



Boston Inspectional Services Department

Planning and Zoning Division

1010 Massachusetts Avenue, 5th Floor, Boston, MA 02118 Telephone: (617) 635-5300

Michelle Wu
Mayor

MORE INFORMATION REQUEST LETTER

Marc Joseph
Inspector of Buildings

December 13, 2021

HERIBERTO TORRES
6 NIELSON AVE
EVERETT, MA 02149

RE: Application #: **ALT1250074**
Location: 287 Main ST, Ward 02
Zoning District: Charlestown Neighborhood, NS
Purpose: Clean up, update electrical, update plumbing, install two 6 feet by 8 feet windows, install one front door, replace front wall tiles with wood planks, install tiles on front area, build awning above new side window, observe details from architectural plans attached to application.

The following information shall be provided to Inspectional Services Department to complete the Building Permit Plan Review:

1. **Construction Documents (two sets and to scale):**
 - Structural, Mechanical, Plumbing, Electrical, Fire Alarm and Fire Protection Plans
2. **Supporting Documents:**
 - Fire Alarm/Sprinkler Narrative Report
 - Hydraulic Calculation Report
3. **City Agencies' Approvals:**
 - Boston Planning and Development Agency: Two Sets of Approved Drawings: Exterior façade design-NDOD

All construction documents shall be organized in two sets, submitted together (no partial information will be accepted), and dropped off at Inspectional Services Department with the above referenced application number or re-uploaded on the portal if it is an ePlan application. More information may be required. Please be advised that the time limitation of your application shall be 180 days, otherwise it shall be deemed abandoned per 780 CMR. Thank you for your assistance.

Johnny Pomodoro

297 Main Street
Charlestown, MA 02129



000s_Sheet List			
SHEET NUMBER	SHEET NAME	6/10/2021 ISSUED FOR BID	8/13/2021 ISSUED FOR PERMIT
01-GENERAL			
AN-0	COVER SHEET	•	•
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A6-1	ENLARGED PLANS & INTERIOR ELEVATION	•	•
A8-2	EXTERIOR ELEVATION	•	•

Building Code Summary

- Project Description:** Refurbished of existing first floor commercial space to contain a take out style restaurant serving Italian style food. This restaurant will be take out only, there will be no tables or chairs for dining in. Space was previously used as a take out style restaurant for Chinese food.
 - Building Code:** Massachusetts State Building Code, 9th Edition: International Building Code, 2015 with Massachusetts Amendments, International Existing Building Code, 2015 with Massachusetts Amendments, 521 CMR Architectural Access Board Regulations, and 248 CMR 10.0: Uniform State Plumbing Code
 - Building Description:** Existing three story wood frame mixed use building, built in 1899, on a full basement containing commercial space on the first floor and dwelling units above, with a flat roof. Building contains approximately 5,460 square feet of space.
 - Project Description:** Refurbished of existing first floor commercial space to contain a take out style restaurant serving Italian style food. This restaurant will be take out only, there will be no tables or chairs for dining in. Space was previously used as a take out style restaurant for Chinese food.
 - Building Height and Number of Stories:** Three story building approximately 35' high
 - Work Area:** Alterations Level 2. Work area is less than 50% of existing building.
 - Accessibility Upgrades:** Project cost does not meet threshold per 521 CMR to require upgrades to entire building. Building value \$950,000.00. Construction cost less than \$100,000.00
- Architectural Access Board Rules and Regulations:
Per 521 CMR, Section 3.3 EXISTING BUILDINGS: All additions to, reconstruction, remodeling, and alterations or repairs of existing public buildings or facilities, which require a building permit or which are so defined by a state or local inspector, shall be governed by all applicable subsections in 521 CMR 3.00: JURISDICTION.*
- 3.3.1** If the work being performed amounts to less than 30% of the full and fair cash value of the building and a. if the work costs less than \$100,000, then only the work being performed is required to comply with 521 CMR
- Use Group:**
 - Basement – Use Group: S – Storage of non-combustibles
 - First Floor – Use Group: B – Restaurant < 2,000 sf and < 50 occupants
 - Second Floor – Use Group R-2 – Dwelling Units
 - Third Floor – Use Group R-2 – Dwelling Units
 - Construction Type:** Wood Frame Building – Probably Type VB
 - Tenant Area Tabulations:** 800 square feet
 - Occupancy:** 6
 - Fire Alarm System:** per City of Boston Fire Department and Massachusetts State Code
 - Automatic Sprinkler System:** No. Provide Ansul system to meet current codes
 - Number of Exits:** Only one exit required: 100' travel distance allowed < 29 occupants for one exit
Two Exits provided
 - Egress Widths:** Doors: 0.2" per occupant 36" provided
 - Fire Rated Separations:**
 - Tables 601 and 602: Type VB Construction: 0 hour rating except Exterior Bearing Walls < 10' FSD
 - Section 707.3.9 and Table 707.3.10 Fire Barrier Separating mixed occupancies – R and B = 2 hour fire rating
 - Section 713.4 and 1023.1 Fire Barrier Enclosing Interior Exit Stair = 2 hour fire rating
 - Section 711 Horizontal Assembly Separating mixed occupancies – R and B = 2 hour rating
 - Section 711.2.3 Supporting Construction of Horizontal Assembly = 2 hour rating
 - Table 705.8 Unlimited openings on first floor fronting on street
 - Plumbing Code:**
 - Commercial Space:
 - Required:** One toilet room. Less than 2,000 SF Less than 20 occupants. One slop sink per floor
 - Provided:** Employee only toilet room – not open to public
 - One toilet room containing a toilet and lavatory
 - One slop sink
 - Toilet room will be designated "Gender Neutral Single User" toilet room.
 - Kitchen fixtures per City of Boston Board of Health

Johnny Pomodoro

297 Main Street
Charlestown, MA 02129

Issue: ISSUED FOR PERMIT No: 8.13.2021 Date:

COVER SHEET



Project No: xx.xxxxxx Reviewed By: Checker

AN-0

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GENERAL NOTES

- THE WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODE AND OTHER ORDINANCES, CODES AND REGULATIONS LISTED IN THE SPECIFICATIONS OR ON THE DRAWINGS, AND REQUIRED BY LOCAL BUILDING AUTHORITIES. THE GOVERNING CODES, RULES AND REGULATIONS ARE COLLECTIVELY REFERRED TO AS "THE CODE." THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES, CONFLICTS OR OMISSIONS DISCOVERED TO THE ARCHITECT FOR INTERPRETATION PRIOR TO PERFORMING THE WORK.
- THE GENERAL CONTRACTOR SHALL CONTACT BUILDING MANAGEMENT TO DETERMINE THE RULES OF THE BUILDING RELATIVE TO CONSTRUCTION, WHEN AND HOW DELAY PHASES CAN BE MADE, TYPES OF CONSTRUCTION MAY BE DONE ON REGULAR OR OVERTIME BASIS, AND IN GENERAL ANY SPECIAL BUILDING REQUIREMENTS WHICH WILL AFFECT THE COST OF ALL WORK BORNE BY THE GENERAL CONTRACTOR. ALL WORK SHALL CONFORM TO ALL BASE BUILDING STANDARD SPECIFICATIONS AND BUILDING REGULATIONS, WHICH THE CONTRACTOR SHALL OBTAIN PRIOR TO SUBMISSION OF BID.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUB-CONTRACTORS' RECEIPT OF COMPLETE SETS OF THESE DOCUMENTS, AS WELL AS ALL FUTURE ADDENDA, BULLETINS, FIELD DIRECTIVES AND CHANGE ORDERS.
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- THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING MANAGEMENT THE STORAGE OF MATERIALS AND SHALL PROVIDE PROTECTION AS NECESSARY TO PREVENT VANDALISM AND LOSS OF MATERIALS BY THEFT OR DAMAGE TO MATERIALS DUE TO EXPOSURE TO WEATHER. THE CONTRACTOR SHALL MAINTAIN ENVIRONMENTAL CONDITIONS AND WILL REPAIR OR REPLACE DAMAGE OR LOSSES AT THE CONTRACTOR'S EXPENSE WITHOUT CHARGE TO THE OWNER.
- WHERE ADJACENT AREAS BEYOND THE IMMEDIATE CONSTRUCTION AREA WILL BE OCCUPIED DURING THE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL:
 - CONFORM TO OWNERS AND TENANT REQUIREMENTS FOR HOURS OF CONSTRUCTION OPERATIONS, ACCESS TO TENANT SPACES AND ALLOWABLE NOISE LEVEL DURING TENANT BUSINESS HOURS
 - CONSTRUCTION OPERATIONS SHALL NOT BLOCK HALLWAYS OR ACCESSIBLE ROUTES OR MEANS OF EGRESS FOR TENANTS OF BUILDING.
 - CONSTRUCTION OPERATIONS SHALL NOT CAUSE INTERRUPTIONS OF ELECTRICAL SERVICES TO THE TENANTS OF THE BUILDING WITHOUT PRIOR NOTIFICATION AND APPROVAL. PROPERLY PROTECT ALL FLOORS, WALL CHUTES AND STAIR DOORS IN PUBLIC AREAS SUBJECT TO CONSTRUCTION TRAFFIC. SHOE WIPING MATS WILL BE INSTALLED AT ALL OPENINGS BETWEEN CONSTRUCTION AREAS AND ALL PUBLIC SPACES. ALL ACTIVE AREAS SHALL BE KEPT CLEAN AND FREE FROM DEBRIS.
 - ERECT AND MAINTAIN TEMPORARY BRACING, LIGHTS, DUSTPROOF PARTITIONS, BARRICADES, FENCES AND WARNING SIGNS AS NECESSARY TO PREVENT INJURY, NOISE, DUST AND INCONVENIENCE TO OTHER TENANTS, THE PUBLIC, AND TO PREVENT DAMAGE TO ADJACENT CONSTRUCTION WHICH IS TO BE LEFT IN PLACE.
 - CONTRACTOR SHALL FOLLOW THE RECOMMENDED CONTROL MEASURES OF THE SHEET METAL AND AIR CONDITIONING NATIONAL CONTRACTORS ASSOCIATION (SMACNA) TAG GUIDELINES FOR OCCUPIED BUILDINGS UNDER CONSTRUCTION, 2ND EDITION 2007, ANS/SMACNA 008-2008 (CHAPTER 3). PROTECT STORED ON-SITE AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE.
 - IF PERMANENTLY INSTALLED AIR HANDLERS ARE USED DURING CONSTRUCTION, FILTRATION MEDIA WITH A MINIMUM EFFICIENCY RATING (MERV 8) MUST BE USED AT EACH RETURN AIR GRILLE.
- ALL CUTTING, CHASING, DRILLING OR DEMOLITION OF WALLS, SLABS, ETC. REQUIRING THE USE OF JACKHAMMERS OR OTHER HEAVY HAND OR POWER TOOLS SHALL BE PERFORMED AFTER REGULAR BUSINESS HOURS ON AN OVERTIME BASIS IF NECESSARY, UNLESS THE BUILDING MANAGEMENT AND ANY AFFECTED TENANTS PROVIDE A WRITTEN WAIVER EXPRESSLY PERMITTING OTHERWISE.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION, AS NECESSARY AND REQUIRED BY GOVERNING AGENCIES HAVING JURISDICTION, UNTIL CLIENT ACCEPTANCE OF THE PREMISES.
- THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROVISION AND MAINTENANCE OF ALL BRACING, SHORING, ENCLOSURES, BARRIERS OR SCAFFOLDING REQUIRED TO PROVIDE A SAFE WORKING ENVIRONMENT AS DICTATED BY SITE CONDITIONS AND THE PROGRESS OF WORK.
- DURING THE ENTIRE CONSTRUCTION PERIOD, ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS SHALL BE CONTINUOUSLY MAINTAINED IN CONFORMANCE WITH LOCAL BUILDING CODE AND OTHER GOVERNING ENTITY REQUIREMENTS. UNO, ALL EXISTING SERVICES AND DEVICES SHALL REMAIN ACTIVE.
- THE CONTRACTOR SHALL PROTECT THE PROPERTY OF THE CLIENT AND THE BUILDING OWNER. INCLUDING, BUT IS NOT LIMITED TO, WINDOWS, FLOOR AND CEILING FINISHES, PUBLIC TOILETS, ELEVATORS, DOORS & BUCKS, ELECTRICAL AND AIR-CONDITIONING EQUIPMENT. THE CONTRACTOR SHALL PROTECT ADJOINING PROPERTY. DAMAGE CAUSED BY THE CONTRACTOR'S WORK OR WORKMEN MUST BE MADE GOOD, IN A TIMELY FASHION. PATCHING AND REPLACEMENT OF DAMAGED WORK SHALL BE PERFORMED AT THE COST OF THE CONTRACTOR. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL SUB-CONTRACTORS. IF THE CONTRACTOR FAILS TO COMPLETE THE REPAIRS IN A TIMELY FASHION, SAID REPAIRS WILL BE MADE BY A CONTRACTOR SELECTED BY THE OWNER'S REPRESENTATIVE AND BACK CHARGED ACCORDINGLY.
- THE CONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS THE LANDLORD, THE TENANT, AND ARCHITECT AGAINST ANY AND ALL CLAIMS AND DEMANDS FOR THE DAMAGE TO THE PROPERTY OF ANY PERSON, FIRM OR INDIVIDUAL OR FOR PERSONAL INJURIES (INCLUDING DEATH) ARISING OUT OF, OR SUFFERED WHILE ENGAGED IN, OR CAUSED, IN WHOLE OR IN PART, BY THE EXECUTION OF THE WORK; THE CONTRACTOR SHALL WELL AND TRULY DEFEND THE LANDLORD, TENANT AND ARCHITECT AND SHALL PAY ALL MONIES AWARDED FOR SUCH DAMAGES OR INJURIES (INCLUDING DEATH), ALL COSTS INCLUDING ATTORNEY'S FEES SUSTAINED, AND SHALL OBTAIN A FULL ACQUITTANCE AND RELEASE IN FAVOR OF THE LANDLORD, TENANT AND ARCHITECT, UNLESS SUCH LIABILITY RESULTS SOLELY FROM THE NEGLIGENCE OF THE LANDLORD, TENANT, ARCHITECT, ITS AGENTS OR EMPLOYEES.
- THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE PERFORMANCE OF ANY WORK, NOR FOR THE MEANS AND METHODS OF CONSTRUCTION CHOSEN BY THE CONTRACTOR OR ANY SUB-CONTRACTORS, NOR SHALL THE ARCHITECT GUARANTEE THE PERFORMANCE OF THEIR CONTRACTS.
- THE CONTRACTOR SHALL PERFORM DAILY CLEANING OF THE JOB SITE DURING THE CONSTRUCTION PERIOD AND SHALL PROTECT FINISHED WORK FROM DAMAGE. IMMEDIATELY PRIOR TO TENANT OCCUPANCY, THE CONTRACTOR SHALL PERFORM FINAL CLEANING OF THE WORK AREA INCLUDING, BUT NOT LIMITED TO, WET WIPING OF FURNITURE, AND CASEWORK, WASHING AND WAXING OF FLOORING, AND VACUUMING OF CARPET. ALL CLEANING SHALL BE IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL SUB-CONTRACTORS AND SHALL PERFORM SUCH MISCELLANEOUS WORK AS MAY BE NECESSARY FOR THEM TO COMPLETE THEIR WORK. IT IS EXPECTED THAT THE CONTRACTOR SHALL ALSO CLOSELY COORDINATE THE WORK WITH THAT OF ALL OTHER VENDORS RETAINED BY THE CLIENT TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT WORK PROCEEDS WITHOUT DELAY.

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GENERAL SYMBOLS AND LEGENDS

SHEET NUMBER

BUILDING SECTION TAG

WALL SECTION TAG

DETAIL SECTION TAG

EXTERIOR ELEVATION TAG

PARTIAL PLAN & DETAIL TAG

DRAWING TITLE

VIEW NAME

ROOM NAME AND NUMBER TAG

FURNITURE TAG

EQUIPMENT TAG

KEYNOTE

ALIGNMENT

OBJECT STATE

E	EXISTING TO REMAIN
N	NEW
R	RELOCATED
X	EXISTING TO BE REMOVED

DOORS

GRAPHIC SCALE

INTERIOR ELEVATION TAG

DATUM POINT

SPOT ELEVATION

BREAK LINE

LEADERS

PARTITION TAG

WINDOW TYPE TAG

DRAWING REVISIONS

WALL TYPE LEGEND

(Solid line)	NOT IN CONTRACT (NIC)
(Dashed line)	EXISTING CONSTRUCTION TO REMAIN
(Double line)	NEW CONSTRUCTION
(Dashed double line)	EXISTING CONSTRUCTION TO BE REMOVED
(Dotted line)	OVERHEAD SOFFIT/UPPER CABINET
(Line with diagonal hatching)	DEMOUNTABLE PARTITION (BY CONTRACTOR)
(Line with horizontal hatching)	DEMOUNTABLE PARTITION (BY VENDOR)
(Line with vertical hatching)	GLAZING
(Line with diagonal hatching)	PARTIAL HEIGHT WALL
(Line with diagonal hatching)	RAISED FLOORING

FIRE EXTINGUISHER

(FEC)	SURFACE MOUNTED CABINET
(FEC)	RECESSED CABINET
(FE)	WALL MOUNTED W/O CABINET

PLUMBING FIXTURES

(Toilet symbol)	TOILET	(Mop sink symbol)	MOP - UTILITY SINK
(Urinal symbol)	URINAL	(Shower symbol)	SHOWER
(Sink symbol)	SINK - COUNTER MOUNTED	(Bi-level water cooler symbol)	BI-LEVEL WATER COOLER
(Sink symbol)	SINK - WALL MOUNTED	(Toilet partition symbol)	TOILET PARTITION

ABBREVIATIONS

A/C	AIR CONDITIONING	H	HIGH	QTY	QUANTITY
A/C UNIT	AIR CONDITIONING UNIT	HB	HIGH BIB	R	RADIUS
A/E	ARCHITECT/ENGINEER	HC	HOLLOW CORE	RBR	RUBBER BASE
A/V	AUDIO VISUAL	HD	HARDWARE	RBR	RUBBER
ACT	ACOUSTICAL CEILING TILE	HDX	HEXAGONAL	RCP	REFLECTED CEILING PLAN
ADJ	ADJACENT	HED	HIGH INTENSITY DISCHARGE	RD	ROAD or ROOF DRAIN
AFF	ARCH FINISH FLOOR	HET	HIGH INTENSITY DISCHARGE	REBAR	REINFORCING BAR
AHU	AIR HANDLING UNIT	HM	HOLLOW METAL	RECT	RECTANGULAR
ALM	ALTERNATING	HORIZ	HORIZONTAL	REF	REFERENCE
ALU	ALUMINUM	HR	HOUR	REIN	REINFORCING or REINFORCEMENT
ANOD	ANODIZED	HTG	HEIGHT	REQD	REQUIRED
APPROX	APPROXIMATE	HTR	HEATER	RET	RETURN
ARCH	ARCHITECT	HVAC	HEATING VENTILATION & AIR COND.	REV	REVISE or REVISION
AUTO	AUTOMATIC	HW	HOT WATER	RH	RIGHT HAND
AVG	AVERAGE	HWY	HIGHWAY	RHR	RIGHT HAND REVERSE
B	BETWEEN	I	IN CONTRACT	RM	ROOM
BETW	BETWEEN	IC	IN CONTRACT	ROU	ROUGH OPENING
BEV	BEVELED	IN	INCHES	ROW	RIGHT OF WAY
BIT	BITUMINOUS	INCD	INCANDESCENT	RPV	REVOLUTIONS PER MINUTE
BLDG	BUILDING	INCL	INCLUSIVE	RSF	RENTABLE SQUARE FEET
BLKG	BLOCKING	INCLDG	INCLUDING	RT	RUBBER TILE
BSMT	BASEMENT	INSUL	INSULATION	RTU	ROOF TOP UNIT
BTM	BOTTOM	INT	INTERIOR	RWC	RAINWATER CONDUCTOR
BTU	BRITISH THERMAL UNIT	INV	INVERT	S	SOUTH
BUR	BUILT UP ROOFING	J	JANITOR'S CLOSET	S	SANITARY
C	CERAMIC	JAN CLOS	JANITOR'S CLOSET	SB	STONE BASE
CF	CUBIC FEET	JB	JUNCTION BOX	SC	SOLID CORE
CI	CONTROL JOINT	JST	JUNCTION BOX	SCHED	SCHEDULE
CL	CENTERLINE	JT	JOINT	SCHEM	SCHEMATIC
CLG	CEILING	SE	SOUTHEAST	SECT	SECTION
CLOS	CLOSET	K	KNOCK DOWN	SF	SQUARE FOOTAGE
CLU	CLEAR	KD	KNOCK DOWN	SHWR	SHOWER
CMU	CONCRETE MASONRY UNIT	KIT	KITCHEN	SIM	SIMILAR
COL	COLUMN	L	LOW	SPEC	SPECIFICATION(S)
CONC	CONCRETE	LAM	LAMINATE(D)	SPKR	SPEAKER
CONSTR	CONSTRUCTION	LAV	LAVATORY	SQ	SQUARE
CONTR	CONTRACTOR	LAV	LAVATORY	SQ FT	SQUARE FOOT
CORR	CORRIDOR	LF	LINEAR FEET	SSTL	STAINLESS STEEL
CPT	CARPET	LH	LEFT HAND	STD	STREET
CT	CERAMIC TILE	LHR	LEFT HAND REVERSE	STD	STANDARD
CTR	CENTER	LL	LEFT LOAD	STL	STEEL
CU FT	CUBIC FEET	LONG	LONGITUDINAL	STOR	STORAGE
D	DEPTH	LVL	LEVEL	STRUCT	STRUCTURE or STRUCTURAL
DBL	DOUBLE	M	METAL	SUSP	SUSPENDED
DEG	DEGREES	M HAL	METAL HALIDE	SW	SOFTWHEAT
DEM	DEMOLITION or DEMOLISH	MAL	MASONRY	SYMB	SYMBOL
DEPT	DEPARTMENT	MATL	MATERIAL	SYS	SYSTEM
DEPT	DEPARTMENT	MAX	MAXIMUM	T	TREAD(S) or TILE
DF	DRINKING FOUNTAIN	MECH	MECHANICAL	T	TOP & BOTTOM
DIAG	DIAGONAL	MED	MEDIUM	T&G	TONGUE & GROOVE
DIAM	DIAMETER	MEZZ	MEZZANINE	T&T	THERMOSTAT
DISP	DISPENSER	MIN	MINIMUM	TB	TILE BASE
DN	DOWN	MISC	MISCELLANEOUS	TDB	TO BE DETERMINED
DR	DOOR(S)	MNO	MASONRY OPENING	TEL	TELEPHONE
DS	DOWN SPOUT	MTG	MOUNTING	TEMP	TEMPORARY or TEMPORARY
DTL	DETAIL	MTL	METAL	TERRAZO	TERRAZZO
DWG	DRAWING	N	NORTH	THK	THICK
DWR	DRAWER	N	NORTH	THRES	THRESHOLD
E	EAST	N/A	NOT APPLICABLE / NOT AVAILABLE	THRU	THROUGH
EA	EACH	OC	OCCUPANCY or OCCUPIED	TOC	TOP OF CONCRETE/CURB
EF	EXHAUST FAN	NE	NORTHEAST	TOS	TOP OF STEEL
EJ	EXPANSION JOIN	NEC	NATIONAL ELECTRIC CODE	TOW	TOP OF WORK
EL	ELEVATION	NEG	NEGATIVE	TRANSF	TRANSFORMER
ELEC	ELECTRICAL	NIC	NOT IN CONTRACT	TYP	TYPICAL
ELEV	ELEVATOR	NO	NUMBER	U	UNDERCUT
EMERG	EMERGENCY	NO	NOMINAL	UN	UNDERWRITER'S LABORATORY
ENCL	ENCLOSURE	NR	NOISE REDUCTION	UNO	UNLESS NOTED OTHERWISE
ENGR	ENGINEER	NRT	NOT TO SCALE	UNO	UNLESS NOTED OTHERWISE
ENTR	ENTRANCE	NW	NORTHWEST	UPS	UNINTERRUPTIBLE POWER SUPPLY
EQ	EQUAL	O	ON CENTER	UR	URINAL
EQUIP	EQUIPMENT	OC	OCCUPANCY or OCCUPIED	USP	USABLE SQUARE FOOTAGE
EW	EACH WAY	OFF	OFFICE	UTIL	UTILITY
EWC	ELECTRIC WATER COOLER	OP	OPENING	V	VOLT or VENT
EXH	EXHAUST	OPP	OPPOSITE	V	VOLT or VENT
EXIST	EXISTING	OZ	OUNCE(S)	VAP RET	VAPOR RETARDER
EXP	EXPANSION	P	POUND	VAR	VARIABLE
EXT	EXTERNAL or EXTERIOR	%	PERCENT	VB	VINYL BASE
F	FOOT or FEET	%	PERCENT	VCT	VINYL COMPOSITION TILE
FC	FOOT CANDLES	PART	PARTIAL	VENT	VENTILATION
FCO	FLOOR CLEAN OUT	PASS	PASSAGE	VERT	VERTICAL
FD	FLOOR DRAIN	PC	PRECAST	VEST	VESTIBULE
FN	FOUNDATION	PF	PERFORATED	VIF	VERIFY IN FIELD
FOS	FACE OF STUD	PE	PEDESTAL	VOL	VOLUME
FP	FIRE PROTECTIONS	PERP	PERPENDICULAR	VTR	VENT THROUGH ROOF
FR	FIRE RETARDANT	PL	PERFORATED	VWC	VINYL WALL COVERING
FRWD	FIRE RETARDANT TREATED WOOD	PLAM	PLASTIC LAMINATE	W	W
FT	FOOT or FEET	PLAS	PLASTIC	W	WEST or WATT
FTG	FOOTING	PLT	PLATE	W	WITH
FUR	FURRING	PLWD	PLYWOOD	W/O	WITHOUT
FURR	FURRIC WALLCOVERING	POS	POSITIVE	WB	WOOD BASE
G	GALVANIZED	PR	PAIR	WC	WATER CLOSET (TOILET)
GEN	GENERAL CONTRACTOR	PREFAB	PREFABRICATED	WD	WOOD (SOFTWOOD)
GENR	GENERAL CONTRACTOR	PROJ	PROJECT or PROJECTED	WF	WIDE FLANGE
GFI	GROUND FAULT INTERRUPTER	PROP	PROPERTY or PROPOSAL	WH	WATER HEATER
GL	GLASS or GLAZING	PSF	POUNDS PER SQUARE FOOT	WP	WATERPROOF
GRD	GROUND	PSI	POUNDS PER SQUARE INCH	WPT	WORKING POINT
GWB	GYPSON WALL BOARD	PT	PARTITION	WT	WEIGHT
GYP	GYPSON	PTN	PARTITION	WWF	WEIGHTED WIRE FABRIC
		Q	QUARRY TILE	Y	YARD or YARD DRAIN
		QT	QUARRY TILE	YD	YARD or YARD DRAIN

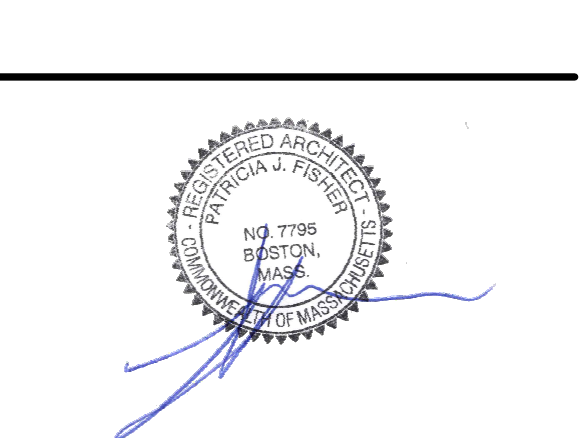


529 Main St, Powerhouse Building,
Suite P200, Charlestown MA, 01219
o. 617-996-7400 ofgarchitect.com

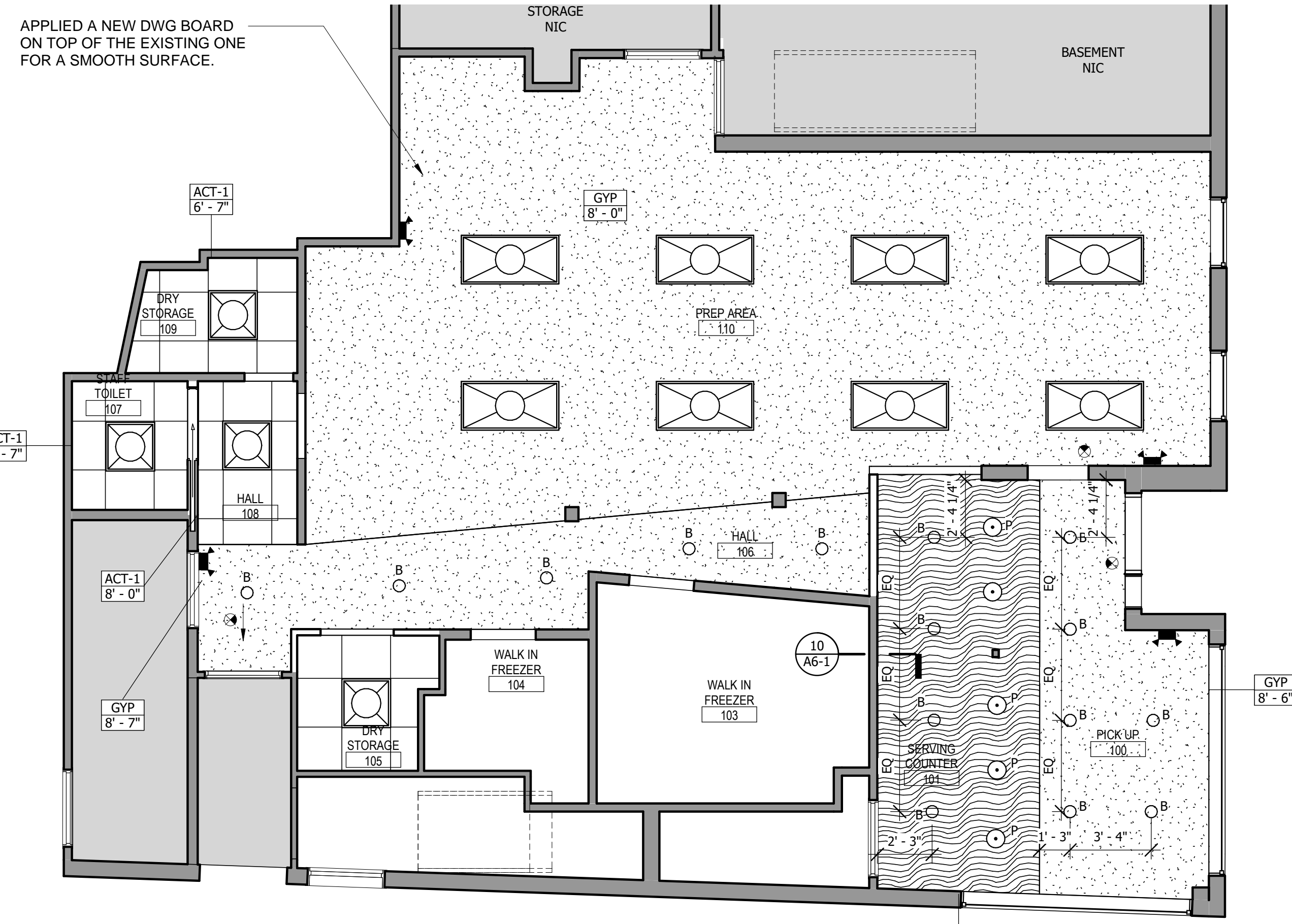
Johnny Pomodoro
297 Main Street
Charlestown, MA 01219

Issue: No: Date:
ISSUED FOR PERMIT 8.13.2021

GENERAL NOTES

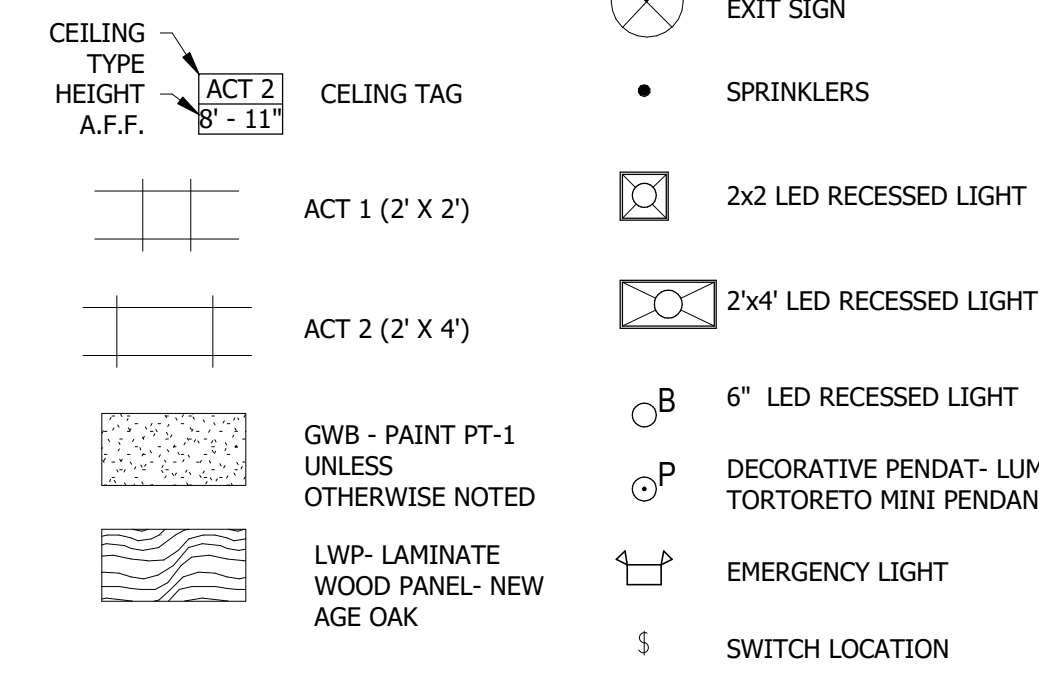


Project No: xx.xxxxxx Reviewed By Checker



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A2-1
REFLECTED CEILING PLAN
1/4" = 1'-0"

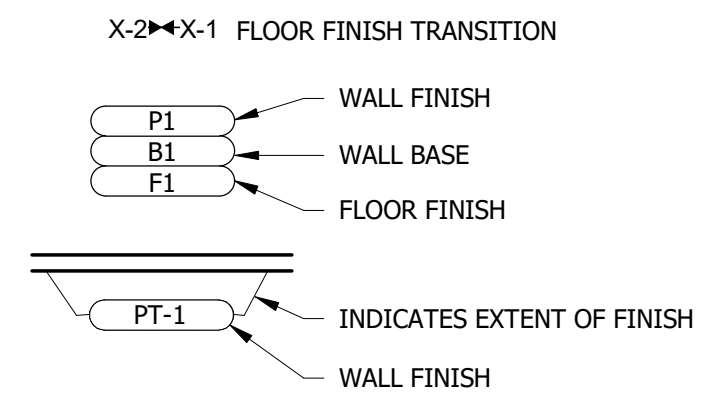
RCP LEGEND



RCP GENERAL NOTES

- CENTER FULL TILES IN ROOM (BOTH DIRECTIONS) AS INDICATED ON DRAWING. UNLESS DIMENSIONED OR NOTED OTHERWISE, REVIEW GRID LAYOUT WITH ARCHITECT PRIOR TO PROCEEDING WHEN "START OF TILE-LOCATIONS OR "CENTERING OF GRID IN ROOM" RESULTS IN TILE WIDTH OF LESS THAN 4".
- THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING HEIGHTS, LIGHT FIXTURES, SWITCH LOCATIONS, AND ASSOCIATED ITEMS. REFER TO ENGINEERING DRAWINGS FOR CIRCUITING LAYOUT, AND ADDITIONAL INFORMATION. ALL MEP-FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS, OR IN CONFLICT WITH MEP-FP DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION. IN THE EVENT OF DISCREPANCIES BETWEEN THE ARCHITECT'S REFLECTED CEILING PLAN AND THE ENGINEER'S PLANS, IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING BEFORE ORDERING MATERIALS OR PROCEEDING WITH THE WORK.
- FOLLOWING COMPLETION OF THE ACOUSTICAL CEILING INSTALLATION, ALL JOINTS AND GRID SHALL BE STRAIGHT, TRUE TO LINE, WITH EXPOSED SURFACES FLUSH AND LEVEL. DIRTY OR DISCOLORED SURFACES OF TILE ARE TO BE CLEANED OR REPLACED, AND LEFT FREE OF DEFECTS. AFTER 30 DAYS FROM SUBSTANTIAL COMPLETION, INSPECT THE WORK AND ADJUST TILE NOT IN ALIGNMENT WITH OTHER CEILING TILES AND REPLACE MISSING OR DAMAGED UNITS. WITHIN A ROOM OR AREA, THE CONTRACTOR SHALL ESTABLISH A SINGLE FLOOR ELEVATION THAT IS TO BE USED AS THE ORIGIN FOR ALL CEILING HEIGHTS ABOVE FINISHED FLOOR.
- VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL MEP/FP AND STRUCTURAL ELEMENTS. CONTRACTOR TO COORDINATE THE WORK OF ALL TRADES NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED. INSTALL DUCTWORK TIGHT TO UNDERSIDE OF BEAMS, WITH A SMALL SPACE TO AVOID VIBRATION. INSTALLATION AND/OR ALTERATION OF DUCTWORK, PIPING OR OTHER EQUIPMENT THAT WILL REQUIRE FASCIAS, SOFFITS AND OTHER TRANSITIONS IN CEILING HEIGHT SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO PROCEEDING. CONTRACTOR TO PROVIDE COMPLETE COORDINATION DRAWINGS FOR THE ARCHITECT AND ENGINEER'S REVIEW.
- MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER WITHIN ONE COVER PLATE U.N.O.
- LIGHT FIXTURES, REGISTERS, SPEAKERS, RECESSED FIXTURES AND SIMILAR CEILING ELEMENTS, AND LIFE-SAFETY DEVICES SHALL BE LOCATED IN THE CENTER OF CEILING TILE IN BOTH DIRECTIONS AND SHALL ALIGN WITH ADJACENT FIXTURES.
- FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM, LAMPS, AND SEISMIC BRACING.
- INSTALL LIGHT FIXTURES WITH PROTECTIVE FILM OR SIMILAR COVER OVER LOUVER, LENS, BAFFLE, AND EXPOSED SURFACES, TO AVOID FIXTURE SOILING OR DAMAGE DURING CONSTRUCTION. FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW.
- PROVIDE BLOCKING ABOVE CEILING REQUIRED FOR ALL CEILING MOUNTED EQUIPMENT. PROVIDE ADDITIONAL SUPPORT FOR LIGHT FIXTURES AS RECOMMENDED BY FIXTURE MANUFACTURER.
- CONTRACTOR TO VERIFY ALL PENDANT FIXTURE HEIGHTS WITH ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL REPLACE DAMAGE CEILING TILES.
- COORDINATE ALL WORKING OF WORK WITH DATA/TELEPHONE INSTALLER. INSTALL CEILING TILES AFTER FINISH PAINTING TO MINIMIZE VOC ABSORPTION INTO THE CEILING TILES. INSTALL CEILING TILES AFTER DATA/TELEPHONE CABLES HAVE BEEN INSTALLED.
- CEILING GRID AND TILE SHALL MATCH
- PAINT ALL EXPOSED DUCTWORK, PIPING AND ELECTRICAL CONDUIT, U.N.O.
- PAINT ALL EXPOSED UNDERSIDE OF CONCRETE SLABS, U.N.O.
- SWITCHES AND PLATES SHALL MATCH EXISTING
- REPAIR AND/OR REPLACE COMPONENTS NECESSARY TO INSURE ALL EXISTING AND OR RELOCATED LIGHT FIXTURES ARE FUNCTIONING, INCLUDING BUT NOT LIMITED TO LAMPS, BALLASTS, AND LENSES.
- RELAMP ALL EXISTING AND RELOCATED FIXTURES TO REMAIN.
- ALL LAMP COLOR TEMPERATURES TO BE CONSISTENT

FINISH PLAN LEGEND



FINISH GENERAL NOTES

- ALL FINISH SELECTIONS IDENTIFIED IN LEGENDS, SCHEDULES, AND SPECIFICATIONS ARE NOT SUBJECT TO "OR EQUAL" SUBSTITUTIONS U.N.O. THE CONTRACTOR AND SUBCONTRACTORS SHALL SUBMIT PRODUCTS AND FINISHES AS INDICATED IN THE DOCUMENTS.
- NOTIFY ARCHITECT OF SCHEDULED FINISHES THAT ARE UNAVAILABLE OR DISCONTINUED AT THE EARLIEST OPPORTUNITY SUCH THAT A SUBSTITUTION CAN BE SELECTED WITHOUT JEOPARDIZING THE CONSTRUCTION SCHEDULE.
- REFER TO THE MATERIAL SCHEDULE FOR MANUFACTURER, PRODUCT/STYLE NAME, COLOR SPECIFICATION.
- INSTALL ALL FINISH MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, SURFACE PREPARATION, ADHESIVES AND BACKINGS. INCLUDING WALLCOVERINGS, COATINGS, FLOORING MATERIALS, LAMINATES, ETC
- THE CONTRACTOR SHALL REPAIR ALL ROUGH FLOOR SLAB UNEVENNESS SUITABLE FOR PROPER FLOOR COVERING INSTALLATION.
- FLOOR MATERIAL TRANSITIONS AT DOOR OPENINGS ARE TO BE CENTERED BELOW THE DOOR IN THE CLOSED POSITION, U.N.O.
- THE PAINTING SUBCONTRACTOR SHALL ENSURE THAT ALL PAINTS COMPLY WITH THE MUNICIPAL & STATE CODES AND BUILDING REGULATIONS FOR LOW VOC EMISSIONS.
- ELECTRICAL SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, ETC. SHALL BE INSTALLED AFTER PAINTING AND/OR APPLICATION OF WALL COVERINGS AND STORED CARPET.
- STAINED AND PAINTED SURFACES SHALL BE FINISHED SUCH THAT JOINTS/IMPERFECTIONS ARE NOT VISIBLE.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE FIELD. GC TO GET CLARIFICATION FROM ARCHITECT BEFORE CONTINUING WITH ANY WORK.
- PROVIDE METAL TRANSITION STRIPS AT ALL FLOORING MATERIAL CHANGES, U.N.O. TRANSITION STRIPS AS SCHEDULED. REFER TO PLAN FOR DETAIL LOCATIONS.
- HARD FLOORING GROUT IS TO BE SEALED WITH MANUFACTURER'S RECOMMENDED SEALERS.
- VINYL BASE SHALL BE COVE BASE AT NOTED LOCATIONS
- BASE SHALL RUN CONTINUOUSLY AND FULLY SURROUND CABINET BASES ON ALL EXPOSED SIDES.
- REFER TO DOOR SCHEDULE FOR PAINT COLOR SPECIFICATIONS.
- PAINT UNDERSIDE BOTTOM DECK AND EXPOSED PIPES, CONDUITS AND MECH EQUIPMENT AS NOTED
- UNDERSIDE OF SOFFITS (WHERE OCCURS) TO BE PAINTED TO RECEIVE FINISH AS NOTED
- FINISH FLOORING TO EXTEND FROM WALL TO WALL INCLUDING UNDER CABINETS AND UNDERCABINET EQUIPMENT.
- ALL INTERIOR WALL & CEILING FINISHES AND TRIM OF PUBLIC AREAS TO COMPLY WITH CLASS A MATERIAL CLASSIFICATION; FLAME SPREAD RATING 0 TO 25, SMOKE DEVELOPED 200. ALL INTERIOR WALL AND CEILING FINISHES AND TRIM IN NON PUBLIC AREAS TO COMPLY WITH CLASS B MATERIAL CLASSIFICATION; FLAME SPREAD RATING 26-75, SMOKE DEVELOPED 450.
- ALL PAINTED SURFACES ARE TO RECEIVE A PRIME COAT AND A MINIMUM OF TWO COATS FINAL COLOR, U.N.O.
- ALL PAINTED DOORS AND DOOR FRAMES SHALL BE PAINTED WITH AN ALKYD BASED SEMI-GLOSS FINISH U.N.O.
- GYPSON BOARD CEILINGS SCHEDULED TO RECEIVE PAINT SHALL HAVE A FLAT FINISH, U.N.O.
- PROVIDE ARCHITECT WITH A MINIMUM OF (3) 8" X 10" BRUSH-OUTS OF EACH COLOR AND FINISH FOR ARCHITECT'S APPROVAL PRIOR TO APPLICATION, ON-SITE APPLICATION WILL BE REQUIRED FOR FINAL APPROVAL. ARCHITECT RESERVES THE RIGHT TO ADJUST ANY COLOR/FINISH ONCE THE WALL TEST HAS BEEN MADE.
- PRIOR TO THE INSTALLATION OF ANY CARPET MATERIAL, PROVIDE TO THE ARCHITECT, FOR APPROVAL, A SEAMING DIAGRAM ILLUSTRATING THE DIRECTION OF THE CARPET AND THE SEAM LOCATIONS, IN EACH CORRIDOR LAY CARPET IN THE SAME DIRECTION AS THE CORRIDOR LENGTH (NOT WIDTH) STARTING AT ONE END AND CONTINUING DOWN THE FULL LENGTH OF THE CORRIDOR WITH THE ROLL GOODS, AT INTERSECTING CORRIDORS INSTALL CARPET PERPENDICULAR (1/4 TURN) TO EACH OTHER U.N.O.
- ALL PLASTIC LAMINATE MILLWORK CABINET INTERIORS TO BE WHITE MELAMINE, U.N.O.
- ARCHITECTURAL ADHESIVES, SEALANTS AND SEALANT PRIMERS MUST COMPLY WITH SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE #1168. VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN THE TABLE BELOW CORRESPOND TO RULE AMENDMENT DATE OF JANUARY 7, 2005.
- PAINTS AND COATINGS - APPLIED TO INTERIOR WALLS AND CEILINGS MUST NOT EXCEED THE VOLATILE ORGANIC COMPOUND (VOC) CONTENT LIMITS ESTABLISHED IN GREEN SEAL STANDARD GS-11, PAINTS, 1ST EDITION, MAY 20, 1993.
- ANTI-CORROSION AND ANTI-RUST PAINTS: APPLIED TO INTERIOR FERROUS METAL SUBSTRATES MUST NOT EXCEED THE VOC CONTENT LIMIT OF 250 G/L ESTABLISHED IN GREEN SEAL STANDARD GC-03, ANTI-CORROSION PAINTS, 2ND EDITION, JANUARY 7, 1997.
- CLEAR WOOD FINISHES, FLOOR COATINGS, STAINS, PRIMERS, SEALERS, AND SHELLACS: APPLIED TO INTERIOR ELEMENTS MUST NOT EXCEED THE VOC CONTENT LIMITS ESTABLISHED FOR THOSE COATING TYPES IN SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE 1113, ARCHITECTURAL COATINGS, AMENDED FEBRUARY 5, 2016.

SEALANTS

INDOOR CARPET ADHESIVES	50
PVC WELDING	510
CARPET PAD ADHESIVES	50
CPVC WELDING	490
WOOD FLOORING ADHESIVES	100
ABS WELDING	325
RUBBER FLOOR ADHESIVES	60
PLASTIC CEMENT WELDING	250
SUBFLOOR ADHESIVES	50
ADHESIVE PRIMER FOR PLASTIC	550
CERAMIC TILE ADHESIVES	65
CONTACT ADHESIVE	80
VCT AND ASPHALT ADHESIVES	50
SPECIAL PURPOSE CONTACT ADHESIVE	250
DRYWALL AND PANEL ADHESIVES	50
STRUCTURAL WOOD MEMBER ADHESIVE	140
COVE BASE ADHESIVES	50
SHEET APPLIED RUBBER LINING OPERATIONS	850
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
TOP AND TRIM ADHESIVE	250
STRUCTURAL GLAZING ADHESIVES	100

VOIC LIMIT (G/L LESS WATER)

METAL TO METAL	30
ARCHITECTURAL	250
PLASTIC FOAMS	50
NONMEMBRANE ROOF	300
POROUS MATERIAL (EXCEPT WOOD)	50
ROADWAY	250
WOOD	30
SINGLE-PLY ROOF MEMBRANE	450
FIBERGLASS	80
OTHER	420

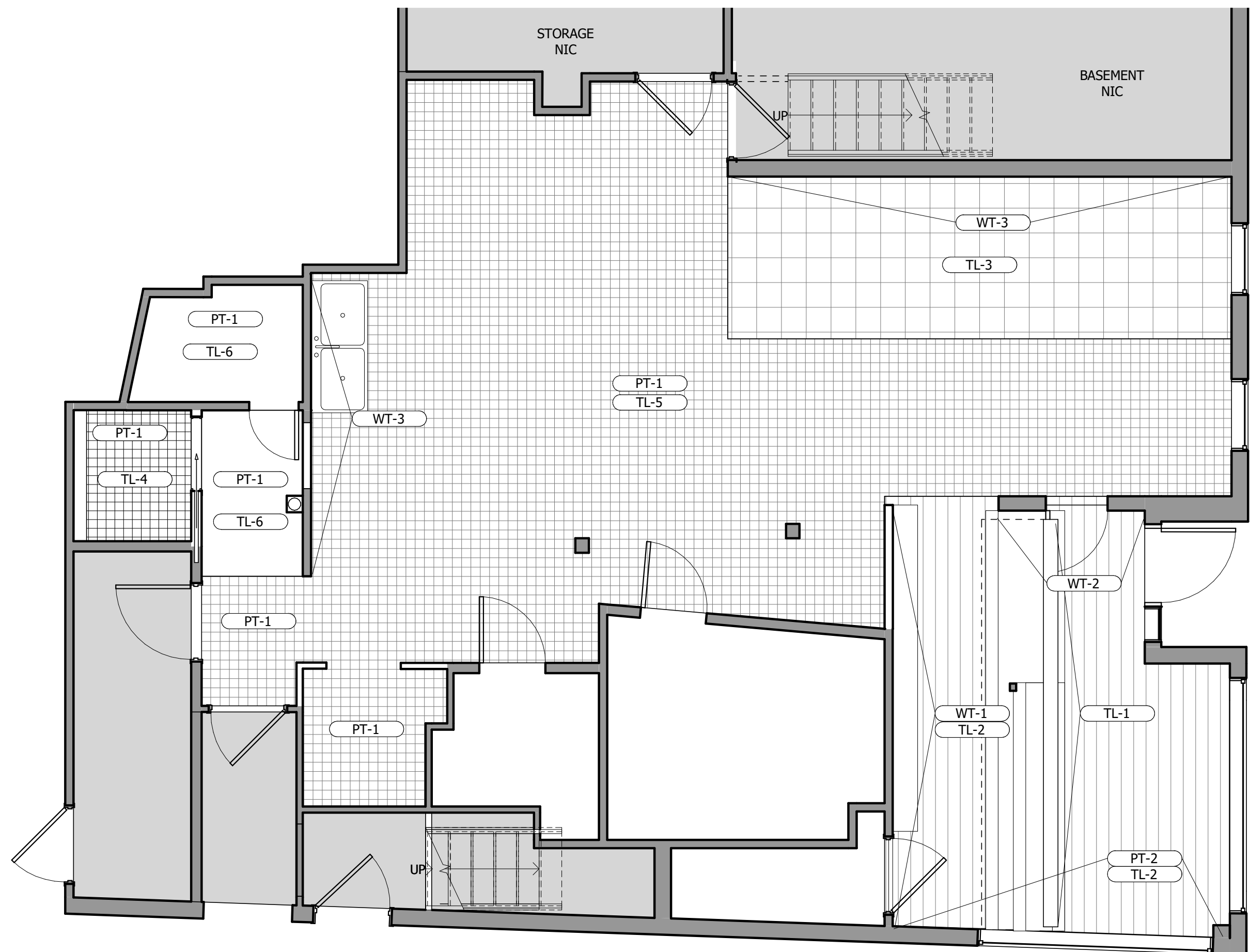
SEALANT PRIMERS

ARCHITECTURAL, NONPOROUS	250
ARCHITECTURAL, POROUS	775
OTHER	750

AEROSOL ADHESIVES: AEROSOL ADHESIVES MUST COMPLY WITH GREEN SEAL STANDARD FOR COMMERCIAL ADHESIVES GS-36 REQUIREMENTS IN EFFECT ON OCTOBER 19, 2000.

AEROSOL ADHESIVES

GENERAL PURPOSE MIST SPRAY:	65% VOCs BY WEIGHT
GENERAL PURPOSE WEB SPRAY:	55% VOCs BY WEIGHT
SPECIAL PURPOSE AEROSOL ADHESIVES (ALL TYPES):	70% VOCs BY WEIGHT

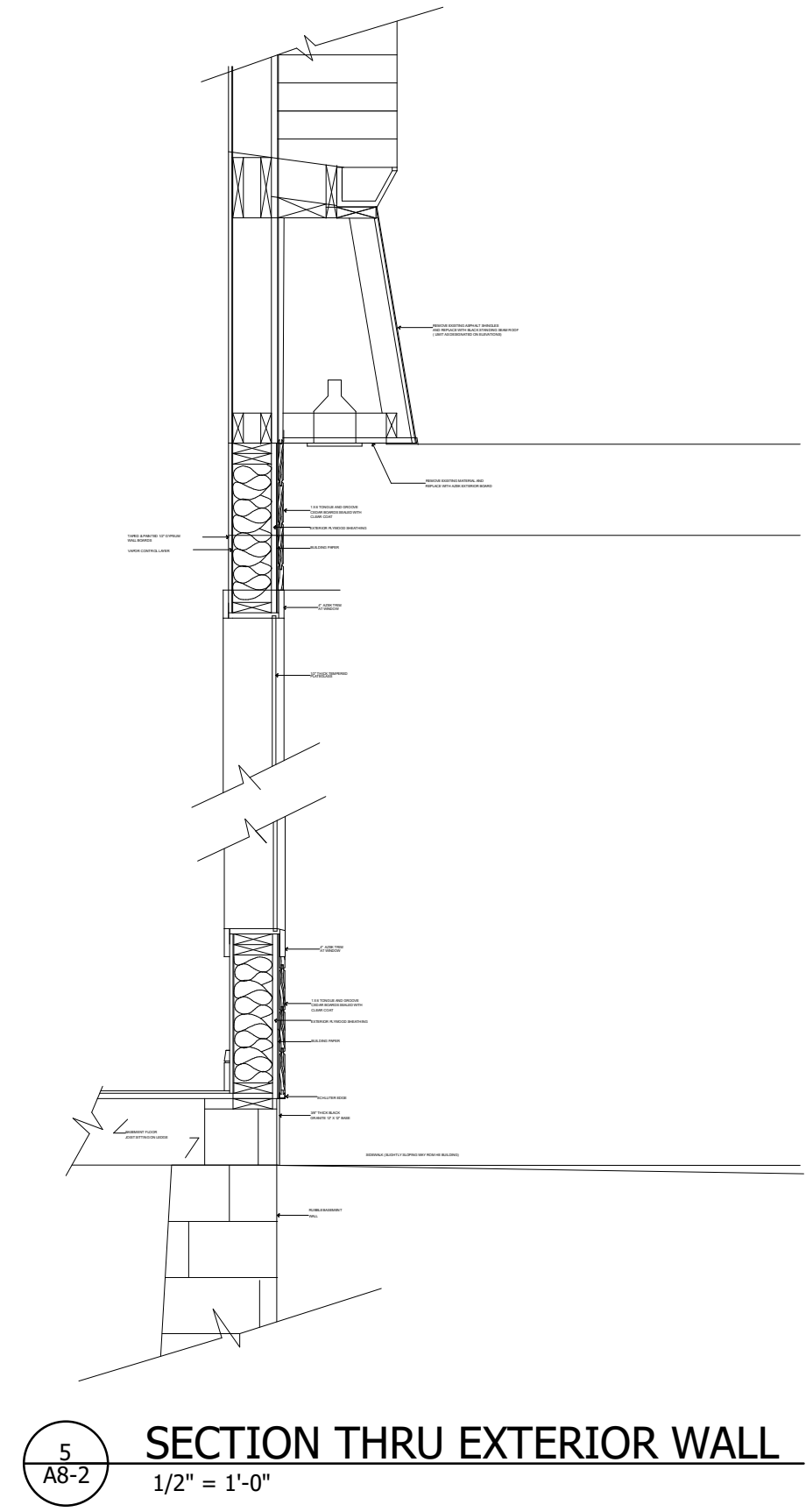


2
A2-1
FINISH PLAN
1/4" = 1'-0"

FINISH LABEL	MANUFACTURE R	STYLE	COLOR	REMARKS	CONTACT	NOTES
EXISTING FLOOR						
TL-3		EXISTING 12X12 CERAMIC TILE	TBD			
TL-4		EXISTING CHECKERED FLOORING	ETR			CLEAN AND REGROUT TO MATCH EXISTING
TL-5		EXISTING 6X6 QUARRY TILE	TBD			
TL-6		EXISTING CONCRETE	TBD			
FLOOR TILE						
TL-2		CERAMIC TILE	SLATE GRAY			INSTALL FLOOR TILES THRUOUT FRONT STORE
METAL WALL						
WT-3		QUILTED / DIAMOND 430 STAINLESS STEEL SHEET	STAINLESS STEEL SHEET	WALL COVERING		
WALL PAINT						
PT-1		GENERAL PAINT	TBD			
PT-2		ACCENT PAINT	TBD			
WALL PANEL						
WT-1		LAMINATE WOOD PANEL	NEW AGE OAK			LAMINATE PANEL TO GO ON WALL AND CELING. INSTALL THAT GRAIN CONTINUE
WT-2		VERTICAL WOOD SLATS	TBD			
WALL TILE						
TL-1		BLACK AND WHITE CERAMIC TILE				INSTALL TILE BELOW WALL SERVING COUNTER

REFLECTED CEILING & FINISH PLAN





3
A8-2
EXISTING SIDE ELEVATION
3/16" = 1'-0"

1
A8-2
PROPOSED SIDE ELEVATION
3/16" = 1'-0"

5
A8-2
SECTION THRU EXTERIOR WALL
1/2" = 1'-0"



4
A8-2
EXISTING FRONT ELEVATION
3/16" = 1'-0"

2
A8-2
PROPOSED FRONT ELEVATION
3/16" = 1'-0"

Johnny Pomodoro

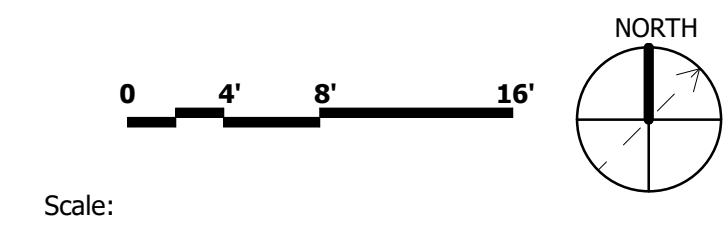
297 Main Street
Charlestown, MA 02129

Issue: No: Date:
ISSUED FOR PERMIT 8.13.2021

EXTERIOR ELEVATION



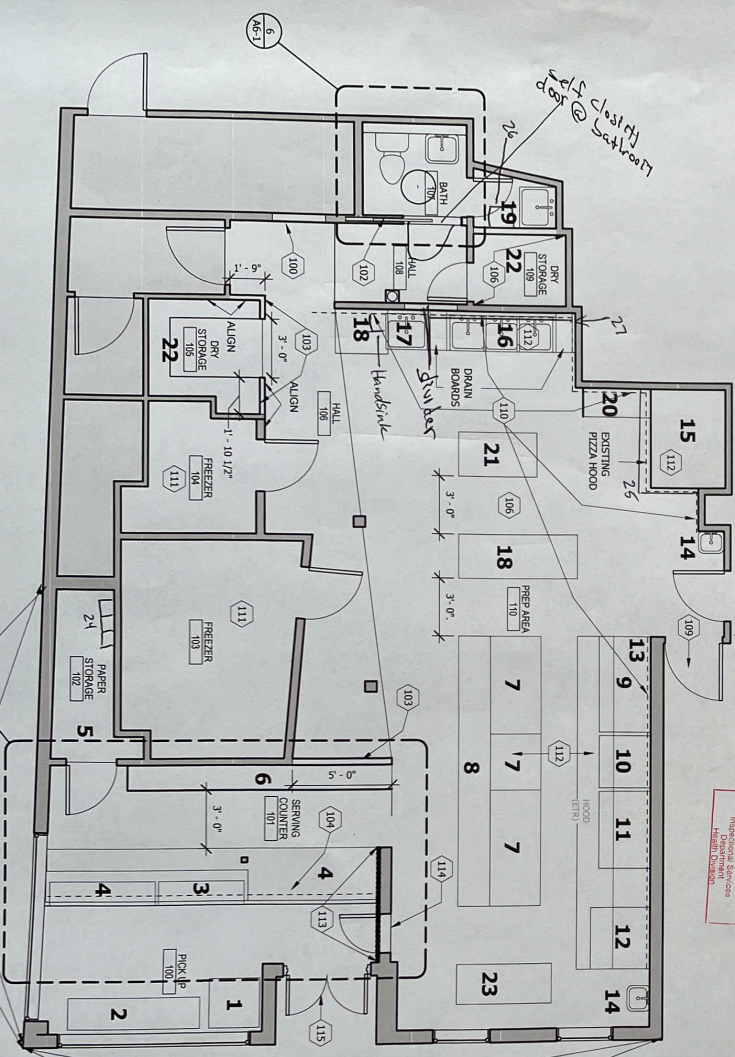
Key Plan: 297 Main Street
Charlestown, MA 02129



Project No: xx.xxxxx-xx Reviewed By/Checker

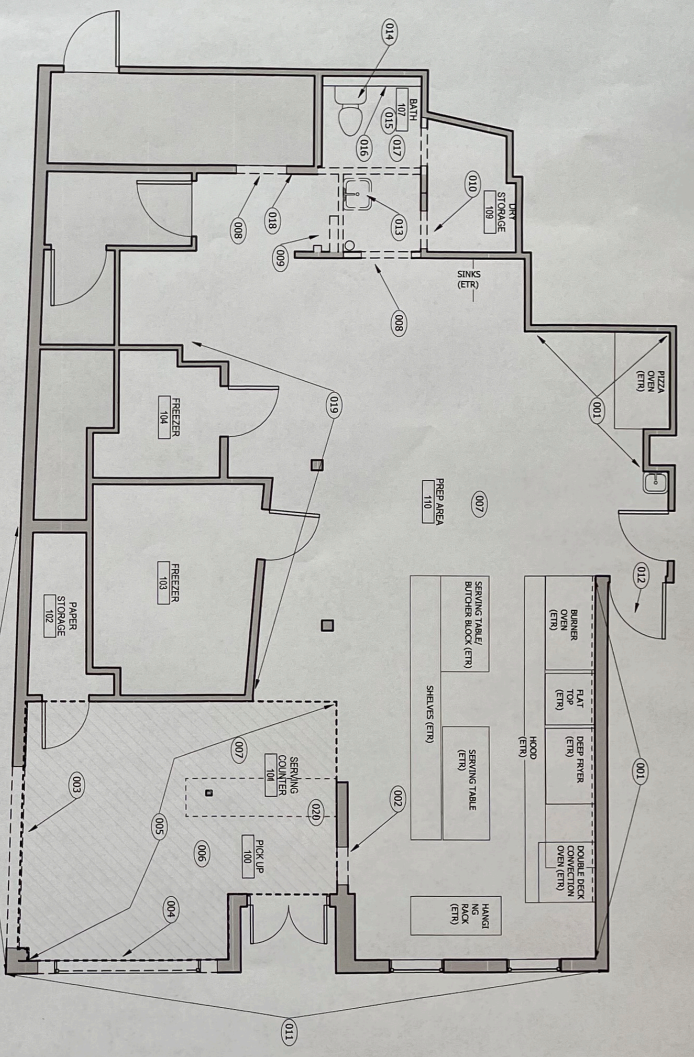
A8-2

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DEMOLITION PLAN
1/4" = 1'-0"

APPROVED
SEP 16 2021
Independent Services
Mechanical Division



DEMOLITION PLAN LEGEND

- SPACE NOT IN CONTRACT (N/C)
- EXISTING WALL TO BE REMOVED PATCH REMAINING WALL AT POINT OF REMOVAL
- - - - EXISTING MILLWORK TO BE REMOVED
- ▨ EXISTING DOOR AND FRAME TO BE REMOVED
- ⊕ EXISTING PLUMBING FIXTURES TO REMAIN
- ⊖ EXISTING SINK TO REMAIN
- ▨ AREA WHERE EXISTING FLOORING TO BE REMOVED

DEMOLITION PLAN KEYNOTES

- 001 REMOVE EXISTING SS SHEETS
- 002 CREATE DOOR OPENING FOR SECRET DOOR
- 003 (POTENTIAL) CREATE OPENING FOR NEW STOREFRONT WINDOW
- 004 REPLACE EXISTING WINDOW WITH LARGER STOREFRONT WINDOW
- 005 REMOVE EXISTING 12"x12" FLOOR TILE
- 006 REMOVE EXISTING CEILING IN ITS ENTIRETY
- 007 REMOVE EXISTING DOOR AND INTEL WITH NEW WALL
- 008 REMOVE EXISTING DOOR AND INTEL WITH NEW WALL
- 009 REMOVE EXISTING DOOR AND INTEL WITH NEW WALL
- 010 RELOCATE DOOR
- 011 REMOVE EXISTING EXTERIOR SIDING
- 012 DEMOLISH STAIRCASE TO BASEMENT
- 013 REMOVE EXISTING SINK AND ASSOCIATED PLUMBING IN IT ENTIRETY
- 014 REMOVE EXISTING SINK AND ASSOCIATED PLUMBING IN IT ENTIRETY
- 015 REPAIR DAMAGE ALL LOBBY WALL AND RE-PLASTER. PREPARE SURFACE TO RECEIVE NEW PAINT
- 016 EXTEND EXISTING KNEE WALL AND PREP AREA TO RECEIVE NEW SINK
- 017 CLEAN EXISTING FLOORING AND PREP AREA TO RE-GROUTING
- 018 REMOVE PORTION OF DRIVELINE TO PREP AREA TO RECEIVE A NEW SCRAPED PAINT FROM EXISTING WALK IN THE REEZER UNTIL THE EXISTING STAINLESS FINISH IS SHOWN
- 019 REMOVE EXISTING MILLWORK IN IT ENTIRETY
- 020

EQUIPMENT LEGEND:

1. BEVERAGE COOLER
2. SERVING BENCH
3. COUNTERTOPS WITH STORAGE BENEATH
4. FANOUT BAGS + PAPER STORAGE
5. HANGING MENU + TO GO STORAGE
6. HANGING MENU + TAKEOUT CONTAINER STORAGE
7. LOW BAY FOR PIZZA
8. LOW BAY FOR PIZZA
9. RANGE + STOVE TOP
10. FLAT TOP
11. REFRIG. OPEN
12. PAN STORAGE
13. PAN STORAGE
14. HAND SINKS
15. PIZZA OVEN
16. THREE BAY SINK WITH DRAINBOARDS
17. FREEZER
18. FREEZER
19. MOP SINK
20. LOW BAY FOR PIZZA
21. LOW BAY FOR PIZZA
22. PAN STORAGE
23. POTS & PANS STORAGE

CONSTRUCTION PLAN LEGEND

- 1. CONCRETE BETWEEN ALL WORK SHALL BE
- 2. ALL DIMENSIONS ARE TO THE FINISHES UNLESS NOTED OTHERWISE
- 3. ALL DIMENSIONS ARE TO THE FINISHES UNLESS NOTED OTHERWISE
- 4. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS
- 5. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS
- 6. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS
- 7. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS
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- 13. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS
- 14. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS
- 15. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS
- 16. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS
- 17. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS
- 18. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS
- 19. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS
- 20. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS

CONSTRUCTION PLAN KEYNOTES

- 100 INSTALL NEW 36" POCKET DOOR
- 101 NEW WALL
- 102 NEW WALL
- 103 NEW WALL
- 104 NEW WALL
- 105 NEW WALL
- 106 NEW WALL
- 107 NEW WALL
- 108 NEW WALL
- 109 NEW WALL

DEMOLITION PLAN KEYNOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAILY REMOVAL OF DEBRIS, CEMENT, AND OTHER MATERIALS FROM THE WORK AREA.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLUMBING AND ELECTRICAL SYSTEMS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FLOORING AND CEILING.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WALLS AND PARTITIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING DOORS AND WINDOWS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STAIRS AND ELEVATORS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURAL MEMBERS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FOUNDATION AND FOOTING.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING EXTERIOR FINISHES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING INTERIOR FINISHES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PAINTS AND COATINGS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING GLASS AND MIRROR.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ARTWORK AND FURNITURE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ARCHITECTURAL DETAILS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING HISTORICAL FEATURES.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTING.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND SHRUBS.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WATER AND IRRIGATION SYSTEMS.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLUMBING AND ELECTRICAL SYSTEMS.
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27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT.
28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURAL MEMBERS.
29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FOUNDATION AND FOOTING.
30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING EXTERIOR FINISHES.

Torres Construction

6 Nielson Avenue

Everett, MA 02149

Project Name: 297 Main Street, Charlestown, MA

- Remove tiles from façade. Prep for new siding
- Remove front door. Make way for new 36 x 84 doors with two side glass
- Remove front floor tiles by the front to make way for counters
- Remove and make way for 2 new 6 x 8 glass windows. One in front and one on the side.
- Build wood frame awing on new side windows to match front window
- Replace grease trap
- Add 1 hand sink and 1 veggie sink
- Remove old stove and make way for new stove
- Change lights on prep area
- Add receptacles
- Add new exit signs
- Remove and replace stainless steel back splash
- Frame new dry storage closet
- demo small wall to make way for bathroom hallway
- Paint and clean

CONSTRUCTION BID FORM

Torres Construction

OWNER INFORMATION

Name Johnny Burke
Address 297 Main Street
City, State ZIP Charlestown MA
Phone 774 270-0448
Email johnny@johnnyburkecatering.com
Project name 21015

CONTRACTOR INFORMATION

Company Torres Construction
Name Heriberto Torres
Address 6 Nielson Avenue
City, State ZIP Everett, MA 02149
Phone 774-225-1242
Email torreshconstruction@gmail.com
CSL# 94978
HIC# 180414

SCOPE OF WORK

To restore an existing restaurant space according to the architectural plans of Off The Grid Architects provided for permit on 8/13/2021

NOT INCLUDED

Any work not mention on the scope of work above will be billed at cost plus 20%.

COMPANY PROPOSAL

We, Torres Construction, propose the above scope of work to be completed by 120 days from permit issue for the amount of \$217,646.00 with payments to be 25% of total payment as deposit, 25% of total payment when work has progress, 25% when work is rough and 25% of total payment when work is completed.


Submitted by (Company Representative)

8/18/2021
Date

OWNER ACCEPTANCE

I, Johnny Burke do accept the above scope of work, proposed to be completed by _____ for the amount of \$217,646.00 with payments to be 25% of total payment as deposit, 25% of total payment when work has progress, 25% of total payment when work is rough and 25% of total payment when work is completed.


Submitted by (home owner or authorized representative)

8/19/21
Date



MATTOCKS-HIGGINS AFFIDAVIT OF WORKPLACE SAFETY

I, Heriberto Torres, do hereby declare the following to be true and accurate to the best of my knowledge.

I. Occupational Safety and Health Administration (OSHA) **has not issued** / **has issued** any notice or violation against my company, as a sole proprietorship, limited partnership, and/or limited liability partnership/corporation, and/or any affiliated business or subsidiary of which I am an owner, manager, officer and/or director in the last five (5) years.

If you selected “**has issued**”, please disclose the following information:

Company _____ Date of Violation _____
 Address of Violation _____ Total Fines, if any _____
 Check if: ___ Serious ___ Willful ___ Repeat ___ Failure to Abate
 Named violation: _____

Company _____ Date of Violation _____
 Address of Violation _____ Total Fines, if any _____
 Check if: ___ Serious ___ Willful ___ Repeat ___ Failure to Abate
 Named violation: _____

**Attach additional pages if necessary

If any violations are categorized as Willful or Repeat, affidavit must be accompanied by a copy of the Site Safety Plan for the project seeking permit.

II. Is the company currently on the OSHA Severe Violator Enforcement Program (SVEP) Log?
 Yes No

Companies in the SVEP are not eligible to receive a permit from the City of Boston

III. Company’s Experience Modification Rating: DNQ
 Available from the MA Workers Compensation Rating and Inspection Bureau

The Licensed Contractor must disclose any subcontractor’s OSHA violation history or SVEP designation to the permit reviewing department.

Signed under penalties of perjury:

11/30/2021 Heriberto Torres Torres Construction
 Date Name Company

The Permit Reviewing Authority, or designee, shall have the discretion to issue a stop work order for any open permits and/or deny the issuance of a permit due to failure to disclose any and all OSHA violations or demonstrated history of unsafe, hazardous or dangerous practices.



The Commonwealth of Massachusetts
 Department of Industrial Accidents
 Office of Investigations
 Lafayette City Center
 2 Avenue de Lafayette, Boston, MA 02111-1750
 www.mass.gov/dia

Workers' Compensation Insurance Affidavit: Builders/Contractors/Electricians/Plumbers
Applicant Information **Please Print Legibly**

Name (Business/Organization/Individual): Torres Construction

Address: 6 Nielson Ave

City/State/Zip: Everett MA 02149 Phone #: 774-225-1242

Are you an employer? Check the appropriate box:

- | | |
|---|---|
| <p>1. <input type="checkbox"/> I am an employer with _____ employees (full and/or part-time).*</p> <p>2. <input checked="" type="checkbox"/> I am a sole proprietor or partnership and have no employees working for me in any capacity. [No workers' comp. insurance required.]</p> <p>3. <input type="checkbox"/> I am a homeowner doing all work myself. [No workers' comp. insurance required.] †</p> | <p>4. <input type="checkbox"/> I am a general contractor and I have hired the sub-contractors listed on the attached sheet. These sub-contractors have employees and have workers' comp. insurance. ‡</p> <p>5. <input type="checkbox"/> We are a corporation and its officers have exercised their right of exemption per MGL c. 152, §1(4), and we have no employees. [No workers' comp. insurance required.]</p> |
|---|---|

Type of project (required):

- 6. New construction.
- 7. Remodeling
- 8. Demolition
- 9. Building addition
- 10. Electrical repairs or additions
- 11. Plumbing repairs or additions
- 12. Roof repairs
- 13. Other Cosmetic Repairs

*Any applicant that checks box #1 must also fill out the section below showing their workers' compensation policy information.
 † Homeowners who submit this affidavit indicating they are doing all work and then hire outside contractors must submit a new affidavit indicating such.
 ‡ Contractors that check this box must attach an additional sheet showing the name of the sub-contractors and state whether or not those entities have employees. If the sub-contractors have employees, they must provide their workers' comp. policy number.

I am an employer that is providing workers' compensation insurance for my employees. Below is the policy and job site information.

Insurance Company Name: _____

Policy # or Self-ins. Lic. #: _____ Expiration Date: _____

Job Site Address: _____ City/State/Zip: _____

Attach a copy of the workers' compensation policy declaration page (showing the policy number and expiration date). Failure to secure coverage as required under Section 25A of MGL c. 152 can lead to the imposition of criminal penalties of a fine up to \$1,500.00 and/or one-year imprisonment, as well as civil penalties in the form of a STOP WORK ORDER and a fine of up to \$250.00 a day against the violator. Be advised that a copy of this statement may be forwarded to the Office of Investigations of the DIA for insurance coverage verification.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct.

Signature: _____ Date: 4/30/2021

Phone #: 774-225-1242

Official use only. Do not write in this area, to be completed by city or town official.

City or Town: _____ Permit/License # _____

Issuing Authority (circle one):
 1. Board of Health 2. Building Department 3. City/Town Clerk 4. Electrical Inspector 5. Plumbing Inspector
 6. Other _____

Contact Person: _____ Phone #: _____

Office of Consumer Affairs and Business Regulation
1000 Washington Street - Suite 710
Boston, Massachusetts 02118
Home Improvement Contractor Registration

HERIBERTO TORRES
D/B/A TORRES CONSTRUCTION
6 NIELSON AVE.
EVERETT, MA 02149

Type: Individual
Registration: 180414
Expiration: 11/11/2022

Update Address and Return Card.

Office of Consumer Affairs & Business Regulation
HOME IMPROVEMENT CONTRACTOR

TYPE: Individual
Registration 180414 Expiration 11/11/2022

ERIBERTO TORRES
/B/A TORRES CONSTRUCTION

Registration valid for individual use only
before the expiration date. If found return to:
Office of Consumer Affairs and Business Regulation
1000 Washington Street - Suite 710
Boston, MA 02118

ERIBERTO TORRES
NIELSON AVE.
VERETT, MA 02149

Edward A. Paltrow
Undersecretary

Not valid without signature



Commonwealth of Massachusetts
Division of Professional Licensure
Board of Building Regulations and Standards

Construction Supervisor

CS-094978

HERIBERTO TORRES
44 KINGCREST TERRACE
RANDOLPH MA 02368

Expires: 07/12/2022



Commissioner *Steph R. Emilia*

Construction Supervisor

Unrestricted - Buildings of any use group which contain less than 35,000 cubic feet (991 cubic meters) of enclosed space.

Failure to possess a current edition of the Massachusetts State Building Code is cause for revocation of this license.

For information about this license

Call (617) 727-3200 or visit www.mass.gov/dpl