

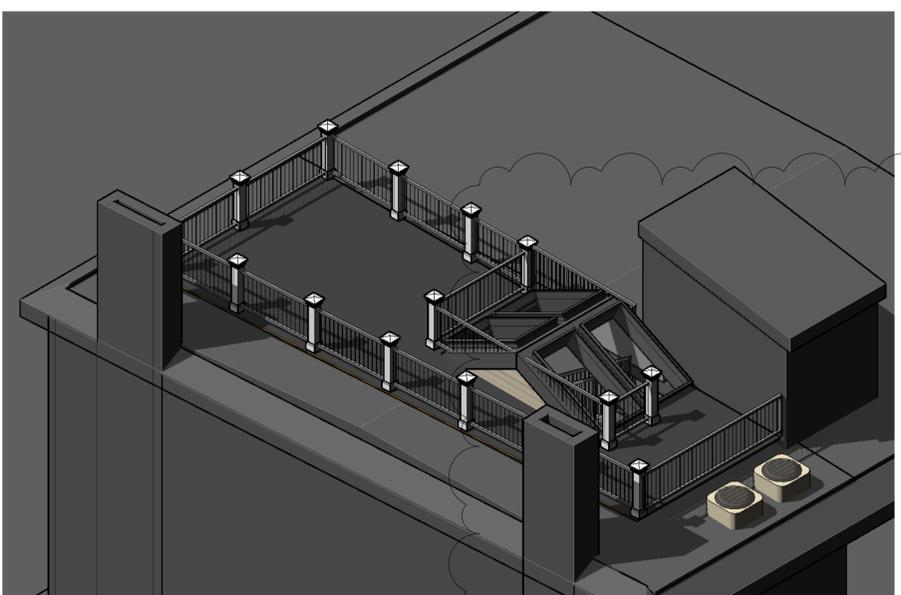
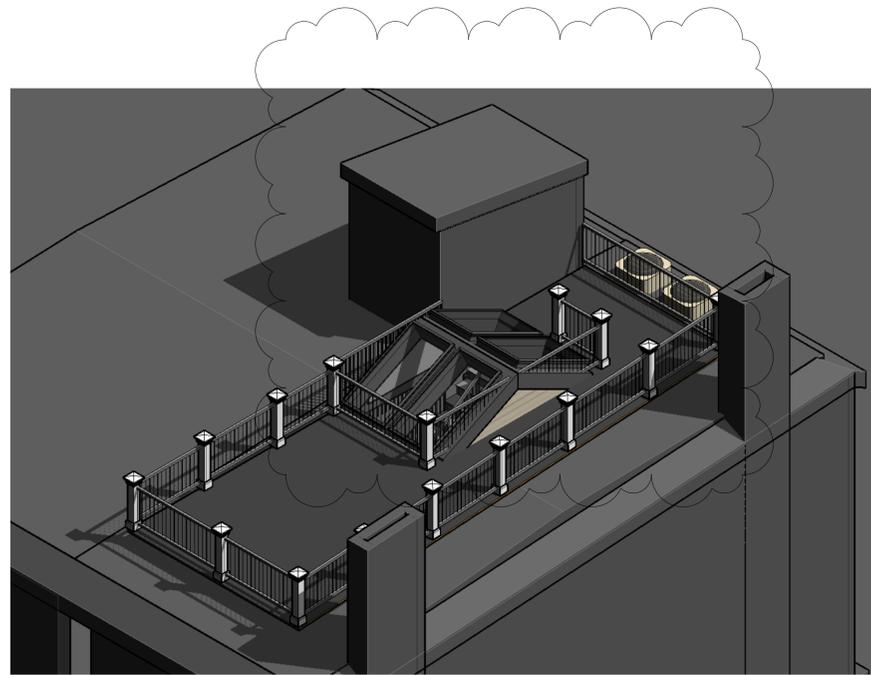
SITE

GENERAL NOTES:

1. THE WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODE AND OTHER ORDINANCES, CODES AND REGULATIONS LISTED IN THE SPECIFICATIONS OR ON THE DRAWINGS, AND REQUIRED BY LOCAL BUILDING AUTHORITIES. THE GOVERNING CODES, RULES AND REGULATIONS ARE COLLECTIVELY REFERRED TO AS "THE CODE." THE CONTRACTOR SHALL REPORT ANY INCONSISTENCIES, CONFLICTS OR OMISSIONS DISCOVERED TO THE ARCHITECT FOR INTERPRETATION PRIOR TO PERFORMING THE WORK.
2. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION, AS NECESSARY AND REQUIRED BY GOVERNING AGENCIES HAVING JURISDICTION, UNTIL CLIENT ACCEPTANCE OF THE PREMISES.
3. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROVISION AND MAINTENANCE OF ALL BRACING, SHORING, ENCLOSURES, BARRIERS OR SCAFFOLDING REQUIRED TO PROVIDE A SAFE WORKING ENVIRONMENT AS DICTATED BY SITE CONDITIONS AND THE PROGRESS OF WORK.
4. DURING THE ENTIRE CONSTRUCTION PERIOD, ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS SHALL BE CONTINUOUSLY MAINTAINED IN CONFORMANCE WITH LOCAL BUILDING CODE AND OTHER GOVERNING ENTITY REQUIREMENTS. U.I.O., ALL EXISTING SERVICES AND DEVICES SHALL REMAIN ACTIVE.
5. THE CONTRACTOR SHALL PROTECT THE PROPERTY FOR THE CLIENT AND THE BUILDING OWNER, INCLUDING, BUT IS NOT LIMITED TO, WINDOWS, FLOOR AND CEILING FINISHES, PUBLIC TOILETS, ELEVATORS, DOORS & BUCKS, ELECTRICAL AND AIR-CONDITIONING EQUIPMENT. THE CONTRACTOR SHALL PROTECT ADJOINING PROPERTY. DAMAGE CAUSED BY THE CONTRACTOR'S WORK OR WORKMEN MUST BE MADE GOOD, IN A TIMELY FASHION. PATCHING AND REPLACEMENT OF DAMAGED WORK SHALL BE PERFORMED AT THE COST OF THE CONTRACTOR. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL SUB-CONTRACTORS. IF THE CONTRACTOR FAILS TO COMPLETE THE REPAIRS IN A TIMELY FASHION, SAID REPAIRS WILL BE MADE BY A CONTRACTOR SELECTED BY THE OWNER'S REPRESENTATIVE AND BACK CHARGED ACCORDINGLY.
6. THE CONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS THE LANDLORD, THE TENANT, AND ARCHITECT AGAINST ANY AND ALL CLAIMS AND DEMANDS FOR THE DAMAGE TO THE PROPERTY OF ANY PERSON, FIRM OR INDIVIDUAL OR FOR PERSONAL INJURIES (INCLUDING DEATH) ARISING OUT OF, OR SUFFERED WHILE ENGAGED IN, OR CAUSED, IN WHOLE OR IN PART, BY THE EXECUTION OF THE WORK. THE CONTRACTOR SHALL WELL AND TRULY DEFEND THE LANDLORD, TENANT AND ARCHITECT AND SHALL PAY ALL MONIES AWARDED FOR SUCH DAMAGES OR INJURIES (INCLUDING DEATH), ALL COSTS INCLUDING ATTORNEY'S FEES SUSTAINED, AND SHALL OBTAIN A FULL ACQUAINTANCE AND RELEASE IN FAVOR OF THE LANDLORD, TENANT AND ARCHITECT, UNLESS SUCH LIABILITY RESULTS SOLELY FROM THE NEGLIGENCE OF THE LANDLORD, TENANT, ARCHITECT, ITS AGENTS OR EMPLOYEES.
7. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE PERFORMANCE OF ANY WORK, NOR FOR THE MEANS AND METHODS OF CONSTRUCTION CHOSEN BY THE CONTRACTOR OR ANY SUB-CONTRACTORS, NOR SHALL THE ARCHITECT GUARANTEE THE PERFORMANCE OF THEIR CONTRACTS.
8. THE CONTRACTOR SHALL PERFORM DAILY CLEANING OF THE JOB SITE DURING THE CONSTRUCTION PERIOD AND SHALL PROTECT FINISHED WORK FROM DAMAGE. IMMEDIATELY PRIOR TO TENANT OCCUPANCY, THE CONTRACTOR SHALL PERFORM FINAL CLEANING OF THE WORK AREA INCLUDING, BUT NOT LIMITED TO, WET WIPING OF FURNITURE, AND CASEWORK, WASHING AND WAXING OF VCT FLOORING AND THE VACUUMING OF CARPET. ALL CLEANING SHALL BE IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS AND SMACNA IAQ GUIDELINES FOR OCCUPIED BUILDINGS.
9. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL SUB-CONTRACTORS AND SHALL PERFORM SUCH MISCELLANEOUS WORK AS MAY BE NECESSARY FOR THEM TO COMPLETE THEIR WORK. IT IS EXPECTED THAT THE CONTRACTOR SHALL ALSO CLOSELY COORDINATE THE WORK WITH THAT OF ALL OTHER VENDORS RETAINED BY THE CLIENT TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT WORK PROCEEDS WITHOUT DELAY.
10. BIDDERS, BEFORE SUBMITTING PROPOSALS, SHALL VISIT AND CAREFULLY EXAMINE THE AREA AFFECTED BY THE WORK TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND THE DIFFICULTIES THAT WILL AFFECT THE EXECUTION OF THE WORK. SUBMISSION OF A PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE, AND LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT, OR MATERIALS, REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY FORESEEN HAD SUCH AN EXAMINATION BEEN MADE. THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE AND REPORT ANY AND ALL DISCREPANCIES AND/OR UNUSUAL CONDITIONS TO THE ARCHITECT PRIOR TO FINALIZING BIDS OR COMMENCEMENT OF ANY CONSTRUCTION.
11. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ANY AND ALL LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS TO THE PROJECT DURING THE BID SELECTIONS PERIOD. ANY AND ALL LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS NOT ITEMIZED IN THE BID PROPOSAL DOCUMENTS ARE PRESUMED "INCLUDED", IN WHICH CASE NO ADDITIONAL MONIES WILL BE ALLOCATED FOR THIS WORK.
12. EXISTING CONSTRUCTION AND DIMENSIONS SHOWN ARE PER EXISTING DRAWINGS. ALL EXISTING INFORMATION MUST BE VERIFIED IN THE FIELD. NEITHER THE OWNER NOR THE ARCHITECTS ARE RESPONSIBLE FOR ACCURACY OF EXISTING INFORMATION. EXISTING CONSTRUCTION CONDITIONS IN AREAS WHERE NEW WORK IS NOT PLANNED MAY BE NOT COMPLETELY SHOWN.
13. WITHIN ONE (1) WEEK (5 BUSINESS DAYS), OF THE AWARD OF THIS CONTRACT, PRIOR TO MOBILIZATION FOR ANY WORK, THE CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE SHOWING CHRONOLOGICALLY THE PHASES OF THE WORK, AND ALL RELATED WORK FOR THE COMPLETION OF THE PROJECT. THIS SCHEDULE SHALL INDICATE ALL ORDERING LEAD TIMES, LENGTH OF TIME FOR EACH PHASE, ITS START AND COMPLETION, WITH A PROJECTED COMPLETION DATE.
14. CONTRACTOR AND SUBCONTRACTORS SHALL ATTEND JOB MEETINGS REQUIRED BY THIS CONTRACT.
15. ALL REQUIRED PERMITS MUST BE OBTAINED FROM THE FIRE DEPARTMENT PRIOR TO START OF CONSTRUCTION.
16. ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, U.I.O.
17. DO NOT SCALE THESE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN. SHOULD ANY DIMENSIONAL DISCREPANCIES BE ENCOUNTERED, CLARIFICATIONS SHALL BE OBTAINED FROM THE OFFICE OF THE ARCHITECT.
18. LARGE SCALE DETAILS SHALL GOVERN OVER SMALLER SCALE PLANS AND ELEVATIONS.
19. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL WARRANTEE ALL WORK PERFORMED BY HIM DIRECTLY FOR A MINIMUM PERIOD OF ONE (1) YEAR AS SPECIFIED IN THE CONSTRUCTION CONTRACT. ALL DEFECTS OCCURRING IN THE GUARANTEED PERIOD SHALL BE CORRECTED AT NO ADDITIONAL COST.
20. THE CLIENT, ARCHITECT, CONSULTANTS AND ALL INSPECTORS FROM PERTINENT AGENCIES SHALL BE PERMITTED ACCESS TO THE JOB SITE AT ALL TIMES DURING NORMAL WORKING HOURS.
21. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT TO EXECUTE ALL WORK, EXCEPT WHERE NOTED AS NOT IN CONTRACT (N.I.C.).
22. MINOR DETAILS NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK, SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS, UNLESS OTHERWISE AGREED UPON. WHERE THE CONTRACT, CONSTRUCTION NOTES OR DRAWINGS CALL FOR ANY WORK OF A MORE STRINGENT NATURE THAN THAT REQUIRED BY THE BUILDING CODE, OR ANY OTHER ENTITY HAVING JURISDICTION OVER THE WORK, THE WORK OF THE MORE STRINGENT NATURE CALLED SHALL BE FURNISHED IN ALL CASES.

APPLICABLE CODES:
780 CMR 51.00: MASSACHUSETTS RESIDENTIAL CODE

Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date
Architectural		
A-000	Cover Sheet	02/03/2020
A-100	Plans, Elevations and Section	02/03/2020



PROJECT: Saal Residence Headhouse Addition Renovation

Issued for Permit
02.19.2021

CLIENT:
Kim Saal

ARCHITECT
Sol and Associates Inc

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PROJECT NAME

**Saal Residence
Renovation**

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CONSULTANTS:

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REGISTRATION

Project number	KS2019-001
Date	10/06/2020
Drawn by	ARS
Checked by	SA
Scale	12" = 1'-0"

REVISIONS

No.	Description	Date
1	Roof height, south wall and condensers	09/02/2020
2	Added railing	03/08/2021

Cover Sheet

A-000

Saal Residence Renovation

PROJECT NAME
Saal Residence Renovation

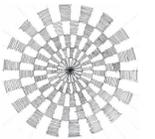
PROJECT ADDRESS
 29 High St
 Charlestown, MA 02129

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ARCHITECT

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REGISTRATION

Project number KS2019-001
 Date 10/06/2020
 Drawn by ARS
 Checked by SA
 Scale 1/4" = 1'-0"

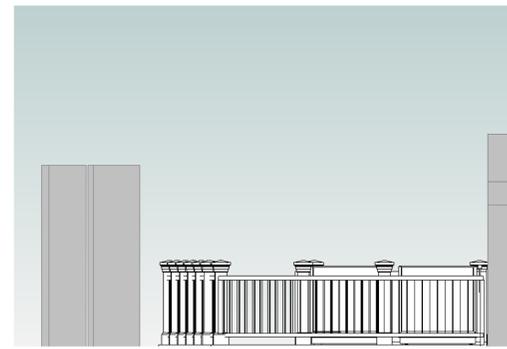
REVISIONS

No.	Description	Date
1	Added skylight	01/29/2021
2	Added railing	03/08/2021

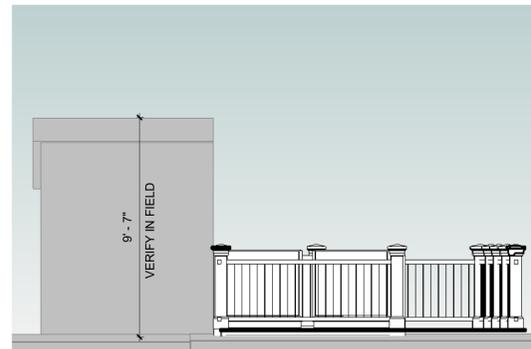
Plans, Elevations and Section

A-100

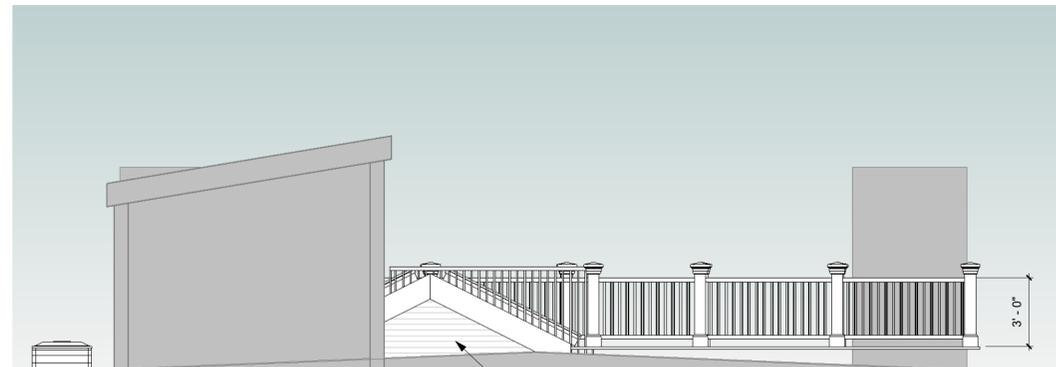
Saal Residence Renovation



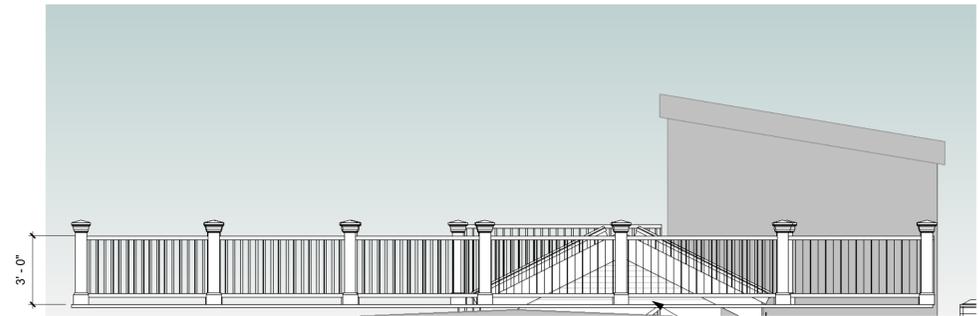
1 North Elevation
 1/4" = 1'-0"



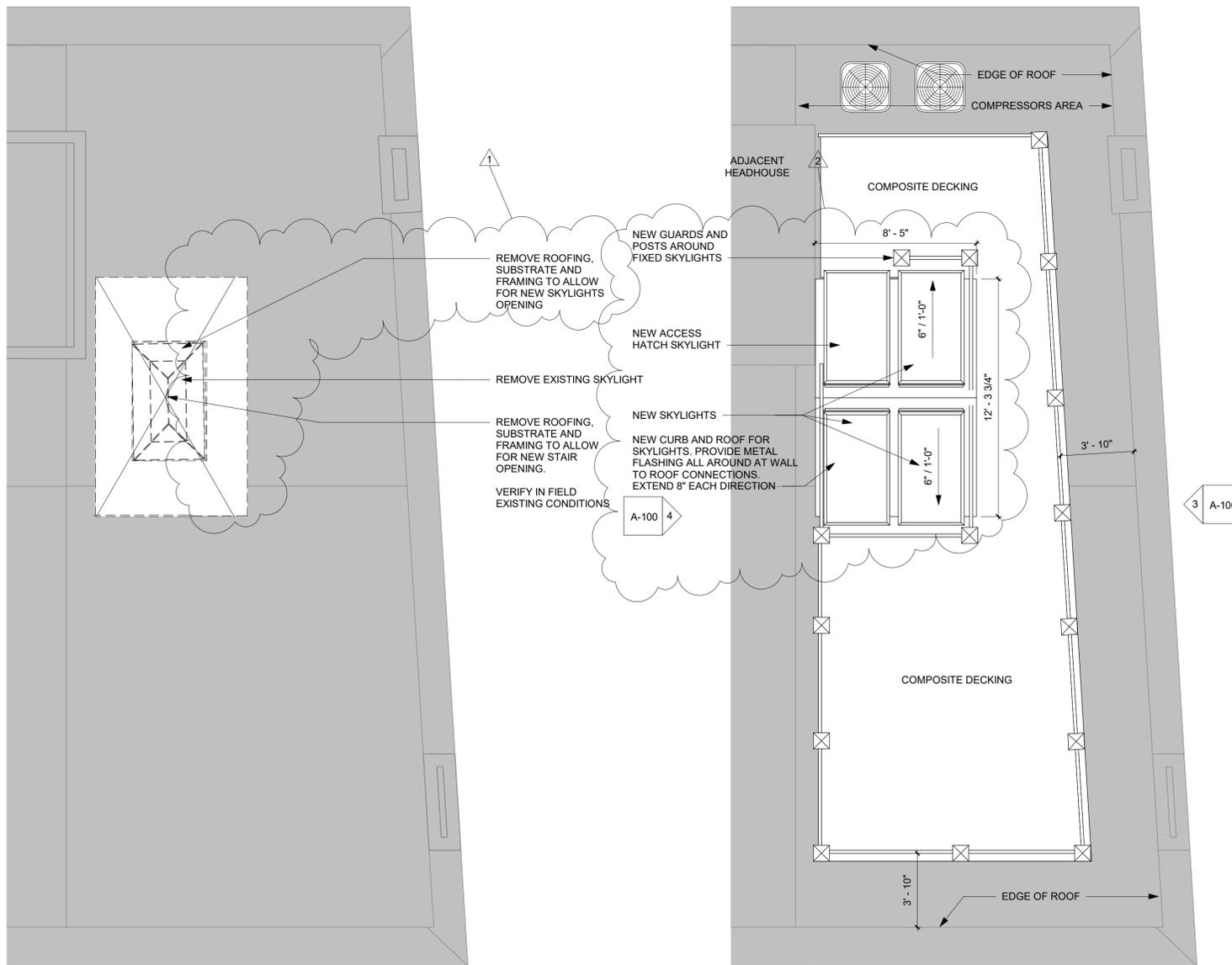
2 South Elevation
 1/4" = 1'-0"



4 West Elevation
 1/4" = 1'-0"

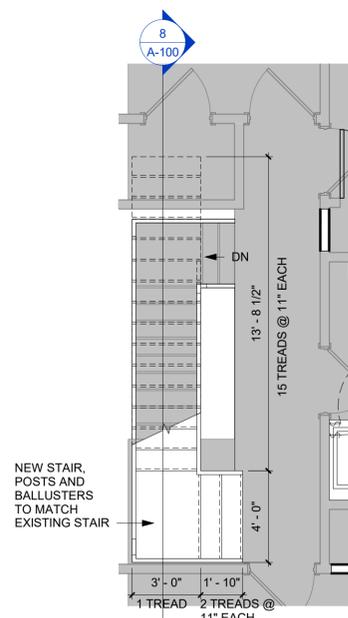


3 East Elevation
 1/4" = 1'-0"

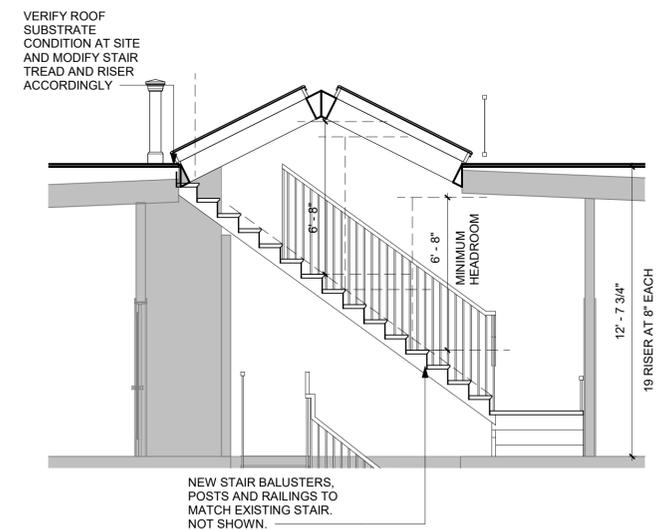


6 Roof Demolition Plan
 1/4" = 1'-0"

5 Roof Plan
 1/4" = 1'-0"



7 4th Floor Partial Plan
 1/4" = 1'-0"



8 Section @ Proposed Stair
 1/4" = 1'-0"

