

Boston Inspectional Services Department

Planning and Zoning Division

1010 Massachusetts Avenue, 5th Floor, Boston, MA 02118 Telephone: (617) 635-5300

MORE INFORMATION REQUEST LETTER

Marc Joseph
Inspector of Buildings

December 13, 2021

HERIBERTO TORRES 6 NIELSON AVE EVERETT, MA 02149

RE: Application #: ALT1250074

Location: 287 Main ST, Ward 02

Zoning District: Charlestown Neighborhood, NS

Purpose: Clean up, update electrical, update plumbing, install two 6 feet by 8 feet windows, install one front door, replace front wall tiles with

wood planks, install tiles on front area, build awning above new side window, observe details from architectural plans attached to

application

The following information shall be provided to Inspectional Services Department to complete the Building Permit Plan Review:

1. Construction Documents (two sets and to scale):

• Structural, Mechanical, Plumbing, Electrical, Fire Alarm and Fire Protection Plans

2. Supporting Documents:

- Fire Alarm/Sprinkler Narrative Report
- Hydraulic Calculation Report

3. City Agencies' Approvals:

Boston Planning and Development Agency: Two Sets of Approved Drawings: Exterior façade design-NDOD

All construction documents shall be organized in two sets, submitted together (no partial information will be accepted), and dropped off at Inspectional Services Department with the above referenced application number or re-uploaded on the portal if it is an ePlan application. More information may be required. Please be advised that the time limitation of your application shall be 180 days, otherwise it shall be deemed abandoned per 780 CMR. Thank you for your assistance.

Johnny Pomodoro

297 Main Street Charlestown, MA 02129



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SHEET NUMBER	SHEET NAME	6/10/2021 ISSUED FOR BID	8/13/2021 ISSUED FOR PERMIT
01-GENERAL AN-0	COVER SHEET	•	•

AN-0	COVER SHEET	•	•
AN-2	GENERAL NOTES	• •	
02-ARCHITECT	URE		
A1-1	DEMO & CONSTRUCTION PLAN	•	•
A2-1	REFLECTED CEILING & FINISH PLAN	•	•
A6-1	ENLARGED PLANS & INTERIOR ELEVATION	•	•
Δ8_2	EXTERIOR ELEVATION		

Building Code Summary

- **Project Description**: Refurbished of existing first floor commercial space to contain a take out style restaurant serving Italian style food. This restaurant will be take out only, there will be no tables or chairs for dining in. Space was previously used as a take out style restaurant for Chinese food.
- **Building Code:** Massachusetts State Building Code, 9th Edition: International Building Code, 2015 with Massachusetts Amendments, International Existing Building Code, 2015 with Massachusetts Amendments, 521 CMR Architectural Access Board Regulations, and 248 CMR 10.0: Uniform State Plumbing Code
- **Building Description:** Existing three story wood frame mixed use building, built in 1899, on a full basement containing commercial space on the first floor and dwelling units above, with a flat roof. Building contains approximately 5,460 square feet
- **Project Description**: Refurbished of existing first floor commercial space to contain a take out style restaurant serving Italian style food. This restaurant will be take out only, there will be no tables or chairs for dining in. Space was previously used as a take out style restaurant for Chinese food.
- **Building Height and Number of Stories:** Three story building approximately 35' high
- Work Area: Alterations Level 2. Work area is less than 50% of existing building.
- Accessibility Upgrades: Project cost does not meet threshold per 521 CMR to require upgrades to entire building. Building value \$950,000.00. Construction cost less than \$100,000.00

Architectural Access Board Rules and Regulations: Per 521 CMR, Section 3.3 EXISTING BUILDINGS: All additions to, reconstruction, remodeling, and alterations or repairs of existing public buildings or facilities, which require a building permit or which are so defined by a state or local inspector, shall be governed by all applicable subsections in 521 CMR 3.00: JURISDICTION.

- 3.3.1 If the work being performed amounts to less than 30% of the full and fair cash value of the building and a. if the work costs less than \$100,000, then only the work being performed is required to comply with 521 CMR
- First Floor Use Group: B Restaurant < 2,000 sf and < 50 occupants Second Floor – Use Group R-2 – Dwelling Units Third Floor – Use Group R-2 – Dwelling Units

• **Construction Type**: Wood Frame Building – Probably Type VB

- **Tenant Area Tabulations:** 800 square feet
- **Fire Alarm System**: per City of Boston Fire Department and Massachusetts State Code

• **Use Group:** Basement – Use Group: S – Storage of non-combustibles

- Automatic Sprinkler System: No. Provide Ansul system to meet current codes
- **Number of Exits:** Only one exit required: 100' travel distance allowed < 29 occupants for one exit Two Exits provided
- Doors: 0.2" per occupant 36" provided Egress Widths:

Fire Rated Separations:

- Tables 601 and 602: Type VB Construction: 0 hour rating except Exterior Bearing Walls < 10' FSD Section 707.3.9 and Table 707.3.10 Fire Barrier Separating mixed occupancies – R and B = 2 hour fire rating
- Section 713.4 and 1023.1 Fire Barrier Enclosing Interior Exit Stair = 2 hour fire rating
- Section 711 Horizontal Assembly Separating mixed occupancies R and B = 2 hour rating Section 711.2.3 Supporting Construction of Horizontal Assembly = 2 hour rating Table 705.8 Unlimited openings on first floor fronting on street
- Plumbing Code:

Required: One toilet room. Less than 2,000 SF Less than 20 occupants. One slop sink per floor **Provided:** Employee only toilet room – not open to public One toilet room containing a toilet and lavatory One slop sink

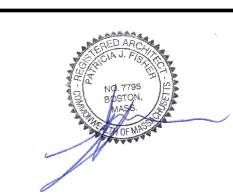
Toilet room will be designated "Gender Neutral Single User" toilet room. Kitchen fixtures per City of Boston Board of Health

Johnny Pomodoro

297 Main Street Charlestown, MA 02129

ISSUED FOR PERMIT 8.13.2021

COVER SHEET



Project No: xx.xxxxx.xx Reviewed By:Checker

THE GENERAL CONTRACTOR SHALL CONTACT BUILDING MANAGEMENT TO DETERMINE THE RULES OF THE BUILDING RELATIVE TO CONSTRUCTION; WHEN AND HOW DELIVERIES CAN BE MADE, WHAT PHASES AND TYPES OF CONSTRUCTION MAY BE DONE ON REGULAR OR OVERTIME BASIS. AND IN GENERAL ANY SPECIAL BUILDING REQUIREMENTS WHICH WILL AFFECT THE COST OF ALL WORK BORNE BY THE GENERAL CONTRACTOR. ALL WORK SHALL CONFORM TO ALL BASE BUILDING STANDARD SPECIFICATIONS AND BUILDING REGULATIONS, WHICH THE CONTRACTOR SHALL OBTAIN PRIOR TO SUBMISSION OF BID.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SLIB-CONTRACTORS' RECEIPT OF COMPLETE SETS OF THESE DOCUMENTS, AS WELL AS ALL FUTURE ADDENDA, BULLETINS, FIELD DIRECTIVES AND CHANGE ORDERS.

THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING MANAGEMENT THE STORAGE OF MATERIALS AND SHALL PROVIDE PROTECTION AS NECESSARY TO PREVENT VANDALISM AND LOSS OF MATERIALS BY THEFT OR DAMAGE SUSTAINED DUE TO EXPOSURE TO INAPPROPRIATE ENVIRONMENTAL CONDITIONS AND WILL REPAIR & REPLACE DAMAGE OR LOSSES AT THE CONTRACTOR'S EXPENSE WITHOUT CHARGE TO THE

WHERE ADJACENT AREAS BEYOND THE IMMEDIATE CONSTRUCTION AREA WILL BE OCCUPIED DURING THE CONSTRUCTION PERIOD, THE CONTRACTOR

20. CONTRACTOR AND SUBCONTRACTORS SHALL ATTEND JOB MEETINGS

- A. CONFORM TO OWNERS AND TENANT REQUIREMENTS FOR HOURS OF CONSTRUCTION OPERATIONS, ACCESS TO TENANT SPACES AND ALLOWABLE NOISE LEVEL DURING TENANT BUSINESS HOURS
- B. CONSTRUCTION OPERATIONS SHALL NOT BLOCK HALLWAYS ACCESSIBLE ROUTES OR MEANS OF EGRESS FOR TENANTS OF
- CONSTRUCTION OPERATIONS SHALL NOT CAUSE INTERRUPTIONS OF 22. ELECTRICAL SERVICES TO THE TENANTS OF THE BUILDING WITHOUT PRIOR NOTIFICATION AND APPROVALS. PROPERLY PROTECT ALL FLOORS, MAIL CHUTES AND STAIR DOORS IN PUBLIC AREAS SUBJECT TO CONSTRUCTION TRAFFIC. SHOE WIPING MATS WILL BE INSTALLED AT ALL OPENINGS BETWEEN CONSTRUCTION AREAS AND ALL PUBLIC SPACES. ALL ACTIVE AREAS SHALL BE KEPT CLEAN AND
- ERECT AND MAINTAIN TEMPORARY BRACING, LIGHTS, DUSTPROOF PARTITIONS, BARRICADES, FENCES AND WARNING SIGNS AS NECESSARY TO PREVENT INJURY, NOISE, DUST AND INCONVENIENCE 25. TO OTHER TENANTS. THE PUBLIC. AND TO PREVENT DAMAGE TO ADJACENT CONSTRUCTION WHICH IS TO BE LEFT IN PLACE.
- CONTRACTOR SHALL FOLLOW THE RECOMMENDED CONTROL MEASURES OF THE SHEET METAL AND AIR CONDITIONING NATIONAL CONTRACTORS ASSOCIATION (SMACNA) IAQ GUIDELINES FOR OCCUPIED BUILDINGS UNDER CONSTRUCTION, 2ND EDITION 2007, ANSI/SMACNA 008-2008 (CHAPTER 3), PROTECT STORED ON-SITE AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE
- IF PERMANENTLY INSTALLED AIR HANDLERS ARE USED DURING CONSTRUCTION, FILTRATION MEDIA WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV 8) MUST BE USED AT EACH RETURN AIR

ALL CUTTING, CHASING, DRILLING OR DEMOLITION OF WALLS, SLABS, ETC. REOUIRING THE USE OF JACKHAMMERS OR OTHER HEAVY HAND OR POWER TOOLS SHALL BE PERFORMED AFTER REGULAR BUSINESS HOURS ON AN OVERTIME BASIS IF NECESSARY, UNLESS THE BUILDING MANAGEMENT AND ANY AFFECTED TENANTS PROVIDE A WRITTEN WAIVER EXPRESSLY PERMITTING OTHERWISE.

- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION, AS NECESSARY AND REQUIRED BY GOVERNING AGENCIES HAVING JURISDICTION, UNTIL CLIENT ACCEPTANCE OF THE PREMISES.
- THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROVISION AND MAINTENANCE OF ALL BRACING, SHORING, ENCLOSURES, BARRIERS OR SCAFFOLDING REQUIRED TO PROVIDE A SAFE WORKING ENVIRONMENT AS DICTATED BY SITE CONDITIONS AND THE PROGRESS OF WORK.
- 10. DURING THE ENTIRE CONSTRUCTION PERIOD, ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS SHALL BE CONTINUOUSLY MAINTAINED IN CONFORMANCE WITH LOCAL BUILDING CODE AND OTHER GOVERNING ENTITY REQUIREMENTS. UNO, ALL EXISTING, SERVICES AND DEVICES SHALL REMAIN ACTIVE.
- 11. THE CONTRACTOR SHALL PROTECT THE PROPERTY OF THE CLIENT AND THE AND CEILING FINISHES, PUBLIC TOILETS, ELEVATORS, DOORS & BUCKS, ELECTRICAL AND AIR-CONDITIONING EQUIPMENT. THE CONTRACTOR SHALL PROTECT ADJOINING PROPERTY. DAMAGE CAUSED BY THE CONTRACTOR'S WORK OR WORKMEN MUST BE MADE GOOD, IN A TIMELY FASHION. PATCHING AND REPLACEMENT OF DAMAGED WORK SHALL BE PERFORMED AT THE COST OF THE CONTRACTOR. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL SUB-CONTRACTORS. IF THE CONTRACTOR FAILS TO 30. COMPLETE THE REPAIRS IN A TIMELY EASHION, SAID REPAIRS WILL BE MADE BY A CONTRACTOR SELECTED BY THE OWNER'S REPRESENTATIVE AND BACK CHARGED ACCORDINGLY.
- THE CONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS THE LANDLORD, THE TENANT, AND ARCHITECT AGAINST ANY AND ALL CLAIMS AND DEMANDS FOR THE DAMAGE TO THE PROPERTY OF ANY PERSON, FIRM OR INDIVIDUAL OR FOR PERSONAL INJURIES (INCLUDING DEATH) ARISING OUT OF, OR SUFFERED WHILE ENGAGED IN, OR CAUSED, IN WHOLE OR IN PART, BY THE EXECUTION OF THE WORK; THE CONTRACTOR SHALL WELL AND TRULY DEFEND THE LANDLORD, TENANT AND ARCHITECT AND SHALL PAY ALL MONIES AWARDED FOR SUCH DAMAGES OR INJURIES (INCLUDING DEATH). ALL COSTS INCLUDING ATTORNEY'S FEES SUSTAINED, AND SHALL OBTAIN A FULL ACQUAINTANCE AND RELEASE IN FAVOR OF THE LANDLORD, TENANT AND ARCHITECT, UNLESS SUCH LIABILITY RESULTS SOLELY FROM THE NEGLIGENCE OF THE LANDLORD, TENANT, ARCHITECT, ITS AGENTS OR

13. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE PERFORMANCE OF ANY WORK, NOR FOR THE MEANS AND METHODS OF CONSTRUCTION CHOSEN BY THE CONTRACTOR OR ANY SUB-CONTRACTORS, NOR SHALL THE ARCHITECT GUARANTEE THE PERFORMANCE OF THEIR CONTRACTS.

- THE CONTRACTOR SHALL PERFORM DAILY CLEANING OF THE JOB SITE DURING THE CONSTRUCTION PERIOD AND SHALL PROTECT FINISHED WORK FROM DAMAGE. IMMEDIATELY PRIOR TO TENANT OCCUPANCY. THE CONTRACTOR SHALL PERFORM FINAL CLEANING OF THE WORK AREA INCLUDING, BUT NOT LIMITED TO, WET WIPING OF FURNITURE, AND CASEWORK, WASHING AND WAXING OF VCT FLOORING AND THE VACUUMING OF CARPET. ALL CLEANING SHALL BE IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL SUB-CONTRACTORS AND SHALL PERFORM SUCH MISCELLANEOUS WORK AS MAY BE NECESSARY FOR THEM TO COMPLETE THEIR WORK. IT IS EXPECTED THAT THE CONTRACTOR SHALL ALSO CLOSELY COORDINATE THE WORK WITH THAT OF ALL OTHER VENDORS RETAINED BY THE CLIENT TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT WORK PROCEEDS WITHOUT

- 16. BIDDERS, BEFORE SUBMITTING PROPOSALS, SHALL VISIT AND CAREFULLY EXAMINE THE AREA AFFECTED BY THE WORK TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND THE DIFFICULTIES THAT WILL AFFECT THE EXECUTION OF THE WORK. SUBMISSION OF A PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE, AND LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR EQUIPMENT, OR MATERIALS, REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY FORESEEN HAD SUCH AN EXAMINATION BEEN MADE. THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE AND REPORT ANY AND ALL DISCREPANCIES AND/OR UNUSUAL CONDITIONS TO THE ARCHITECT PRIOR TO FINALIZING BIDS OR COMMENCEMENT OF ANY
- THE GENERAL CONTRACTOR SHALL MAKE KNOWN ANY AND ALL LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS TO THE PROJECT DURING THE BID SELECTIONS PERIOD. ANY AND ALL LIMITATIONS. EXCLUSIONS. OR MODIFICATIONS NOT ITEMIZED IN THE BID PROPOSAL DOCUMENTS ARE PRESUMED "INCLUDED", IN WHICH CASE NO ADDITIONAL MONIES WILL BE ALLOCATED FOR THIS WORK.
- EXISTING CONSTRUCTION AND DIMENSIONS SHOWN ARE PER EXISTING DRAWINGS. ALL EXISTING INFORMATION MUST BE VERIFIED IN THE FIFLD NEITHER THE OWNER NOR THE ARCHITECTS ARE RESPONSIBLE FOR ACCURACY OF EXISTING INFORMATION. EXISTING CONSTRUCTION CONDITIONS IN AREAS WHERE NEW WORK IS NOT PLANNED MAY BE NOT COMPLETELY SHOWN
- WITHIN ONE (1) WEEK (5 BUSINESS DAYS), OF THE AWARD OF THIS CONTRACT, PRIOR TO MOBILIZATION FOR ANY WORK, THE CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE SHOWING CHRONOLOGICALLY THE PHASES OF THE WORK, AND ALL RELATED WORK FOR THE COMPLETION OF THE PROJECT. THIS SCHEDULE SHALL INDICATE ALL ORDERING LEAD TIMES. LENGTH OF TIME FOR EACH PHASE, ITS START AND COMPLETION, WITH A PROJECTED COMPLETION DATE.
- REQUIRED BY THIS CONTRACT
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK, PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES' SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.
- CREATE AND IMPLEMENT AN EROSION AND SEDIMENTATION CONTROL PLAN FOR ALL SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE PROJECT THE PLAN MUST CONFORM TO THE EROSION AND SEDIMENTATION REOUIREMENTS OF THE 2003 EPA CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL REQUIRED PERMITS MUST BE OBTAINED FROM THE MUNICIPAL AUTHORITIES HAVING JURISDICTION PRIOR TO START OF CONSTRUCTION.
- ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNO.
- THE CONTRACTOR SHALL PAY THE EXPENSES FOR ALL TRANSPORTATION, HOISTING AND ELEVATOR USE CHARGES ON ALL MATERIALS OR EQUIPMENT TO THE POINT OF USE, AND SHALL BE RESPONSIBLE FOR ALL UNLOADING, CHECKING AND STORAGE OF THE SAME IN CONNECTION WITH THIS
- 26. OF THE INEVITABLE WASTE THAT IS GENERATED, AS MANY OF THE WASTE MATERIALS AS ECONOMICALLY FEASIBLE SHALL BE REUSED, SALVAGED, OR RECYCLED. WASTE DISPOSAL IN LANDFILLS SHALL BE MINIMIZED. CONTRACTOR SHALL COORDINATE WASTE MATERIALS HANDLING AND SEPARATION FOR ALL TRADES. CONTRACTOR SHALL PROVIDE SEPARATION HANDLING, TRANSPORTATION, RECYCLING, SALVAGE, AND LANDFILLING FOR ALL DEMOLITION AND WASTE MATERIALS. RECYCLABLE MATERIALS CAN BE COMMINGLED IN DUMPSTERS ON-SITE AS LONG AS PROVISION IS MADE FOR HAULING TO A TRANSFER STATION WHERE SEPARATION WILL OCCUR. TRANSFER STATION MUST PROVIDE DOCUMENTATION REPORT TYPES OF MATERIALS SEPARATED BY LOAD AND PERCENTAGE OF EACH LOAD. FINAL DESTINATION OF SORTED MATERIALS MUST ALSO BE

DIVERSION GOALS: A MINIMUM 75% OF TOTAL PROJECT WASTE SHALL BE DIVERTED FROM LANDFILL. THE FOLLOWING WASTE CATEGORIES, AT A

- MINIMUM, SHALL BE DIVERTED FROM LANDFIL a. CLEAN DIMENSIONED WOOD, PALLET WOOD
- b. PLYWOOD, OSB, AND PARTICLEBOARD CONCRETE
- CARDBOARD, PAPER, PACKAGING
- GYPSUM DRYWALL (UNPAINTED) ACOUSTIC TILE
- GLASS
- PLASTICS CARPET AND PAD
- BEVERAGE CONTAINERS THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS, MAINTAIN AND PAY ALL COSTS FOR TEMPORARY WATER, PLUMBING, POWER, LIGHTING, HEATING OR VENTILATION REQUIRED TO PROPERLY CONDUCT THE WORK. BUILDING OWNER. INCLUDING, BUT IS NOT LIMITED TO, WINDOWS, FLOOR 28. DO NOT SCALE THESE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN. SHOULD ANY DIMENSIONAL DISCREPANCIES BE ENCOUNTERED, CLARIFICATIONS SHALL BE OBTAINED FROM THE OFFICE OF THE
 - 29. LARGE SCALE DETAILS SHALL GOVERN OVER SMALLER SCALE PLANS AND
 - INSTALL ALL EQUIPMENT AND MATERIALS PER MANUFACTURERS' RECOMMENDATIONS. ANY DIFFICULTIES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY
 - THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL WARRANTEE ALL WORK PERFORMED BY HIM DIRECTLY FOR A MINIMUM PERIOD OF ONE (1) YEAR AS SPECIFIED IN THE CONSTRUCTION CONTRACT. ALL DEFECTS OCCURRING IN THE GUARANTEED PERIOD SHALL BE CORRECTED AT NO ADDITIONAL COST.
 - THE CLIENT, ARCHITECT, CONSULTANTS AND ALL INSPECTORS FROM PERTINENT AGENCIES SHALL BE PERMITTED ACCESS TO THE JOB SITE AT ALL TIMES DURING NORMAL WORKING HOURS.
 - THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO EXECUTE ALL WORK, EXCEPT WHERE NOTED AS NOT IN CONTRACT (NIC).
 - MINOR DETAILS NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK. SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS, UNLESS OTHERWISE AGREED UPON. WHERE THE CONTRACT, CONSTRUCTION NOTES OR DRAWINGS CALL FOR ANY WORK OF A MORE STRINGENT NATURE THAN THAT REQUIRED BY THE BUILDING CODE. OR ANY OTHER ENTITY HAVING JURISDICTION OVER THE WORK, THE WORK OF THE MORE STRINGENT NATURE CALLED SHALL BE FURNISHED IN ALL CASES.
 - FOR ALL MATERIALS PURCHASED THE CONTRACTOR SHALL FURNISH MATERIALS WHICH YIELD THE HIGHEST PERCENT OF PRE-CONSUMER (POST-INDUSTRIAL) AND POST-CONSUMER RECYCLED CONTENT. THE CONTRACTOR SHALL FURNISH THESE MATERIALS WITHIN THE PARAMETERS OF THE BUDGET AND SHALL NOT PURCHASE ANY COST-ADDING MATERIAL OR PAY A PREMIUM (MORE THAN FAIR MARKET VALUE) WITHOUT PROJECT MANAGER AND OWNER ACKNOWLEDGEMENT AND APPROVAL.
 - FOR ALL MATERIALS PURCHASED THE CONTRACTOR SHALL FURNISH MATERIALS MANUFACTURED WITHIN A 500 MILE RADIUS OF THE PROJECT SITE WHERE AVAILABLE, WITHIN BUDGET, WITHIN FAIR MARKET VALUE AND DO NOT PRESENT RISK TO THE PROJECT SCHEDULE.
 - FOR ALL NEW WOOD PRODUCTS INCLUDING BUT NOT LIMITED TO PARTICLE BOARD, MDF, PLYWOOD, OSB AND WOOD DOORS, THE CONTRACTOR SHALL FURNISH MATERIALS THAT CONTAIN NO ADDED UREA-FORMADALHYDE.

DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT FIELD CONDITIONS. REQUIRED MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.

ALL WORK SHALL BE EXECUTED IN A WORKMANLIKE MANNER BY MECHANICS AND TRADESPERSONS SKILLED IN THEIR RESPECTIVE TRADES AND IN ACCORDANCE WITH THE BEST TRADE PRACTICES.

THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY AND DELIVERY TIMES FOR ALL SPECIFIED MATERIALS & EQUIPMENT REQUIRED TO PERFORM THE WORK UPON RECEIPT OF THE CONTRACT DOCUMENTS. SHOULD THE AVAILABILITY OF SPECIFIED ITEMS POSE A DELAY TO THE ON-TIME COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AND PROPOSE AN EQUIVALENT SUBSTITUTION TO BE REVIEWED BY THE ARCHITECT IF SUCH A DELAY IS NOT ACCEPTABLE. SUBSTITUTION OF ALL EQUALS SHALL BE ONLY AS APPROVED BY THE ARCHITECT. WHERE THE TERM "OR EQUAL" IS USED THE ARCHITECT SHALL BE THE SOLE JUDGE OF FOLIALITY BASED LIPON THE INFORMATION

FURNISHED BY THE CONTRACTOR. SUBSTITUTIONS MUST BE ACCEPTED IN

THE CONTRACTOR SHALL PREPARE SUBMITTALS FOR REVIEW BY THE ARCHITECT, FOR ALL MATERIALS AND EQUIPMENT SPECIFIED. IF THE CONTRACTOR, THE OWNER, OR THE OWNER'S REPRESENTATIVE SUBSTITUTES A MATERIAL, METHOD OF ATTACHMENT, REVISES A CONSTRUCTION DETAIL OR IN ANY WAY ALTERS THE WORK SUCH THAT IT NO LONGER CONFORMS TO THESE DOCUMENTS, WITHOUT THE WRITTEN ACCEPTANCE OF THE ARCHITECT, SUCH ACTION WILL RELIEVE THE ARCHITECT OF ANY RESPONSIBILITY OR LIABILITY INCLUDING, BUT NOT LIMITED TO, AESTHETIC CONSEQUENCES, SUBSEQUENT FAILURE(S) AND PERSONAL OR PROPERTY DAMAGE ATTRIBUTABLE TO THIS CHANGE.

WRITING BEFORE THEY MAY BE USED.

CONTRACTOR.

REVIEW OF A SPECIFIC ITEM SHALL NOT INCLUDE REVIEW OF AN ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. SUBMITTALS THAT CONTAIN EXCESSIVE FRRORS OR ARE INCOMPLETE OR INADEQUATE MAY BE RETURNED WITHOUT ACTION. COSTS INCURRED FOR THE RESULTANT DELAYS WILL BE THE RESPONSIBILITY OF THE

REVIEW OF SUBMITTALS SHALL NOT RELIEVE THE CONTRACTOR OF OBLIGATIONS OR RESPONSIBILITIES FOR DEVIATIONS FROM THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS, UNLESS THE ARCHITECT IS NOTIFIED AND SPECIFICALLY APPROVES OF, THE DEVIATIONS AT THE TIME OF SUBMISSION.

REVIEW OF SUBMITTALS SHALL NOT RELIEVE THE CONTRACTOR'S OBLIGATION FOR COORDINATION NOR WAIVE RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SUBMITTALS, INCLUDING "FIELD

CHANGES IN THE SCOPE OF WORK OR IN CONSTRUCTION DETAILS. WHETHER DUE TO FIELD CONDITIONS OR OMISSIONS BY THE CONTRACTOR, ARCHITECT OR OWNER, SHALL BE DOCUMENTED BY THE ARCHITECT AND APPROVED, PRIOR TO EXECUTION.

THE PRESENCE OF A REPRESENTATIVE OF THE ARCHITECT ON THE JOB SITE DOES NOT IMPLY CONCURRENCE WITH OR THE APPROVAL OF ANY WORK. THE CONTRACTOR SHALL CALL TO THE ATTENTION OF THE ARCHITECT, IN WRITING, ALL SPECIFIC ITEMS FOR WHICH ARCHITECT'S REVIEW IS REQUIRED.

UPON SUBSTANTIAL COMPLETION OF WORK THE CONTRACTOR SHALL

PREPARE A "PUNCHLIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK FOR REVIEW BY THE ARCHITECT. THE CONTRACTOR SHALL MAINTAIN AT THE SITE, ONE RECORD COPY OF ALL DRAWINGS, PERMITS, SUBMITTALS AND SAMPLES ON WHICH TO RECORD ALL CENTERLINE CHANGES DURING CONSTRUCTION. ACCESS TO THESE SHALL BE PROVIDED FOR THE USE OF ALL TRADES, CLIENT REPRESENTATIVES AND THE

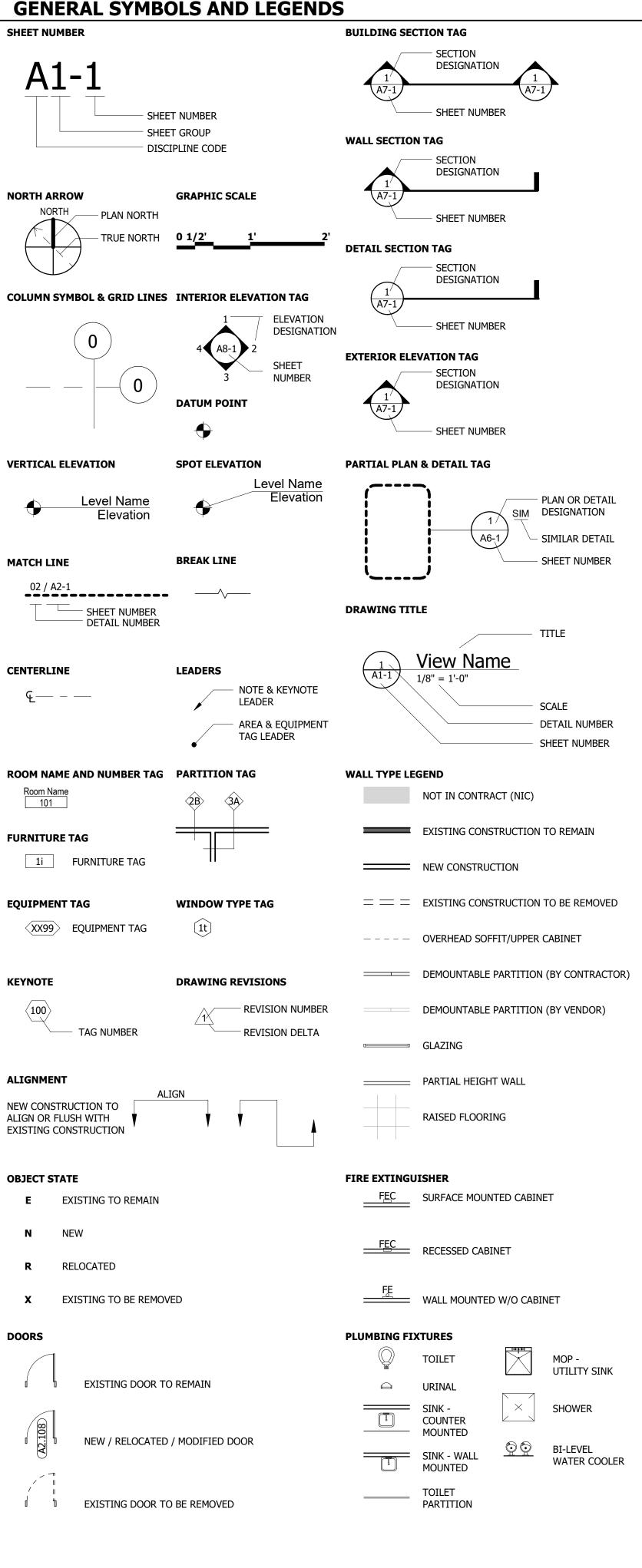
ARCHITECT, DURING ALL PHASES OF CONSTRUCTION. DURING THE COURSE OF CONSTRUCTION, ACTUAL LOCATIONS SHALL BE INDICATED TO SCALE IN RED INK ON THE OWNERS RECORD DRAWINGS FOR ALL RUNS OF MECHANICAL AND ELECTRICAL WORK INCLUDING CONCEALED WORK WHICH DEVIATES FROM THE DRAWINGS. UPON COMPLETION OF THE PROJECT, INCLUDING ALL PUNCHLIST ITEMS, THIS INFORMATION SHALL BE NEATLY TRANSFERRED BY THE CONTRACTOR TO A SET OF DRAWINGS. WHICH SHALL BE MARKED "AS BUILT SET" AND COPIES SHALL BE PROVIDED TO BOTH ROOM NAME AND NUMBER TAG PARTITION TAG THE OWNER AND THE ARCHITECT. WITHIN THREE (3) WEEKS (15 BUSINESS DAYS) OF THE RECEIPT OF THE "AS BUILT SET." APPROVAL FOR FINAL PAYMENT TO THE CONTRACTOR SHALL BE GRANTED OR REASONABLE CAUSE SHOWN WHY SUCH APPROVAL HAS BEEN DENIED

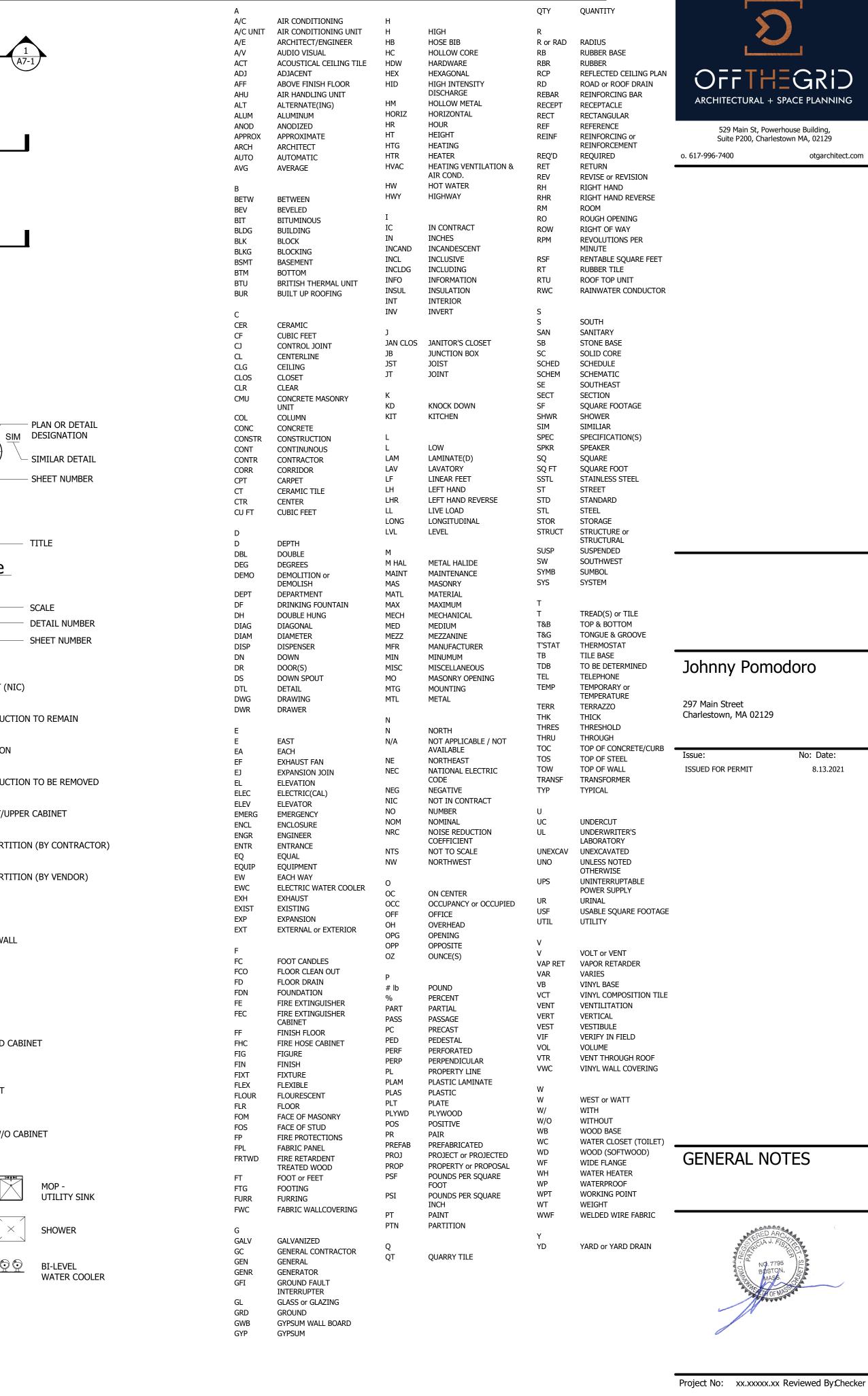
PRIOR TO THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL ASSEMBLE AND FURNISH THE CLIENT A COMPLETE SET OF MANUFACTURERS' CATALOG, OPERATING INSTRUCTIONS, START-UP AS ALL GUARANTEE(S) FOR ALL FOUIPMENT AND OPERABLE DEVICES FURNISHED OR INSTALLED BY THE CONTRACTOR UNDER THIS CONTRACT AND SHALL ORIENT AND INSTRUCT THE PERSONNEL DESIGNATED BY THE CLIENT IN THE OPERATION OF ALL SUCH EQUIPMENT.

THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER IN THE EVENT THAT MOLD OR ASBESTOS IS UNCOVERED. THE OWNER SHALL RETAIN A QUALIFIED CONSULTANT WHO SHALL ARRANGE FOR THE PROMPT IDENTIFICATION, TESTING, TREATMENT, REMEDIATION AND STORAGE OF THE MOLD OR ASBESTOS AS REQUIRED BY LAW AND GOOD CONSTRUCTION PRACTICES. THE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR WORK RELATED TO THESE MATERIALS.

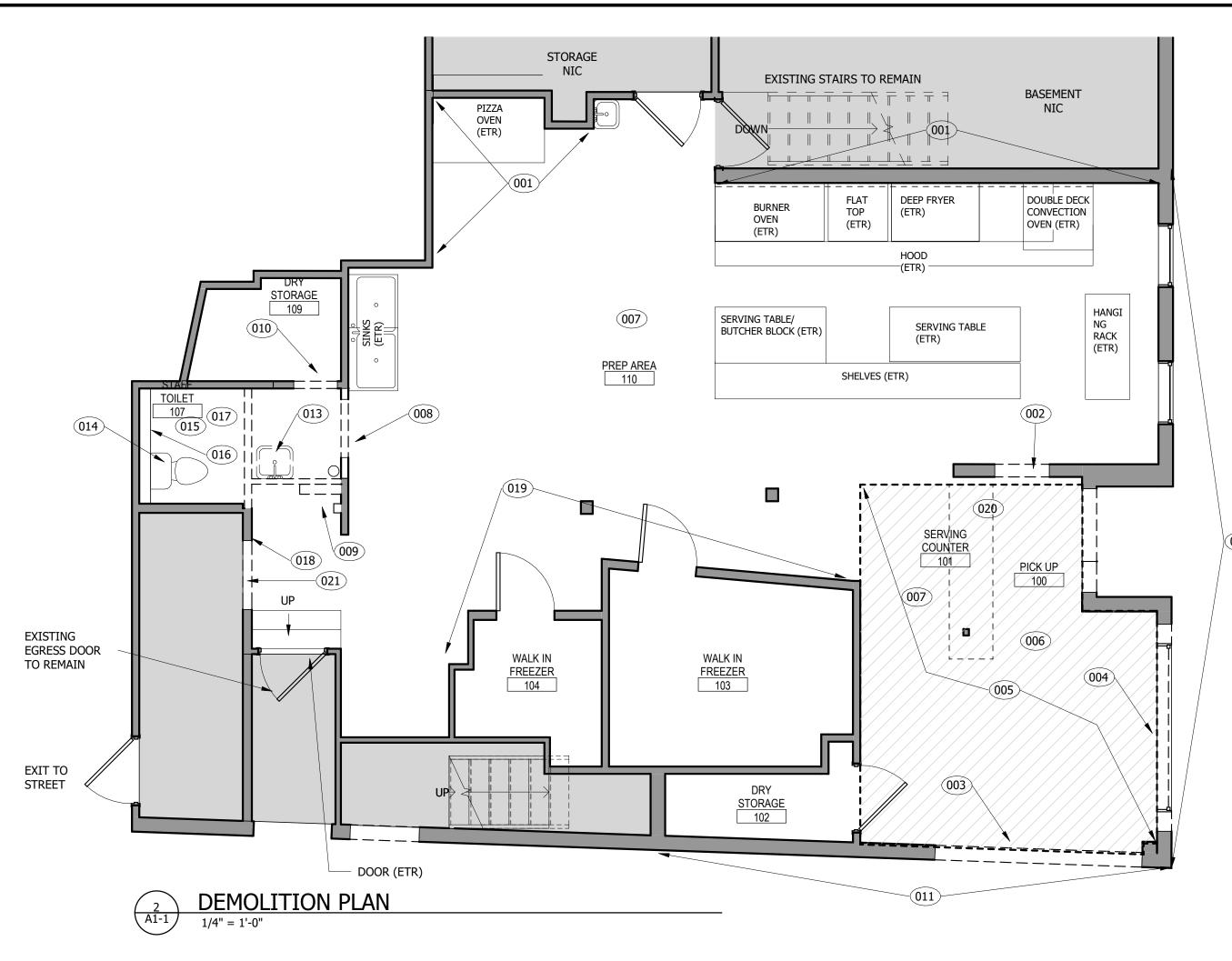
THE CONTRACTOR IS ADVISED THAT THE PREMISE HAS NOT BEEN TESTED **KEYNOTE** FOR LEAD PAINT OR OTHER POTENTIALLY HAZARDOUS MATERIALS. THE CONTRACTOR SHALL USE ALL APPROPRIATE PRECAUTIONS IN THE CARRYING OUT OF ALL CONSTRUCTION OPERATIONS WHICH MIGHT DISTURB SUCH MATERIALS.

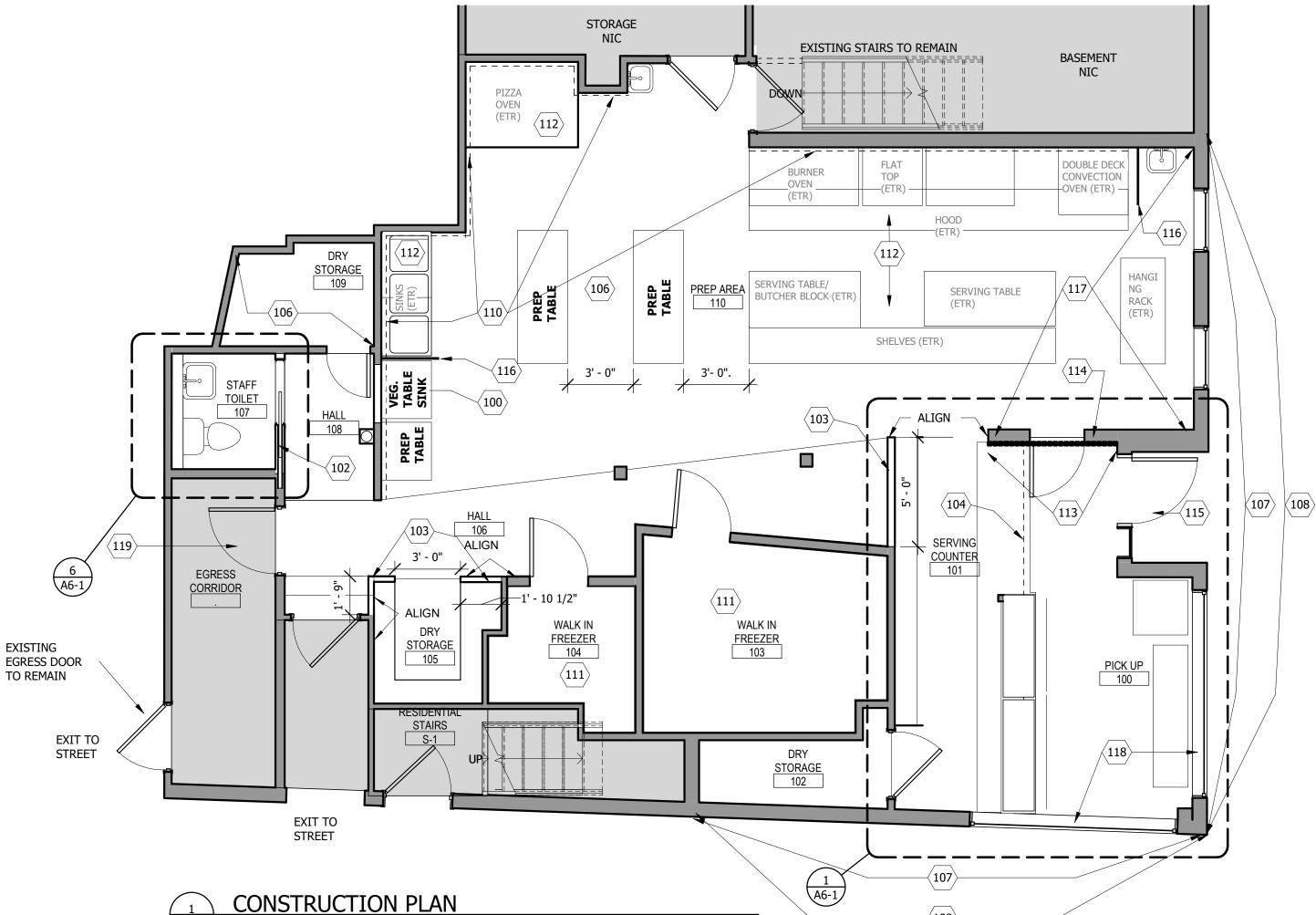
ALL CONTRACTORS SHALL CARRY PROPERTY DAMAGE AND PUBLIC LIABILITY INSURANCE AS REQUIRED BY ANY GOVERNING AGENCIES HAVING JURISDICTION AND COMPLYING WITH STATUTORY REQUIREMENTS FOR DISABILITY AND WORKMEN'S COMPENSATION.





ABBREVIATIONS





DEMOLITION PLAN LEGEND

SPACE NOT IN CONTRACT (NIC) EXISTING WALL TO BE REMOVED PATCH REMAINING WALL AT POINT OF REMOVAL EXISTING MILLWORK TO BE REMOVED EXISTING DOOR AND FRAME TO BE REMOVED EXISTING PLUMBING FIXTURES TO REMAIN EXISTING SINK TO REMAIN

AREA WHERE EXISTING FLOORING TO BE **REMOVED**

DEMOLITION PLAN KEYNOTES \bigcirc

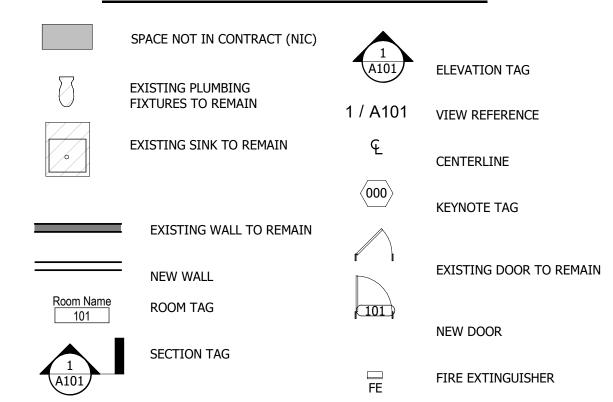
- 001 REMOVE EXISTING SS SHEETS AND DRYWALL
- 002 CREATE DOOR OPENING FOR SECRET DOOR
- 003 (POTENTIAL) CREATE OPENING FOR NEW STOREFRONT WINDOW
- 004 REPLACE EXISTING WINDOW WITH LARGE STOREFRONT WINDOW 005 REMOVE EXISTING 12"X12" FLOOR TILE
- 006 REMOVE CEILING FAN
- 007 REMOVE EXISTING CEILING IN ITS ENTIRETY
- 008 REMOVE EXISTING DOOR AND INFILL WITH NEW WALL
- 009 REMOVE STRUCTURES
- 010 RELOCATE DOOR
- 011 REMOVE EXISTING EXTERIOR SIDING
- 013 REMOVE EXISTING SINK AND ASSOCIATED PLUMBING IN IT ENTIRETY 014 REPLACE OR CLEAN EXISITNG TOILET
- 015 REPAIR DAMAGE ALL FOUR WALL AND RE-PLASTER. PREPARE SURFACE TO RECEIVE NEW PAINT
- 016 EXTEND EXISTING KNEE WALL AND PREP AREA TO RECEIVE NEW SINK
- 017 CLEAN EXISTING FLOORING AND PREP AREA TO RE-GROUTING 018 REMOVE PORTION OF DRYWALL TO PREP AREA TO RECEIVE A NEW
- 019 SCRAPED PAINT FROM EXISTING WALK IN THE FREEZER UNTIL THE EXISTING STAINLESS FINISH IS SHOWN
- 020 REMOVE EXISTING MILLWORK IN IT ENTIRETY
- 021 REMOVE EXISTING DOOR AND PREP AREA TO RECEIVE NEW DOOR.

DEMOLITION GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVAL OF EXISTING CONSTRUCTION AND THE STORAGE AND REMOVAL OF SAID CONSTRUCTION, AND SHALL MAINTAIN THE AREA OF CONSTRUCTION IN A CLEAN AND ORDERLY CONDITION WITH DAILY REMOVAL OF DEBRIS. COORDINATE REMOVALS OF OTHER TRADES.
- COORDINATE SCOPE OF DEMOLITION/REMOVAL WITH THE SCOPE OF NEW WORK. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND REPAIRING REQUIRED TO PERFORM THE WORK INDICATED ON THE
- DRAWINGS. ALL CUTTING AND REMOVALS SHALL BE DONE NEATLY. ALL ITEMS TO BE REMOVED AND SCHEDULED FOR REINSTALLATION OR TO BE RETURNED TO THE BUILDING SHALL BE PROTECTED, CLEAN AND FREE OF DEFECTS. FOR ITEMS SCHEDULED FOR REMOVAL AND REINSTALLATION, CONTRACTOR SHALL VERIFY AND DOCUMENT, IN WRITING, THE CONDITION AND FUNCTIONALITY OF THE ITEM(S) PRIOR TO REMOVAL. ANY DAMAGE
- TO ITEM(S) NOT DOCUMENTED SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL
- ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED AT NO ADDITIONAL COST TO THE OWNER. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF REMOVALS.
- ERECT AND MAINTAIN DUSTPROOF BARRIERS TO PREVENT THE SPREAD OF DUST, FUMES, SMOKE, ETC. TO OTHER PARTS OF THE FLOOR OR BUILDING. UPON COMPLETION OF WORK, REMOVE BARRIERS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT. PROTECT HVAC SYSTEM FROM DUST & DEBRIS. CONTRACTOR TO PROVIDE FILTER MEDIA TO COVER THE MAIN RETURN AIR GRILLES. PROVIDE NEW AIR FILTERS AT MECHANICAL UNITS AT THE COMPLETION OF CONSTRUCTION.
- COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION. ANNOYANCES AND DISTURBANCES TO OTHER OCCUPANTS, PERSONNEL AND EMPLOYEES SHALL BE KEPT TO THE MINIMUM NECESSARY FOR THE PERFORMANCE OF THE WORK.
- CONTRACTOR TO COORDINATE SHUTDOWN OF BUILDING SYSTEMS WITH THE BUILDING PRIOR TO IMPLEMENTATION. 10. REMOVE ABANDONED PLUMBING LINES BACK TO THE RISERS, AND CAP.
- 11. REMOVE ABANDONED WIRING BACK TO ELECTRICAL PANELS. COORDINATE REUSE OF FREED CIRCUITS. PROVIDE TEMPORARY LIGHT AND POWER DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE ELECTRICAL MAKE-SAFE DURING REMOVALS AND CONSTRUCTION.
- 12. WHERE NOTED REMOVE EXISTING FINISH MATERIALS (INCLUDING WALLCOVERING, FLOOR FINISHES, WALL BASE, ETC) THROUGHOUT, U.N.O. PREPARE SURFACES FOR NEW FINISHES.
- REMOVE DOORS, FRAMES, AND HARDWARE AS NOTED AND SAVE FOR REINSTALLATION U.N.O.
- 14. REMOVE FLOOR FINISHES AS NOTED, FLASH PATCH, MASTIC AND ADHESIVES DOWN TO THE FLOOR STRUCTURE
- 15. REMOVE ALL EXISTING MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET PAD, FLASH PATCH, ADHESIVES, CONCRETE FILL, PLYWOOD,
- 16. REMOVE EXISTING CEILING WHERE DEMOLITION AND NEW CONSTRUCTION OCCUR 17. SALVAGE FIRE ALARM DEVICES, EXIT SIGNS, LIGHTING AND HVAC DEVICES THAT ARE SCHEDULED FOR REMOVAL FOR REUSE,
- 18. REMOVE ALL EXISTING LIGHT FIXTURES AND LENSES WHERE NOTED AND STORE FOR FUTURE USE. ALL RELOCATED FIXTURES
- TO BE IN FULL OPERATING ORDER. 19. REMOVE ALL CABINETRY, SIGNAGE, CORNER GUARDS, SHELVING, EQUIPMENT, EXPOSED BLOCKING, WALL MOUNTED
- ACCESSORIES (CHALKBOARDS, WALL MOUNTED COAT HOOKS, SIGNAGE, PICTURES, ETC.) U.N.O.
- 20. PROTECT EXISTING WINDOW. CONTRACTOR TO REPLACE ANY WINDOW DAMAGED DURING DEMOLITION/CONSTRUCTION 21. NO STRUCTURAL ELEMENTS SHALL BE REMOVED.
- 22. REMOVE ALL ABANDONED TELEPHONE AND DATA CABLING.

GC NOTE: THE ROOF OVER THE RESTAURANT APPEARS TO BE A FIRE-RATED HORRIZONTAL ASSEMBLY WALL BETWEEN THE RESTAURANT AND THE RESIDENTIAL STIRS. ANY WORK DURING DEMOLITION OR CONSTRUCTION THAT DAMAGES OR PENETRATES THESE ASSEMBLIES MUST BE REPAIRED WITH FIRE CLASSIFIED MATERIAL

CONSTRUCTION PLAN LEGEND



CONSTRUCTION PLAN KEYNOTES

- 103 NEW WALL AND INSTALL OVER FIBERLIT FRP WALL PANELS WHITE FINISH
- 104 NEW GWB LOW WALL UNDER SERVING COUNTER
- 107 REMOVE EXISTING SIDING WITH NEW 1"X6" GROOVE BOARDS
- 108 (POTENTIAL) OVERHANG AWNING
- 110 INSTALL NEW 5/8" TYPE X GWB THEN COVER WITH QUILTED / DIAMOND 430 STAINLESS STEEL SHEET WALL COVERING WHERE DASHED LINE INDICATE. PROVIDE 2 LAYERS TYPE X GWB AT FIRE RATED WALL SEPARATING R & B USE
- 111 CLEAN INSIDE FREEZER AND REPLACE LIGHTHING IF NECESSARY 112 THE EXISTING STAINLESS EQUIPMENT TO REMAIN NEEDS TO BE CLEANED
- 113 VERTICAL SLAT WOOD WALL.
- 117 INSTALL FIBERLIT FRP WALL PANELS WHITE FINISH
- 118 PROVIDE LINTEL SUPPORT ABOVE NEW OPENING.

- 100 INFILL NEW WALL
- 102 INSTALL NEW 36" POCKET DOOR
- 106 PATCH DRYWALL AND PAINT THROUGHOUT
- AND POLISHED TO ITS ORIGINAL STAGE
- 114 NEW 36" DOOR.
- 115 NEW 36" RIGHT STOREFRONT DOOR AND FRAME WITH PIVOT JAMB SIDELITE
- 119 NEW 36 INCH MTL DOOR WITH ALARMED PANIC BAR EXIT DEVICE
- 116 INSTALL LEFT HAND STAINLESS STEEL HAND SINK SPLASH

CONSTRUCTION GENERAL NOTES

- 1. CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT, U.N.O. ALL DIMENSIONS ARE TO FINISH CONSTRUCTION, U.N.O. DIMENSIONS NOTED "HOLD" MUST BE ACCURATELY MAINTAINED, AND SHALL NOT VARY MORE THAN ± 1/8" WITHOUT WRITTEN INSTRUCTION FROM ARCHITECT. "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE. DIMENSIONS NOTED "CLEAR" ARE MINIMUM DIMENSIONS WHICH MUST BE MAINTAINED WITHOUT EXCEPTION. DIMENSIONS MARKED \pm MEAN A VARIANCE NOT GREATER THAN 1 INCH, VERIFY DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT. ALL DIMENSIONS TO THE EXTERIOR WINDOW WALL ARE TO THE FINISH FACE OF WALL BELOW SILL, U.N.O.
- 4. ALL EXISTING FLOORS, PARTITIONS, DEMISING WALLS, AND CORRIDOR WALLS TO REMAIN ARE TO BE PATCHED AND
- REPAIRED TO MATCH ADJACENT SURFACES. PARTITION DEPTH AT FIRE EXTINGUISHER CABINET LOCATIONS SHALL ACCOMMODATE FULL CONCEALMENT OF RECESSED
- CABINETS AS SPECIFIED BY THE MANUFACTURER. WHERE NEW PARTITIONS ABUT EXISTING SURFACES, REMOVE EXISTING CORNER BEAD AND PROVIDE SMOOTH FINISH AT
- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PROVIDE LEVEL 4 FINISH, U.N.O. - REFER TO MATERIAL SCHEDULE & FINISH PLAN FOR MATERIALS & LOCATIONS THAT REQUIRE A LEVEL 5 FINISH, U.N.O.
- 8. ALL EXPOSED GYPSUM BOARD EDGES TO HAVE VINYL OF METAL EDGE TRIM.
- REFER TO THE PARTITION TYPES FOR PARTITION THICKNESS.

CAULK AT PERIMETER AND SEAL AT ALL PENETRATIONS.

CLOSET, WET COLUMNS, WATER-RESISTANT, ETC)

- 10. ARCHITECT SHALL REVIEW ON SITE THE PARTITION LAYOUT PRIOR TO PARTITION INSTALLATION. CONSTRUCTION OF FIRE-RATED PARTITIONS, INCLUDING TAPING AND FINISHING OF GYPSUM WALLBOARD FOR FULL HEIGHT
- TO STRUCTURE ABOVE, SHALL BE IN ACCORDANCE WITH UL SPECIFICATIONS TO ACHIEVE RATING INDICATED. ACOUSTICAL (SOUND-ISOLATION) PARTITIONS SHALL BE SEALED FOR FULL HEIGHT TO PREVENT PASSAGE OF AIRBORNE SOUND. TAPE AND FINISH ALL GYPSUM WALLBOARD JOINTS AND FASTENERS (INCLUDING ABOVE SUSPENDED CEILING).
- 13. WHERE PARTITIONS EXTEND ONLY TO UNDERSIDE OF SUSPENDED CEILING, SECURE THE TOP TRACK TO THE EXPOSED CEILING GRID. PROVIDE A COMPRESSIBLE GASKET BETWEEN THE TOP TRACK AND THE CEILING GRID. PROVIDE TAPABLE METAL J-BEAD AT TOP OF GYPSUM WALLBOARD, WITH NO JOINTS VARYING MORE THAN 1/8" OVER 6'-0" AND NO JOINTS GREATER THAN 3/16", U.N.O. CAULK PERIMETER AT TOP OF GWB.
- 14. PROVIDE GROUNDS AND BLOCKING IN METAL STUD WALL FRAMING FOR SUPPORT OF CASEWORK, SHELF-STANDARDS, A/V DEVICES, FURNITURE, ETC. ALL CONCEALED LUMBER AND BLOCKING TO BE FIRE TREATED. COORDINATE BLOCKING REQUIREMENTS WITH FURNITURE & AV INSTALLERS. WHERE BLOCKING OR ADDITIONAL STUDS ARE REQUIRED AT EXISTING PARTITIONS, THEY ARE TO BE PATCHED AND REPAIRED. SEE CONSTRUCTION PLANS FOR WALL-MOUNTED MARKERBOARD, MONITORS & PROJECTION SCREENS; PROVIDE BLOCKING PER MANUFACTURERS' REQUIREMENTS.
- ALL HINGED DOORS TO BE 4" FROM NEAREST PERPENDICULAR PARTITION, U.N.O. DIMENSIONS LOCATING DOORS ARE TO THE INSIDE EDGE OF JAMB. ALL DOORS SHALL HAVE 1'-6" CLEAR ON THE STRIKE/PULL SIDE OF DOOR AND 1'-0 CLEAR ON THE STRIKE/PUSH SIDE (IF THEY HAVE BOTH A LATCH AND A CLOSER) VERIFY AND ADVISE ARCHITECT OF EXCEPTIONS PRIOR TO CLOSING OUT PARTITIONS.
- 16. THE CONTRACTOR SHALL ESTABLISH A SINGLE FLOOR ELEVATION THAT IS TO BE USED TO SET THE TOP OF ALL DOORS SUCH THAT THE TOP OF ALL DOORS OF THE SAME HEIGHT WILL ALIGN REGARDLESS OF VARIATIONS IN THE FLOOR SLAB OR FINISHED FLOOR THICKNESS. 17. PROVIDE DOUBLE STUDS AT DOOR JAMBS. INSTALL ADDITIONAL STUDS IN EXISTING PARTITIONS AT NEW DOOR OPENINGS
- IN ORDER TO PROVIDE DOUBLE STUDS AT JAMBS. METAL STUDS AT PARTITIONS TO RECEIVE CERAMIC TILE ARE TO BE 20 GAGE (MINIMUM) @ 16" O.C. (MAXIMUM). REFER TO
- THE FINISH PLANS FOR TILE LOCATIONS.
- PROVIDE DIAGONAL STUD BRACING TO SLAB ABOVE @ 48" O.C. AT DROP ARCHES/BULKHEADS. 20. GYPSUM WALLBOARD AT BOTH SIDES OF ALL PARTITIONS WITH PLUMBING ROUGH-IN (E.G.BATHROOMS, PANTRY, JANITOR'S
- GYPSUM WALLBOARD TO BE INSTALLED WITH NO HORIZONTAL JOINTS BETWEEN THE FLOOR AND SUSPENDED CEILING.
- PROVIDE VERTICAL CONTROL JOINTS 30' O.C. MAX. IN ALL GWB PARTITIONS LONGER THAN 30'. WHEN POSSIBLE CONTROL JOINTS SHOULD BE LOCATED ABOVE THE CORNER OF A DOOR.



CONSTRUCTION PLAN

DEMO &

ARCHITECTURAL + SPACE PLANNING

529 Main St, Powerhouse Building,

Suite P200, Charlestown MA, 02129

Johnny Pomodoro

8.13.2021

297 Main Street

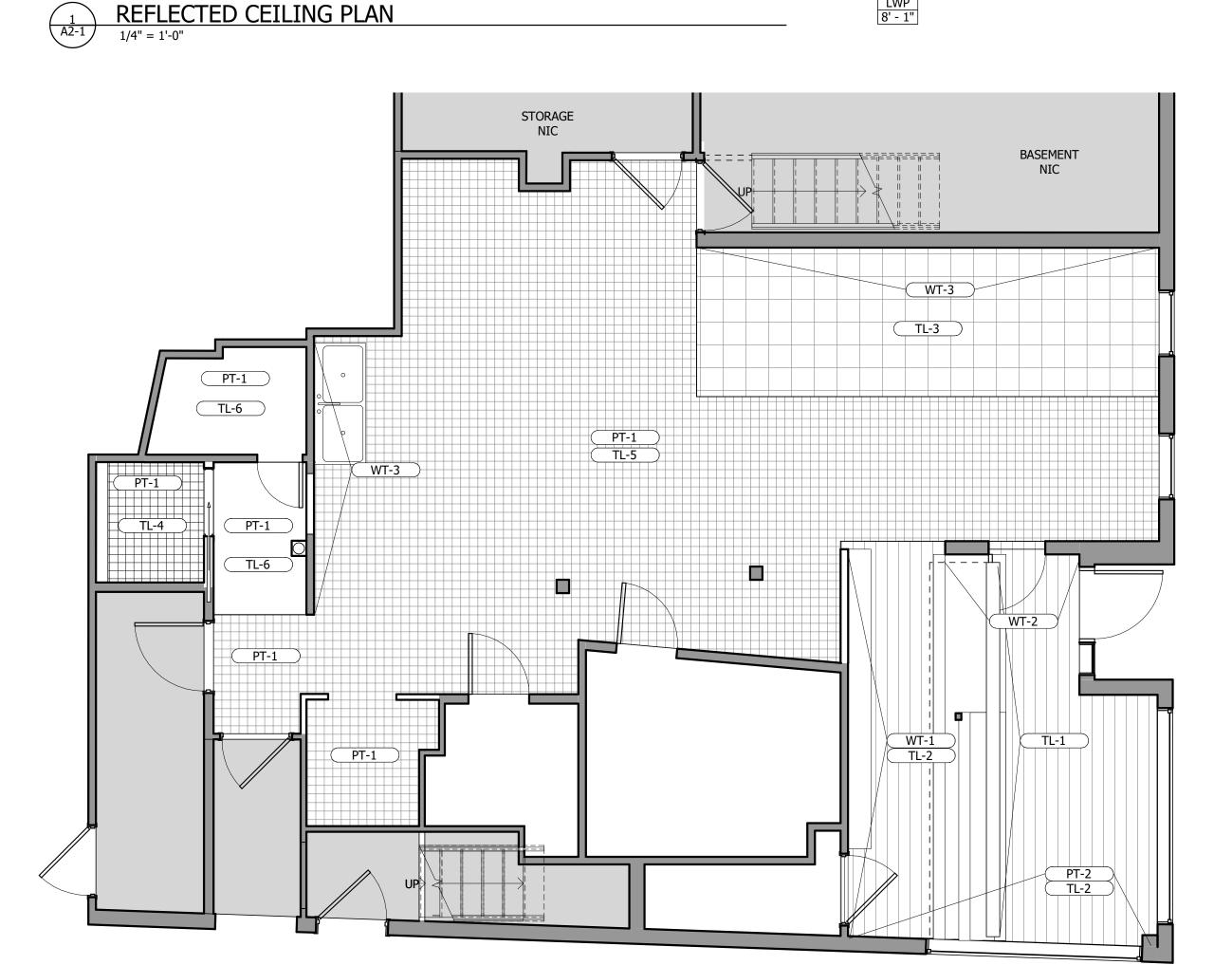
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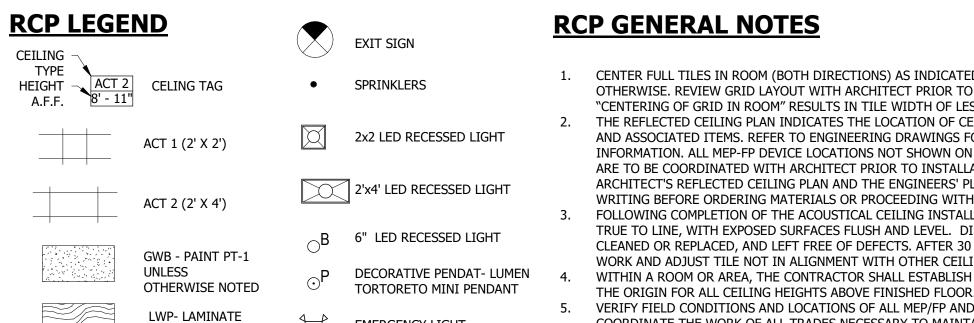
Charlestown, MA 02129

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Project No: xx.xxxxx.xx Reviewed ByChecker





EMERGENCY LIGHT

SWITCH LOCATION

FINISH PLAN LEGEND

WOOD PANEL- NEW

AGE OAK

HEIGHT

DRYWALL AND PANEL ADHESIVES

STRUCTURAL GLAZING ADHESIVES

POROUS MATERIAL (EXCEPT WOOD)

SINGLE-PLY ROOF MEMBRANE

ARCHITECTURAL, NONPOROUS

EFFECT ON OCTOBER 19, 2000.

GENERAL PURPOSE MIST SPRAY:

GENERAL PURPOSE WEB SPRAY:

AEROSOL ADHESIVES

ARCHITECTURAL, POROUS

COVE BASE ADHESIVES

TOP AND TRIM ADHESIVE

METAL TO METAL

ARCHITECTURAL

PLASTIC FOAMS

ROADWAY

FIBERGLASS

WOOD

OTHER

NONMEMBRANE ROOF

SEALANT PRIMERS

STRUCTURAL WOOD MEMBER ADHESIVE

SHEET APPLIED RUBBER LINING OPERATIONS 850

MULTIPURPOSE CONSTRUCTION ADHESIVES 70

250

100

300

250

450

420

775

750

VOC LIMIT

VOC LIMIT (G/L LESS WATER)

65% VOCS BY WEIGHT

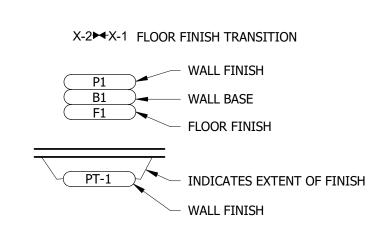
55% VOCS BY WEIGHT

SUBSTRATE SPECIFIC APPLICATIONS VOC LIMIT (G/L LESS WATER)

AEROSOL ADHESIVES: AEROSOL ADHESIVES MUST COMPLY WITH GREEN

SEAL STANDARD FOR COMMERCIAL ADHESIVES GS-36 REQUIREMENTS IN

SPECIAL PURPOSE AEROSOL ADHESIVES (ALL TYPES): 70% VOCS BY WEIGHT



RCP GENERAL NOTES

- CENTER FULL TILES IN ROOM (BOTH DIRECTIONS) AS INDICATED ON DRAWING. UNLESS DIMENSIONED OR NOTED OTHERWISE. REVIEW GRID LAYOUT WITH ARCHITECT PRIOR TO PROCEEDING WHEN "START OF TILE-LOCATIONS OR "CENTERING OF GRID IN ROOM" RESULTS IN TILE WIDTH OF LESS THAN 4".
- THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING HEIGHTS, LIGHT FIXTURES, SWITCH LOCATIONS, AND ASSOCIATED ITEMS. REFER TO ENGINEERING DRAWINGS FOR CIRCUITING, WIRING LAYOUT, AND ADDITIONAL INFORMATION. ALL MEP-FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS, OR IN CONFLICT WITH MEP/FP DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION. IN THE EVENT OF DISCREPANCIES BETWEEN THE ARCHITECT'S REFLECTED CEILING PLAN AND THE ENGINEERS' PLANS, IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING BEFORE ORDERING MATERIALS OR PROCEEDING WITH THE WORK.
- FOLLOWING COMPLETION OF THE ACOUSTICAL CEILING INSTALLATION, ALL JOINTS AND GRID SHALL BE STRAIGHT TRUE TO LINE, WITH EXPOSED SURFACES FLUSH AND LEVEL. DIRTY OR DISCOLORED SURFACES OF TILE ARE TO BE CLEANED OR REPLACED, AND LEFT FREE OF DEFECTS. AFTER 30 DAYS FROM SUBSTANTIAL COMPLETION, INSPECT THE WORK AND ADJUST TILE NOT IN ALIGNMENT WITH OTHER CEILING TILES AND REPLACE MISSING OR DAMAGED UNITS WITHIN A ROOM OR AREA, THE CONTRACTOR SHALL ESTABLISH A SINGLE FLOOR ELEVATION THAT IS TO BE USED AS
- VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL MEP/FP AND STRUCTURAL ELEMENTS. CONTRACTOR TO COORDINATE THE WORK OF ALL TRADES NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED. INSTALL DUCTWORK TIGHT TO UNDERSIDE OF BEAMS. WITH A SMALL SPACE TO AVOID VIBRATION. INSTALLATION AND/OR ALTERATION OF DUCTWORK, PIPING OR OTHER EQUIPMENT THAT WILL REQUIRE FASCIAS, SOFFITS AND OTHER TRANSITIONS IN CEILING HEIGHT SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO PROCEEDING. CONTRACTOR TO PROVIDE COMPLETE COORDINATION DRAWINGS FOR THE ARCHITECT AND ENGINEER'S REVIEW.
- MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER WITHIN ONE COVER PLATE U.N.O. LIGHT FIXTURES, REGISTERS, SPEAKERS, RECESSED FIXTURES AND SIMILAR CEILING ELEMENTS, AND LIFE-SAFETY DEVICES SHALL BE LOCATED IN THE CENTER OF CEILING TILE IN BOTH DIRECTIONS AND SHALL ALIGN WITH ADJACENT
- FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM, LAMPS, AND SEISMIC BRACING.
- INSTALL LIGHT FIXTURES WITH PROTECTIVE FILM OR SIMILAR COVER OVER LOUVER, LENS, BAFFLE, AND EXPOSED SURFACES, TO AVOID FIXTURE SOILING OR DAMAGE DURING CONSTRUCTION. FIXTURES SHALL BE MAINTAINED CLEAN
- 10. PROVIDE BLOCKING ABOVE CEILING REQUIRED FOR ALL CEILING MOUNTED EQUIPMENT. PROVIDE ADDITIONAL SUPPORT FOR LIGHT FIXTURES AS RECOMMENDED BY FIXTURE MANUFACTURER.
- CONTRACTOR TO VERIFY ALL PENDANT FIXTURE HEIGHTS WITH ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL REPLACE DAMAGE CEILINGS TILES.
- COORDINATE SCHEDULING OF WORK WITH DATA/TELEPHONE INSTALLER. INSTALL CEILING TILES AFTER FINISH PAINTING TO MINIMIZE VOC ABSORPTION INTO THE CELING TILES. INSTALL CEILING TILES AFTER DATA/TELEPHONE CABLES HAVE BEEN INSTALLED.
- 14. CEILING GRID AND TILE SHALL MATCH 15. PAINT ALL EXPOSED DUCTWORK, PIPING AND ELECTRICAL CONDUIT, U.N.O.
- PAINT ALL EXPOSED UNDERSIDE OF CONCRETE SLABS, U.N.O.
- 17. SWITCHES AND PLATES SHALL MATCH EXISTING
- 18. REPAIR AND/OR REPLACE COMPONENTS NECCESSARY TO INSURE ALL EXISTING AND OR RELOCATED LIGHT FIXTURES
- ARE FUNCTIONING, INCLUDING BUT NOT LIMITED TO LAMPS, BALLASTS, AND LENSES.
- 19. RELAMP ALL EXISTING AND RELOCATED FIXTURES TO REMAIN. 20. ALL LAMP COLOR TEMPERATURES TO BE CONSISTENT

FINISH GENERAL NOTES

SEALANTS	VOC LIMIT (G/L LESS WATER)		
INDOOR CARPET ADHESIVES	50	1.	ALL FINISH SELECTIONS IDENTIFIED IN LEGENDS, SCHEDULES, AND SPECIFICATIONS ARE NOT SUBJECT TO 'OR EQUAL' SUBSTITUTIONS
PVC WELDING	510		U.N.O. THE CONTRACTOR AND SUBCONTRACTORS SHALL SUBMIT PRODUCTS AND FINISHES AS INDICATED IN THE DOCUMENTS.
CARPET PAD ADHESIVES	50	2.	NOTIFY ARCHITECT OF SCHEDULED FINISHES THAT ARE UNAVAILABLE OR DISCONTINUED AT THE EARLIEST OPPORTUNITY SUCH THAT A
CPVC WELDING	490		SUBSTITUTION CAN BE SELECTED WITHOUT JEOPARDIZING THE CONSTRUCTION SCHEDULE.
WOOD FLOORING ADHESIVES	100	3.	REFER TO THE MATERIAL SCHEDULE FOR MANUFACTURER, PRODUCT/STYLE NAME, COLOR SPECIFICATION.
ABS WELDING	325	4.	INSTALL ALL FINISH MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, SURFACE PREPARATION,
RUBBER FLOOR ADHESIVES	60		ADHESIVES AND BACKINGS: INCLUDING WALLCOVERINGS, COATINGS, FLOORING MATERIALS, LAMINATES, ETC.
PLASTIC CEMENT WELDING	250	5.	THE CONTRACTOR SHALL REPAIR ALL ROUGH FLOOR SLAB UNEVENNESS SUITABLE FOR PROPER FLOOR COVERING INSTALLATION.
SUBFLOOR ADHESIVES	50	6.	FLOOR MATERIAL TRANSITIONS AT DOOR OPENINGS ARE TO BE CENTERED BELOW THE DOOR IN THE CLOSED POSITION, U.N.O.
ADHESIVE PRIMER FOR PLASTIC	550	7.	THE PAINTING SUBCONTRACTOR SHALL ENSURE THAT ALL PAINTS COMPLY WITH THE MUNICIPAL & STATE CODES AND BUILDING
CERAMIC TILE ADHESIVES	65		REGULATIONS FOR LOW VOC EMISSIONS.
CONTACT ADHESIVE	80	8.	ELECTRICAL SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, ETC. SHALL BE INSTALLED AFTER PAINTING AND/OR APPLICATION
VCT AND ASPHALT ADHESIVES	50		OF WALL COVERINGS AND SPECIFIED CARPET.
SPECIAL PURPOSE CONTACT ADHES	IVE 250	9.	STAINED AND PAINTED SURFACES SHALL BE FINISHED SUCH THAT JOINTS/IMPERFECTIONS ARE NOT VISIBLE.
		10	CONTRACTOR SHALL MOTIEV ARCHITECT IMMEDIATELY OF ANY DISCREDANCIES IN THE FIFLD. GC TO GET CLARIFICATION FROM ARCHITECT

- 10. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE FIELD. GC TO GET CLARIFICATION FROM ARCHITECT BEFORE CONTINUING WITH ANY WORK.
- 11. PROVIDE METAL TRANSITION STRIPS AT ALL FLOORING MATERIAL CHANGES, U.N.O. TRANSISTION STRIPS AS SCHEDULED. REFER TO PLAN FOR DETAIL LOCATIONS.
- 12. HARD FLOORING GROUT IS TO BE SEALED WITH MANUFACTURER'S RECOMMENDED SEALERS. 13. VINYL BASE SHALL BE COVE BASE AT NOTED LOCATIONS
- 14. BASE SHALL RUN CONTINUOUSLY AND FULLY SURROUND CABINET BASES ON ALL EXPOSED SIDES.
- 15. REFER TO DOOR SCHEDULE FOR PAINT COLOR SPECIFICATIONS.
- 16. PAINT UNDERSIDE BUTTOM DECK AND EXPOSED PIPES, CONDUITS AND MECH EQUIPMENT AS NOTED UNDERSIDE OF SOFFITS (WHERE OCCURS) TO BE PAINTED TO RECEIVE FINISH AS NOTED
- 18. FINISH FLOORING TO EXTEND FROM WALL TO WALL INCLUDING UNDER CABINETS AND UNDERCABINET EOUIPMENT.
- 19. ALL INTERIOR WALL & CEILING FINISHES AND TRIM OF PUBLIC AREAS TO COMPLY WITH CLASS A MATERIAL CLASSIFICATION; FLAME SPREAD RATING 0 TO 25, SMOKE DEVELOPED 200. ALL INTERIOR WALL AND CEILING FINISHES AND TRIM IN NON PUBLIC AREAS TO COMPLY WITHCLASS B MATERIAL CLASSIFICATION; FLAME SPREAD RATING 26-75, SMOKE DEVELOPED 450. 20. ALL PAINTED SURFACES ARE TO RECEIVE A PRIME COAT AND A MINIMUM OF TWO COATS FINAL COLOR, U.N.O.
- 21. ALL PAINTED DOORS AND DOOR FRAMES SHALL BE PAINTED WITH AN ALKYD BASED SEMI-GLOSS FINISH U.N.O.
- 22. GYPSUM BOARD CEILINGS SCHEDULED TO RECEIVE PAINT SHALL HAVE A FLAT FINISH, U.N.O.
- 23. PROVIDE ARCHITECT WITH A MINIMUM OF (3) 8" X 10" BRUSH-OUTS OF EACH COLOR AND FINISH FOR ARCHITECT'S APPROVAL PRIOR TO APPLICATION, ON-SITE APPLICATION WILL BE REQUIRED FOR FINAL APPROVAL. ARCHITECT RESERVES THE RIGHT TO ADJUST ANY
- COLOR/FINISH ONCE THE WALL TEST HAS BEEN MADE. 24. PRIOR TO THE INSTALLATION OF ANY CARPET MATERIAL, PROVIDE TO THE ARCHITECT, FOR APPROVAL, A SEAMING DIAGRAM ILLUSTRATING THE DIRECTION OF THE CARPET AND THE SEAM LOCATIONS, IN EACH CORRIDOR LAY CARPET IN THE SAME DIRECTION AS THE CORRIDOR LENGTH (NOT WIDTH) STARTING AT ONE END AND CONTINUING DOWN THE FULL LENGTH OF THE CORRIDOR WITH THE ROLL GOODS, AT INTERSECTING CORRIDORS INSTALL CARPET PERPENDICULAR (1/4 TURN) TO EACH OTHER U.N.O.
- 25. ALL PLASTIC LAMINATE MILLWORK CABINET INTERIORS TO BE WHITE MELAMINE, U.N.O. ARCHITECTURAL ADHESIVES, SEALANTS AND SEALANT PRIMERS MUST COMPLY WITH SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE #1168. VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN THE TABLE BELOW CORRESPOND TO RULE AMENDMENT DATE OF JANUARY 7, 2005.
- 27. PAINTS AND COATINGS: APPLIED TO INTERIOR WALLS AND CEILINGS MUST NOT EXCEED THE VOLATILE ORGANIC COMPOUND (VOC) CONTENT LIMITS ESTABLISHED IN GREEN SEAL STANDARD GS-11, PAINTS, 1ST EDITION, MAY 20, 1993.
- 28. ANTI-CORROSIVE AND ANTI-RUST PAINTS: APPLIED TO INTERIOR FERROUS METAL SUBSTRATES MUST NOT EXCEED THE VOC CONTENT
- LIMIT OF 250 G/L ESTABLISHED IN GREEN SEAL STANDARD GC-03, ANTI-CORROSIVE PAINTS, 2ND EDITION, JANUARY 7, 1997. CLEAR WOOD FINISHES, FLOOR COATINGS, STAINS, PRIMERS, SEALERS, AND SHELLACS: APPLIED TO INTERIOR ELEMENTS MUST NOT EXCEED THE VOC CONTENT LIMITS ESTABLISHED FOR THOSE COATING TYPES IN SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE 1113, ARCHITECTURAL COATINGS, AMENDED FEBRUARY 5, 2016.

FINISH	MANUFACTURE					
LABEL	R	STYLE	COLOR	REMARKS	CONTACT	NOTES
XISTING	FLOOR					
TL-3		EXISTING 12X12 CERAMIC TILE	TBD			
ΓL-4		EXISTING CHECKERED FLOORING	ETR			CLEAN AND REGROUT TO MATCH EXISTING
ΓL-5		EXISTING 6X6 QUARRY TILE	TBD			
TL-6		EXISTING CONCRETE	TBD			
-1 00D -1	_					
FLOOR TIL	<u>.</u> E	CEDANIC TUE	CLATE CDAY			TNICTALL FLOOR THESE TURNIOUT FRONT STORE
ΓL-2		CERAMIC TILE	SLATE GRAY			INSTALL FLOOR TILES THRUOUT FRONT STORE
METAL WA	.1.1					
WT-3		QUILTED / DIAMOND 430 STAINLESS STEEL SHEET	STAINLESS STEEL SHEET	WALL COVERING		
WALL PAIN	NT		l===			
PT-1	•	GENERAL PAINT	TBD			
PT-2		ACCENT PAINT	TBD			
Wall Pani	FI					
WT-1		LAMINATE WOOD PANEL	NEW AGE OAK			LAMINATE PANEL TO GO ON WALL AND CELING. INSTALL THAT GRAIN CONTINUE
WT-2		VERTICAL WOOD SLATS	TBD			
WALL TILE						
TL-1		BLACK AND WHITE CERAMIC TILE				INSTALL TILE BELOW WALL SERVING COUNTER



529 Main St, Powerhouse Building, Suite P200, Charlestown MA, 02129

o. 617-996-7400

otgarchitect.com

REFLECTED CEILING & FINISH PLAN

Johnny Pomodoro

8.13.2021

297 Main Street

ISSUED FOR PERMIT

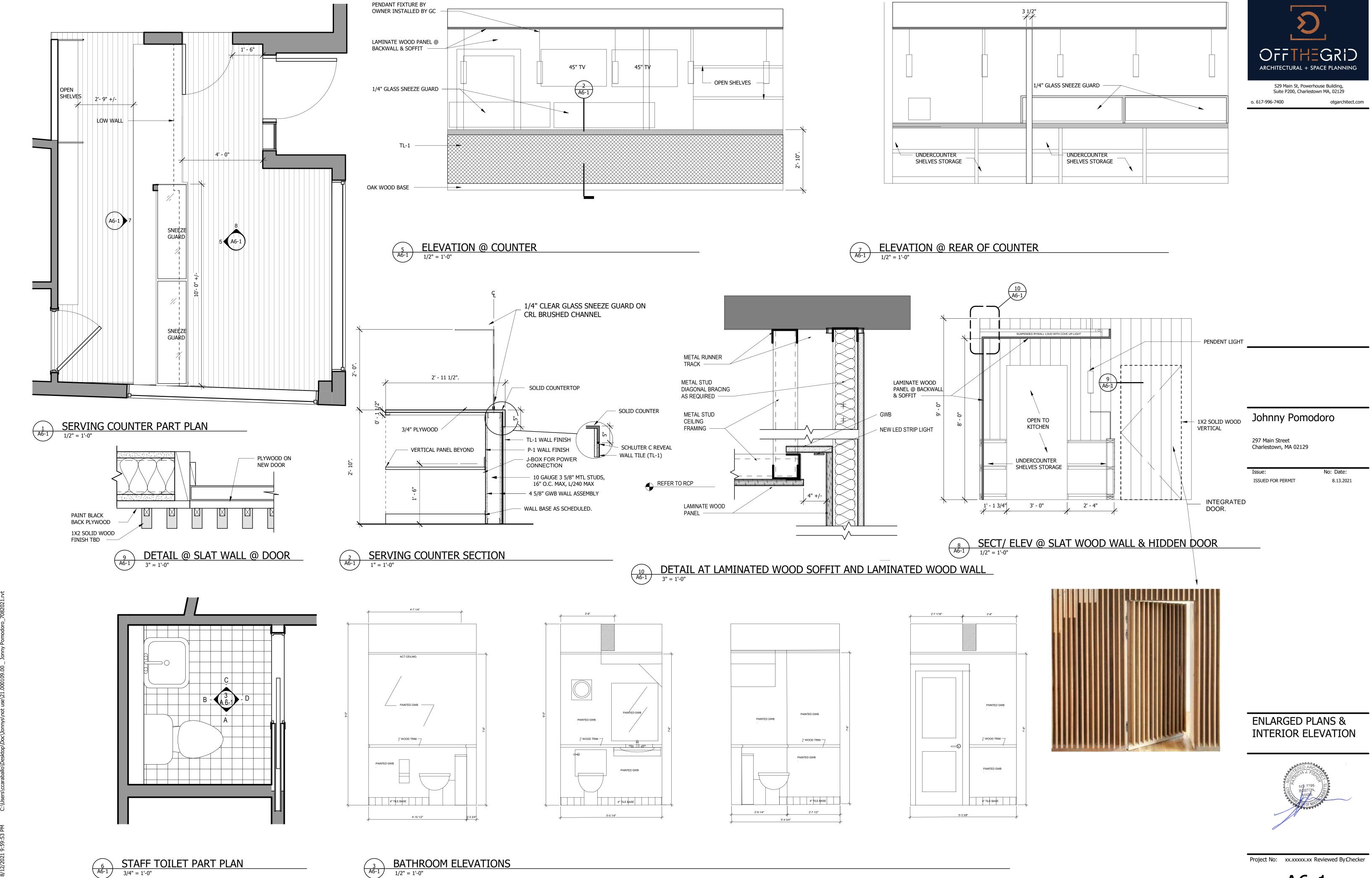
Charlestown, MA 02129



Project No: xx.xxxxx.xx Reviewed ByChecker

A2-1

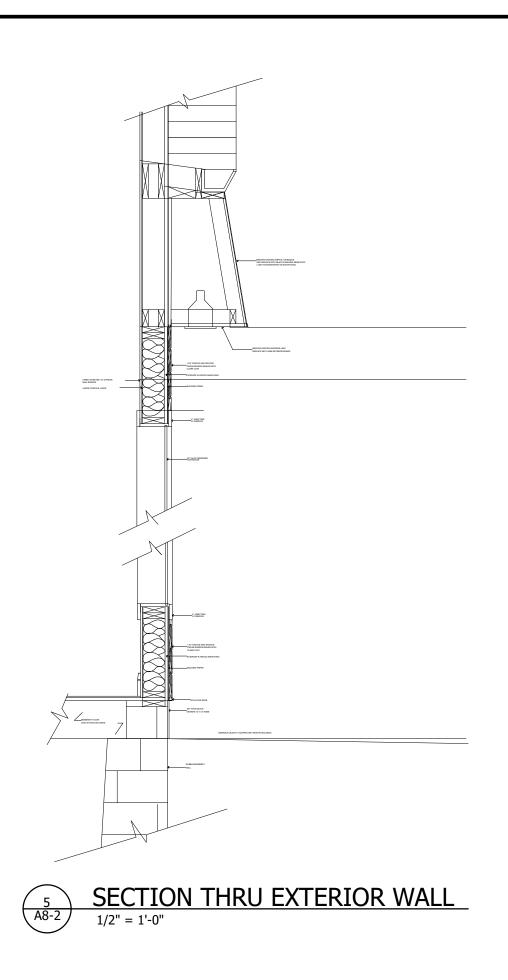
FINISH PLAN



Project No: xx.xxxxx.xx Reviewed By:Checker









Johnny Pomodoro

297 Main Street Charlestown, MA 02129

ISSUED FOR PERMIT

Issue: No: Date:

8.13.2021

EXTERIOR ELEVATION



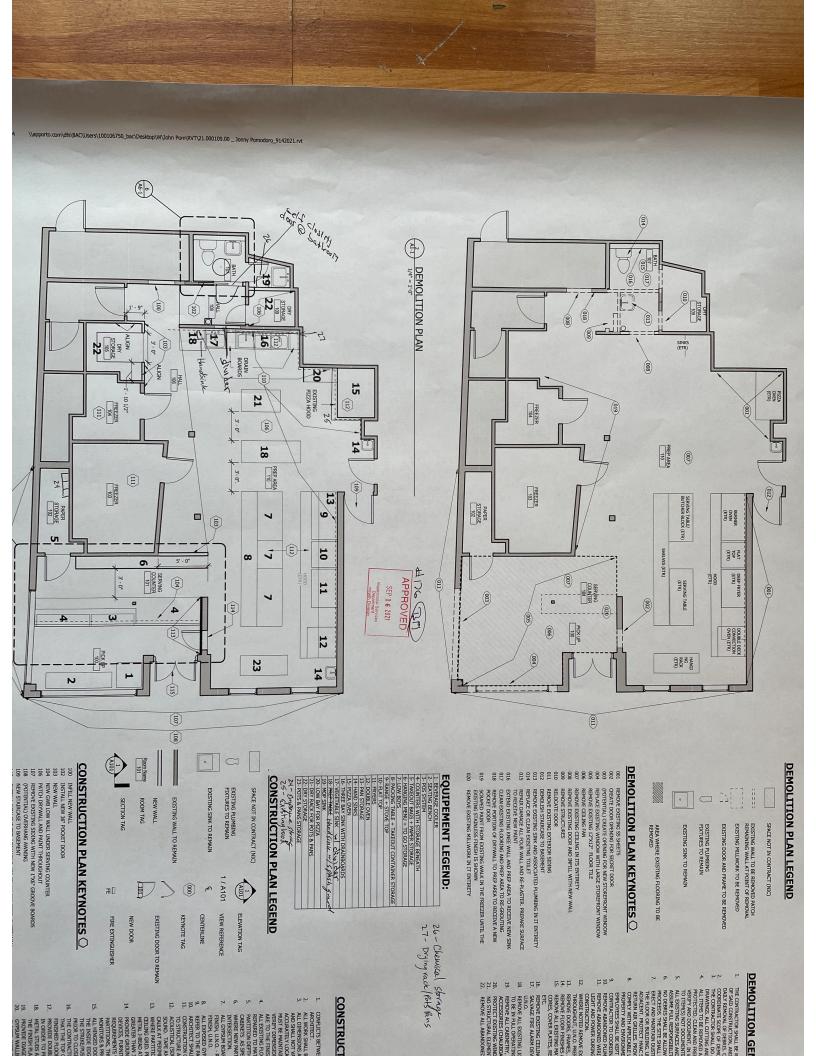
297 Main Street Key Plan: Charlestown, MA 02129

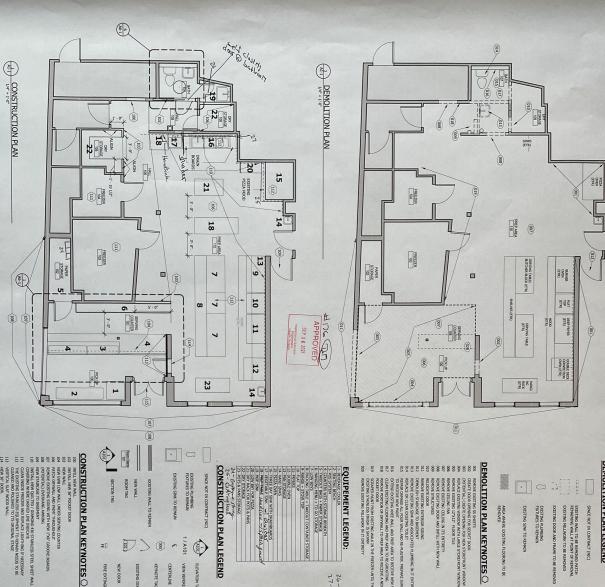
4' 8' 16' NORTH

Project No: xx.xxxxx.xx Reviewed ByChecker

A8-2







DEMOLITION PLAN LEGEND

EXISTING WALL TO BE REMOVED PATCH REMAINING WALL AT POINT OF REMOVAL EXISTING MILLWORK TO BE REMOVED SPACE NOT IN CONTRACT (NIC) ISTING DOOR AND FRAME TO BE REMO

DEMOLITION GENERAL NOTES

EXISTING SINK TO REMAIN EXISTING PLUMBING FIXTURES TO REMAIN

AREA WHERE EXISTING FLOORING TO BE REMOVED

DEMOLITION PLAN KEYNOTES

EQUIPEMENT LEGEND:

26-Chemical Strage 27- Drying race / Pots Pans

Johnny Pomodoro

ING TABLE + TAKEOUT CONTAINER STOR E + STOVE TOP TERS WITH STORAGE BENEATH OUT BAGS + PAPER STORAGE ING MENU + TO GO STORAGE

EUSTING KOTEKOR SIDING

H STANCAGE TO INGENERIT

BUSTING SINK AND ASSOCIATED PLUMBING IN IT ENTIRETY

OR CLEAN EXISTING TOILET

OR CLEAN EXISTING TOILET

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CONSTRUCTION GENERAL NOTES

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BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PROVIDE LEVEL 4 O. - REFER TO MATERIAL SCHEDULE & FINISH PLAN FOR MATERIALS & LOCATIONS THAT REQUIRE A LEVEL S

EXISTING SINK TO REMAIN

SPACE NOT IN CONTRACT (NIC)

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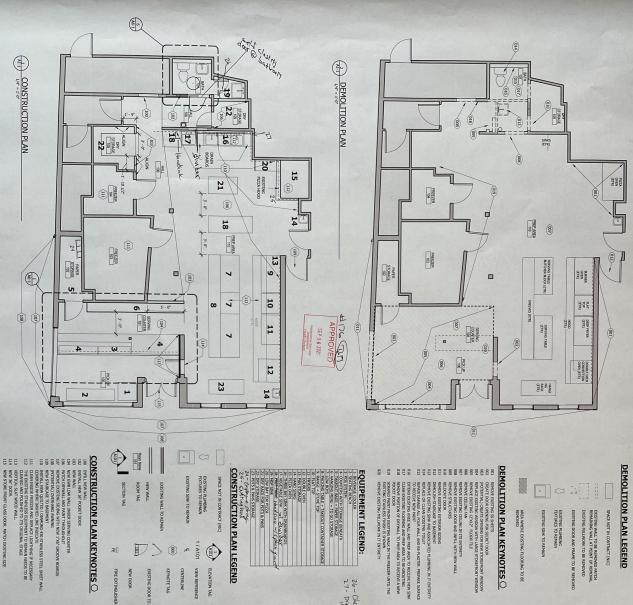
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PARTITIONS TO RECEIVE CERAMIC TILE ARE TO BE <u>20.6468</u> (MINIMAM) @ 16° O.C. (MAXIMAM), REFER TO.

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DEMO & CONSTRUCTION PLAN

A1-1



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S WITH STORAGE BENEATH BAGS + PAPER STORAGE MENU + TO GO STORAGE

26-Chemical strage 27- Drying race/lots Rus

Johnny Pomodoro

DEMOLITION PLAN LEGEND

EXISTING MILLWORK TO BE REMOVED EXISTING WALL TO BE REMOVED PATCH REMAINING WALL AT POINT OF REMOVAL SPACE NOT IN CONTRACT (NIC)

DEMOLITION GENERAL NOTES

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TING DOOR AND FRAME TO BE REMOVED

DEMOLITION PLAN KEYNOTES

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AND DAMAGE ALI TOLE WALL AND REPASTER. PREPASE SURFACE

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ONE PORTION OF DRYWALL TO PREP AREA TO RECEIVE A NEW

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AREA WHERE EXISTING FLOORING TO BE REMOVED

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CONSTRUCTION GENERAL NOTES

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ROOM TAG

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NEW QUILTED / DIAMOND 430 STAINLESS STEEL SHEET WALL

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DEMO & CONSTRUCTION PLAN

A1-1

Torres Construction

6 Nielson Avenue

Everett, MA 02149

Project Name: 297 Main Street, Charlestown, MA

- Remove tiles from façade. Prep for new siding
- Remove front door. Make way for new 36 x 84 doors with two side glass
- Remove front floor tiles by the front to make way for counters
- Remove and make way for 2 new 6 x 8 glass windows. One in front and one on the side.
- Build wood frame awing on new side windows to match front window
- Replace grease trap
- Add 1 hand sink and 1 veggie sink
- Remove old stove and make way for new stove
- Change lights on prep area
- Add receptacles
- Add new exit signs
- Remove and replace stainless steel back splash
- Frame new dry storage closet
- demo small wall to make way for bathroom hallway
- Paint and clean

CONSTRUCTION BID FORM

Torres Construction

******************	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,			
OWNER INFORMA	TION	CONTRACTOR INFO	RMATION		
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Name	Johnny Burke	Company	Torres Construction		
Address	297 Main Street	Name	Heriberto Torres		
City, State ZIP	Charlestown MA	Address	6 Nielson Avenue		
Phone	774 270-0448	City, State ZIP	Everett, MA 02149		
Email	johnny@johnnyburkecatering.com	Phone	774-225-1242		
		Email	torreshconstruction@gmail.com		
Project name	21015	CSL#	94978		
OOODE OF WORK		HIC#	180414		
SCOPE OF WORK					
To restore an exist 8/13/2021	ing restaurant space according to the archite	ectural plans of Off The	Grid Architects provided for permit on		
NOTINGILIDED					
MOLINGTORER					
Any work not mention on the scope of work above will be billed at cost plus 20%.					
COMPANY PROPO	SAL		Land C France		
We, Torres Constru	uction, propose the above scope of work to	be completed by	mit issue for the amount of		
\$217,646.00 with payments to be 25% of total payment as deposit, 25% of total payment when work has progress, 25%					
when work is rough	n and 25% of total payment when work is co	mpleted.	. /		
14/	4-6		S/19/2031		
Submitted by (Company Representative) Date					
<i>5</i>					
OWNER ACCEPTA	NGE				
I, Johnny Burke do accept the above scope of work, proposed to be completed by for the amount of					
\$217,646.00 with payments to be 25% of total payment as deposit, 25% of total payment when work has progress, 25% of total payment when work is completed.					
A L					
1 (71 1 1)			Olio la l		



MATTOCKS-HIGGINS AFFIDAVIT OF WORKPLACE SAFETY

do hereby declare the following to be true and courate to the best of my knowledge.					
I. Occupational Safety and Health Administration (OSHA) has not issued / nas issued any notice or violation against my company, as a sole proprietorship, limited partnership, and/or limited liability partnership/corporation, and/or any affiliated business or subsidiary of which I am an owner, manager, officer and/or director in the last five (5) years.					
If you selected "has issued", please disclose the following information:					
Company Date of Violation Total Fines, if any Check if: Serious Willful Repeat Failure to Abate Named violation:					
Company Date of Violation Total Fines, if any Check if:SeriousWillfulRepeatFailure to Abate Named violation:					
**Attach additional pages if necessary If any violations are categorized as Willful or Repeat, affidavit must be accompanied by a copy of the Site					
Safety Plan for the project seeking permit.					
II. Is the company currently on the OSHA Severe Violator Enforcement Program (SVEP) Log? — Yes No Companies in the SVEP are not eligible to receive a permit from the City of Boston					
III. Company's Experience Modification Rating: \(\sum_{\infty} \operatorum_{\infty} \) Available from the MA Workers Compensation Rating and Inspection Bureau					
The Licensed Contractor must disclose any subcontractor's OSHA violation history or SVEP designation to the permit reviewing department.					
Signed under penalties of perjury: 1/34/2021 Herbark Bores Construction Date Name Company					

The Permit Reviewing Authority, or designee, shall have the discretion to issue a stop work order for any open permits and/or deny the issuance of a permit due to failure to disclose any and all OSHA violations or demonstrated history of unsafe, hazardous or dangerous practices.



The Commonwealth of Massachusetts Department of Industrial Accidents Office of Investigations Lafayette City Center 2 Avenue de Lafayette, Boston, MA 02111-1750

www.mass.gov/dia

Workers' Compensation Insurance Affidavit: Builders/Contractors/Electricians/Plumbers
Applicant Information Please Print Legibly

Name (Business/Organization/Individual): Tomes Construction
Address: 6 Nielson Aue
City/State/Zip: Derect MA 01149 Phone #: 774-225-1242
1. I am a employer with 4. I am a general contractor and I employees (full and/or part-time).* have hired the sub-contractors 2. I am a sole proprietor or partner-ship and have no employees Type of project (required): 6. New construction 7. Remodeling
[No workers' comp. insurance required.] 3. I am a homeowner doing all work myself. [No workers' comp. insurance required.] † 5. We are a corporation and its officers have exercised their right of exemption per MGL insurance required.] † 6. Building addition 10. Electrical repairs or additions 11. Plumbing repairs or additions 12. Roof repairs 13. Other Comment of the properties of
Homeowners who submit this affidavit indicating they are doing all work and then hire outside contractors must submit a new affidavit indicating such. Contractors that check this box must attached an additional sheet showing the name of the sub-contractors must submit a new affidavit indicating such employees. If the sub-contractors have employees, they must provide their workers' come and state whether or not those entities have
I am an employer that is providing workers' compensation insurance for my employees. Below is the policy and job site
Insurance Company Name:
Policy # or Self-ins. Lic. #:
Job Site Address: Expiration Date:
Attach a copy of the workers' compensation policy declaration page (showing the policy number and expiration date). Failure to secure coverage as required under Section 25A of MGL c. 152 can lead to the imposition of criminal penalties of a of up to \$1,500.00 and/or one-year imprisonment, as well as civil penalties in the form of a STOP WORK ORDER and a fine Investigations of the DIA for insurance coverage verification.
do hereby certify under the pains and penalties of perjury that the information provided above is true and correct.
Date: 4/30/2021
Phone #: 1774-225-1242
Official use only. Do not write in this area, to be completed by city or town official.
City or Town: Permit/License # Issuing Authority (circle one): 1. Board of Health 2. Building Department 3. City/Town Clerk 4. Electrical Inspector 5. Plumbing Inspector 6. Other
Contact Person: Phone #:

Office of Consumer Affairs and Business Regulation Home Improvement Contractor Registration 1000 Washington Street - Suite 710 Boston, Massachusetts 02118

EVERETT, MA 02149 6 NIELSON AVE. HERIBERTO TORRES D/B/A TORRES CONSTRUCTION

Individual

Registration:

Expiration:

11/11/2022

Update Address and Return Card.

Office of Consumer Affairs & Business Regulation HOME IMPROVEMENT CONTRACTOR

TYPE: Individual

Expiration

Registration 180414 11/11/2022

ERIBERTO TORRES

/B/A TORRES CONSTRUCTION

Edward a. / allarch Undersecretary

NIELSON AVE. **ERIBERTO TORRES**

VERETT, MA 02149

Office of Consumer Affairs and Business Regulation before the expiration date. If found return to: Registration valid for individual use only Boston, MA 02118/ 1000 Washington Street - Suite 710

Not valid without signature



Commonwealth of Massachusetts Division of Professional Licensure Board of Building Regulations and Standards Construction Supervisor

CS-094978

HERIBERTO FORRES HEXPIRES: 07/12/2022
HERIBERTO FORRES HEXPIRES

44 KINGCREST TERRACE
RANDOLPH MA 02368

Commissioner Jaga R. Windia

Construction Supervisor
Unrestricted - Buildings of any use group which contain
less than 35,000 cubic feet (991 cubic meters) of enclosed
space.

Failure to possess a current edition of the Massachusetts State Building Code is cause for revocation of this license. For information about this license Call (617) 727-3200 or visit www.mass.gov/dpl