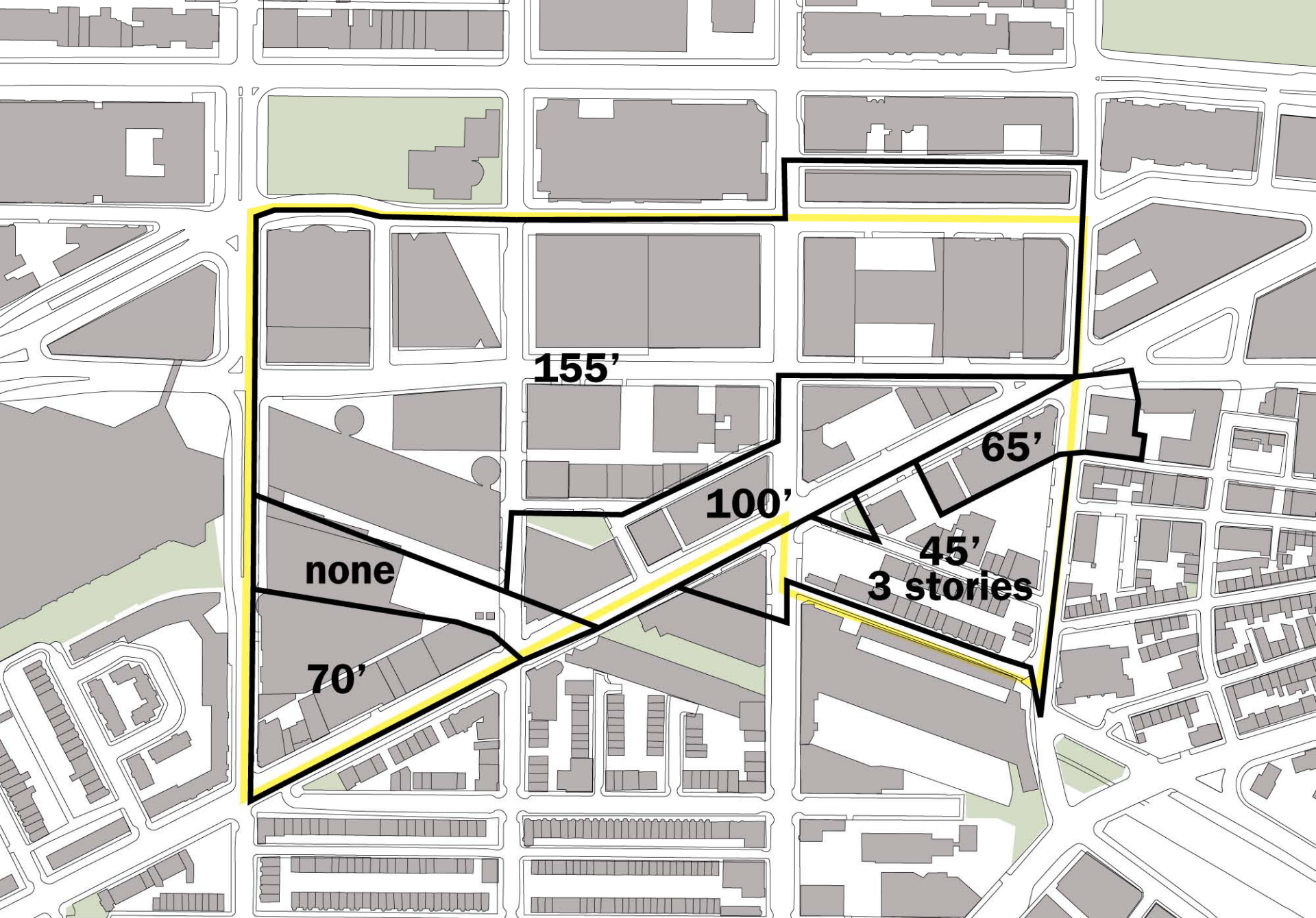




Planned Development Areas

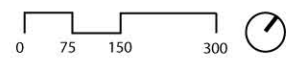
Source: Boston Zoning Code

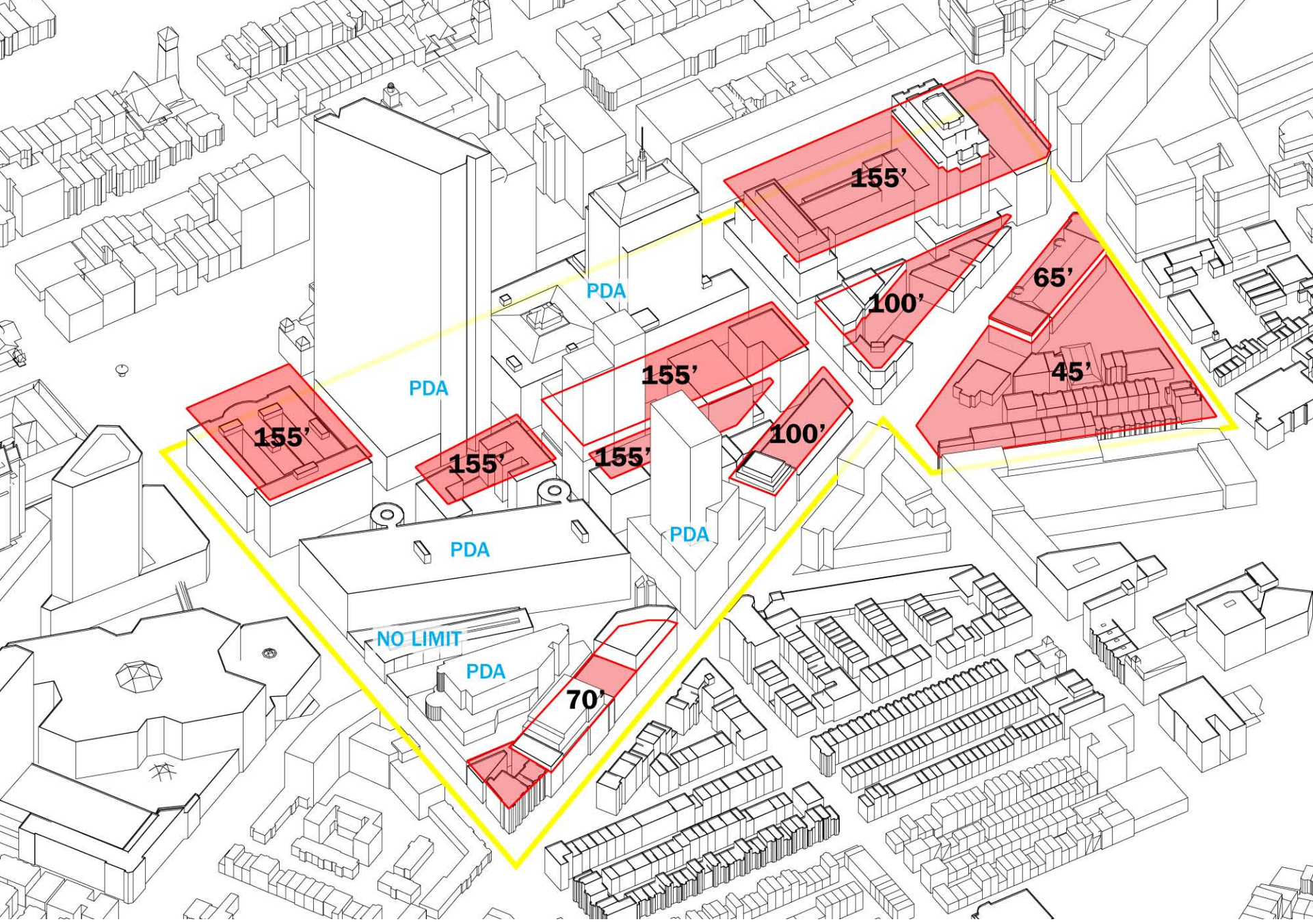




Maximum Allowable Heights

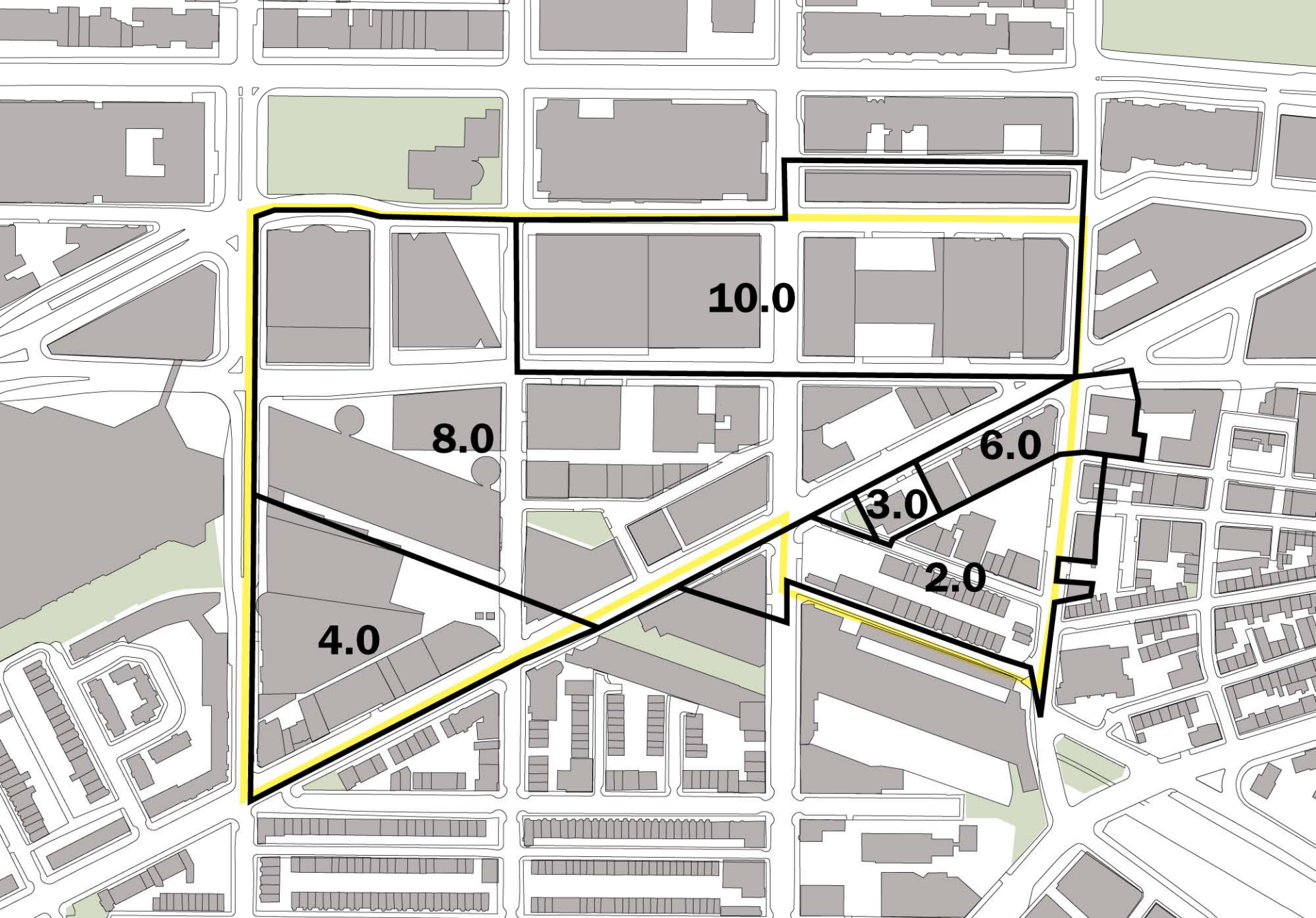
Source: Boston Zoning Code; Based on base zoning and IPOD where applicable (PDA heights are not included)





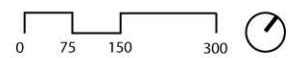
Maximum Allowable Heights

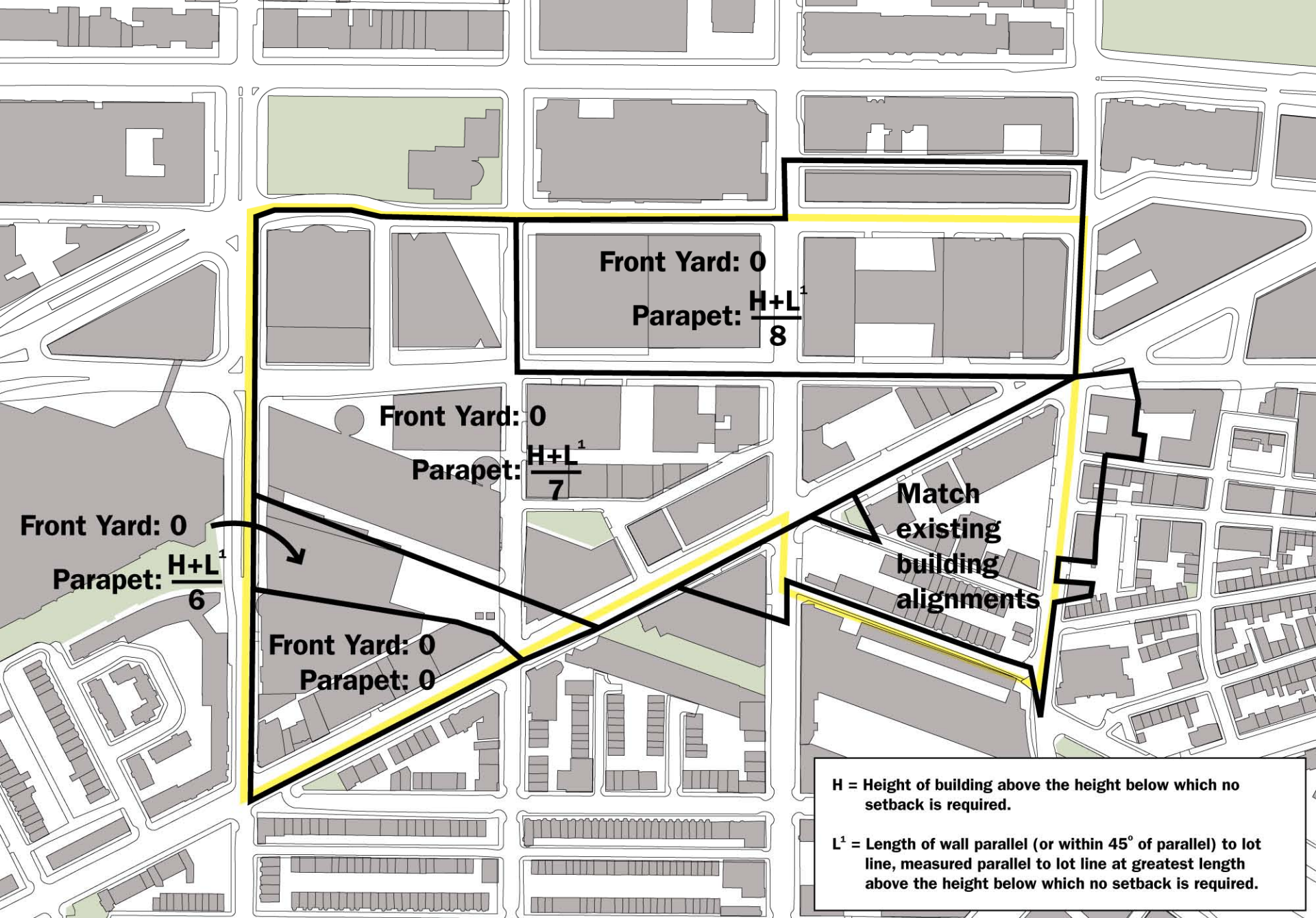
Source: Boston Zoning Code; Based on base zoning and IPOD where applicable



Maximum Allowable FAR

Source: Boston Zoning Code; Based on base zoning and IPOD where applicable (PDAs not included)



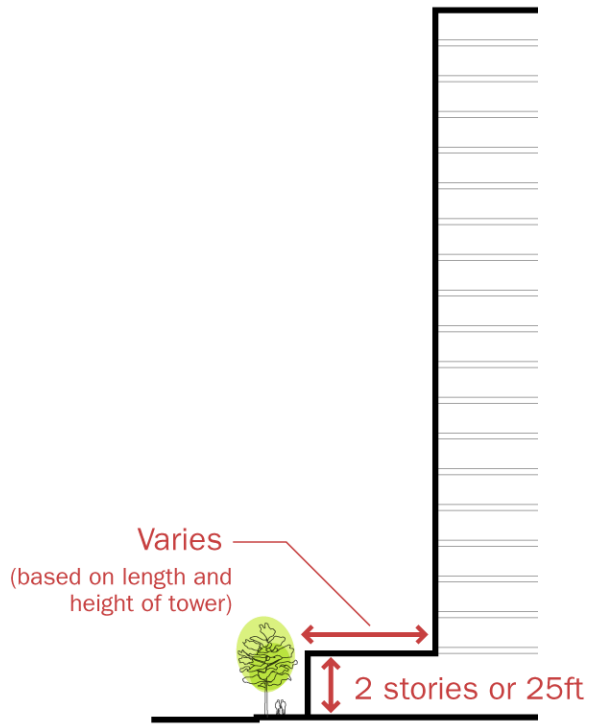


H = Height of building above the height below which no setback is required.

L¹ = Length of wall parallel (or within 45° of parallel) to lot line, measured parallel to lot line at greatest length above the height below which no setback is required.

Minimum Setback

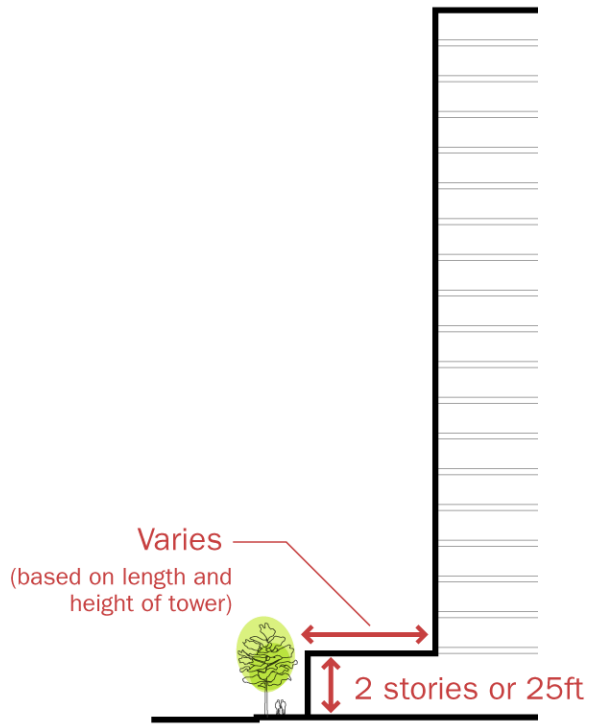
Source: Boston Zoning Code; Based on base zoning and IPOD where applicable (PDAs not included)



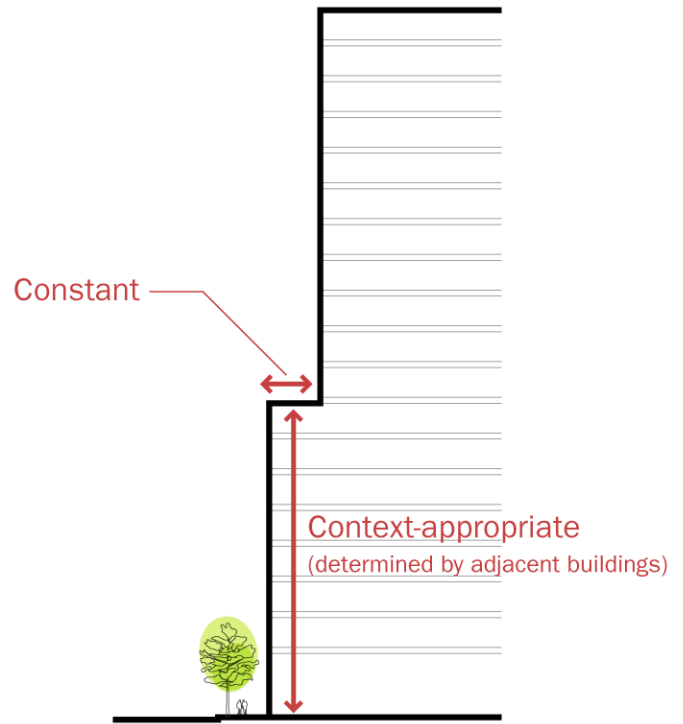
Existing

Minimum Setback

Source: Boston Zoning Code; Based on base zoning and IPOD where applicable



Existing



Recommended

Minimum Setback

Source: Boston Zoning Code; Based on base zoning and IPOD where applicable

TASK 4.1

Form-Based Code Case Studies

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4: Existing Stuart Street Zoning

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