



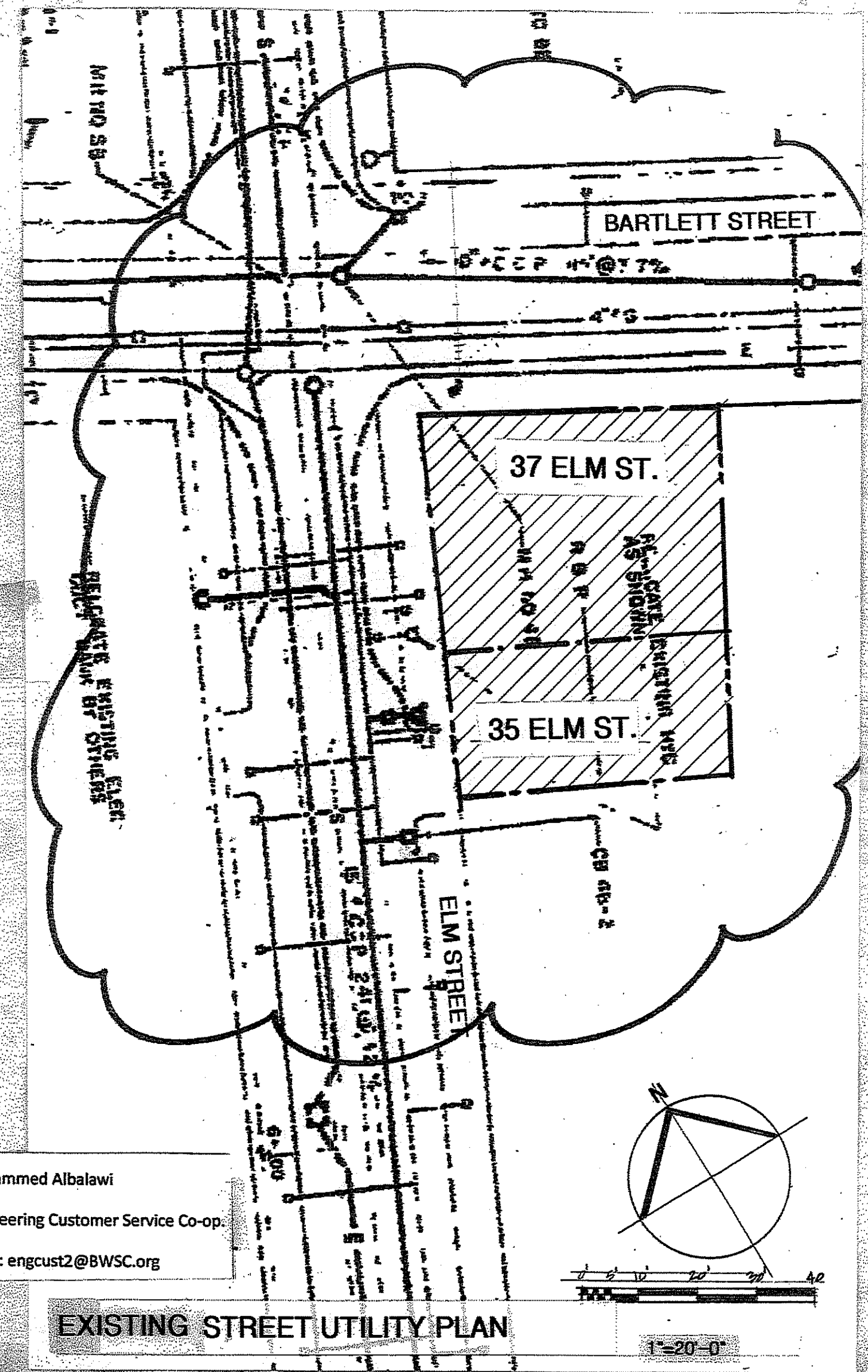
LIST OF DRAWINGS

- COVER
- SP-1 PROPOSED CERTIFIED PLOT PLAN, AVERAGE GRADE CALC., EXISTING STREET UTILITY PLAN
- A-1 BASEMENT AND FIRST FLOOR PLANS, FLOOR AREA CALCULATIONS
- A-2 SECOND AND THIRD FLOOR PLANS
- A-3 ROOF PLAN, DETAILS, GENERAL NOTES, BUILDING CODE INFORMATION ZONING SUMMARY
- A-4 ELM STREET AND BARLETT STREET ELEVATIONS, WINDOW SCHEDULE, WINDOW DETAILS
- A-5 REAR (SOUTH) ELEVATION, 37 ELM STREET SECTION, WALL DETAILS
- A-6 CONCEPT FRAMING PLANS, 35 ELM STREET SECTION, 37 ELM STREET STAIR SECTION

35-37 ELM STREET CHARLESTOWN, MASSACHUSETTS

ALT 882976 SEE SHEET A-3 FOR ZONING SUMMARY

<p>PROJECT TITLE</p> <p style="text-align: center;">35-37 ELM STREET</p> <p style="text-align: center;">CHARLESTOWN, MASSACHUSETTS</p>	<p style="text-align: center;">Patterson Architects, Inc.</p> <p style="text-align: center;">100 MONROE DRIVE HOLLISTON, MA 01746 (508) 655-1599 (617) 686-3284</p>	<p>STAMP</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="3">REVISIONS</th> </tr> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>FOOT DECK ELIMINATED</td> <td>2.4.19</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REVISIONS			No.	Description	Date	1	FOOT DECK ELIMINATED	2.4.19										<p>TITLE</p> <p style="text-align: center;">COMPUTER DRAWING NAME</p> <p style="text-align: center;">ARCHIVE NUMBER</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DATE</td> <td>12/2019</td> </tr> <tr> <td>DRAWN BY</td> <td>EP</td> </tr> <tr> <td>CHECKED BY</td> <td> </td> </tr> <tr> <td>PROJECT NUMBER</td> <td>1218.03</td> </tr> <tr> <td>SCALE</td> <td> </td> </tr> </table>	DATE	12/2019	DRAWN BY	EP	CHECKED BY		PROJECT NUMBER	1218.03	SCALE		<p>SHEET NUMBER</p> <p style="text-align: center; font-size: 24pt;">COVER</p>
REVISIONS																																		
No.	Description	Date																																
1	FOOT DECK ELIMINATED	2.4.19																																
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CHECKED BY																																		
PROJECT NUMBER	1218.03																																	
SCALE																																		



Mohammed Albalawi
 Engineering Customer Service Co-op.
 Email: engcust2@BWSC.org

EXISTING STREET UTILITY PLAN

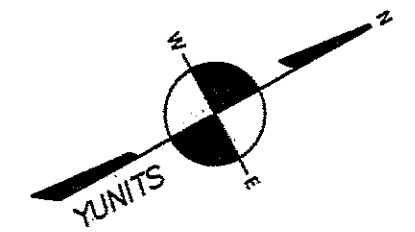
I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF AUGUST 9, 2018 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

CERTIFIED PLOT PLAN

LOCATED AT
 ELM STREET
 CHARLESTOWN, MA

SCALE: 1.0 INCH = 10.0 FEET

BOSTON SURVEY, INC.
 UNIT C-4 SHIPWAY PLACE
 CHARLESTOWN, MA 02129
 (617) 242-1315



ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS ZONE: X
 COMMUNITY PANEL: 25025C0014J
 EFFECTIVE DATE: 03-16-2016

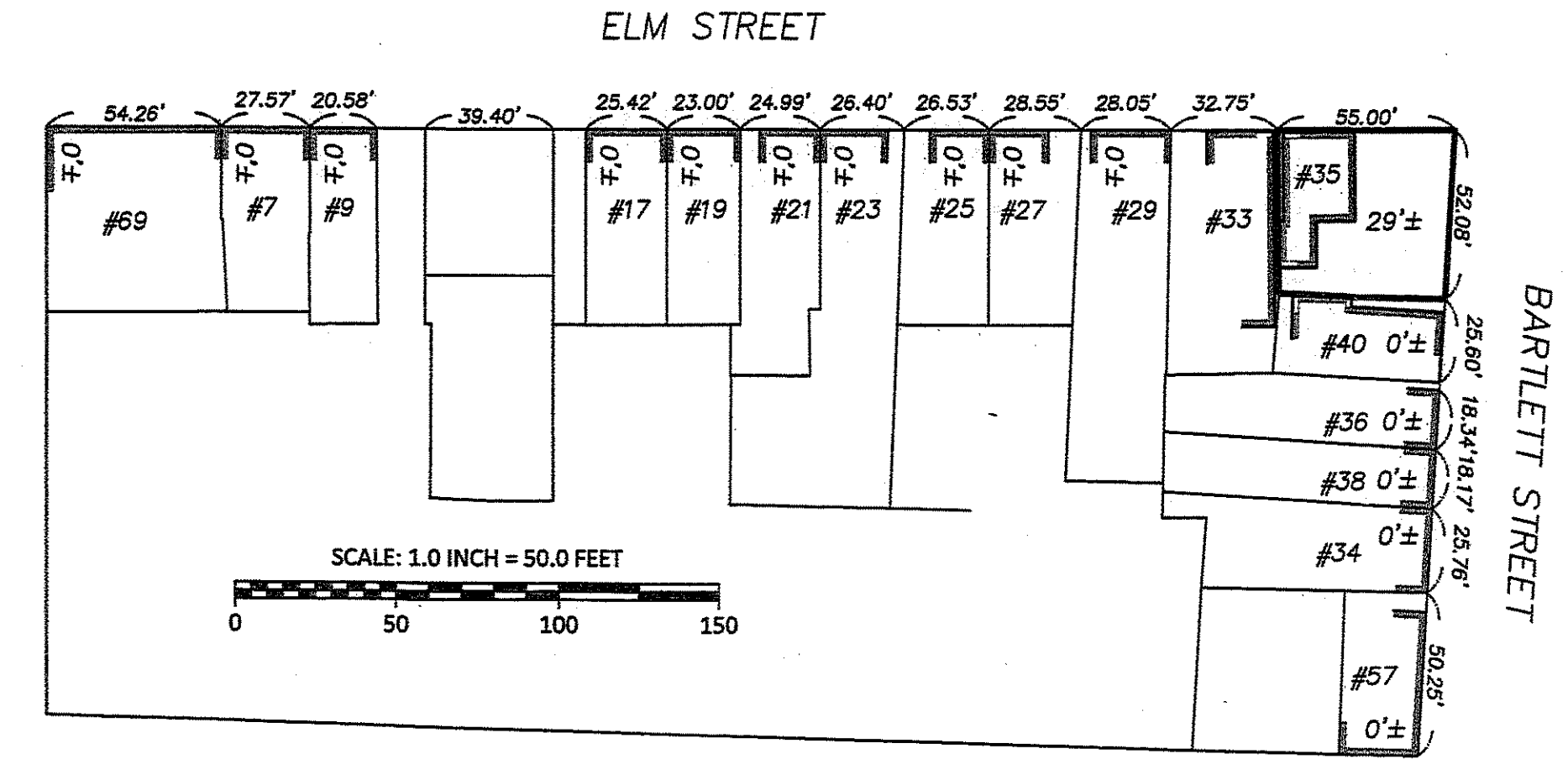
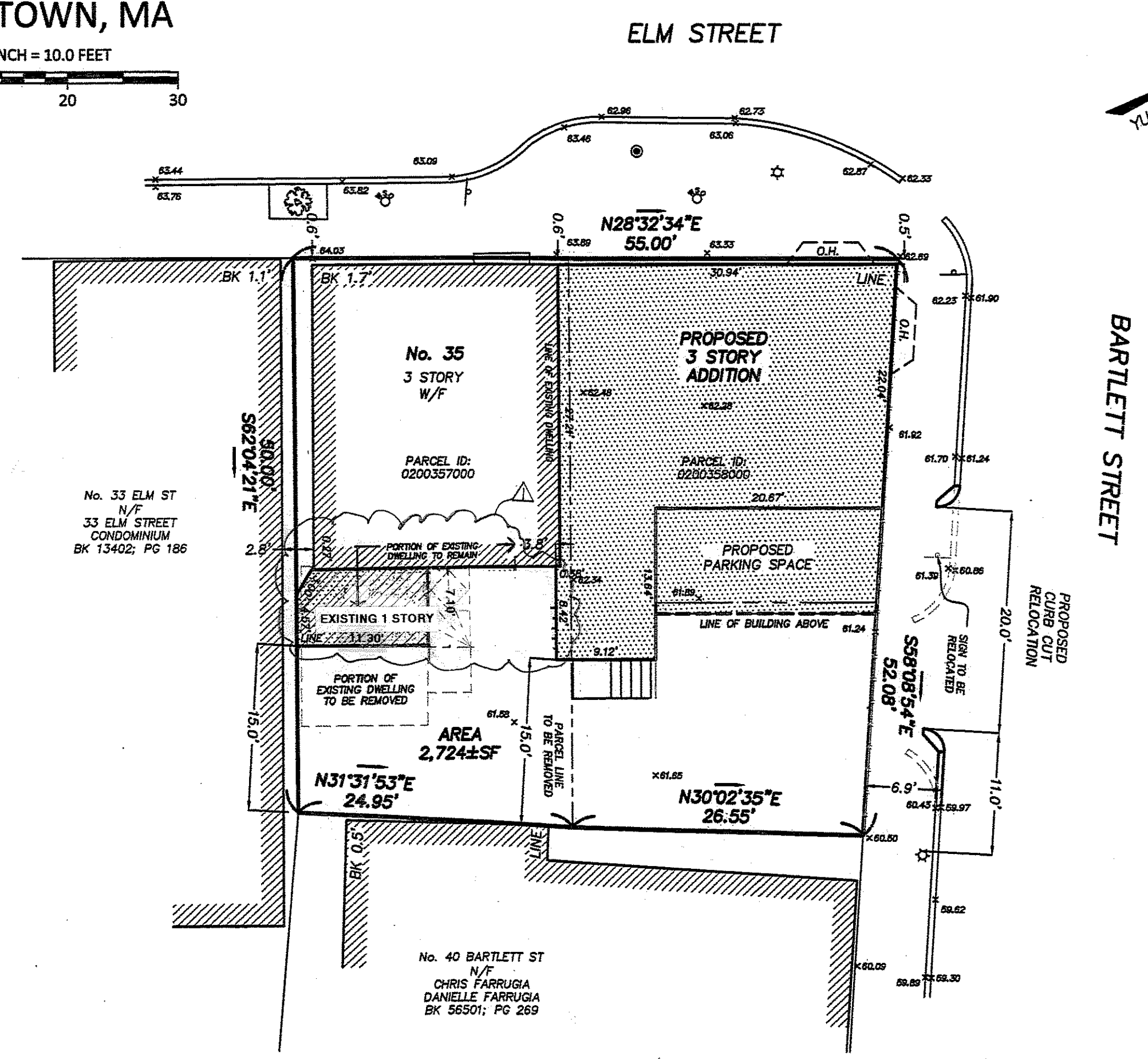
PREPARED FOR:
 NOVA REALTY TRUST
 40 WARREN STREET
 CHARLESTOWN, MA 02129

REFERENCES:
 OWNER OF RECORD:
 EMMETT R. PULLIAM
 MARGARET M. PULLIAM
 35 ELM STREET
 CHARLESTOWN, MA 02129

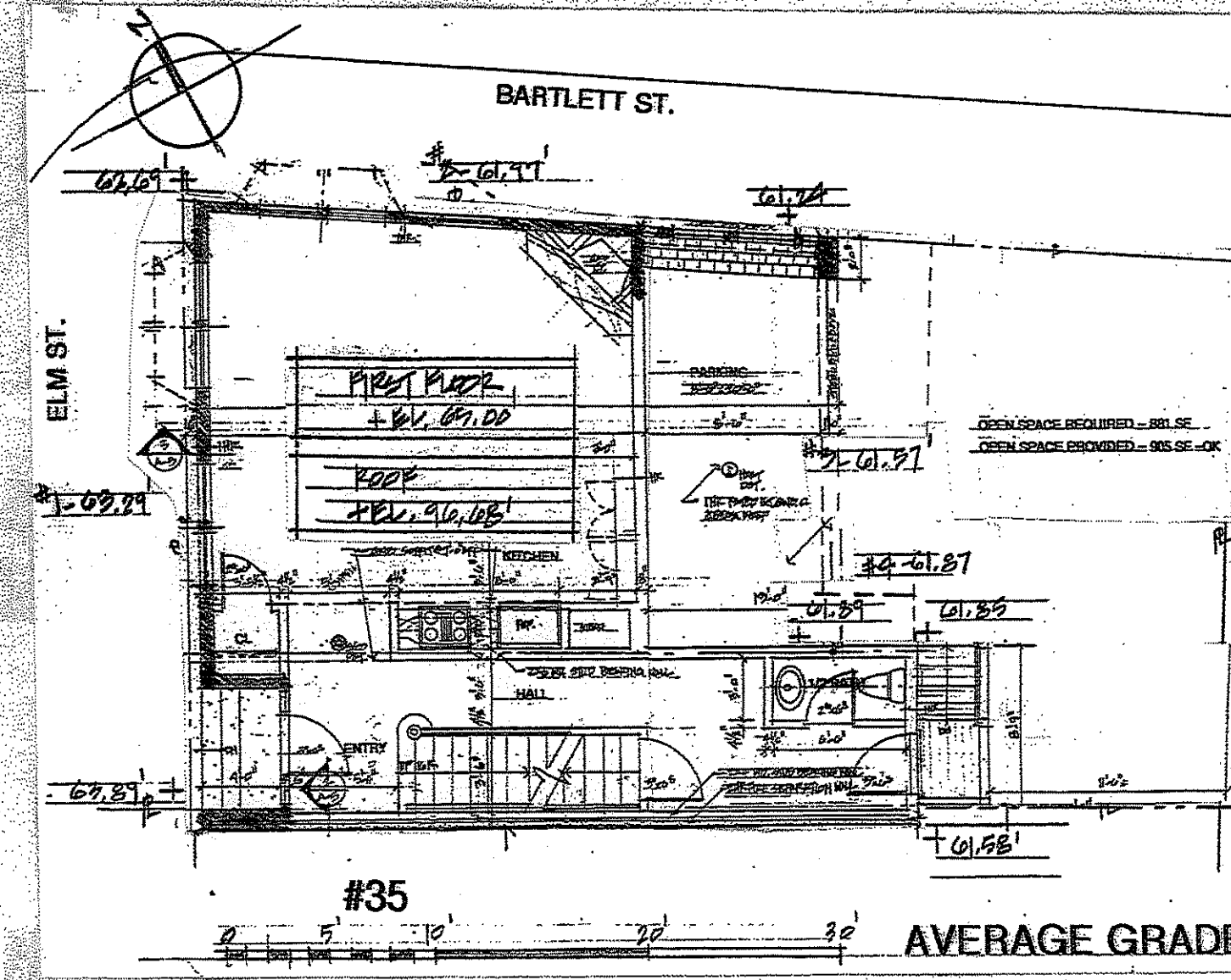
DEED: BK 7470; PG 78
 LCC: 12067-A
 10319-A
 8193-A
 PLAN BK 4264; PG 558
 BK 4268; PG 441
 BK 8031; PG 93
 BK 22512; PG 1
 PL BK 2011; PL 212
 YUNITS (SHHET S-8 OF 22)

NOTES:
 PARCEL ID: 0200358000
 DATUM: BOSTON CITY BASE

PURPOSE
 THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE CITY OF BOSTON PARCEL ID'S 0200357000 AND 0200358000 INTO ONE PARCEL WITH A TOTAL AREA OF 2,724±SF.



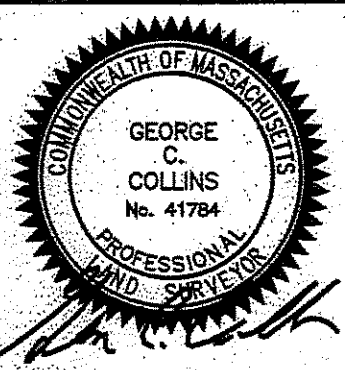
AVERAGE BUILDING ALIGNMENT (MODAL)		
ELM STREET:	COMMON SETBACK:	TOTAL FRONTAGE:
BARTLETT STREET:	0.0'	373.10'
	29.0'	138.12'
		52.08'
ELM STREET MODAL SETBACK: 0.0'		
BARTLETT STREET MODAL SETBACK: 0.0'		



AVERAGE GRADE CALCULATION

Point	Elevation
#1	62.29
#2	61.91
#3	61.87
#4	61.87
#5	61.78
#6	61.0
#7	62.00
#8	62.00
#9	62.00
#10	62.00
#11	62.00
#12	62.00
#13	62.00
#14	62.00
#15	62.00
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#25	62.00
#26	62.00
#27	62.00
#28	62.00
#29	62.00
#30	62.00
#31	62.00
#32	62.00
#33	62.00
#34	62.00
#35	62.00

FIELD: JH
 DRAFT: RAP
 CHECK: GCC
 DATE: 12/31/18
 JOB #: 18-00540



PROJECT TITLE
35-37 ELM STREET
 CHARLESTOWN, MASSACHUSETTS

Patterson Architects, Inc.
 100 MONROE DRIVE
 HOLLISTON, MA 01746
 (508) 655-1599 (617) 686-3284

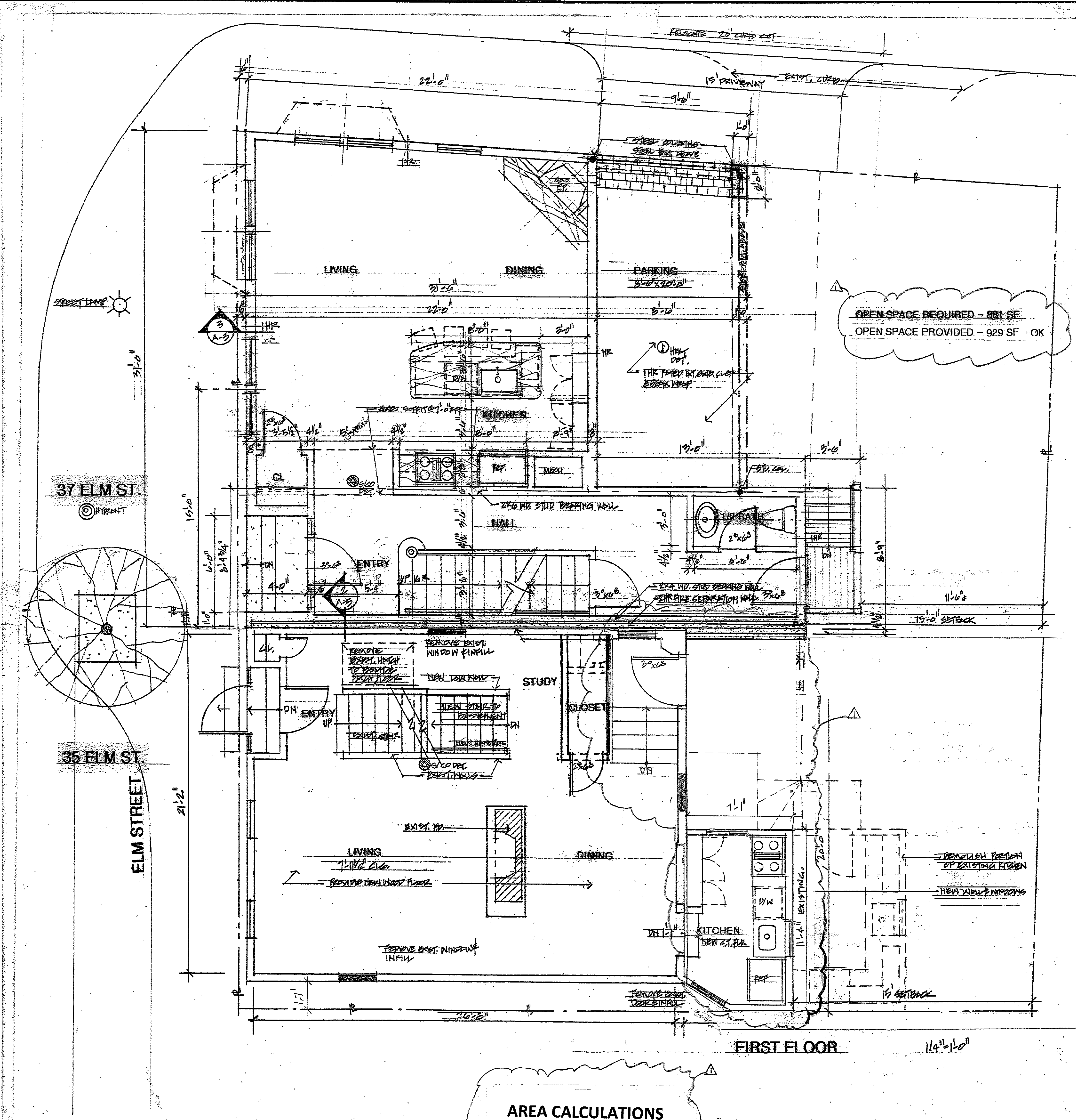
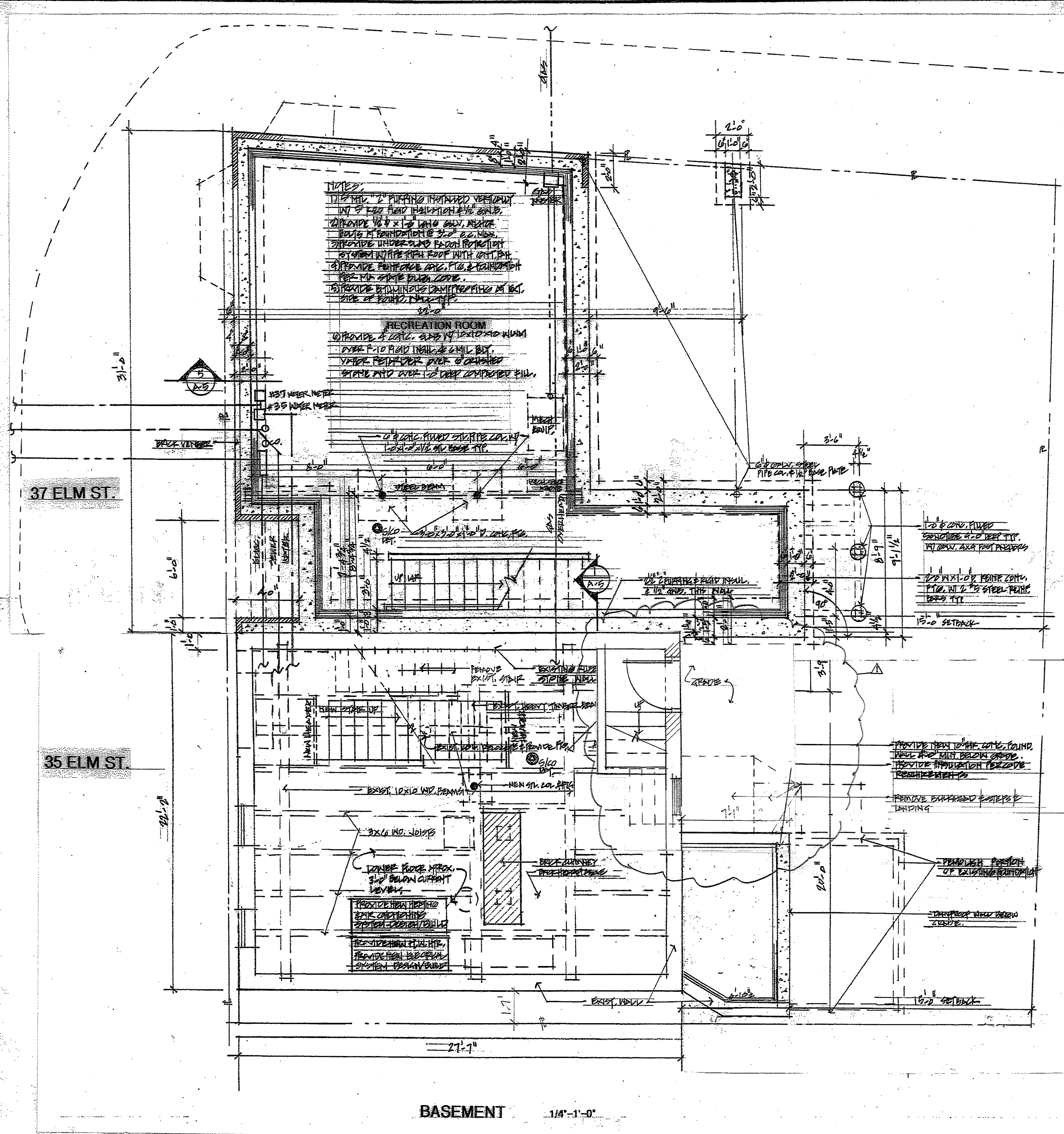
STAMP

REVISIONS		
No.	Description	Date
1	REDUCE SIZE OF KITCHEN ADDITION	1/4/19

TITLE
CERTIFIED PLOT PLAN
STREET UTILITY PLAN

DATE: 1/4/2019
 DRAWN BY: JH
 CHECKED BY: GCC
 PROJECT NUMBER: 18-00540
 SCALE: AS SHOWN

SHEET NUMBER
SP-1



OPEN SPACE REQUIRED - 881 SF
 OPEN SPACE PROVIDED - 929 SF OK

AREA CALCULATIONS	
35 ELM STREET	37 ELM STREET
FIRST 674 SF	FIRST 750 SF
SECOND 614 SF	SECOND 967 SF
THIRD 405 SF	THIRD 967 SF
SUBTOTAL 1,693 SF	SUBTOTAL 2,684 SF
BASEMENT 614 SF	BASEMENT 750 SF
TOTAL 2,307 SF	TOTAL 3,434 SF

PROJECT TITLE
35-37 ELM STREET
 CHARLESTOWN, MASSACHUSETTS

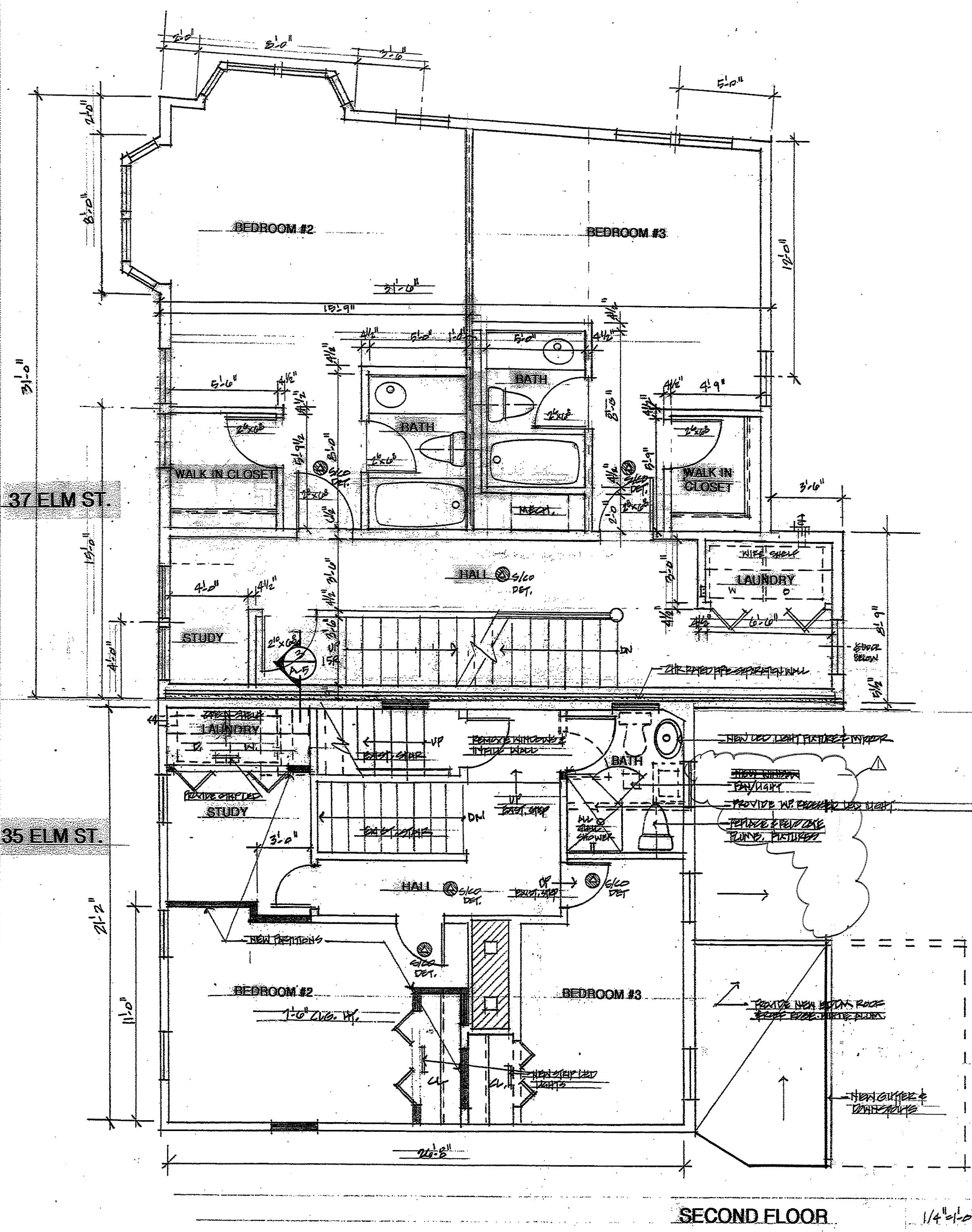
Patterson Architects, Inc.
 100 MONROE DRIVE
 HOLLISTON, MA 01746
 (508) 655-1599 (617) 686-3284

REVISIONS		
No.	Description	Date
1	REMOVE SIDE OF EXISTING PORCH	2.9.19

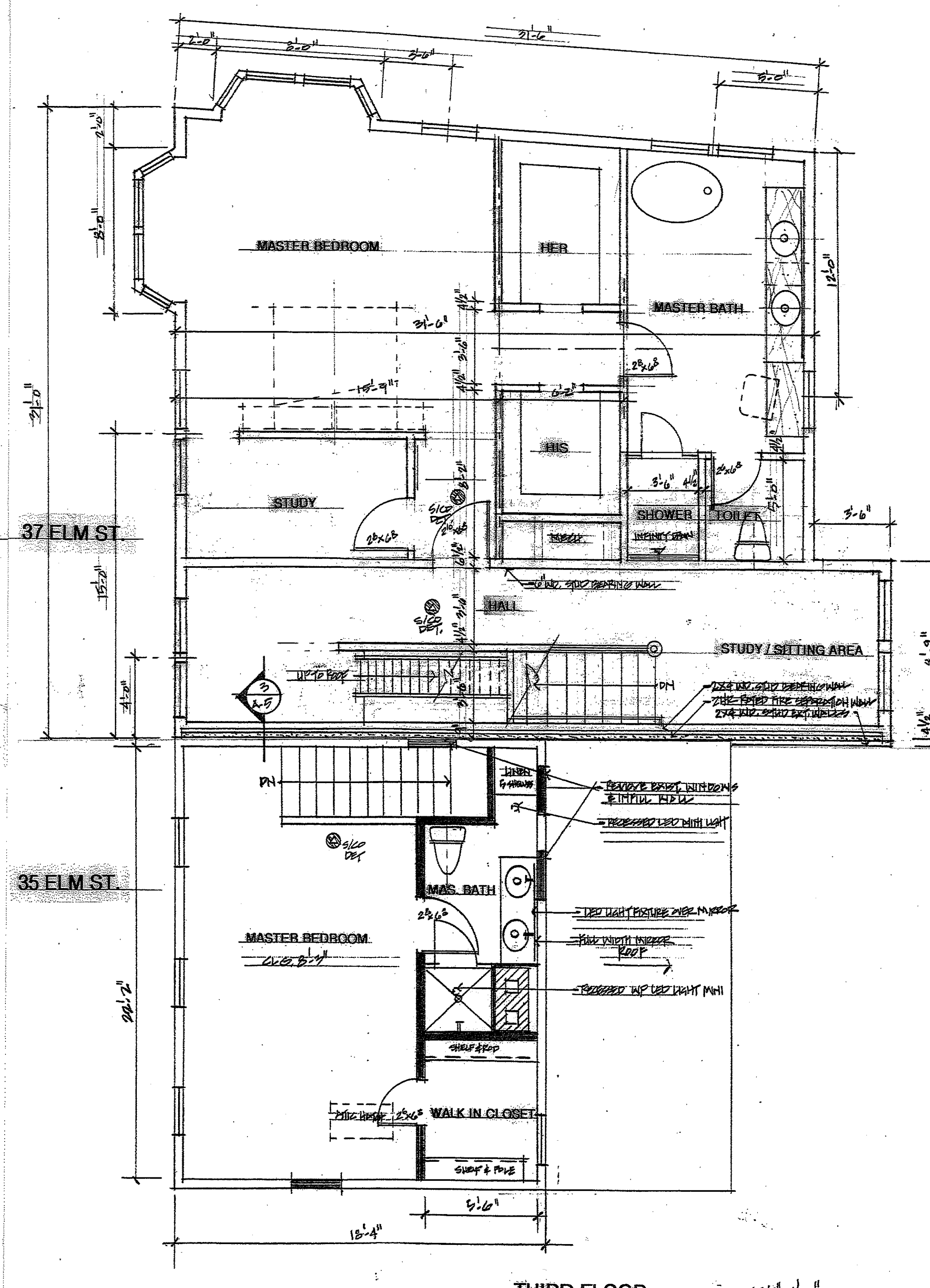
COMPUTER DRAWING NAME
 ARCHIVE NUMBER

TITLE
BASEMENT FLOOR PLAN
FIRST FLOOR PLAN

DATE 10.2.2019
 SHEET NUMBER
A-1
 DRAWN BY KP/BE/HJ/ED
 CHECKED BY KP
 PROJECT NUMBER 2019.04
 SCALE AS SHOWN



SECOND FLOOR 1/4" = 1'-0"



THIRD FLOOR 1/4" = 1'-0"

PROJECT TITLE
35-37 ELM STREET
 CHARLESTOWN, MASSACHUSETTS

Patterson Architects, Inc.
 100 MONROE DRIVE
 HOLLISTON, MA 01746
 (508) 655 - 1599 (617) 686 - 3284

STAMP

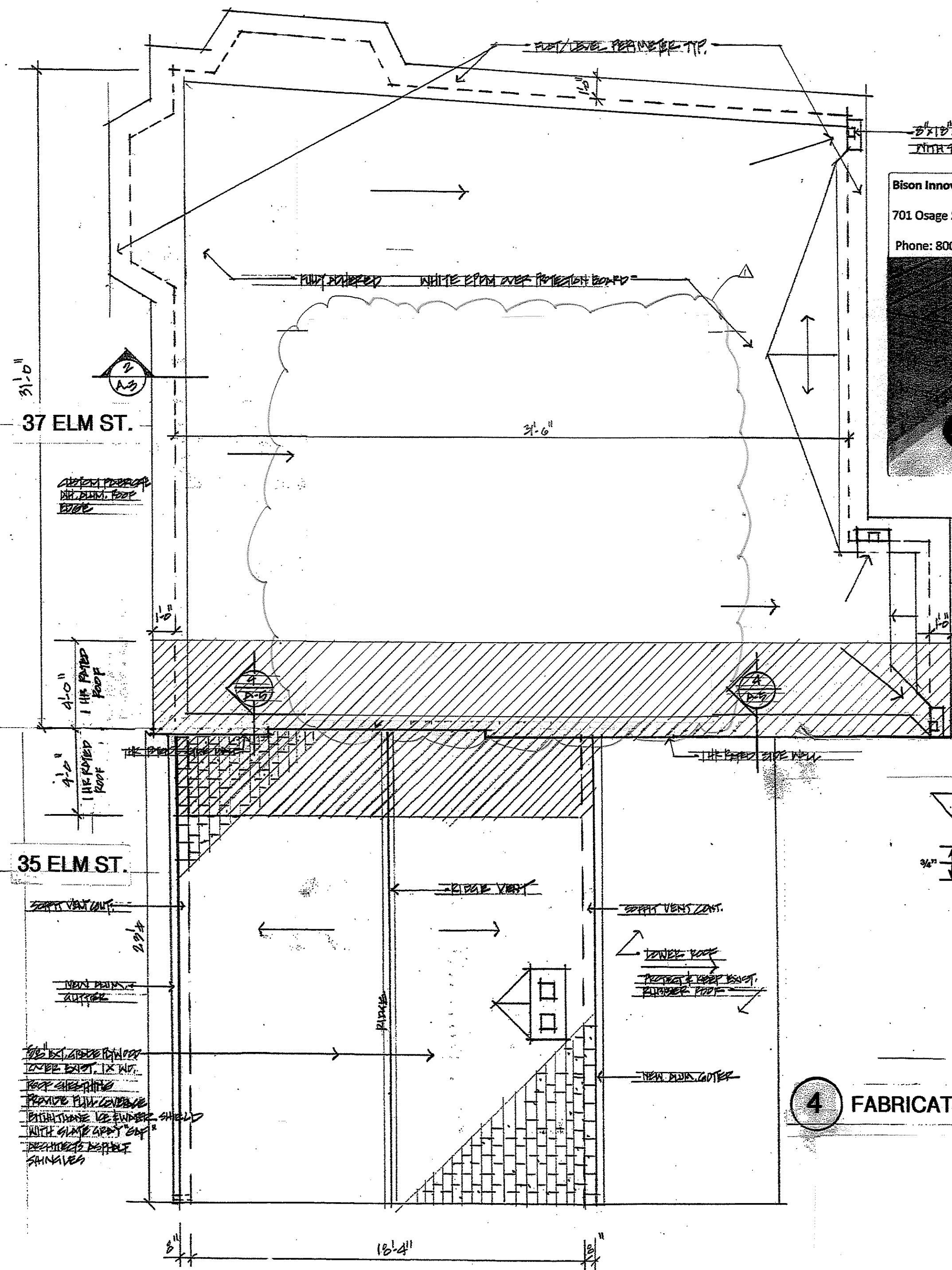
REVISIONS		
No.	Description	Date
1	PERUSE SIDE OF FLOOR PLAN	7.24.19

COMPUTER DRAWING NAME
 ARCHIVE NUMBER

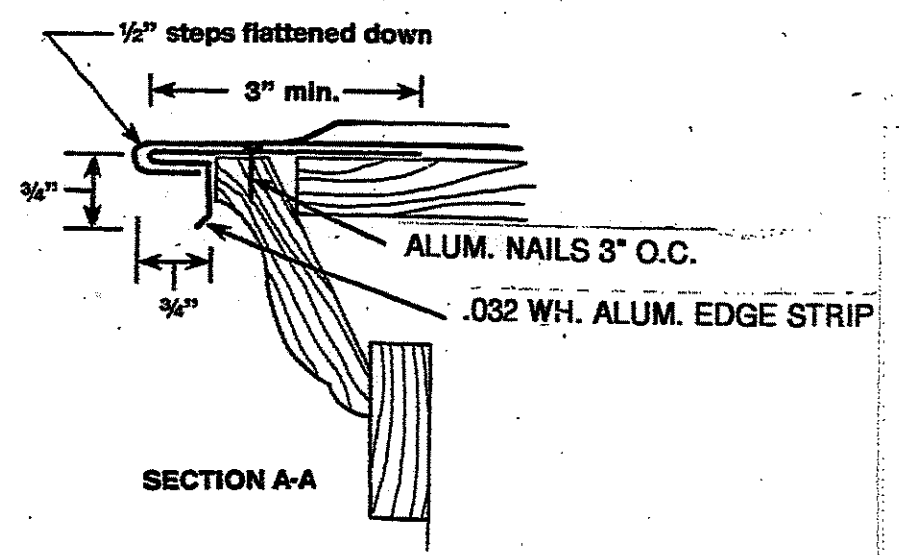
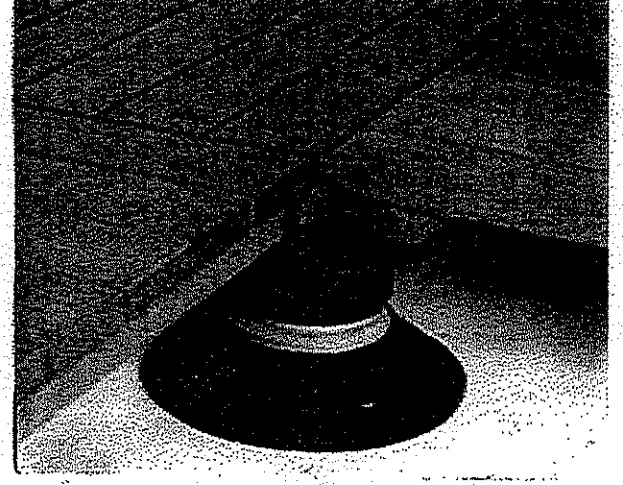
TITLE
SECOND FLOOR PLAN
THIRD FLOOR PLAN

DATE 1-24-2019
 DRAWN BY KP
 CHECKED BY KP
 PROJECT NUMBER 2018.04
 SCALE 1/4" = 1'-0"

SHEET NUMBER
A-2



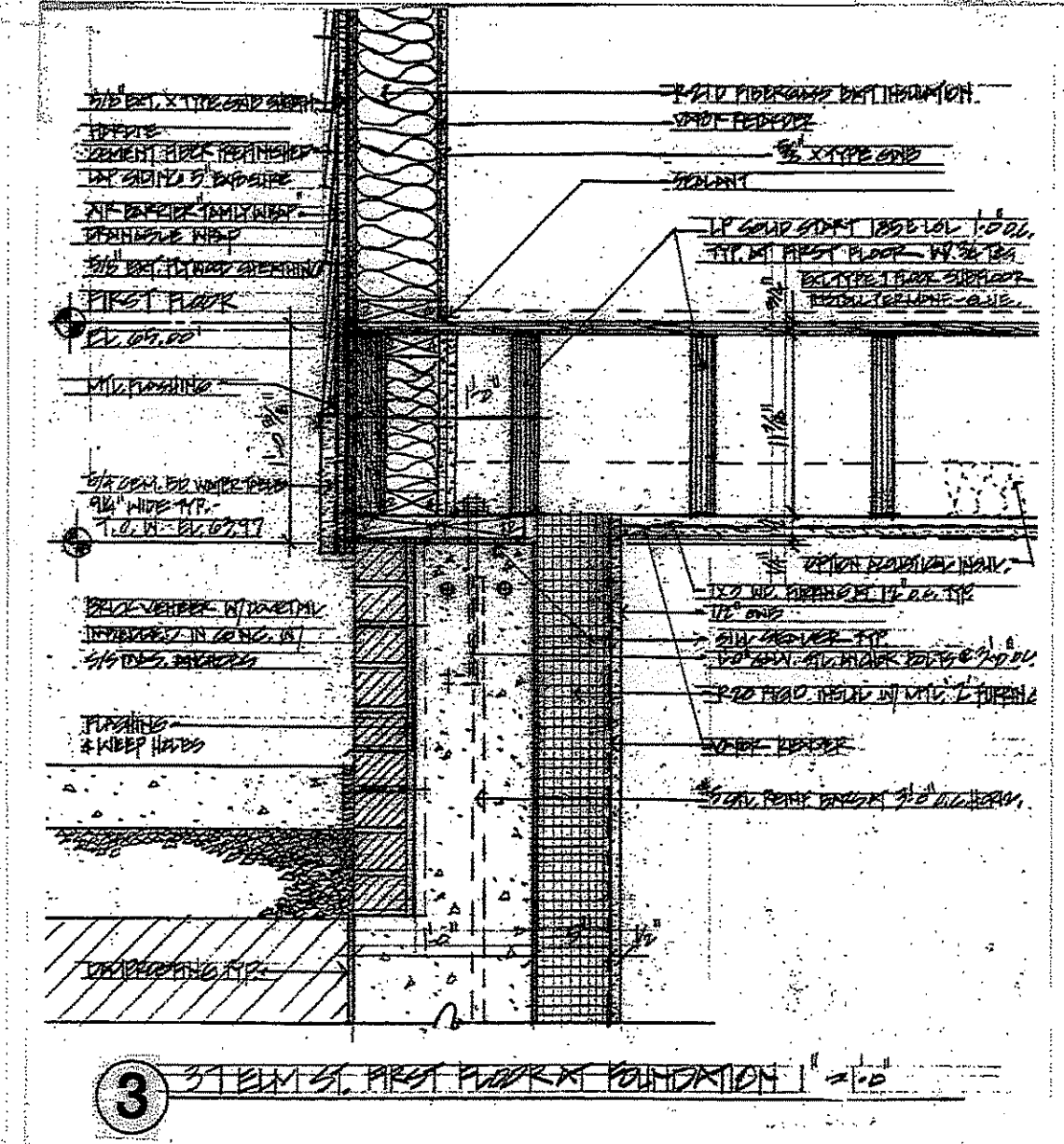
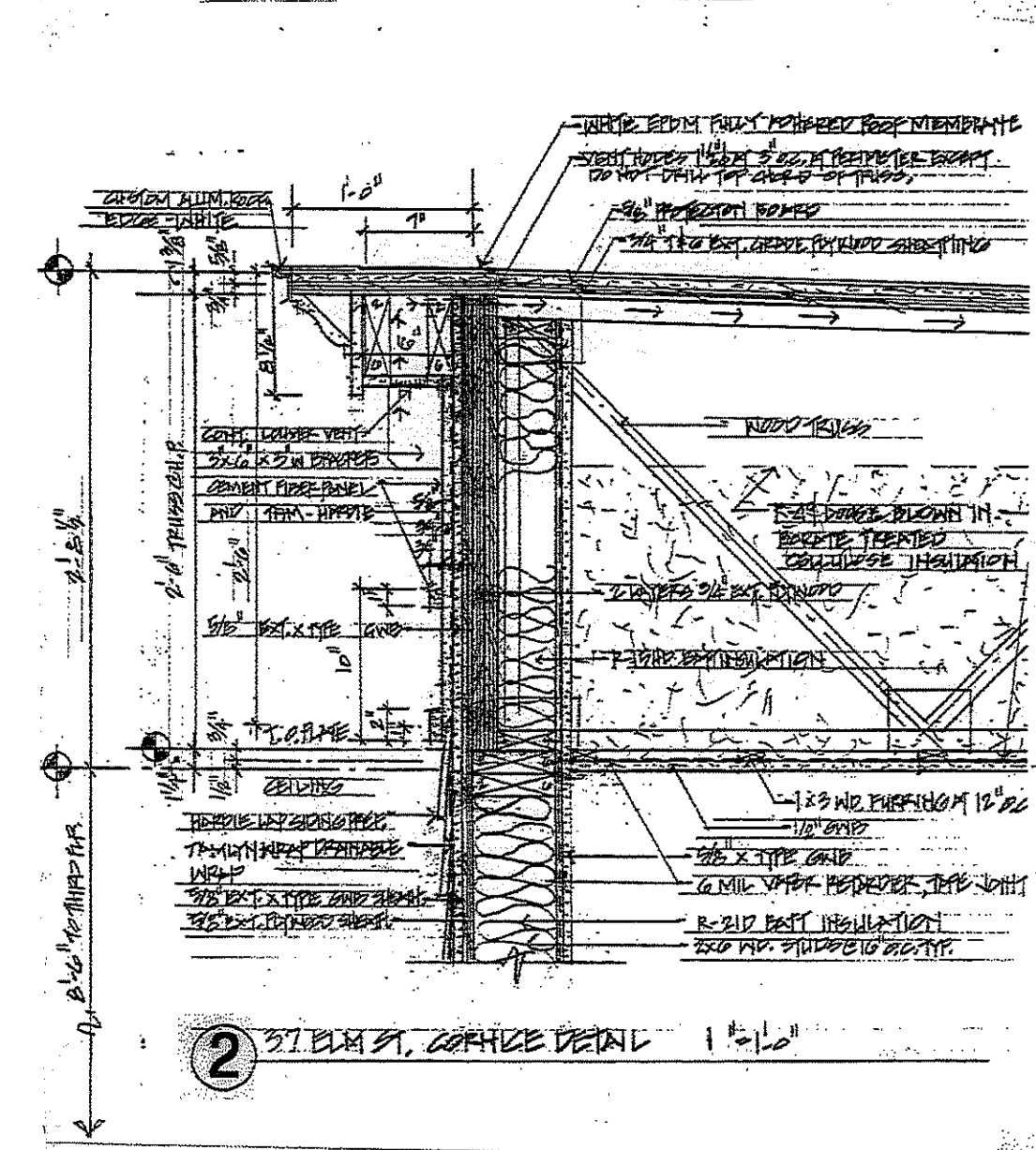
Bison Innovative Products (Roof Patios)
 701 Osage Street, Bldg 2, Unit 120 | Denver, CO | 80204 |
 Phone: 800.333.4234 | Fax: 303.825.5988 |



4 FABRICATED ROOF EDGE DETAIL

GENERAL NOTES:

- All work shall be done per the latest MA State Building Code Ninth Edition with State Amendments.
- The G.C. shall field verify all dimensions with existing conditions in order to coordinate all prescribed work shown on the plans.
- The Structural, Electrical, Plumbing and any Sprinkler Fire Protection work shall be done as Design/Build. The General Contractor is responsible for meeting code safety requirements and coordinating all construction and subcontractor activities.
- Dimensions are given from face of concrete foundation wall to face of drywall unless otherwise noted.
- All wood stud walls unless otherwise dimensioned and noted shall be 2X4 with pressure treated sill plate and studs at 16 O.C. typically. Provide 1/2" gypsum wallboard each side except where one hour rated walls are required by code. Walls against the foundation walls are insulated. Exterior walls shall be insulated to meet 2015 IECC. Where ductwork occurs at wall locations, provide alternate framing around the ductwork yet maintaining the designated dimensions and profiles. All walls and trim shall receive one prime coat and two finish coats.
- All floor finishes shall be selected by the owner/developer.
- Cabinets, counters, floor tile, mirrors and light fixtures shall meet owner/ developers standards. Cabinets shall be Ariscraft or equal as selected by the owner/developer.
- The interior stair shall be finished with solid risers, side skirts, oak treads with natural finish, 2'-0" high bead board wainscoting with trim.
- The main living space on the First Floor shall have a 3'-0" high panel style wainscoting material, painted. Provide crown molding typically at wall ceiling intersections in all primary living spaces.
- The gas fireplace, Heatilator or equal, shall be installed with the vent out through the side wall. The 18" required hearth shall be 1" thick polished granite to match the Kitchen countertop.
- For sound deadening purposes, install 3" thick fiberglass sound batts tightly between the existing engineered floor joists above the finished ceilings only. The G.C. shall coordinate this work with the electrical contractor for proper recessed light fixtures to be used with insulation in close proximity.
- Install wood blocking for mounting cabinets, hardware, appliances towel bars TV etc. where these items are shown or noted on the plans.
- All flooring selections, paint colors, light fixtures, plumbing fixtures and appliances shall be approved by the Owner/developer.
- All new doors and hardware shall match those used throughout the house.
- Provide cable and electrical connection for the new wall mounted TV.
- Provide Radon evacuation system in the basement with fan and vent through the roof.



MASS. STATE BUILDING CODE NINTH EDITION
INTERNATIONAL ENERGY CODE 2015 EDITION

Table R402.1.2 Insulation and Fenestration Requirements by component

• Climate Zone - 5	
• Fenestration U-Factor -	0.32
• Skylight U-Factor -	0.55
• Glazed Fenestration SHGC -	NR
• Ceiling R-Value -	49 (Installing R-38 over 100% of area)
• Wood Frame Wall R-Value -	20 or 13+5
• Mass Wall R-Value -	13/17
• Floor R-Value -	30
• Basement Wall R-Value -	15/19 (second value- if insulation is 50% or more interior)
• Slab R-Value and Depth -	10, 2 feet
• Crawl Space R-Value -	15/17

CHAPTER 14 EXTERIOR WALLS

1404.3 Vapor retarders

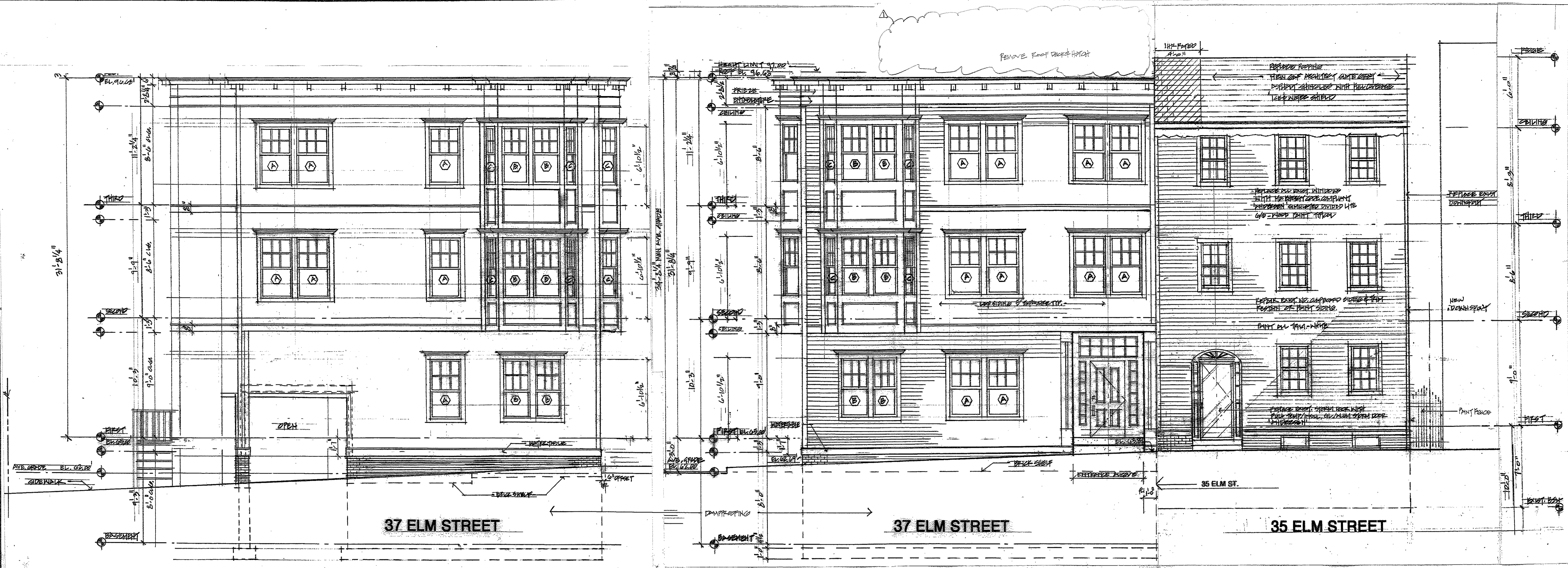
1404.3.1 Class I and II vapor retarders

Class I and II vapor retarders shall be installed on the interior side of frame walls in Zone 5.

ZONING SUMMARY 35-37 ELM STREET CHARLESTOWN, MA

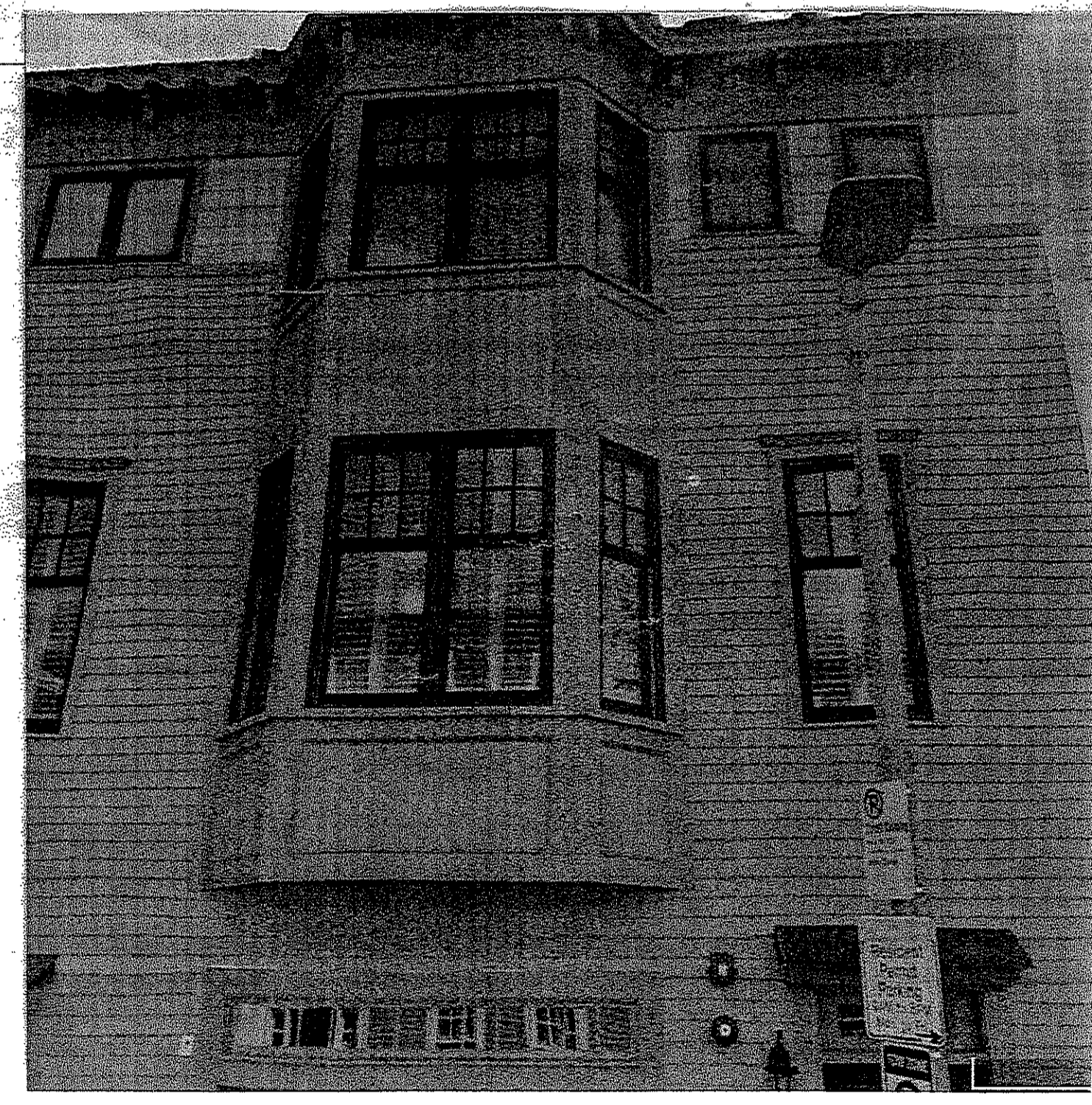
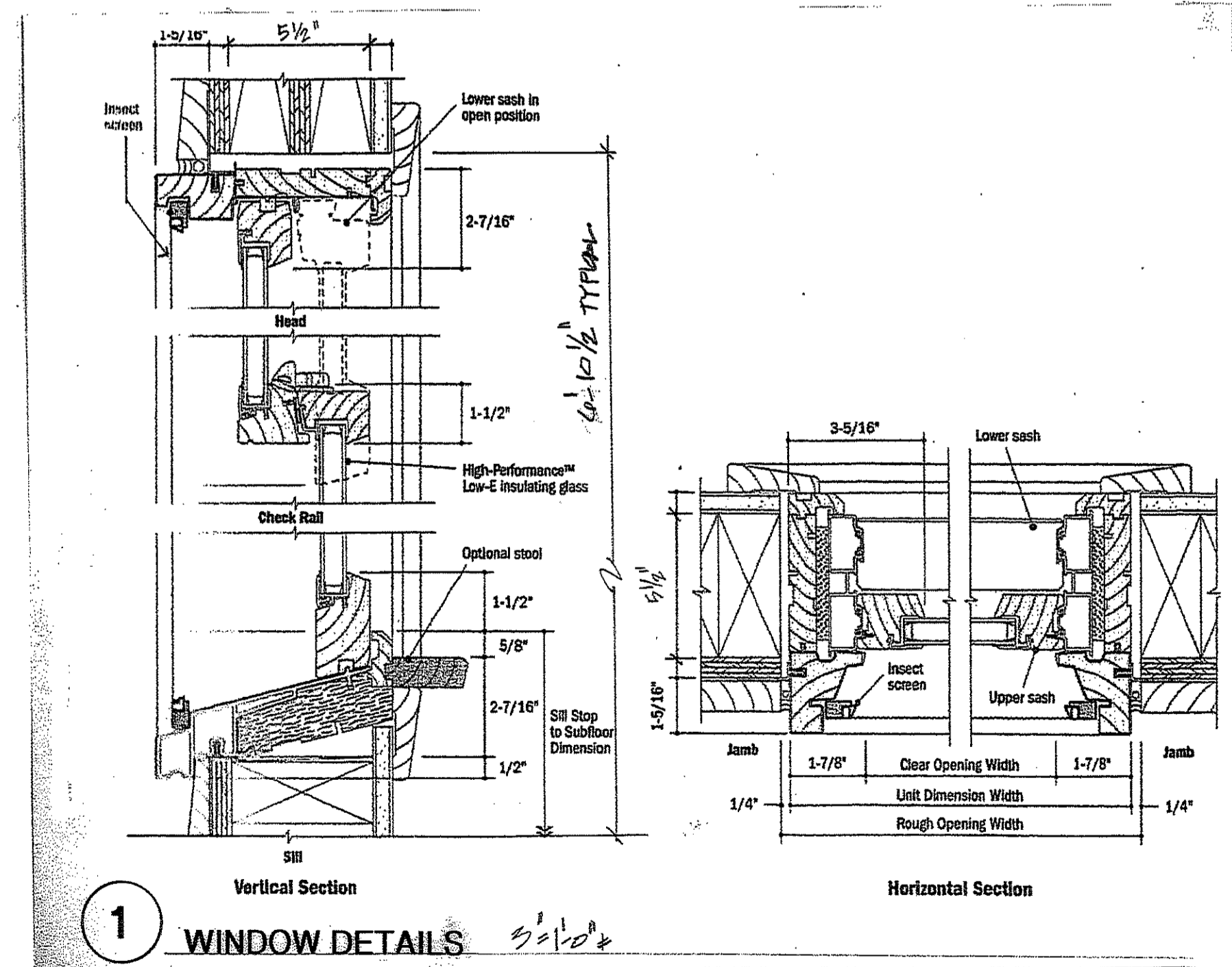
ALT 882976
 3F-2000 ZONE
 20' WIDTH FRONTAGE - OK
 2,000 S.F PER UNIT - ENC
 LOT AREA = 2,724 SF
 F.A.R. MAX 2.0/LOT LOT AREA 2,724 SF X 2 = 5,448 SF ALLOWABLE
 35 ELM = 1,757 SF
 37 ELM = 2,684 SF
 TOTAL = 4,441 SF - OK
 3/35' STORIES - OK
 AVERAGE GRADE = 65.00' MAXIMUM HEIGHT = 97.00'
 BUILDING HEIGHT = 96.68' - OK
 F.Y.S. STREET AVG. (MODAL) - OK
 S.Y.S. 2.5 (15' R.Y.S.) - OK
 R.Y.S. 20' (15'R.Y.S. EXCEPTION) - OK
 R.Y.S. 10' STEPS / PORCHES - OK
 DRIVEWAY WIDTH 10' - OK
 SECTION 62-30 TRAFFIC VISIBILITY ACROSS CORNER - NOT REQUIRED SINCE MODAL REQUIREMENTS ARE MET.
 PARKING: 1-2 UNITS: 1 SPACE REQ'D (EXIST. HOUSE DOES NOT HAVE PARKING ON ITS PARCEL) - OK
 OPEN SPACE 2 UNITS X 350 SF/ UNIT = 700 SF + .25 X 724 LOT OVERAGE = 181 SF = 881 SF OPEN SPACE REQUIRED.
 OPEN SPACE 2 UNITS X 350 SF/ UNIT = 700 SF + .25 X 724 LOT OVERAGE = 181 SF = 881 SF OPEN SPACE REQUIRED.
 OPEN SPACE PROVIDED = 929 SF ON GRADE = MORE THAN 881 SF REQUIRED- OK

PROJECT TITLE 35-37 ELM STREET CHARLESTOWN, MASSACHUSETTS	Patterson Architects, Inc. 100 MONROE DRIVE HOLLISTON, MA 01746 (508) 655-1599 (617) 686-3284	STAMP	REVISIONS		TITLE GENERAL NOTES ROOF PLAN / DETAILS MASS.STATE CODE 9TH ED. ZONING SUMMARY	DATE 1-4-2019	SHEET NUMBER A-3
			No.	Description			
			1	REVISIONS			
			2	REVISIONS			
					COMPUTER DRAWING NAME		
					ARCHIVE NUMBER		
						SCALE 1/8" = 1'-0"	



BARTLETT STREET ELEVATION 1/4" = 1'-0"

ELM STREET ELEVATION 1/4" = 1'-0"



BAY WINDOW DETAILING SIMILAR TO 54 BARTLETT STREET.

WINDOW SCHEDULE

#37 Elm Street - SPEC. - Andersen 400 Series Divided Lite

- White Double Hung Tilt In for Cleaning
- Low e glass high performance
- Wood window frames with preformed vinyl frame cover at exterior
- 6/1 permanent exterior & permanent interior
- 3/4" muntins
- Screens

A TW 2846 unit w= 2'-9 5/8" h= 4'-8 7/8"

B TW 2046 unit w= 2'-1 5/8" h= 4'-8 7/8"

C TW 1846 unit w= 1'-9 5/8" h= 4'-8 7/8"

PROVIDE CERTIFICATE OF CODE COMPLIANCE ENERGY AND EGRESS

#35 Elm Street - Andersen replacement windows to be similar style and quality. Windows shall be field measured to determine sizes.

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 CHARLESTOWN, MASSACHUSETTS

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 HOLLISTON, MA 01746
 (508) 655 - 1599 (617) 686 - 3284

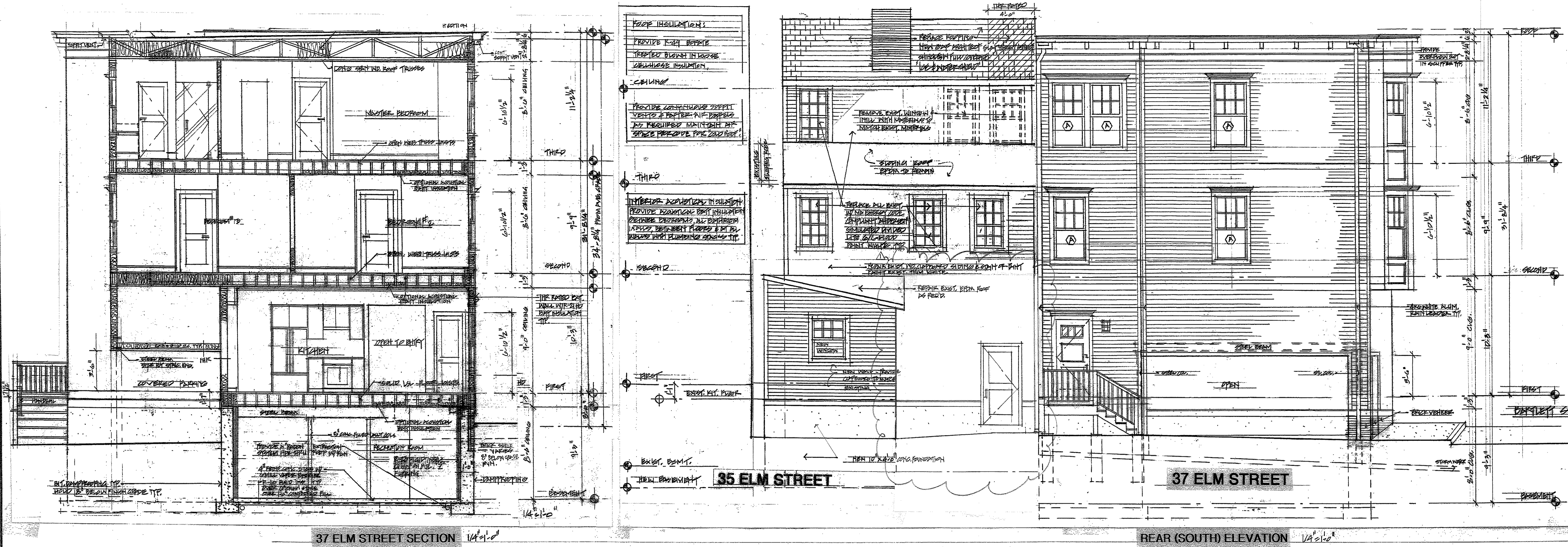
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No.	Description	Date
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COMPUTER DRAWING NAME
 ARCHIVE NUMBER

TITLE
ELEVATIONS WINDOW SCHEDULE WINDOW DETAILS

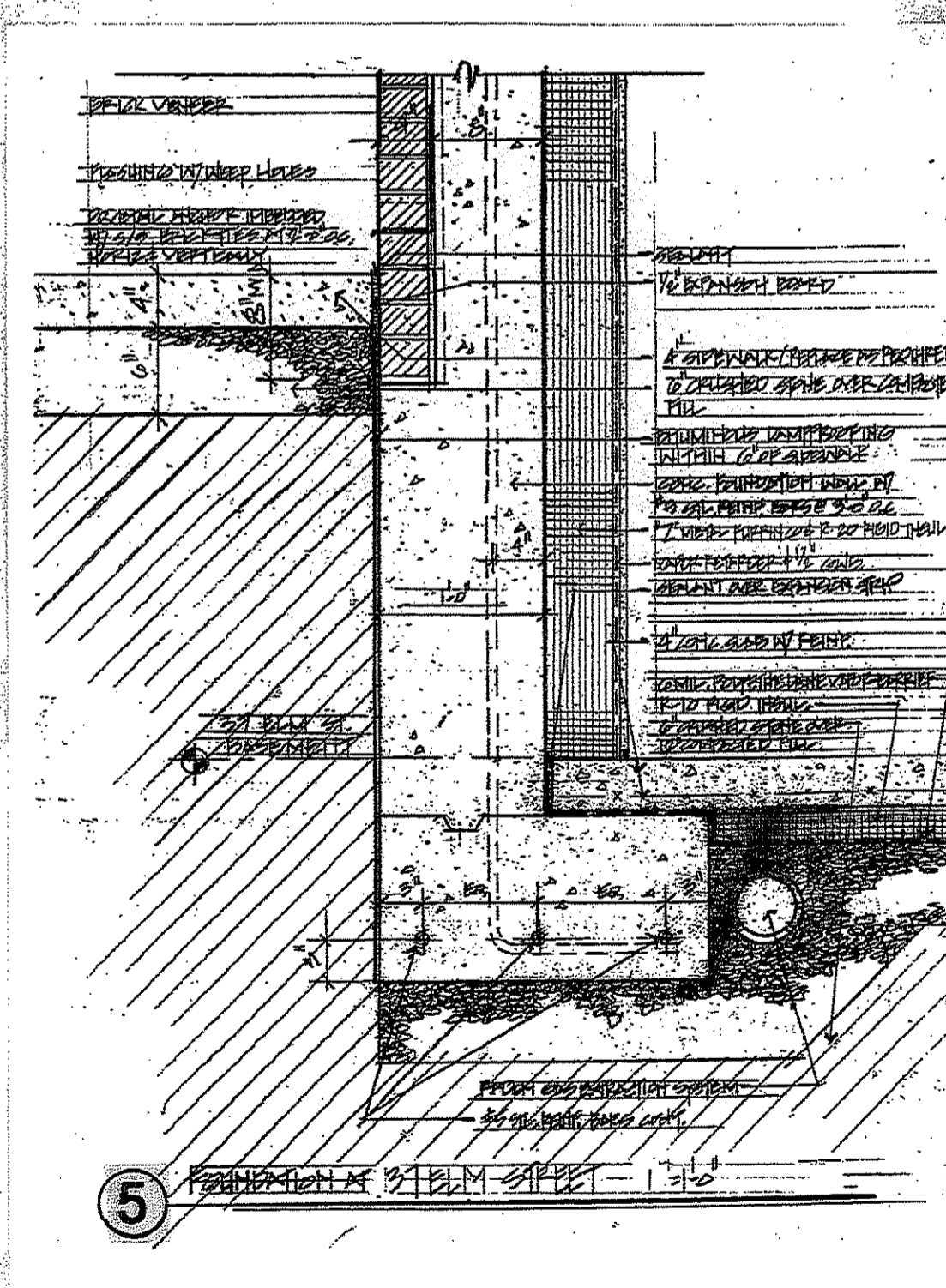
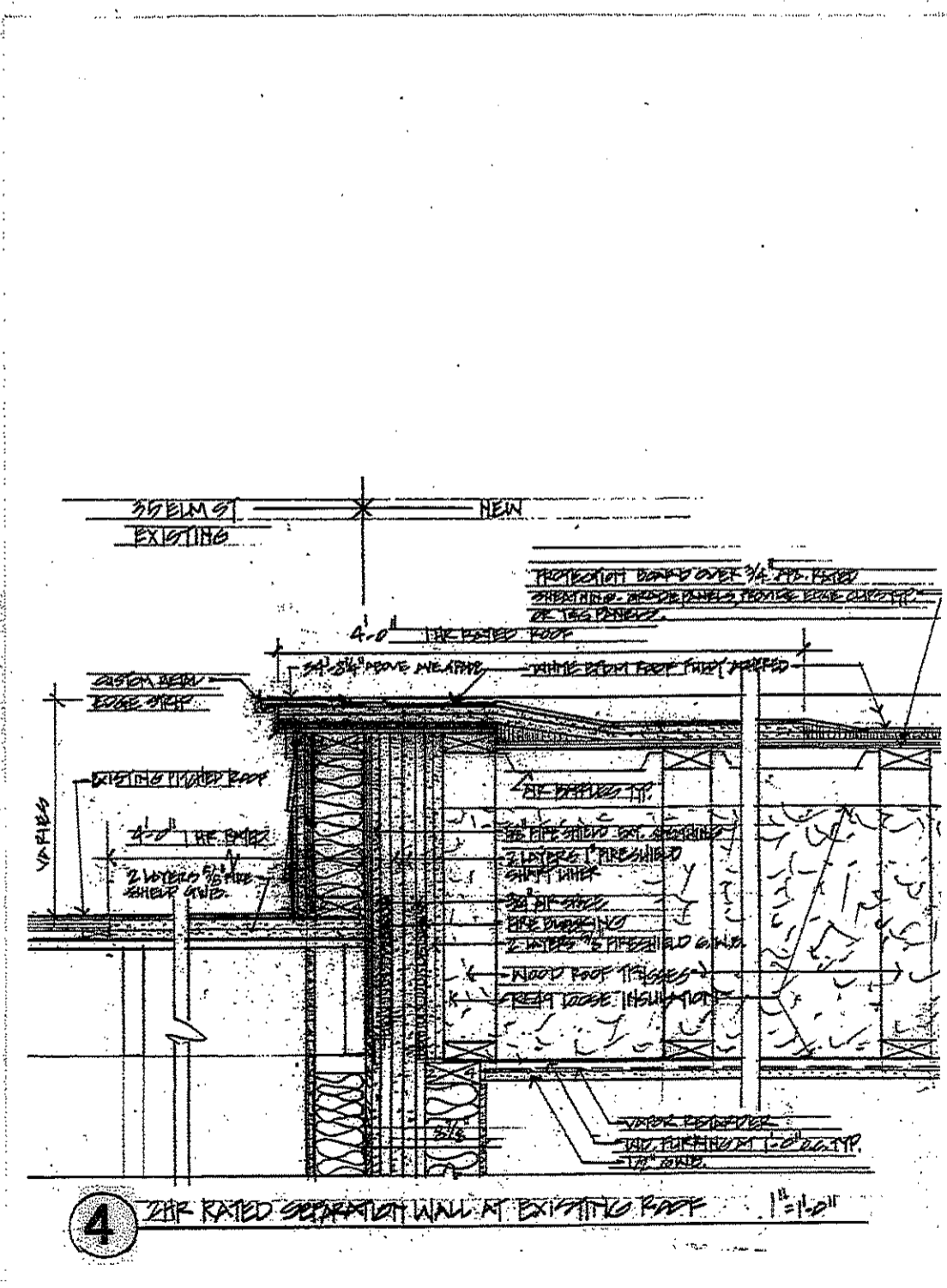
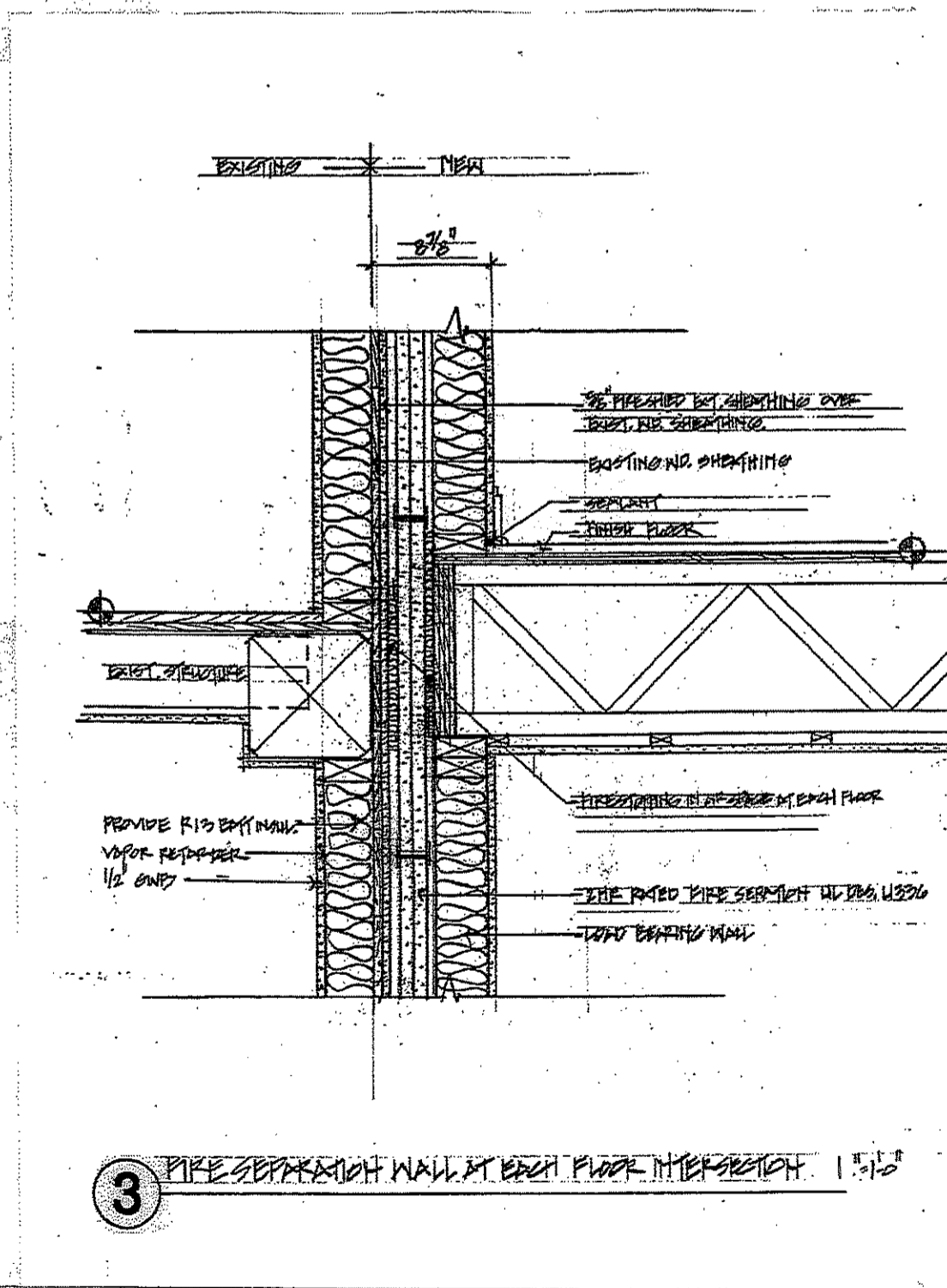
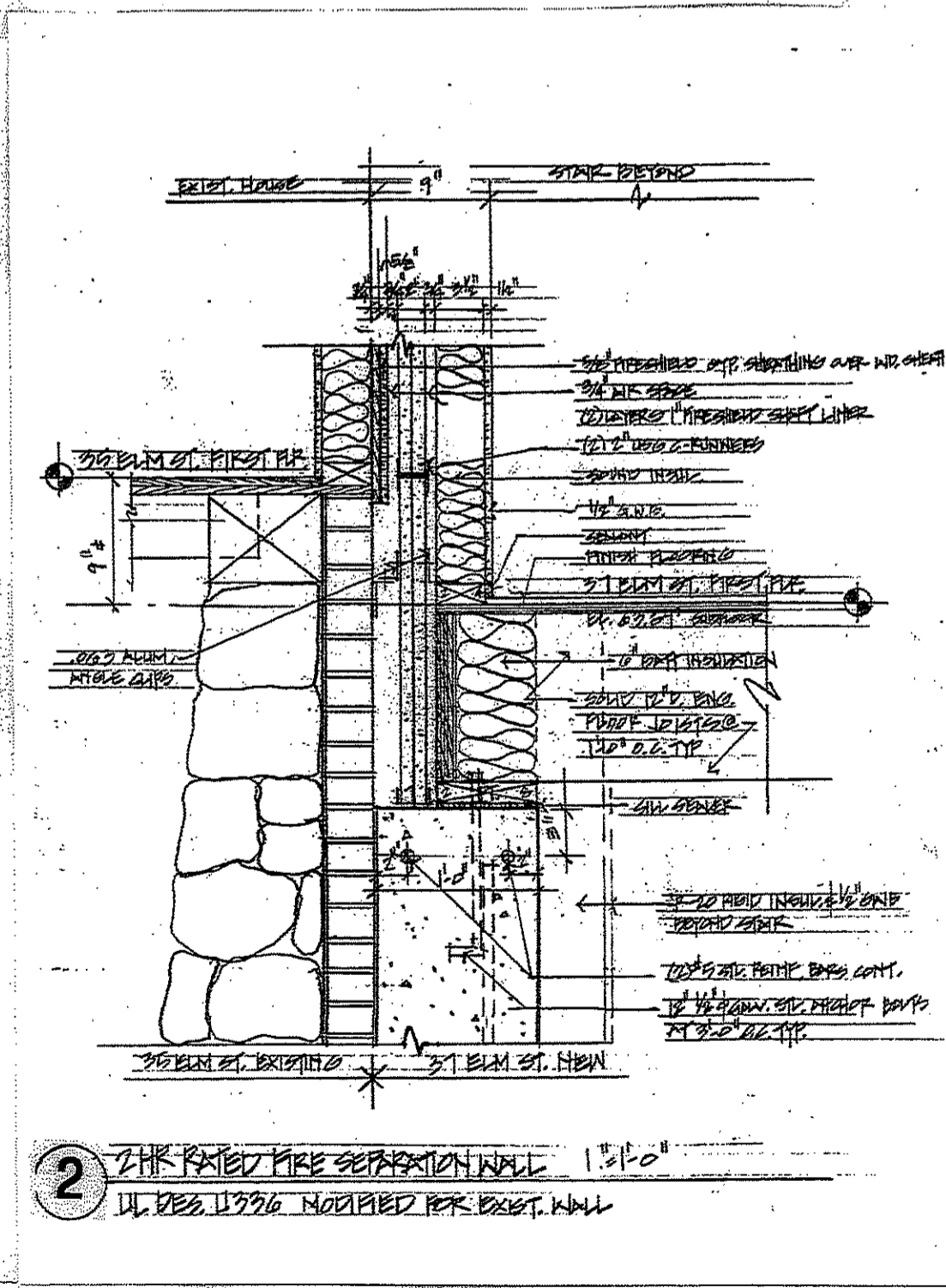
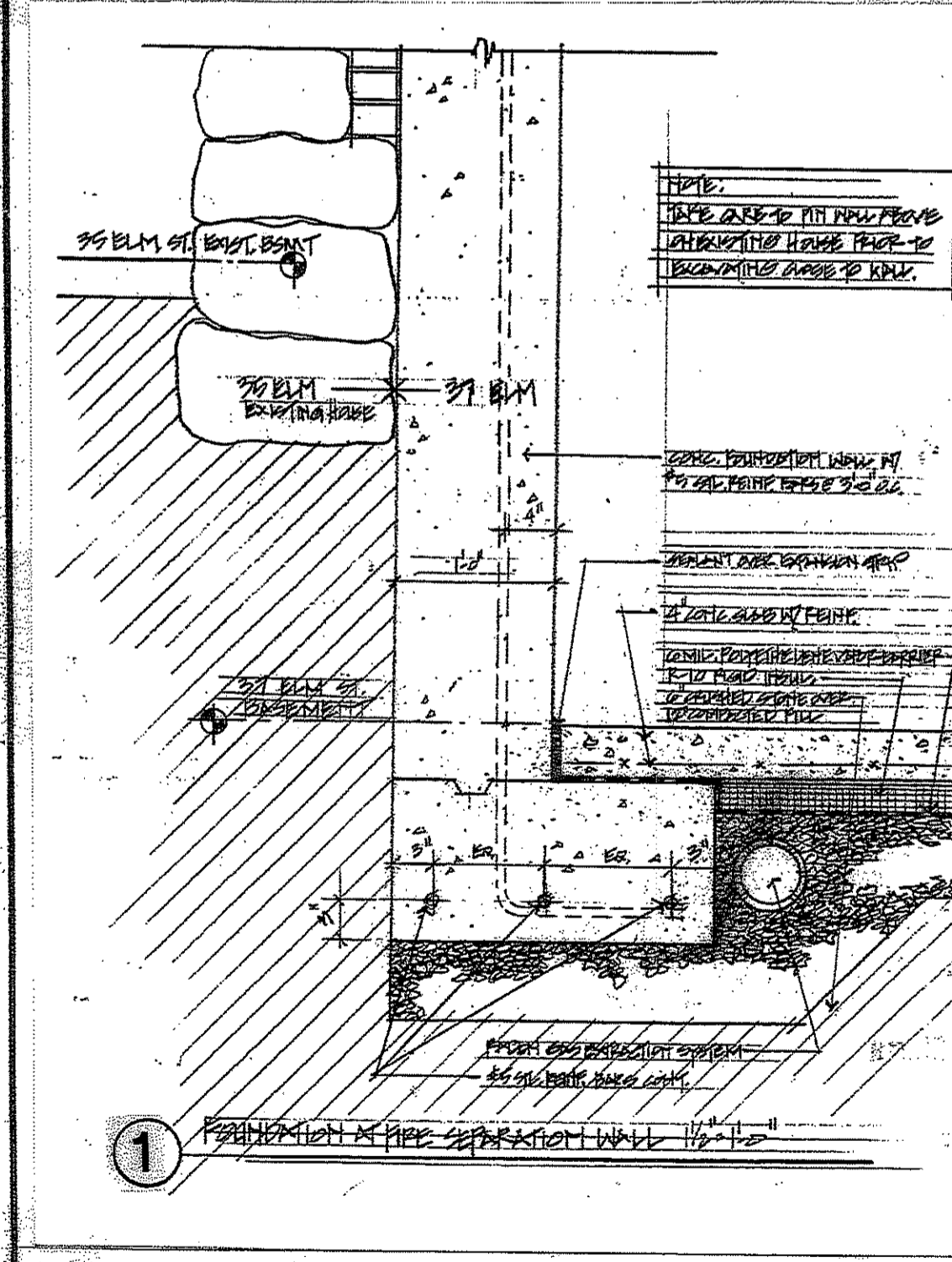
DATE 1-4-2019
 DRAWN BY RP
 CHECKED BY
 PROJECT NUMBER 2018.03
 SCALE 1/4" = 1'-0"

SHEET NUMBER
A-4



37 ELM STREET SECTION 1/4"=1'-0"

REAR (SOUTH) ELEVATION 1/4"=1'-0"



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35-37 ELM STREET
 CHARLESTOWN, MASSACHUSETTS

Patterson Architects, Inc.
 100 MONROE DRIVE
 HOLLISTON, MA 01746
 (508) 655-1599 (617) 686-3284

STAMP

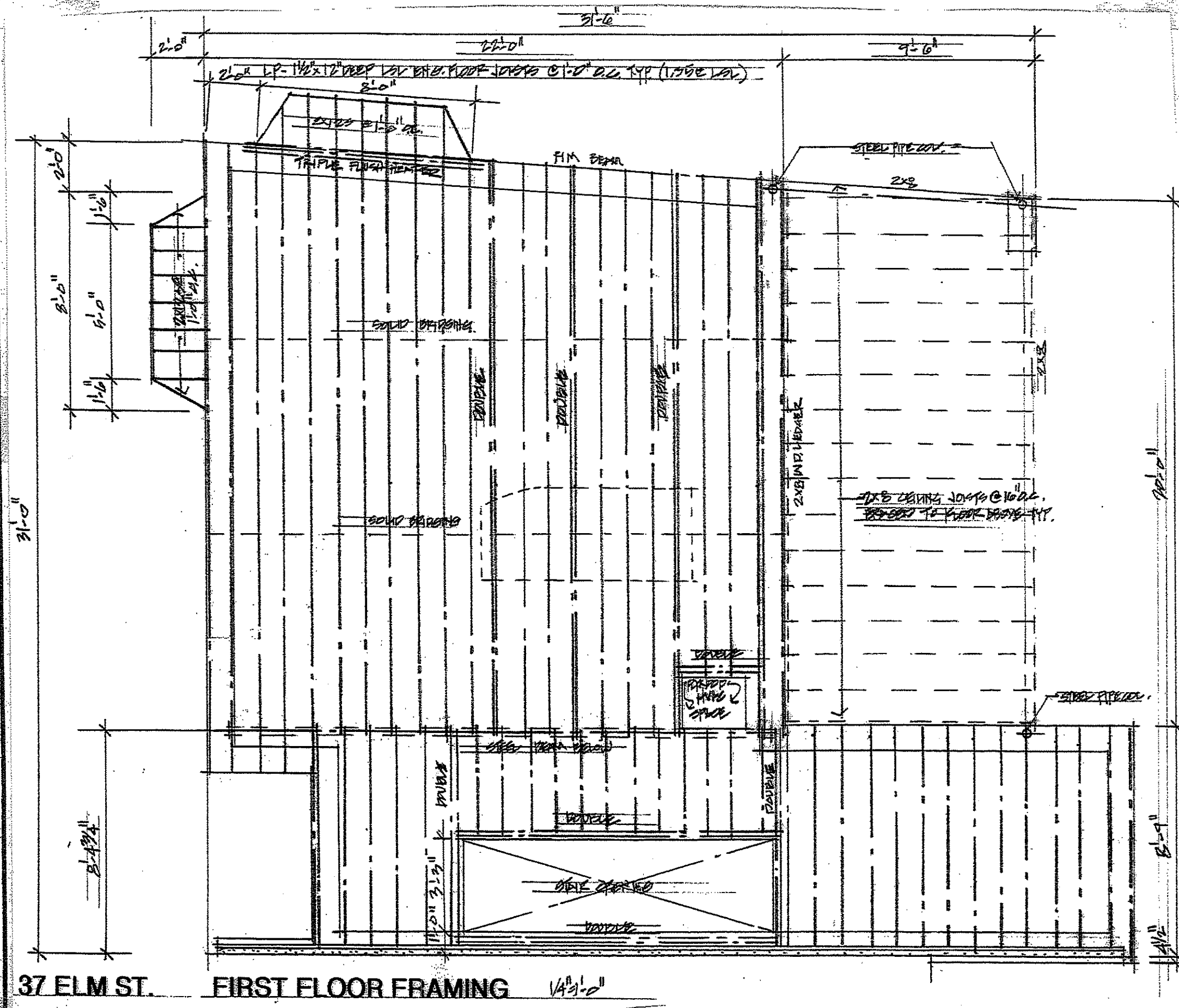
REVISIONS		
No.	Description	Date
1	REMOVE HIGHWAY EXISTING STEPS	2-4-19

COMPUTER DRAWING NAME
 ARCHIVE NUMBER

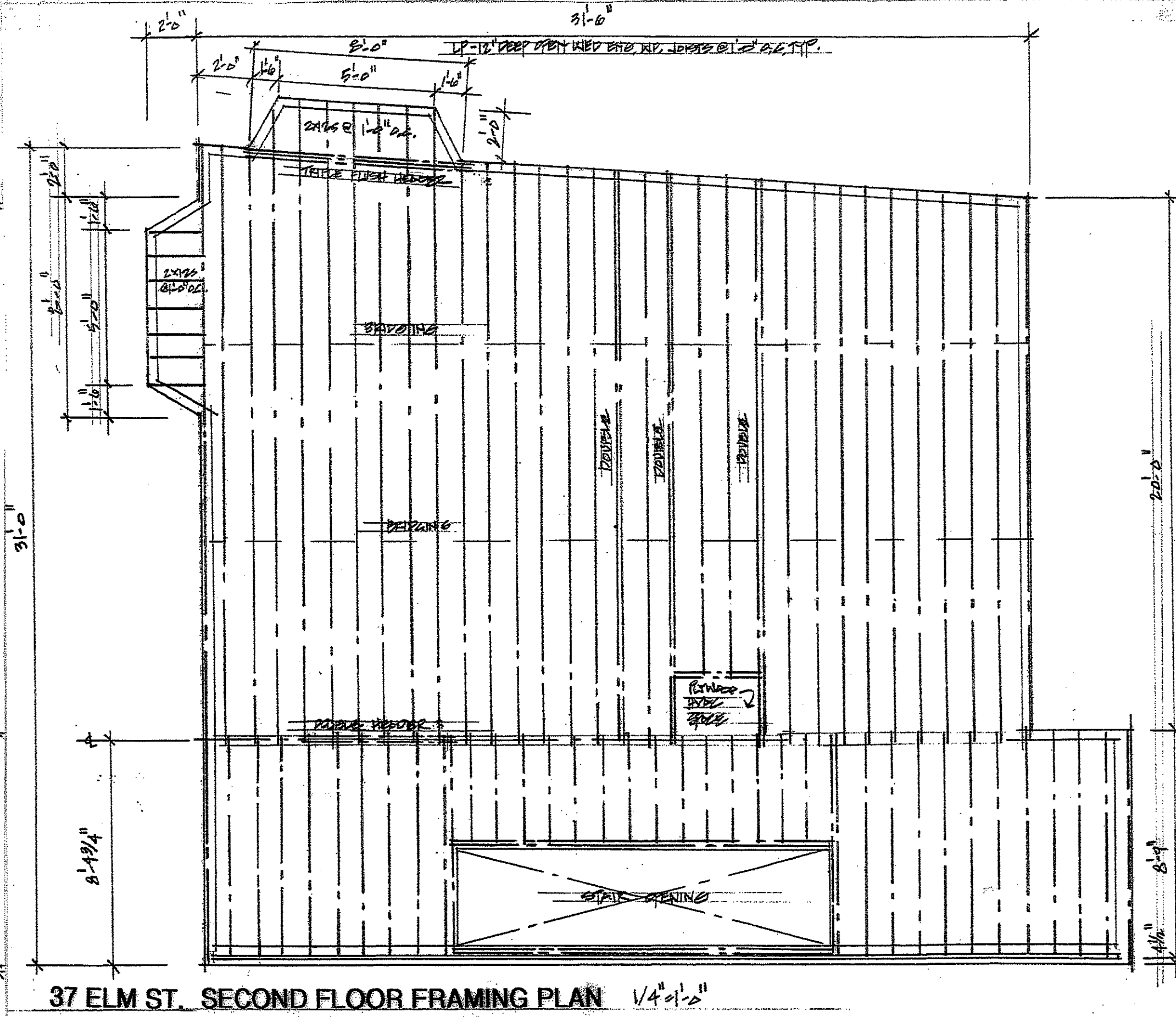
TITLE
REAR ELEVATION
37 ELM ST. SECTION
WALL SECTION DETAILS

DATE 1-4-2019
 DRAWN BY KP
 CHECKED BY
 PROJECT NUMBER 2018.03
 SCALE 1/4"=1'-0"

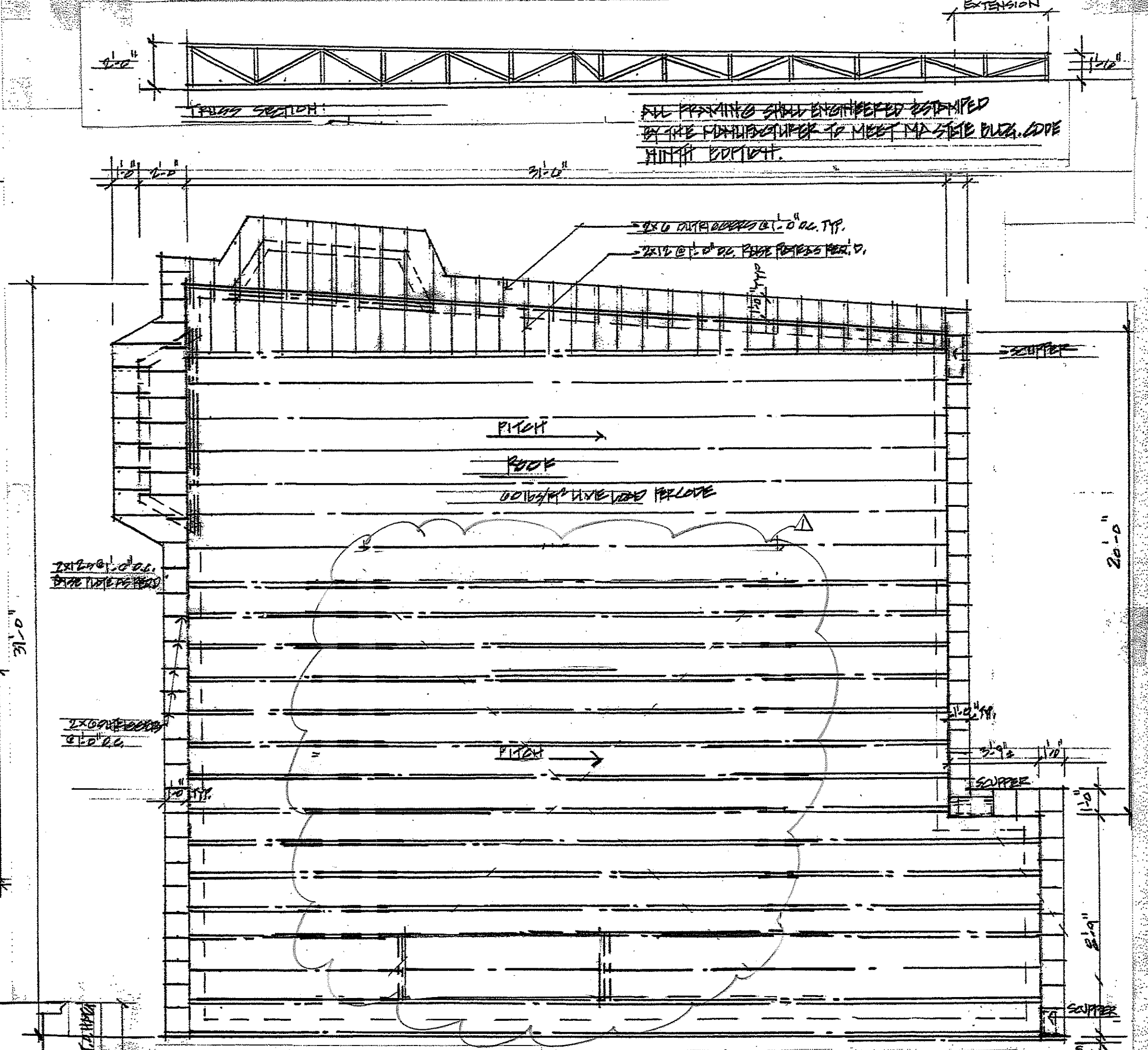
SHEET NUMBER
A-5



37 ELM ST. FIRST FLOOR FRAMING 1/4"=1'-0"

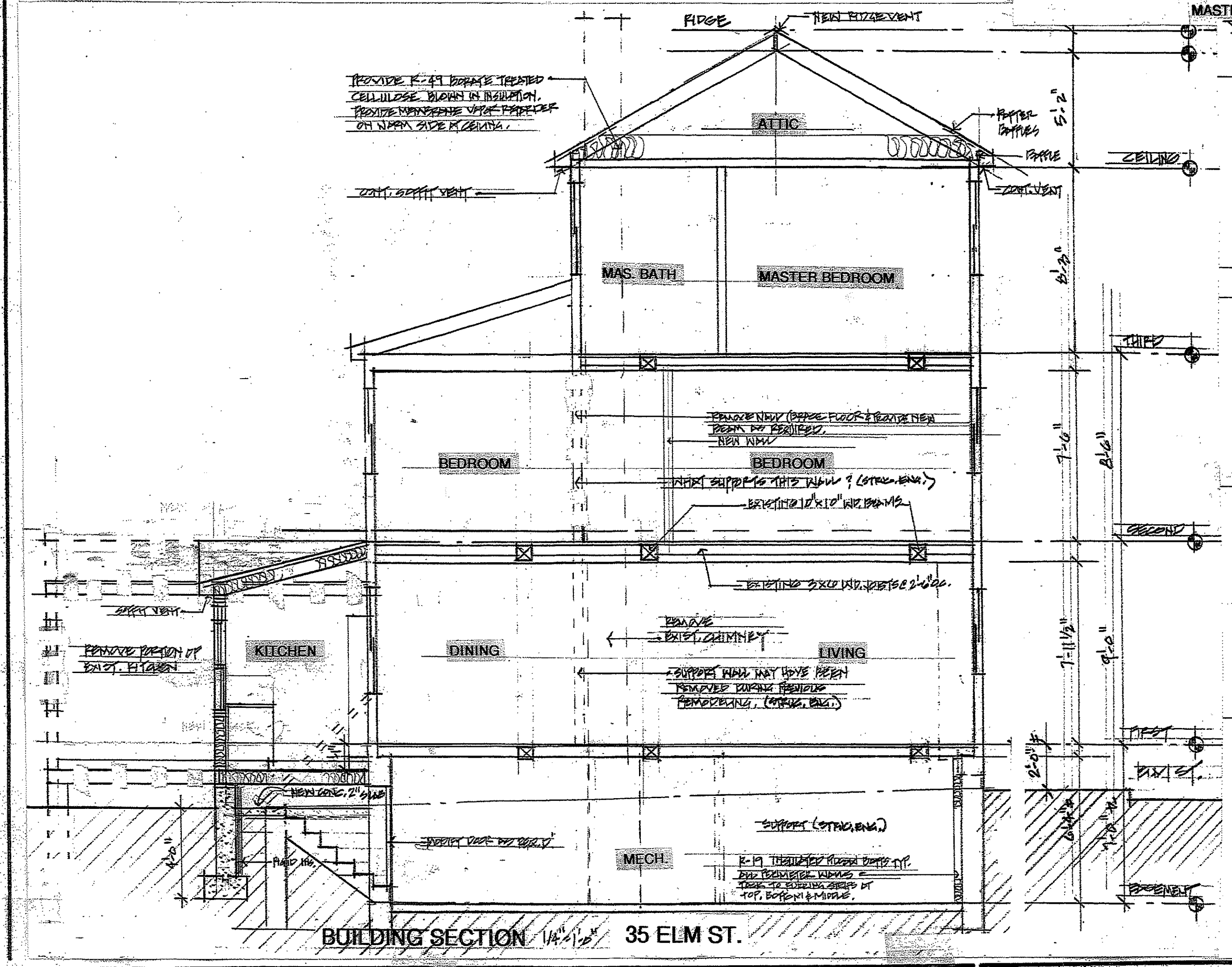


37 ELM ST. SECOND FLOOR FRAMING PLAN 1/4"=1'-0"

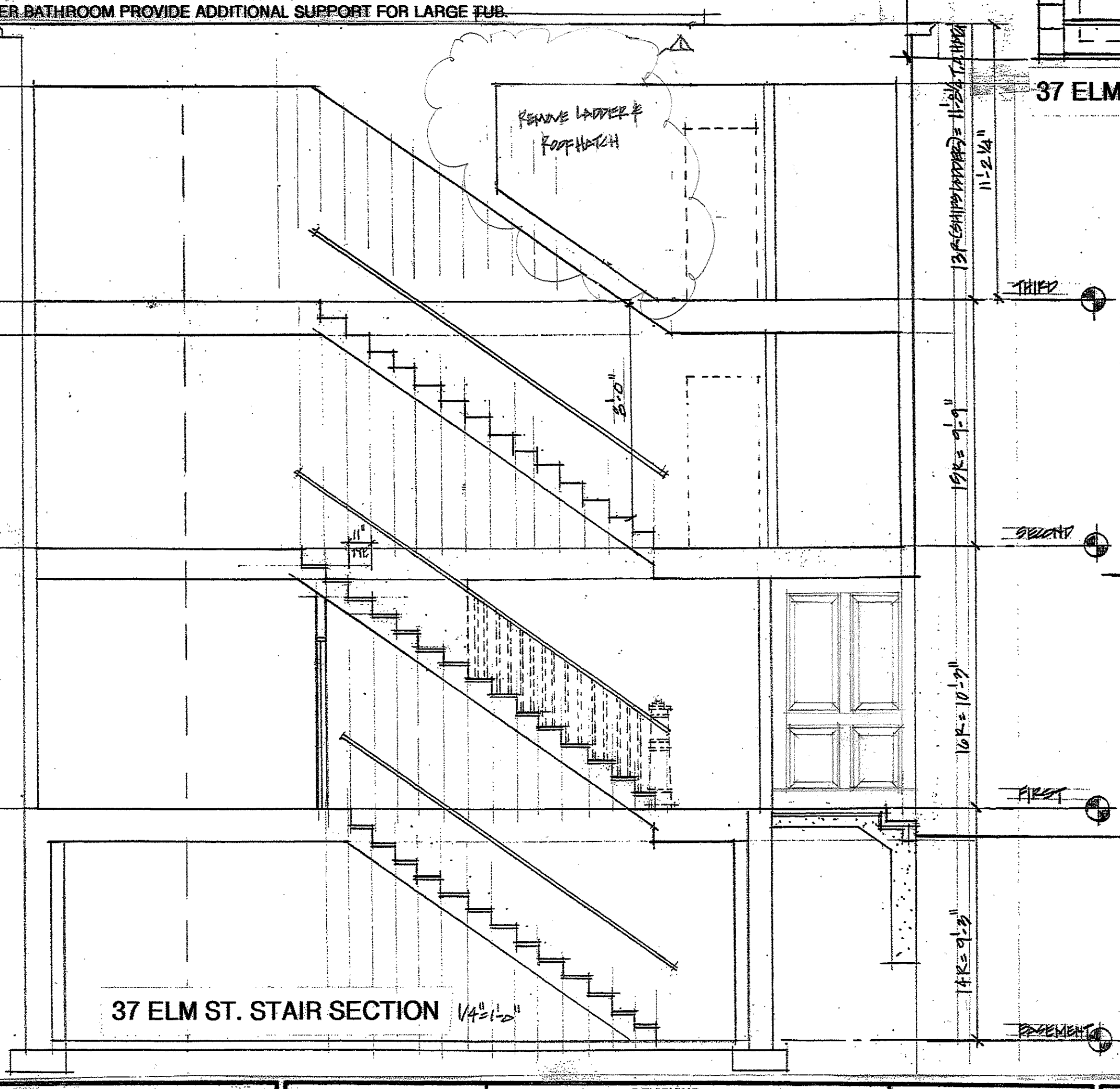


37 ELM ST. ROOF FRAMING PLAN 1/4"=1'-0"

THIRD FLOOR SIMILAR
MASTER BATHROOM PROVIDE ADDITIONAL SUPPORT FOR LARGE FJB.



BUILDING SECTION 35 ELM ST. 1/4"=1'-0"



37 ELM ST. STAIR SECTION 1/4"=1'-0"

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CHARLESTOWN, MASSACHUSETTS

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100 MONROE DRIVE
HOLLISTON, MA 01746
(508) 655-1599 (617) 686-3284

STAMP

REVISIONS		
No.	Description	Date
1	REMOVE ROOF DECK & WALK	2-20-19

COMPUTER DRAWING NAME
ARCHIVE NUMBER

TITLE
STAIR SECTION 37 ELM ST.
BUILDING SECTION 35 ELM ST.
FRAMING CONCEPT PLANS 37 ELM ST.

DATE 1-4-2019
DRAWN BY KF
CHECKED BY KF
PROJECT NUMBER 2018.03
SCALE 1/4"=1'-0"

SHEET NUMBER
A-6