

# NEW TWO FAMILY DWELLING

## at 14 OAK STREET

### CHARLESTOWN, MA.

### GENERAL NOTES

#### i. General requirements

- All work shall conform to the IBC 2009, IRC 2009, Massachusetts amendments to IBC /IRC , the City of Boston bylaws and all applicable OSHA standards.
- Utilities may be in the vicinity of the excavations. prior to excavating the excavation contractor shall comply with the local "dig-safe" requirements and obtain all existing utility information from the owner.
- The Contractor shall verify all dimensions and conditions at the site and report any discrepancy to the Architect before ordering material and proceeding with the work.
- The Contractor shall provide temporary bracing and shoring to support existing surrounding structures and against wind forces and all construction loads throughout the work.
- The contractor shall coordinate all work with the drawings of other disciplines for the location and dimensions of all related items.
- The contractor shall coordinate all framing dimensions with the approved drawings of all purchased window and door dimensions.

#### HVAC general notes

- Install sheet metal ductwork and equipment for new hvac system and new bathroom exhaust fans as required by the Massachusetts Mechanical Code.

#### Plumbing General notes:

- Install all plumbing and equipment to meet the requirements of the Mass. State Plumbing code.
- Install all new fixtures complete with all req required copper water supply lines & pvc waste & vents. connect to existing or new waste & vent stacks.

#### Electrical Notes:

- Install all new fixtures and devices to meet the requirements of the Mass Electrical Code.
- The Electrical Subcontractor shall provide and submit drawings to Boston Inspectional Services as required for approval.

All drawings by all Subcontractors shall be submitted to the Contractor & Architect for coordination with the work of other trades.

All Subcontractors to submit stamped drawings as req'd by Authority having jurisdiction.

### CHARLESTOWN 3F-2000 ZONE

	REQ'D/ MIN. ALLOWED	EXISTING	PROPOSED	PROPOSED
LOT SIZE 'A' - 2 dwellings	2,000 S.F.	N/A	2436 sf	
F.A.R. 2.0, LOT 'A'	MAX (4872 SF)	N/A	3660 SF	
LOT 'A' WIDTH & FRONTAGE	20'	N/A	34.01' (front), 27'-8" (rear)	
HEIGHT OF BUILDINGS	35'	N/A	34'	
USABLE OPEN SPACE, 'A'	818 SF	N/A	634 SF(ground) +530(decks) = 1164 total	See notes 1 & 2
FRONT YARDS SETBACKS	STREET AVG. 0'-0"		0'-0"	
SIDE YARDS SETBACKS	2'-6"	N/A	3'-0" (except at party walls)	
REAR YARDS SETBACKS	20'	N/A	20'	
PARKING SPACES	2	N/A	2 for this lot = 4 TOTAL	

#### NOTES:

- USABLE OPEN SPACE REQUIREMENT IS CALCULATED AS 350SF/ DWELLING UNIT + 25% OF LOT AREA IN EXCESS OF REQUIRED LOT SIZE. 75% OF THIS AREA IS REQUIRED TO BE IN THE YARDS.
- ON BOTH LOT 'A' & LOT 'B', MORE THAN 75% OF THE REQUIRED USABLE OPEN SPACE IN THE YARDS IS OPEN TO THE SKY, AND MORE THAN 75% OF THE TOTAL REQUIRED USABLE OPEN SPACE IS OPEN TO THE SKY,

#### NOTE:

THE EXISTING LOT AT 16 OAK STREET, CHARLESTOWN WILL BE SUB-DIVIDED INTO TWO LOTS.

### BUILDING TYPE

VB - UNPROTECTED COMBUSTIBLE  
USE GROUP- R-3

#### NOTE:

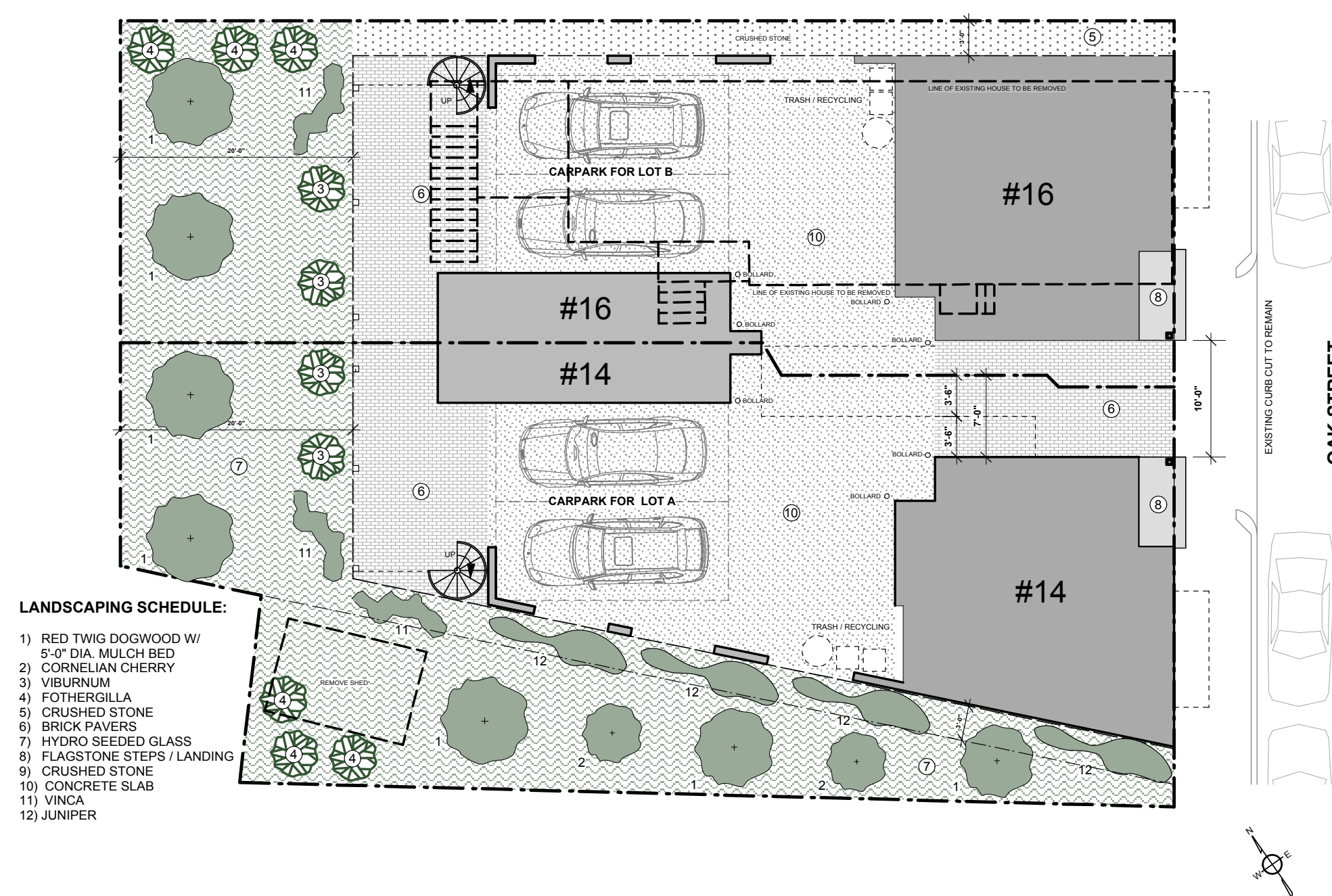
THE BUILDING IS PROVIDED THROUGHOUT WITH A FULLY AUTOMATIC FIRE PROTECTED SYSTEM

### DRAWING LIST

CS COVER SHEET

CERTIFIED PLOT PLAN

- A1.1 FLOOR PLANS
- A2.1 FLOOR PLANS
- A3.1 FLOOR PLANS
- A4.1 ELEVATIONS
- A5.1 ELEVATIONS
- A6.1 ENLARGED ELEVATIONS
- A7.1 SECTIONS
- A8.1 SECTIONS
- S0 STRUCTURAL NOTES
- S1 FOUNDATION PLAN
- S2 GARDEN LEVEL FRAMING
- S3 SECOND FLOOR FRAMING
- S4 THIRD FLOOR FRAMING
- S5 ROOF FRAMING
- S6 SCHEDULES & DETAILS



SITE LAYOUT / LANDSCAPING PLAN

N.T.S.

OAK STREET ELEVATION

1/4" = 1'-0"

PERMIT SET REV'D 9-25-15

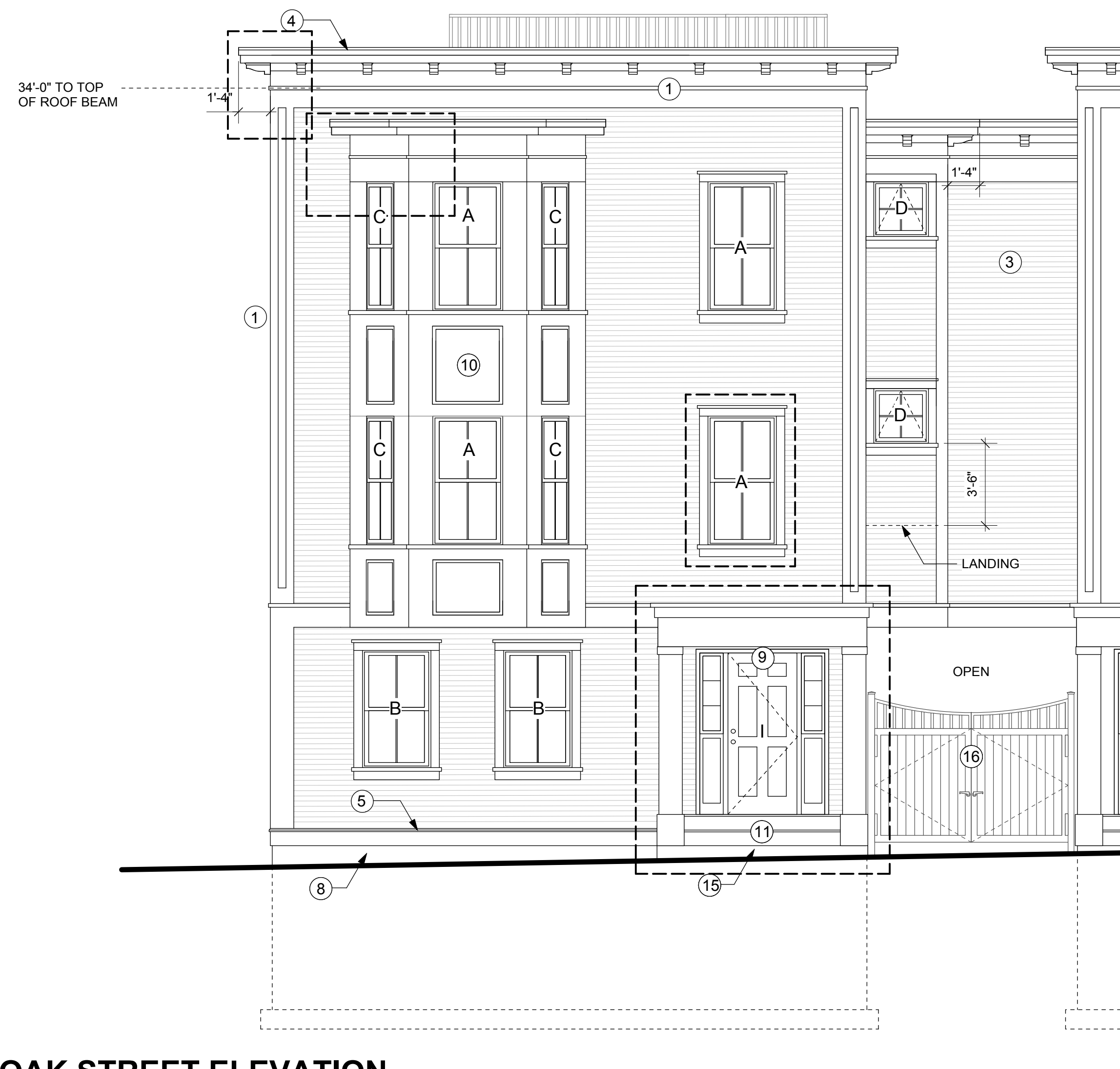
ARCHITECTS:  
GORDON GREENFIELD ASSOCIATES  
4 COOK STREET  
CHARLESTOWN, MA. 02129  
(617) 241-7302



NEW 2 FAMILY RESIDENCE  
14 OAK STREET  
CHARLESTOWN, MA.

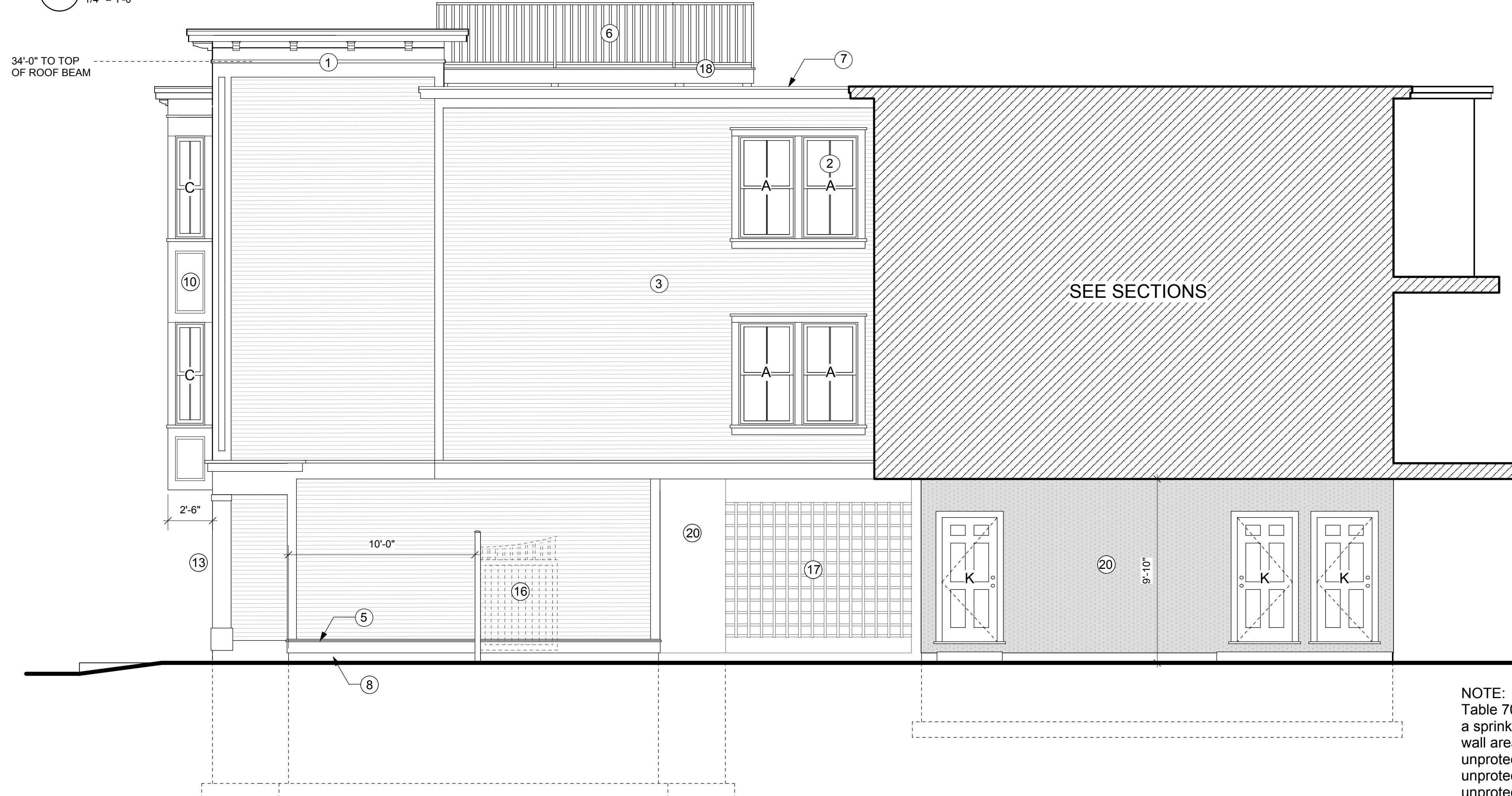
PROJECT NO.:  
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DATE: 8-16-15  
DRAWN BY:  
REVISIONS:  
PERMIT SET 7-31-15  
REV'D 9-9-15  
REV'D 9-25-15

CS.1



**OAK STREET ELEVATION**

1/4" = 1'-0"



**LEFT SIDE CARPORT ELEVATION**

1/4" = 1'-0"

**WINDOW SCHEDULE** JELD WEN PREMIUM VINYL WINDOWS (BLACK FINISH)

#	TYPE	QUANTITY	UNIT SIZE	REMARKS
A	D.H.	12	3'-0" W X 5'-6" H	MEETS 5.7 S.F. - EGRESS
B	D.H.	3	3'-0" W X 5'-0" H	MEETS 5.7 S.F. - EGRESS
C	D.H.	4	1'-6" W X 5'-6" H	
D	AWN.	2	2'-0" W X 2'-0" H	
-----				
F	SLIDING	4	5'-0" W X 5'-6" H	SAFETY GLASS NEAR DOORS
G	SLIDING	4	4'-0" W X 5'-6" H	
H	PICTURE	2	3'-0" W X 5'-6" H	

**EXT. DOOR SCHEDULE** FIBERGLASS / INSULATED DOORS (BLACK FINISH)

I	TYPE	QUANTITY	UNIT SIZE	REMARKS
I	ENTRY DOOR	1	3'-0" W X 7'-0" H	F.G. W/ (2) 1'-0" W X 7'-0" H S.L.
J	REAR DOOR	1	2'-8" W X 6'-8" H	F.G.
K	STORAGE	3	2'-8" W X 6'-8" H	INSULATED METAL
L	DECK DOOR	2	2'-8" W X 6'-8" H	SAFETY GLASS

\* DOUBLE STUD POCKET AT DOUBLE WINDOWS  
 \* LOW E4 SMART SUN GLASS (DUAL-PANE, TINTED LOW-E, ARGON BLEND GLASS, MIN U.30)

**EXTERIOR MATERIALS / NOTES:**

- ① SYNTHETIC TRIM (AZEK OR SIMILAR)
- ② PREMIUM CLAD WOOD WINDOW
- ③ CEMENTITIOUS CLAPBOARD SIDING (5" EXP) COLOR T.B.D.
- ④ MTL. DRIP EDGE
- ⑤ AZEK DRIP CAP W/ FLASHING
- ⑥ CAST IRON GUARD (42") / (BLACK FINISH)
- ⑦ 30 YEAR BONDED EPDM ROOF
- ⑧ PARGED CONCRETE FOUNDATION WALL
- ⑨ FULLY SHIELDED EXTERIOR LIGHT FIXTURE
- ⑩ CEMENTITIOUS PANEL
- ⑪ SYNTHETIC TREADS / RISERS
- ⑫ F.G. DOOR STYLE T.B.D. / SYNTHETIC TRIM / PANEL
- ⑬ 12" x 12" F.G. COLUMN
- ⑭ ALUMINUM (WHITE) DOWNSPOUT & GUTTERS
- ⑮ GRANITE STEP
- ⑯ WROUGHT IRON GATE
- ⑰ WHITE FIBERGLASS / AZEK LATTICE
- ⑱ WOOD DECK WITH SYNTHETIC RAIL SYSTEM
- ⑲ STEEL STAIR
- ⑳ PARGED & PAINTED CMU

**\* BOTH RESIDENCES WILL BE EQUIPPED WITH A FULLY AUTOMATIC NH13D SPRINKLER SYSTEM (SEE FIRE PROTECTION DRAWINGS)**

NOTE:  
 Table 705.8+ note d allows 25% unprotected openings in a sprinklered building, Type R-3, with minimum 3' fire separation distance  
 wall area this side facade = 860 sf  
 unprotected wall area openings allowed= 860 sf x .25 = 215 sf  
 unprotected windows open area = 52 sf (6%)  
 unprotected garage open area = 104 sf= (12%)  
 total unprotected open area = 156 sf= 18%

**BUILDING ELEVATIONS**

ARCHITECTS:  
 GORDON GREENFIELD ASSOCIATES  
 4 COOK STREET  
 CHARLESTOWN, MA. 02129  
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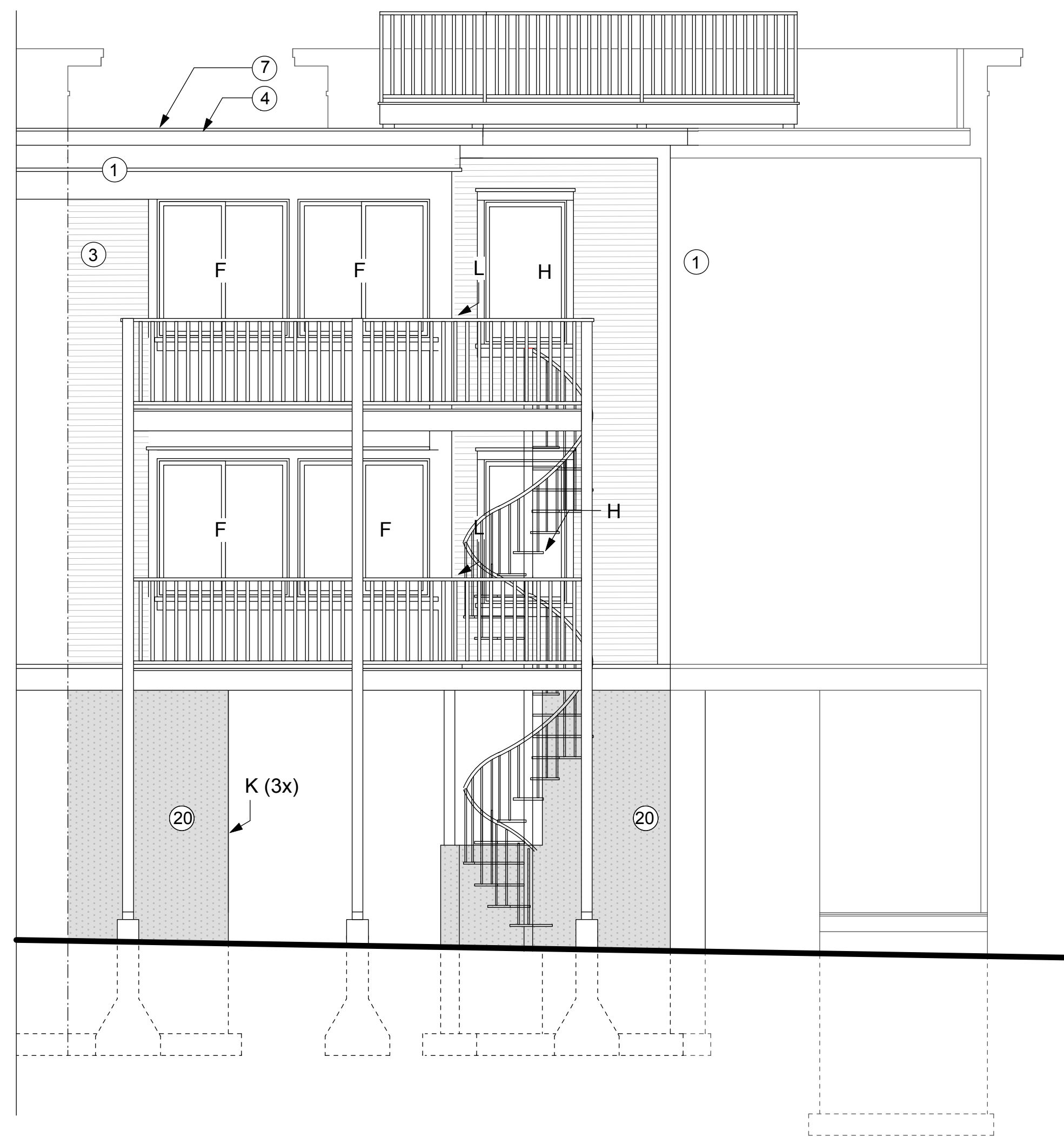


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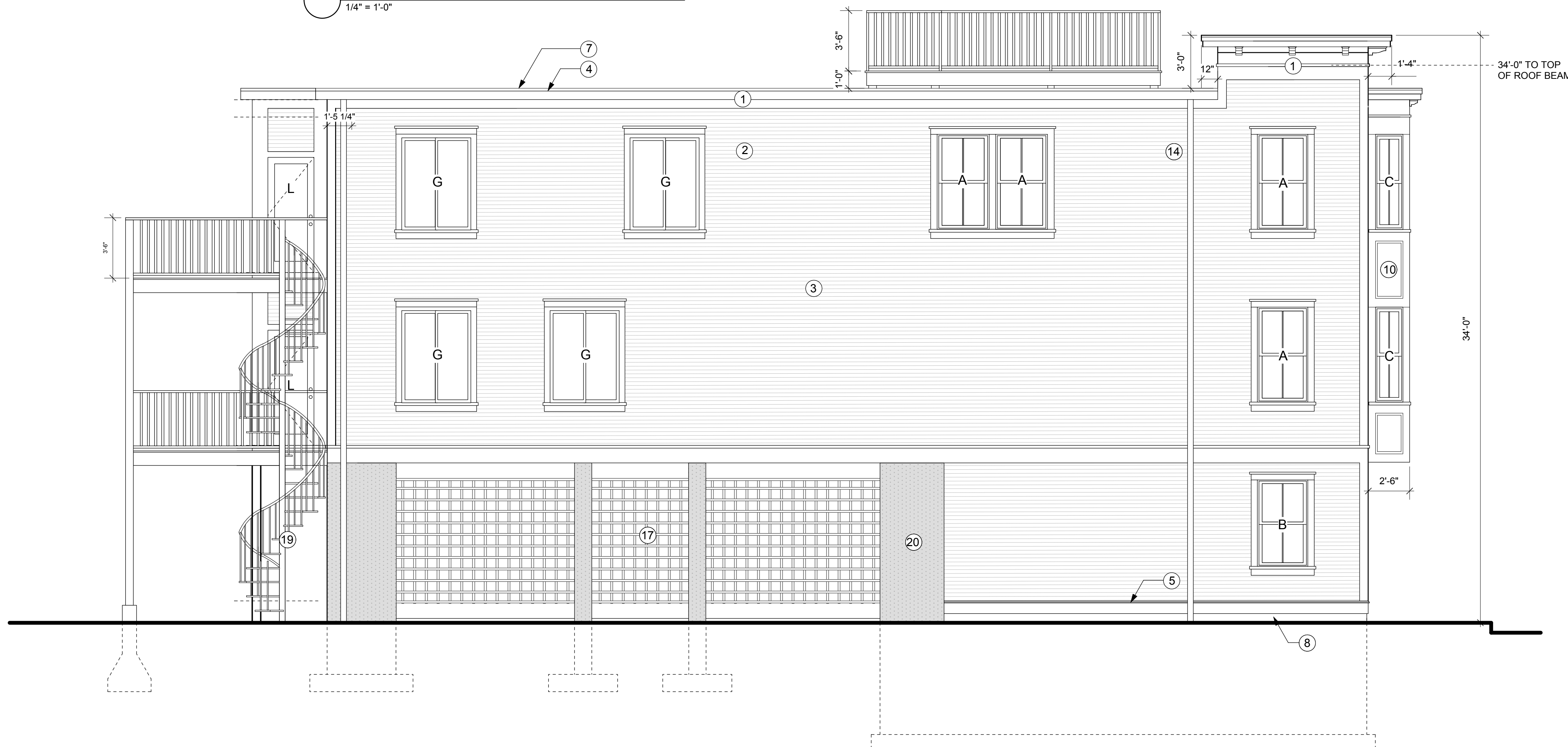
**A-4.1**

PERMIT SET REV'D 9-25-15



**REAR ELEVATION**

1/4" = 1'-0"



**LEFT SIDE ELEVATION**

1/4" = 1'-0"

**WINDOW SCHEDULE** JELD WEN PREMIUM VINYL WINDOWS (BLACK FINISH)

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NOTE:  
 Table 705.8+ note d allows 25% unprotected openings in a sprinklered building, Type R-3, with minimum 3' fire separation distance  
 wall area this side facade = 1842 sf  
 unprotected wall area openings allowed= 1842 sf x .25 = 460.5 sf  
 unprotected windows open area = 131.4 sf (7.13%)  
 unprotected garage open area = 181 sf= (9.82%)  
 total unprotected open area = 312.4 sf= 17%

**BUILDING ELEVATIONS**

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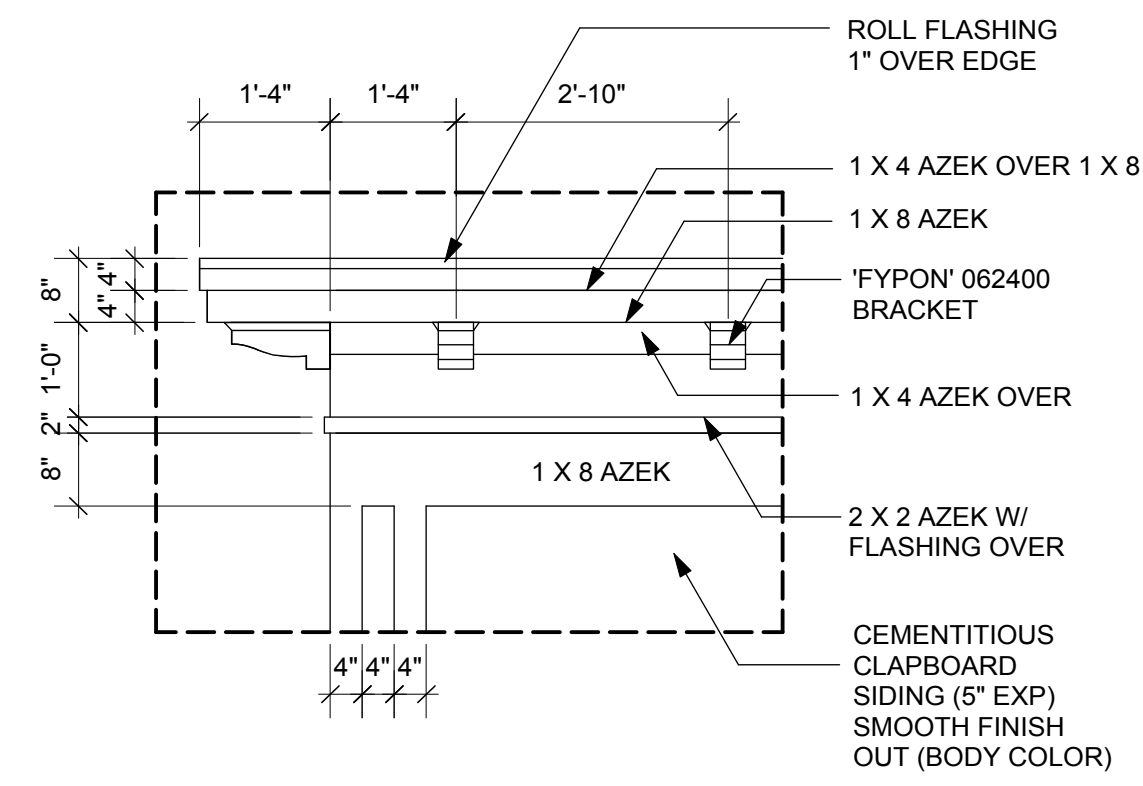


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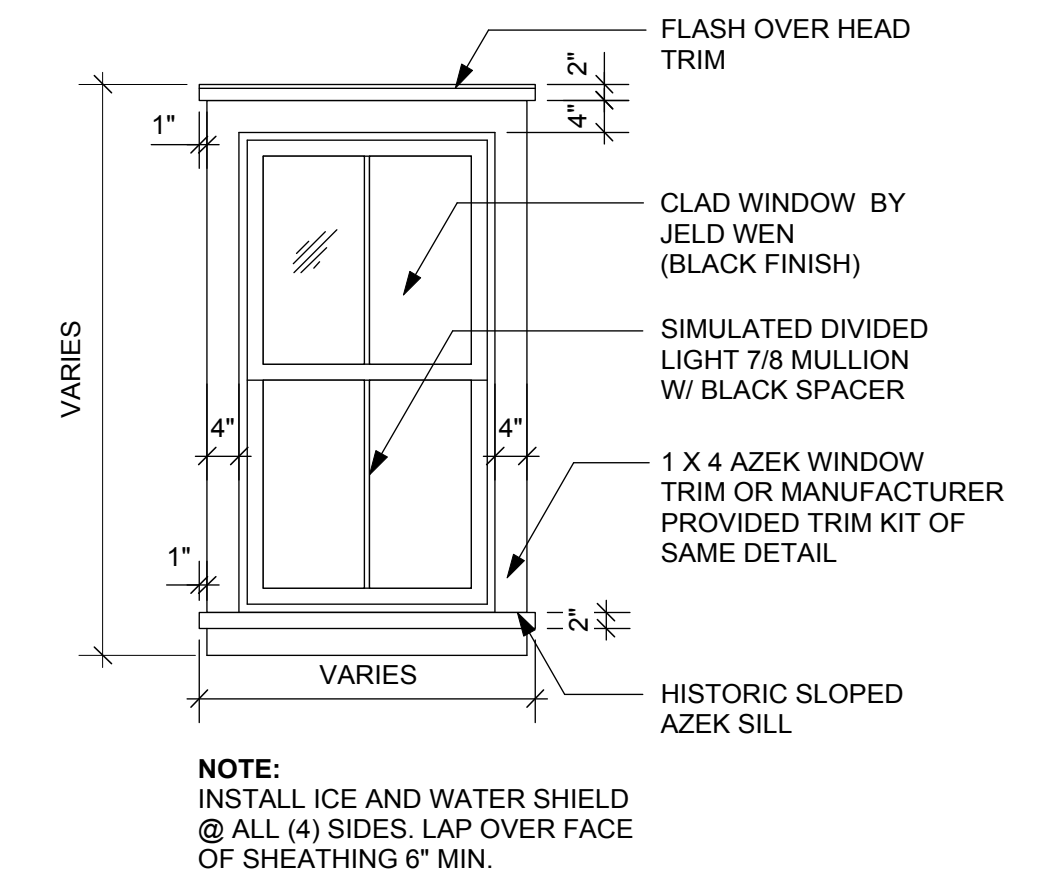
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PERMIT SET REV'D 9-25-15



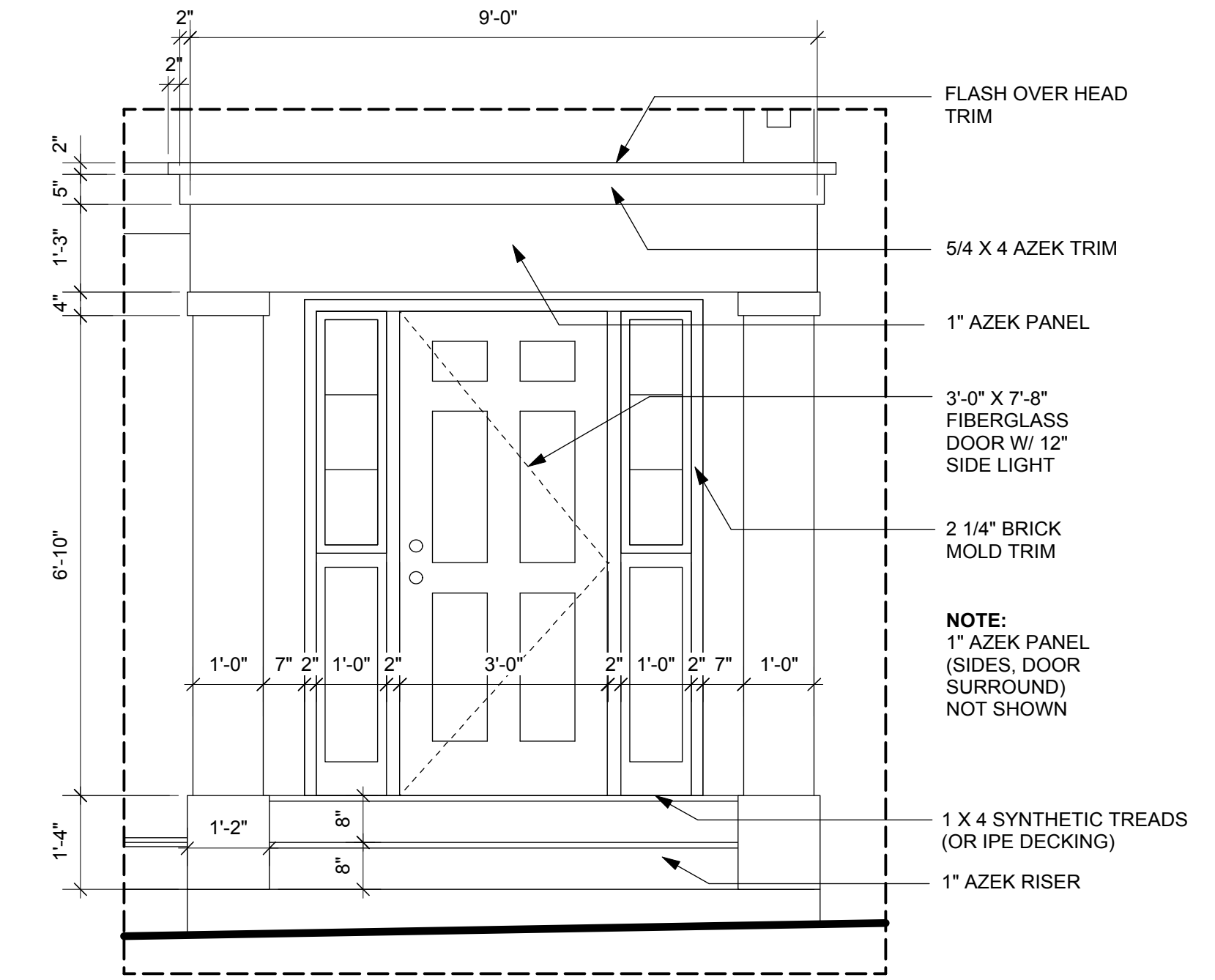
**DETAIL AT CORNICE**

1/2" = 1'-0"



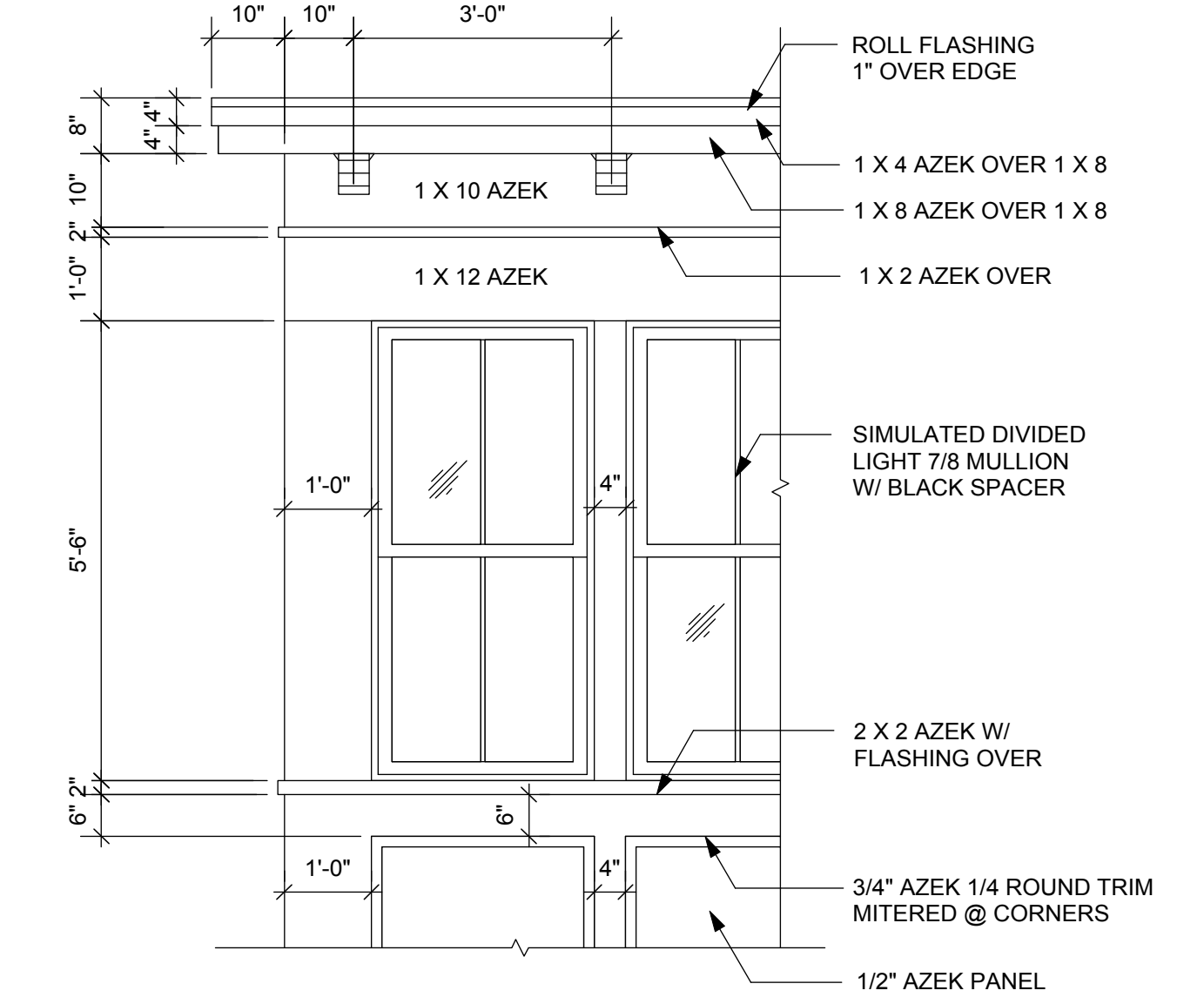
**TYPICAL WINDOW**

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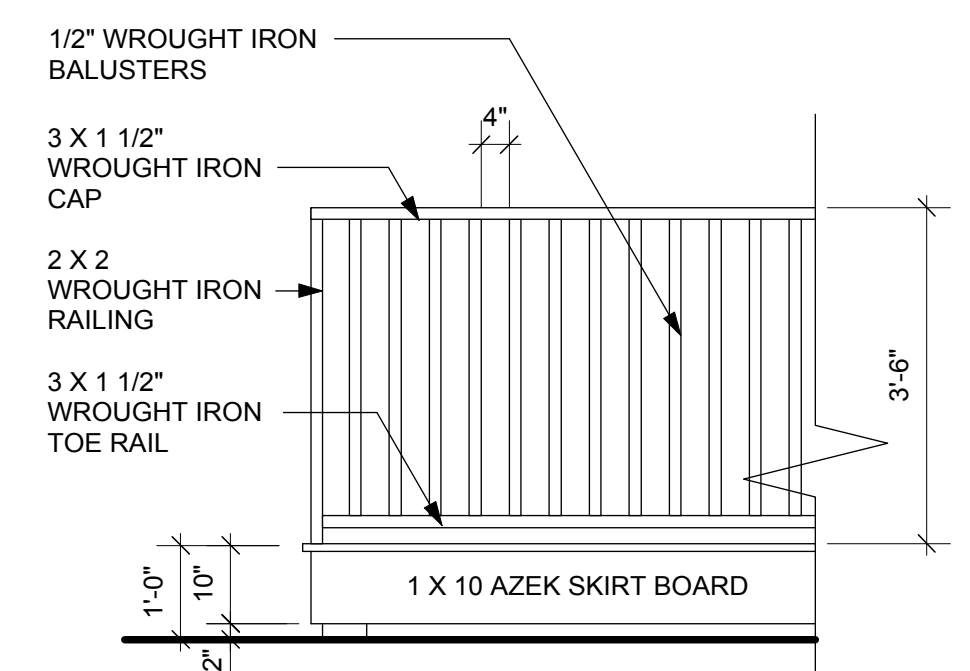
**ENTRYWAY DETAIL**

1/2" = 1'-0"



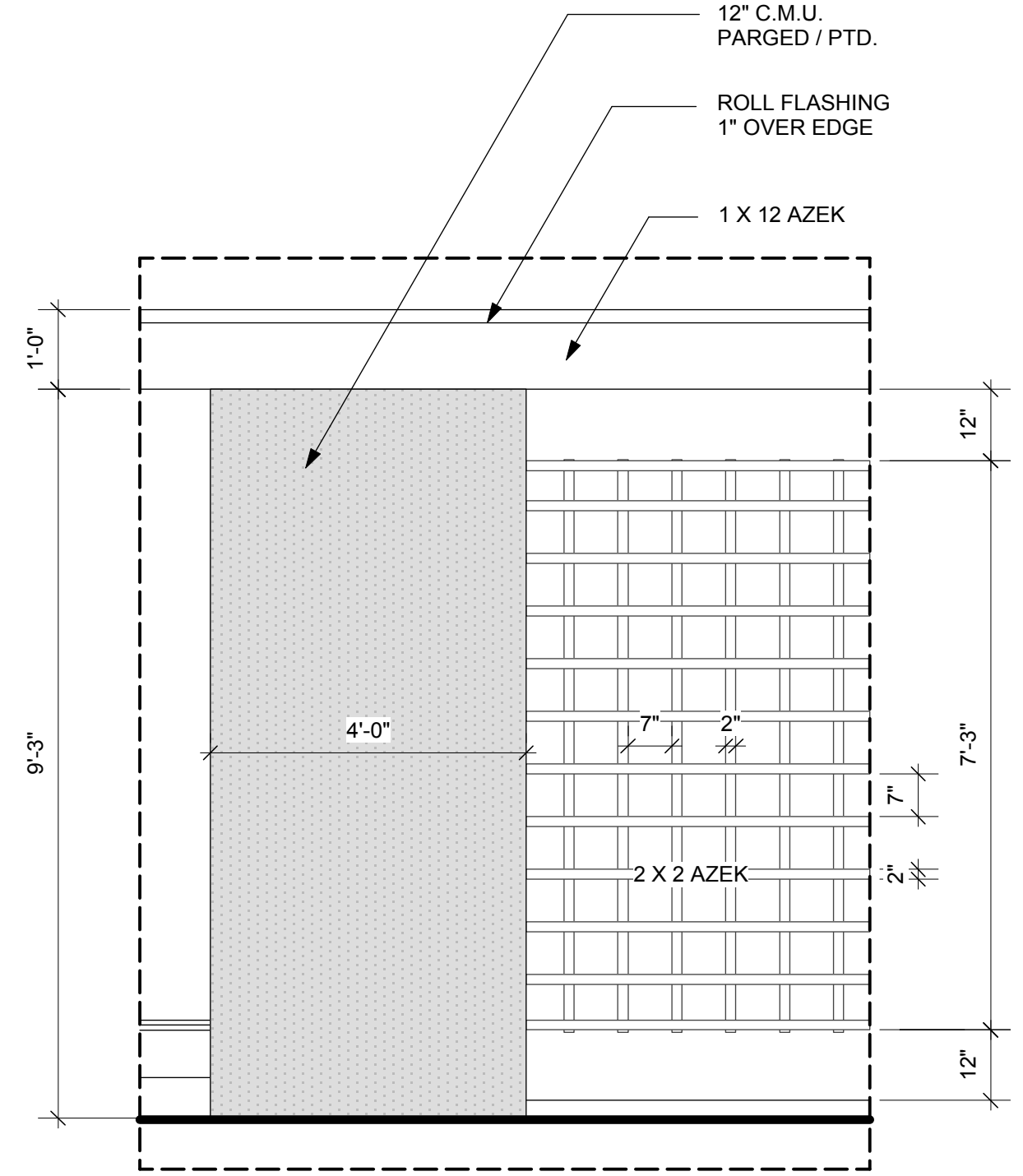
**BAY DETAIL**

1/2" = 1'-0"



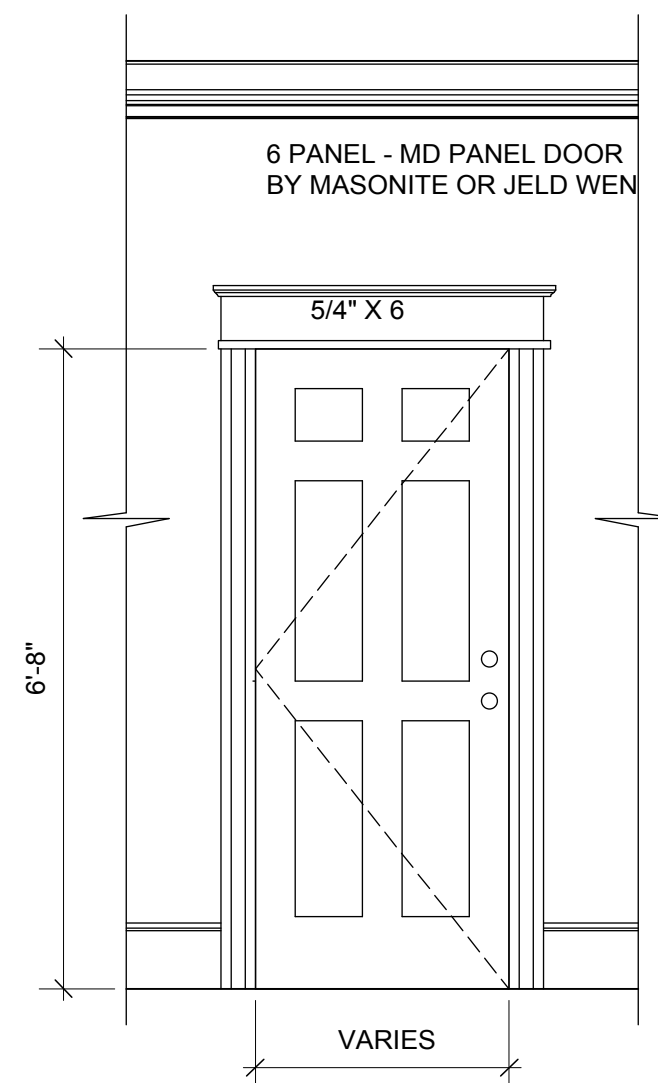
**ROOF DECK**

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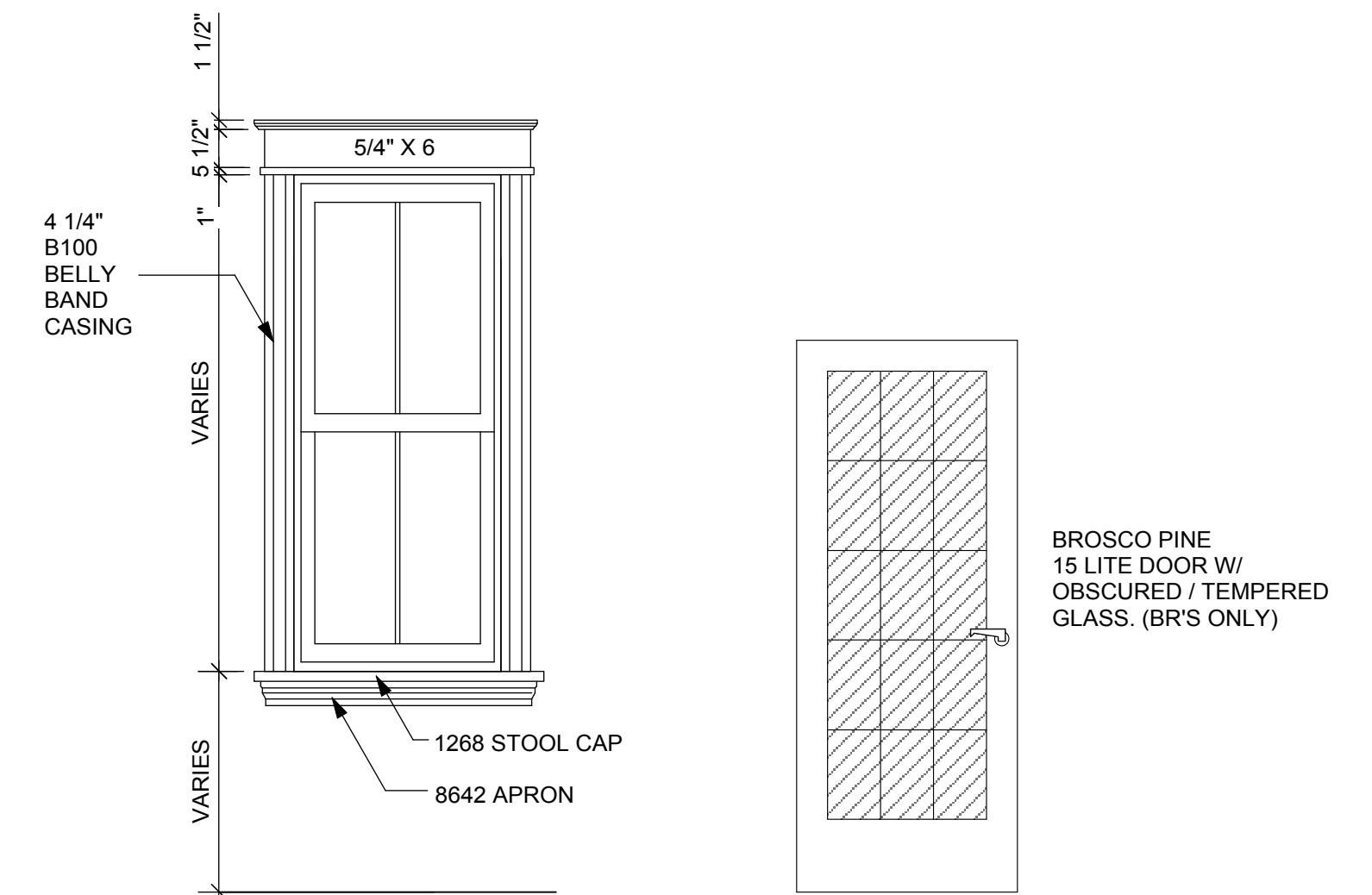
**TRELLIS DETAIL**

1/2" = 1'-0"



**INTERIOR WINDOW / DOOR DETAILS**

1/2" = 1'-0"



ARCHITECTS:  
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**A-6.1**

# NEW TWO FAMILY DWELLING

## at 16 OAK STREET

### CHARLESTOWN, MA.

### GENERAL NOTES

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All Subcontractors to submit stamped drawings as req'd by Authority having jurisdiction.

### CHARLESTOWN 3F-2000 ZONE

	REQ'D/ MIN. ALLOWED	EXISTING	PROPOSED	PROPOSED
LOT SIZE 'B' - 2 dwellings	2,000 S.F.	N/A	2623 sf	
F.A.R. 2.0, LOT 'B'	MAX (5236 SF)	N/A	3660 SF	
LOT 'B' WIDTH & FRONTAGE	20'	N/A	31'-6" (front), 27'-8" (rear)	
HEIGHT OF BUILDINGS	35'	N/A	33'	
USABLE OPEN SPACE, 'B'	856 SF	N/A	816 SF(ground) +610(decks) = 1426 total	See notes 1 & 2
FRONT YARDS SETBACKS	STREET AVG.	0'-0"	0'-0"	
SIDE YARDS SETBACKS	2'-6"	N/A	3'-0" (except at party walls)	
REAR YARDS SETBACKS	20'	N/A	20'	
PARKING SPACES	2	N/A	2 per lot = 4 TOTAL	

#### NOTES:

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#### NOTE:

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### BUILDING TYPE

VB - UNPROTECTED COMBUSTIBLE  
USE GROUP R-3

#### NOTE:

THE BUILDING IS PROVIDED THROUGHOUT WITH A FULLY AUTOMATIC FIRE PROTECTED SYSTEM

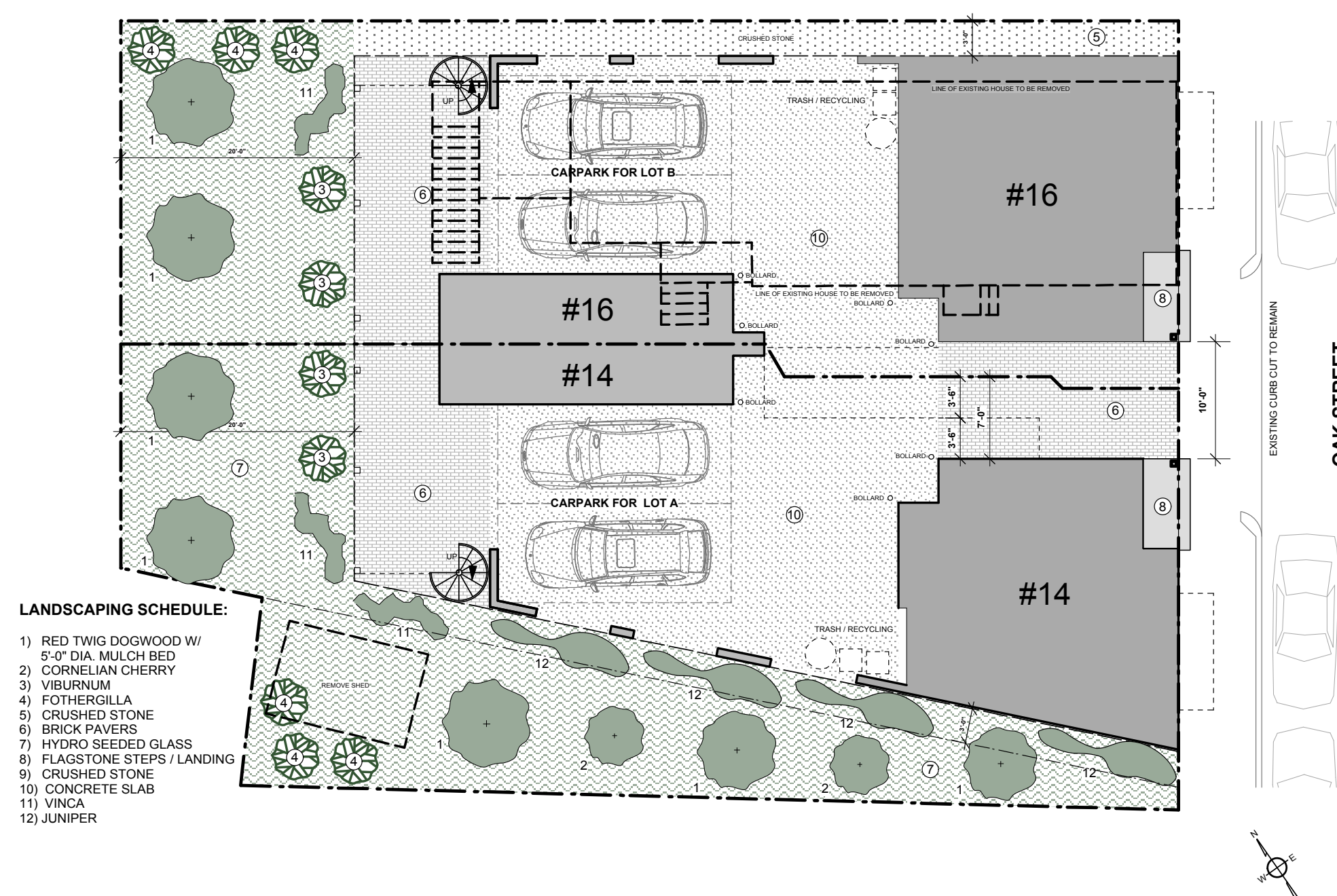
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SITE LAYOUT / LANDSCAPING PLAN

N.T.S.

OAK STREET ELEVATION

1/4" = 1'-0"



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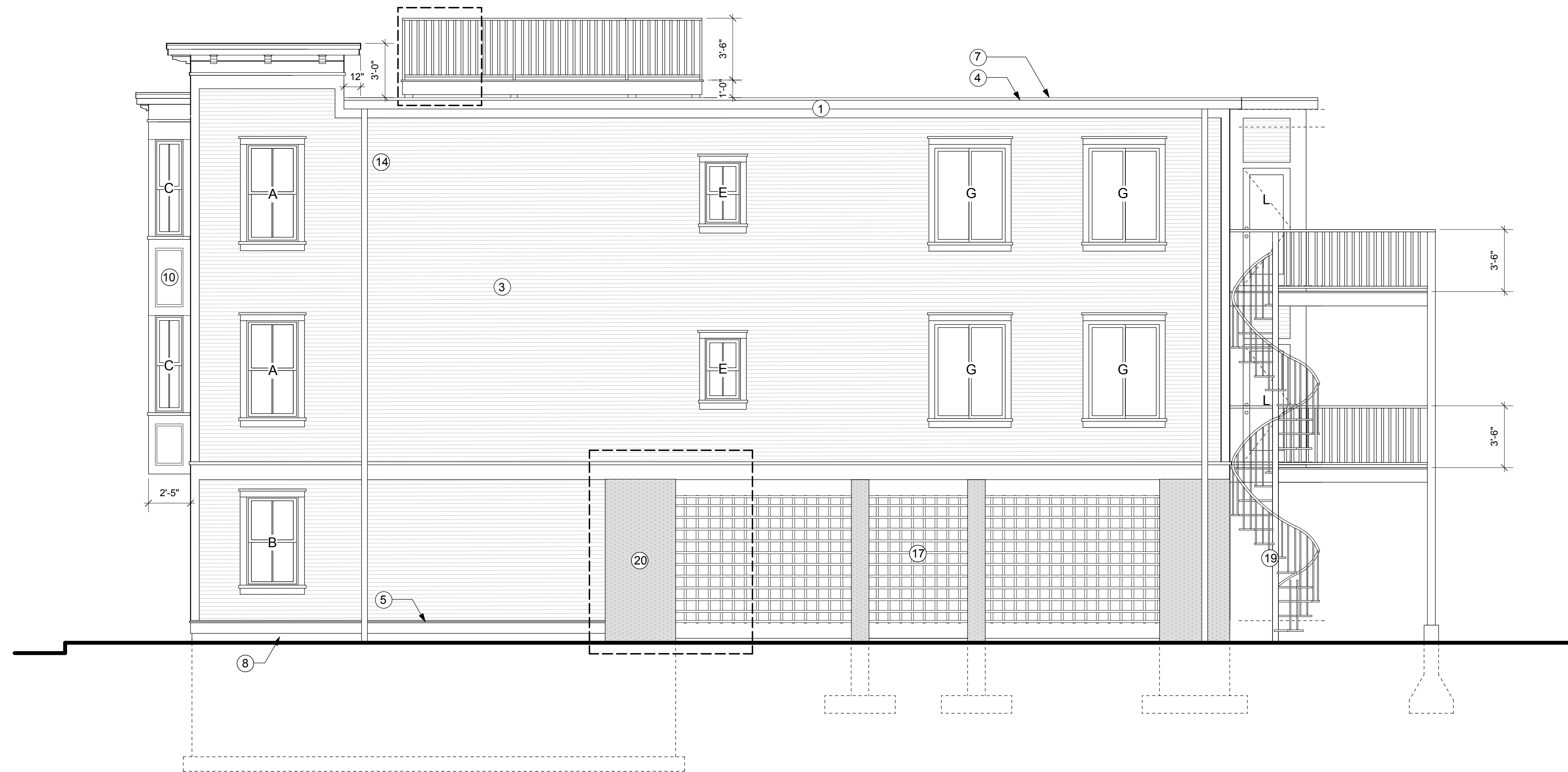
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**OAK STREET ELEVATION**

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**RIGHT SIDE ELEVATION**

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**BUILDING ELEVATIONS**

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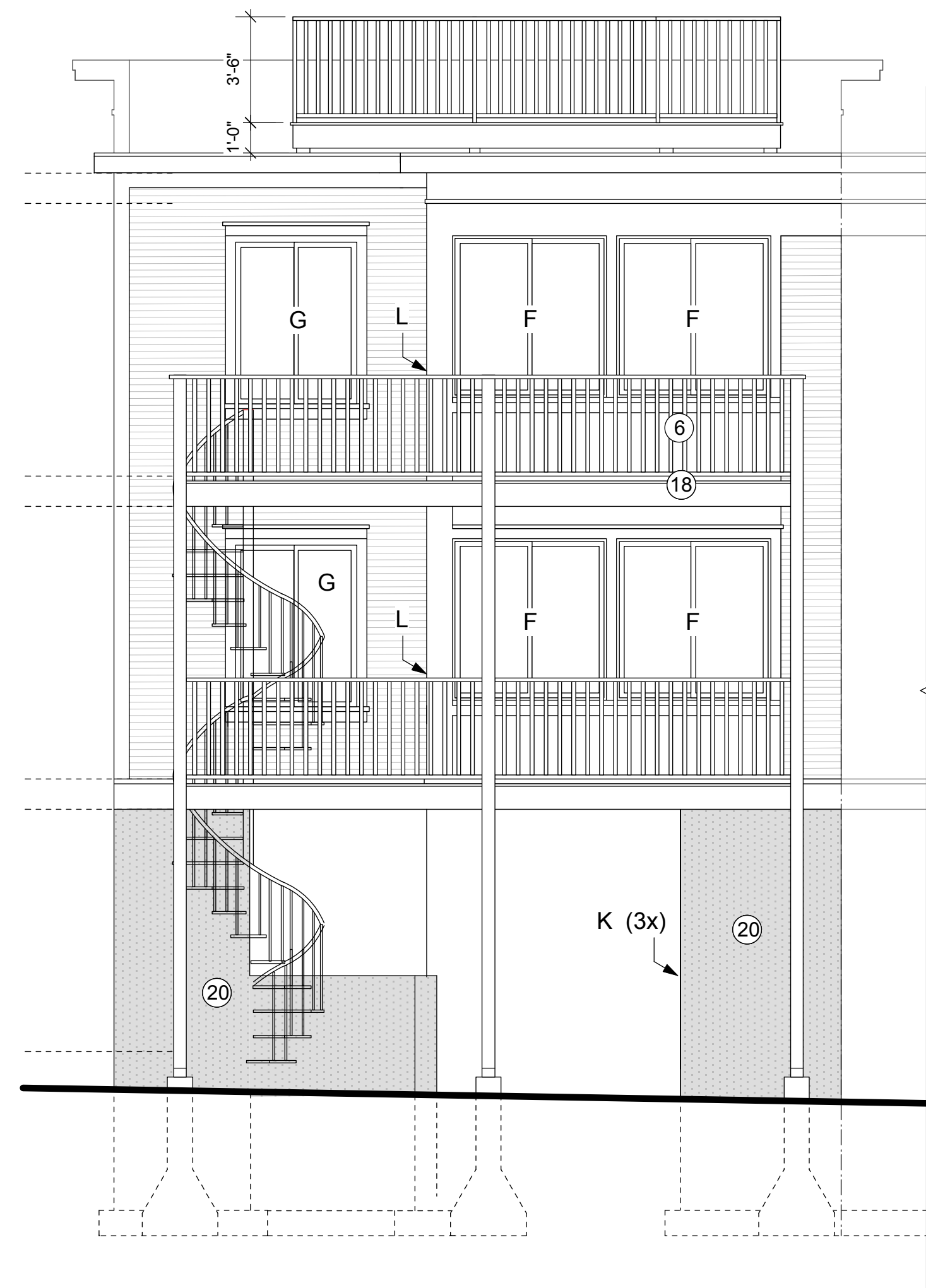


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 16 OAK STREET  
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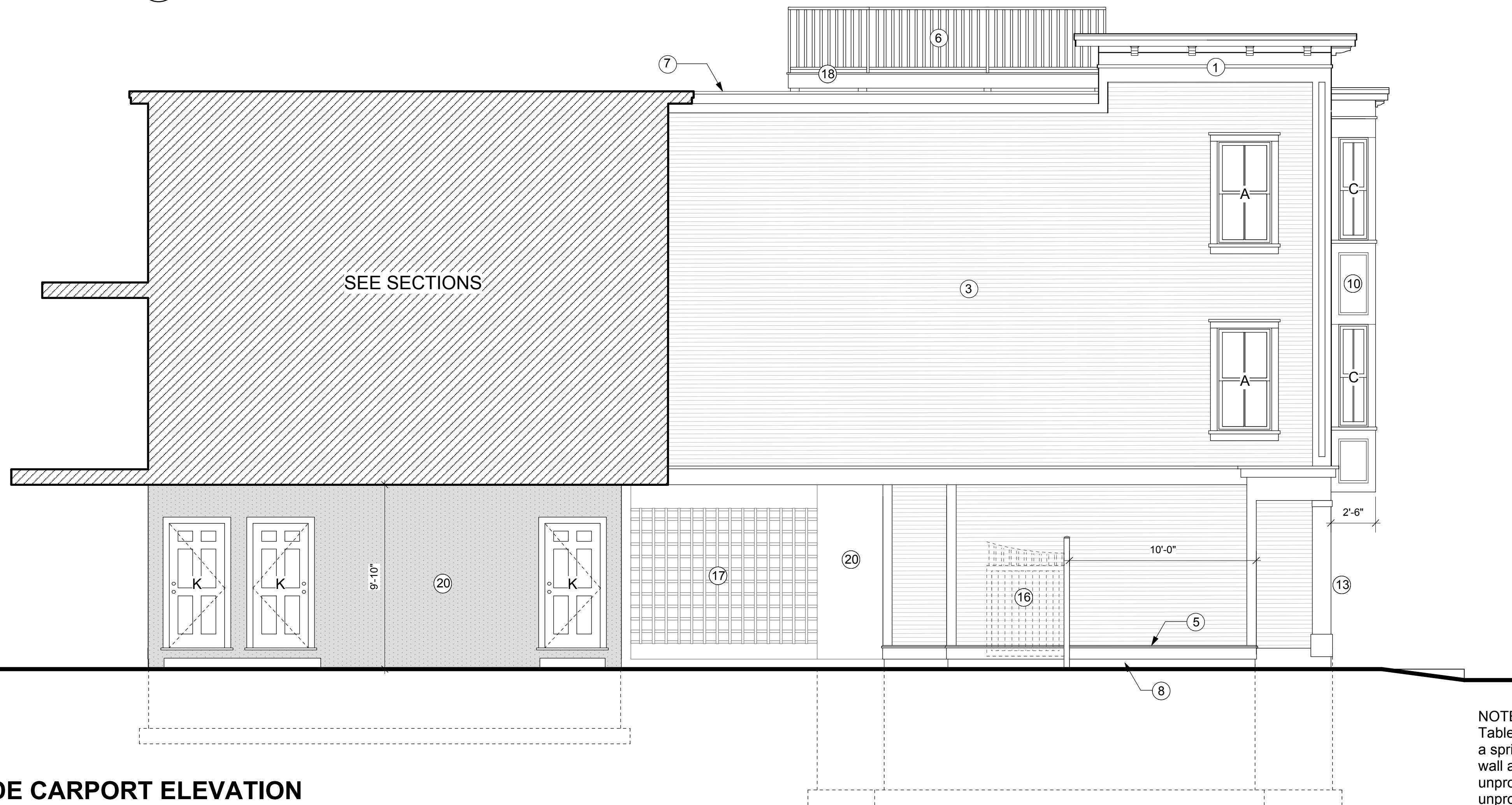
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 REV'D 9-9-15  
 REV'D 9-25-15

**A-4.1**

**PERMIT SET REV'D 9-25-15**



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#	TYPE	QUANTITY	UNIT SIZE	REMARKS
A	D.H.	8	3'-0" W X 5'-6" H	MEETS 5.7 S.F. - EGRESS
B	D.H.	3	3'-0" W X 5'-0" H	MEETS 5.7 S.F. - EGRESS
C	D.H.	4	1'-8" W X 5'-6" H	
E	D.H.	2	2'-0" W X 3'-6" H	
F	SLIDING	4	5'-0" W X 5'-6" H	SAFETY GLASS NEAR DOORS
G	SLIDING	6	4'-0" W X 5'-6" H	

**EXT. DOOR SCHEDULE** FIBERGLASS / INSULATED DOORS (BLACK FINISH)

#	TYPE	QUANTITY	UNIT SIZE	REMARKS
I	ENTRY DOOR	1	3'-0" W X 7'-0" H	F.G. W/ (2) 1'-0" W X 7'-0" H S.L.
J	REAR DOOR	1	2'-8" W X 6'-8" H	F.G.
K	STORAGE	3	2'-8" W X 6'-8" H	INSULATED METAL
L	DECK DOOR	2	2'-8" W X 6'-8" H	SAFETY GLASS

\* DOUBLE STUD POCKET AT DOUBLE WINDOWS  
\* LOW E4 SMART SUN GLASS (DUAL-PANE, TINTED LOW-E, ARGON BLEND GLASS, MIN U.30)

**EXTERIOR MATERIALS / NOTES:**

- ① SYNTHETIC TRIM (AZEK OR SIMILAR)
- ② PREMIUM CLAD WOOD WINDOW
- ③ CEMENTITIOUS CLAPBOARD SIDING (5" EXP) COLOR T.B.D.
- ④ MTL. DRIP EDGE
- ⑤ AZEK DRIP CAP W/ FLASHING
- ⑥ CAST IRON GUARD (42") / (BLACK FINISH)
- ⑦ 30 YEAR BONDED EPDM ROOF
- ⑧ PARGED CONCRETE FOUNDATION WALL
- ⑨ FULLY SHIELDED EXTERIOR LIGHT FIXTURE
- ⑩ CEMENTITIOUS PANEL
- ⑪ SYNTHETIC TREADS / RISERS
- ⑫ F.G. DOOR STYLE T.B.D. / SYNTHETIC TRIM / PANEL
- ⑬ 12" x 12" F.G. COLUMN
- ⑭ ALUMINUM (WHITE) DOWNSPOUT & GUTTERS
- ⑮ GRANITE STEP
- ⑯ WROUGHT IRON GATE
- ⑰ WHITE FIBERGLASS / AZEK LATTICE
- ⑱ WOOD DECK WITH SYNTHETIC RAIL SYSTEM
- ⑲ STEEL STAIR
- ⑳ PARGED & PAINTED CMU

**\* BOTH RESIDENCES WILL BE EQUIPPED WITH A FULLY AUTOMATIC NH13D SPRINKLER SYSTEM (SEE FIRE PROTECTION DRAWINGS)**

NOTE:  
Table 705.8+ note d allows 25% unprotected openings in a sprinklered building, Type R-3, with minimum 3' fire separation distance  
wall area this side facade = 860 sf  
unprotected wall area openings allowed= 860 sf x.25 = 215 sf  
unprotected windows open area = 52 sf (6%)  
unprotected garage open area = 104 sf= (12%)  
total unprotected open area = 156 sf= 18%

**BUILDING ELEVATIONS**

ARCHITECTS:  
GORDON GREENFIELD ASSOCIATES  
4 COOK STREET  
CHARLESTOWN, MA. 02129  
(617) 241-7302

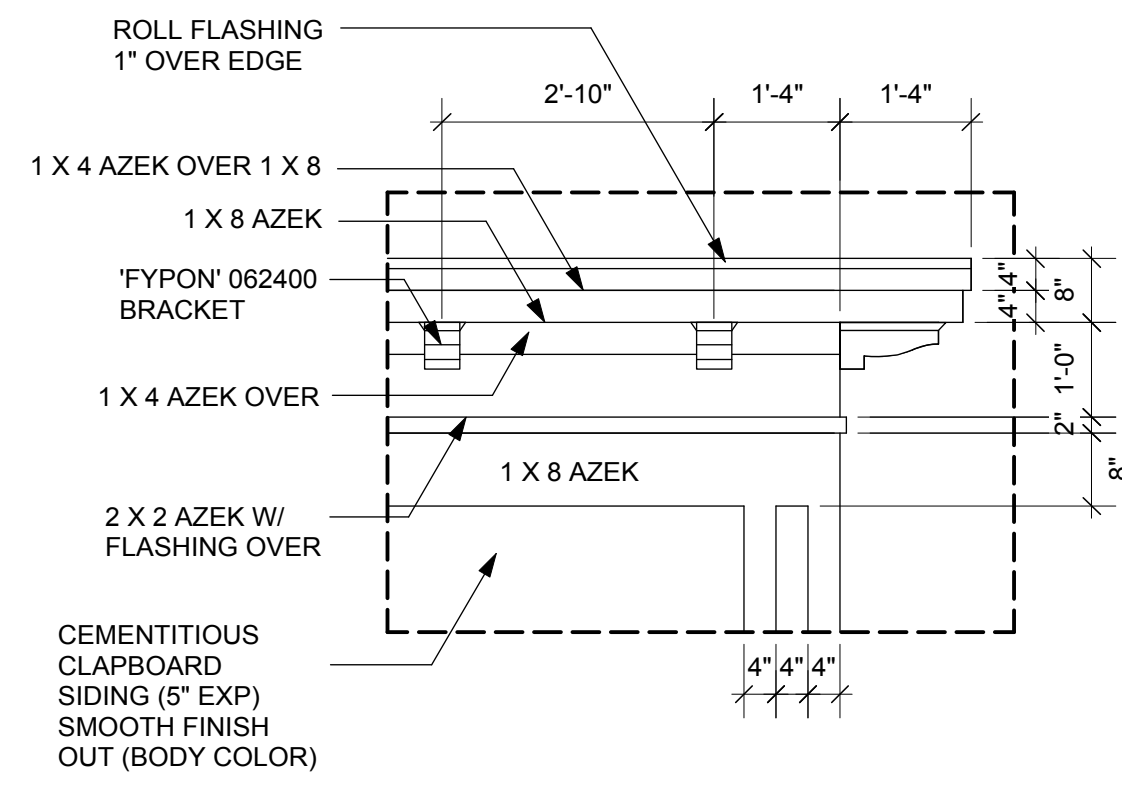


**NEW 2 FAMILY RESIDENCE**  
16 OAK STREET  
CHARLESTOWN, MA.

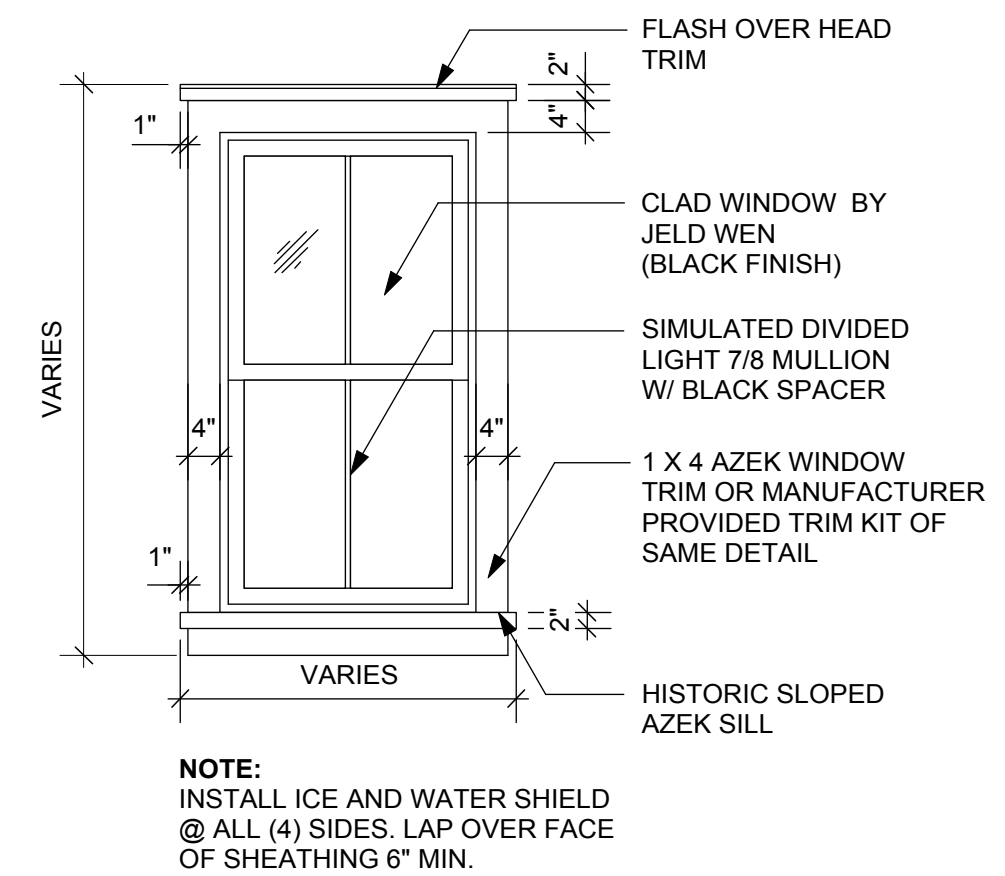
PROJECT NO.:  
SCALE: AS NOTED  
DATE: 6-16-15  
DRAWN BY:  
REVISIONS:  
PERMIT SET 7-31-15  
REV'D 9-9-15  
REV'D 9-25-15

**A-5.1**

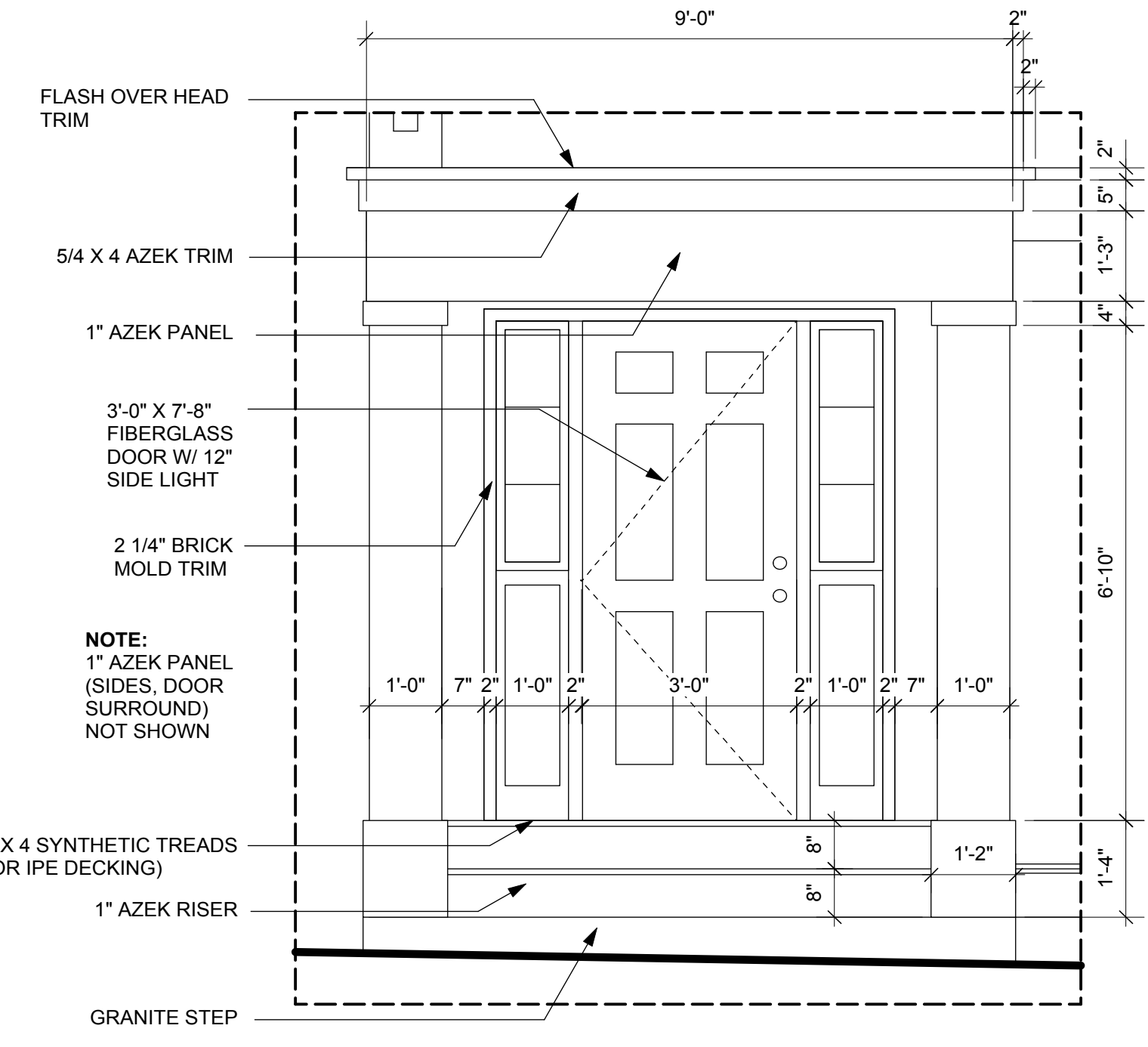
PERMIT SET REV'D 9-25-15



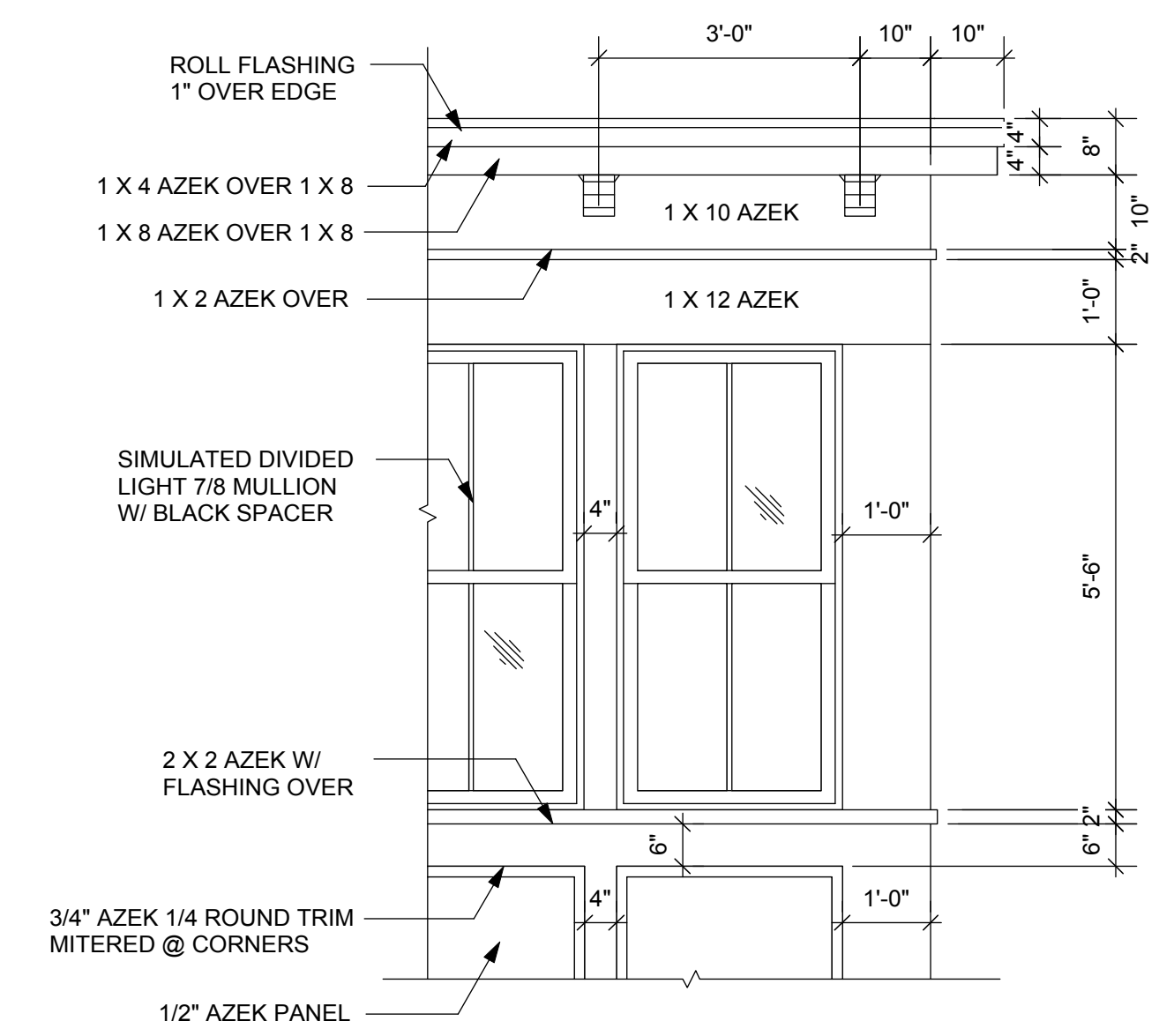
**DETAIL AT CORNICE**  
1/2" = 1'-0"



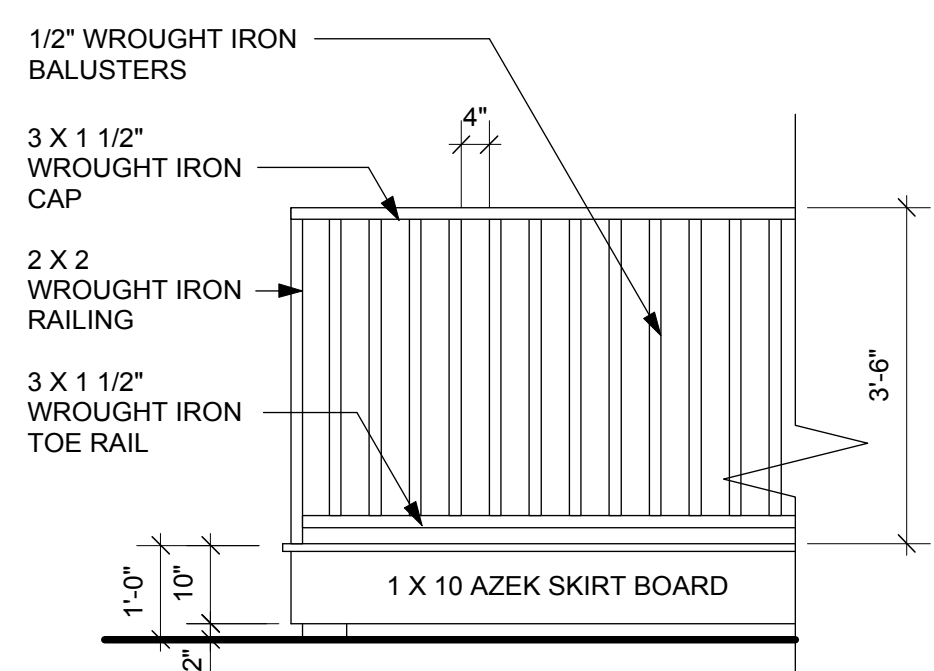
**TYPICAL WINDOW**  
1/2" = 1'-0"



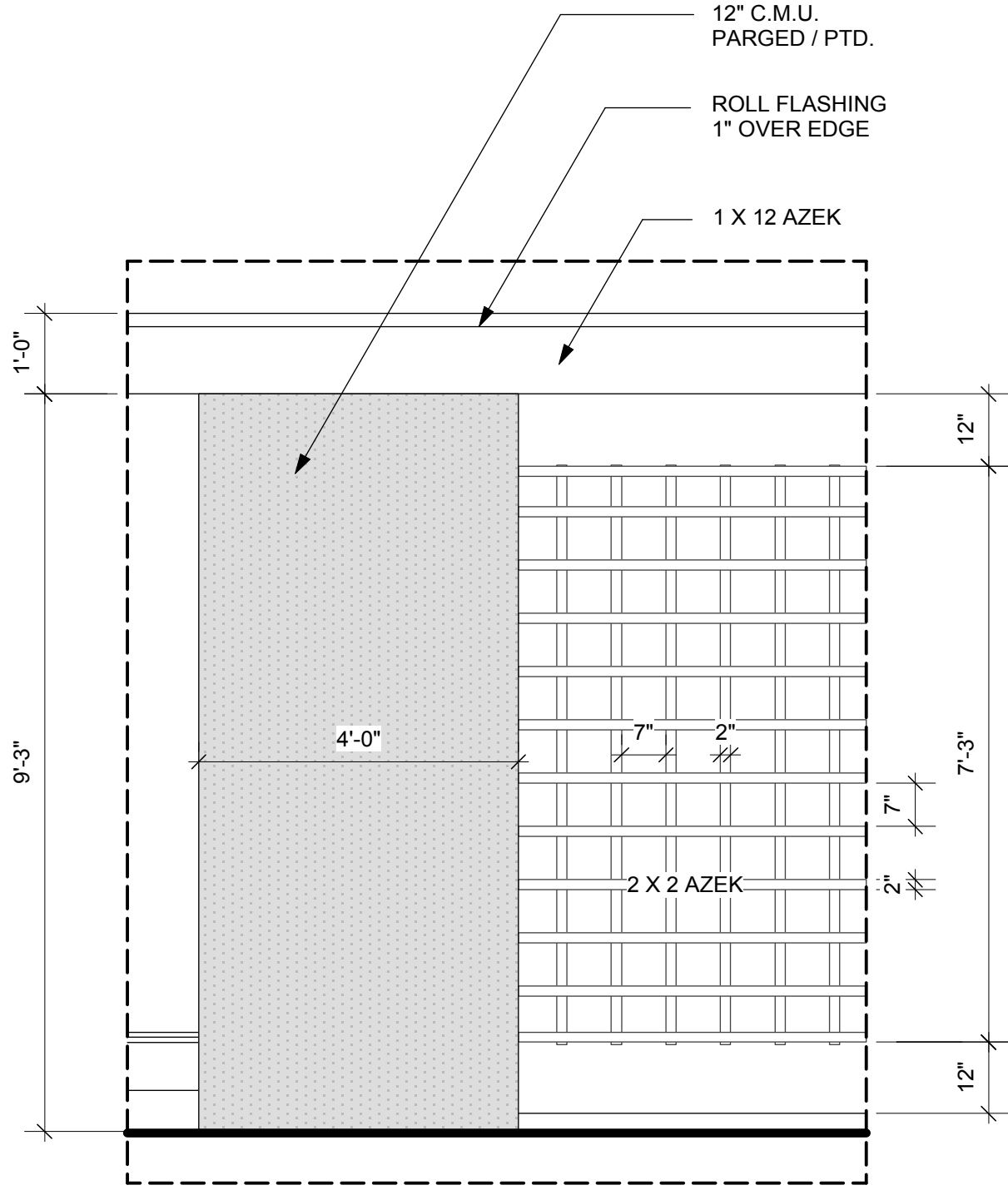
**ENTRYWAY DETAIL**  
1/2" = 1'-0"



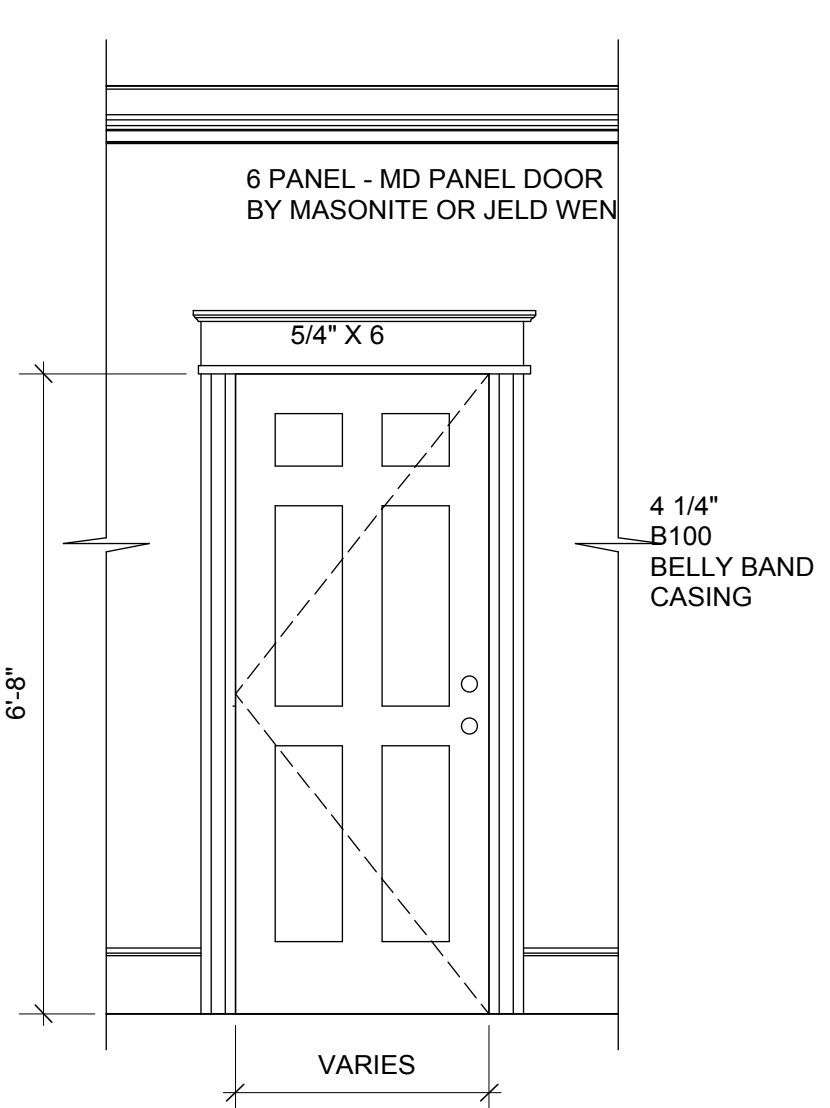
**BAY DETAIL**  
1/2" = 1'-0"



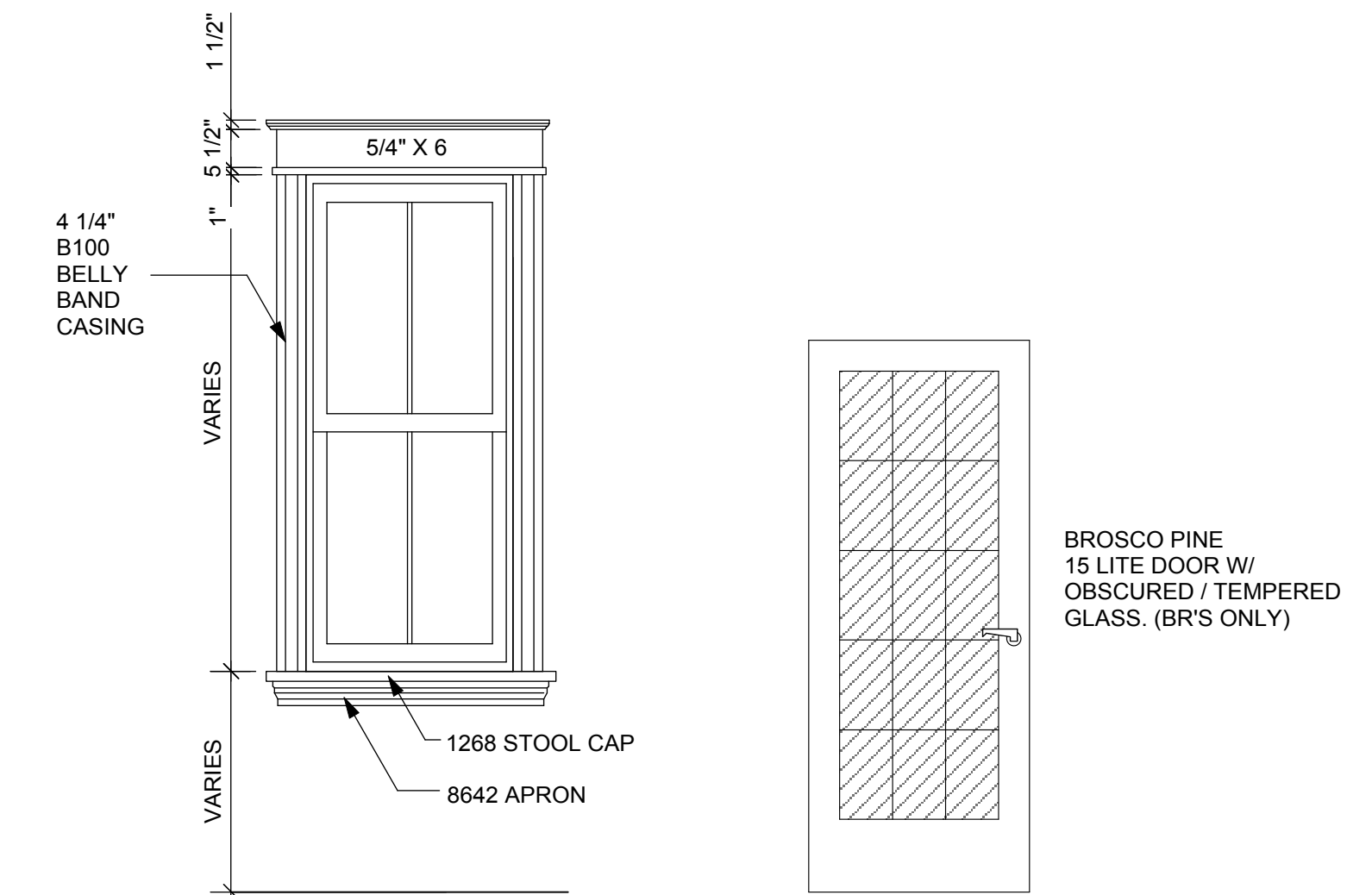
**ROOF DECK**  
1/2" = 1'-0"



**TRELLIS DETAIL**  
1/2" = 1'-0"



**INTERIOR WINDOW / DOOR DETAILS**  
1/2" = 1'-0"



**ENLARGED ELEVATIONS**  
  
**ARCHITECTS:**  
**GORDON GREENFIELD ASSOCIATES**  
**4 COOK STREET**  
**CHARLESTOWN, MA. 02129**  
**(617) 241-7302**



**NEW 2 FAMILY RESIDENCE**  
**16 OAK STREET**  
**CHARLESTOWN, MA.**

PROJECT NO.:  
 SCALE: AS NOTED  
 DATE: 6-16-15  
 DRAWN BY:  
 REVISIONS:  
 PERMIT SET 7-31-15  
 REV'D 9-9-15  
 REV'D 9-25-15

**A-6.1**