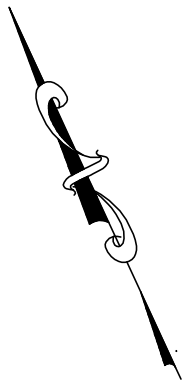


REFERENCES

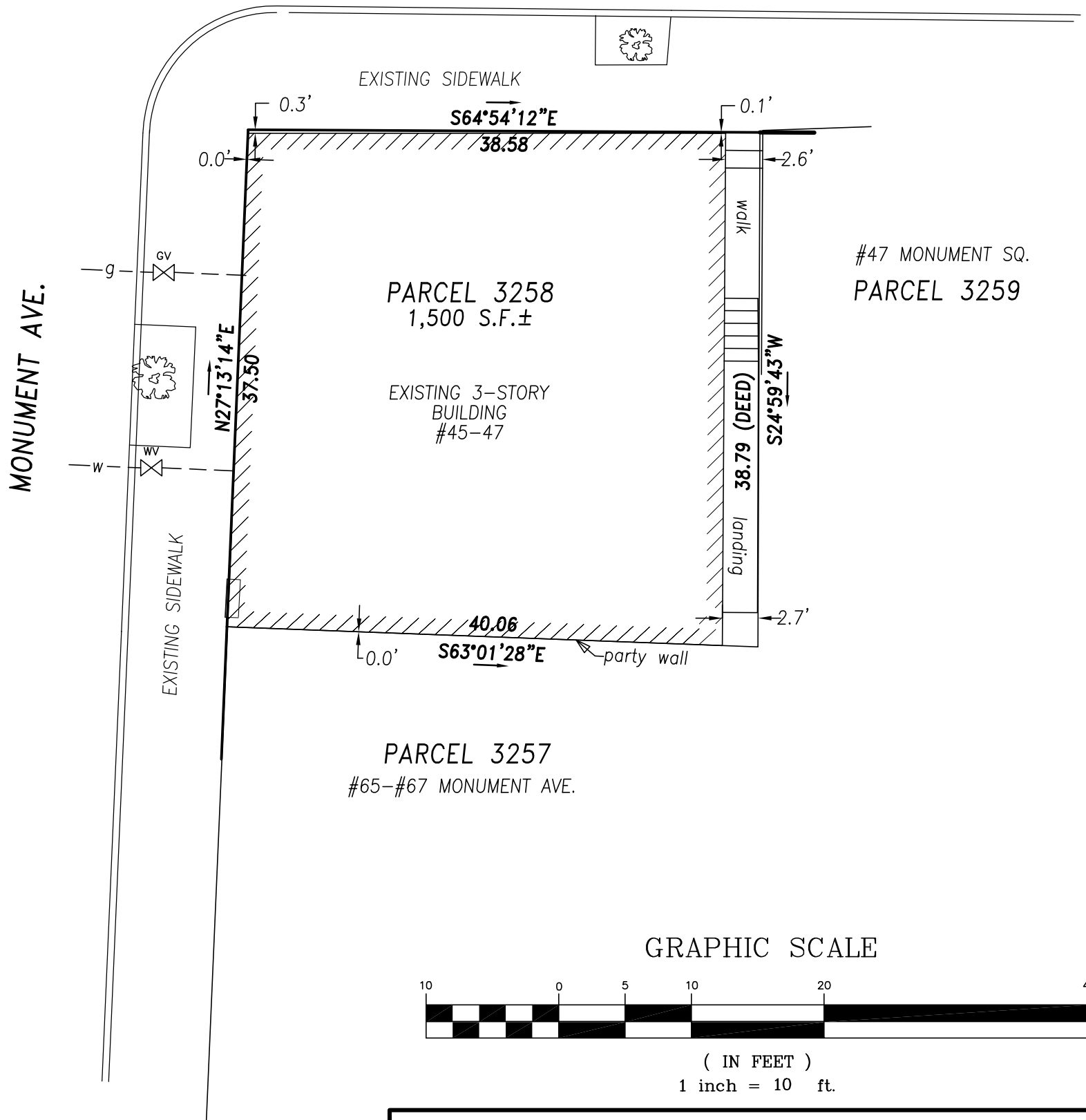
ASSESSORS REF. WARD 2 PCL. 3258
 DEED BK. 34,198 PG. 51
 PLAN #474 of 2009
 PLAN BY YUNITS ENGINEERING CO.
 JULY 8, 1969 SHEET: S-13

ZONING

3F-2000
 OS-P
 CHARLESTOWN NEIGHBORHOOD DISTRICT
 LOT AREA 2,000 S.F. MIN.
 FRONTAGE 25' MIN.
 F.A.R. 2.0 (MAX.)
 MIN. SETBACKS { F 4'
 S 2.5'
 R 20'



MONUMENT SQ.



I HEREBY CERTIFY THAT THE DWELLING SHOWN
 HEREON HAS BEEN LOCATED FROM INSTUMENT
 SURVEY AND PROPERTY LINES HAVE BEEN
 DETERMINED FROM DEEDS AND PLANS OF RECORD.

CERTIFIED PLOT PLAN
 for
GREGORY McCARTHY
 at
45-47 MONUMENT SQ.
CHARLESTOWN, MA

CIVIL ENVIRONMENTAL CONSULTANTS
 8 OAK STREET PEABODY, MA 01960 (978)531-1191

SHEET NO: 1 OF 1	DATE: 8-17-2021 JOB NO: 4379
DRAWN BY: W.R.D. SCALE: 1"=10'	

ABBREVIATIONS:

ADDL	ADDITIONAL	MANUF OR MFR	MANUFACTURER
ALT	ALTERNATE	MATL	MATERIAL
AFB	ABOVE FINISH FLOOR	MAX	MAXIMUM
AFG or A.F.G.	ABOVE FINISH GRADE	MECH	MECHANICAL
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MEMB	MEMBRANE
AWS	AMERICAN WELDING SOCIETY	MEP	MECHANICA, ELECTRICAL, PLUMBING
APPROX	APPROXIMATELY	MID	MIDDLE
ARCH	ARCHITECT OR ARCHITECTURAL	MID-PT	MID-POINT
@	AT	MIN	MINIMUM
		MR	MOISTURE RESISTANT
BAL	BALANCE BETWEEN	NFPA	NATIONAL FIRE PROTECTION AGENCY
BTWN	BEAM	NTH	NORTH
BM	BEARING	NIC	NOT IN CONTRACT
BRG	BLOCK	NTS	NOT TO SCALE
BLK	BLOCKING	NO OR #	NUMBER
BLKG	BOTTOM OF		
B.O.	BRACKET	OC	ON CENTER
BRKT	BUILDING	OPNG	OPENING
BLDG		OPP	OPPOSITE
		OD	OUTSIDE DIAMETER
		OF	OUTSIDE FACE
CIP	CAST-IN-PLACE	P.T.	PRESSURE TREATED
CTRD	CENTERED	PTD	PAINTED
CL	CENTERLINE	PSF	POUNDS PER SQUARE FOOT
CLR	CLEAR	PSI	POUNDS PER SQUARE INCH
COL	COLUMN	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	PC	PRECAST CONCRETE
CMU	CONCRETE MASONRY UNIT		
CONST	CONSTRUCTION	R	RADIUS
CONSTJT OR CJ	CONSTRUCTION JOINT	REF	REFERENCE
CONT	CONTINUOUS	REINF	REINFORCE, REINFORCING OR REINFORCEMENT
CJ	CONTROL JOINT	REQ'D	REQUIRED
		RD	ROOF DRAIN
DIA OR Ø	DIAMETER	Ⓢ	SEALANT
DIM	DIMENSION	SCH OR SCHED	SCHEDULE
DN	DOWN	SECT	SECTION
DWG	DRAWING	SHT	SHEET
		SHTG	SHEATHING
EA	EACH	SIM	SIMILAR
ELECT	ELECTRICAL	SOG	SLAB ON GRADE
EL OR ⚡	ELEVATION	STH	SOUTH
ELEV	ELEVATOR	SPECS	SPECIFICATIONS
EMBED	EMBEDMENT	SPKR	SPRINKLER
ENCL	ENCLOSURE	SQ or SQR	SQUARE
EQ	EQUAL	SQD or SQRD	SQUARED
EQUIP	EQUIPMENT	S.S. or STN STL	STAINLESS STEEL
EXIST'G	EXISTING	STD	STANDARD
EXP BOLT	EXPANSION BOLT	STL	STEEL
EJ OR EXP JT	EXPANSION JOINT	ST STL	STAINLESS STEEL
EXT	EXTERIOR	STRUCT	STRUCTURAL
		SYM	SYMMETRICAL
FF	FINISH FACE	TEMP	TEMPORARY
FT	FEET OR FOOT	THK	THICK OR THICKNESS
FIN	FINISH	T.O.	TOP OF
FIN FL	FINISHED FLOOR	T & B	TOP AND BOTTOM
FPRF	FIREPROOF	T.O.C.	TOP OF CURB or CONCRETE
FL	FLOOR		
FD	FLOOR DRAIN	TOR	TOP PLATE
FTG	FOOTING	T.O.S.	TOP OF STEEL
FDN	FOUNDATION	T.O.W.	TOP OF WALL
		TYP	TYPICAL
GA	GAGE OR GAUGE	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	VERT	VERTICAL
GWB	GYPNUM WALL BOARD	VIF	VERIFY IN FIELD
		WST	WEST
HGT	HEIGHT	WWPA	WESTERN WOOD PRODUCTS ASSOCIATION
HORIZ	HORIZONTAL	W/	WITH
IN	INCH	W/O	WITHOUT
INFO	INFORMATION	WP	WORKING POINT
INCL	INCLUDING OR INCLUSIVE		
ID	INSIDE DIAMETER		
INSUL	INSULATION		
INT	INTERIOR		
INV	INVERT		
JT	JOINT		
LAU	LAUNDRY		
LWC	LIGHT WEIGHT CONCRETE		
LBS	POUNDS		

MONUMENT SQUARE RESIDENCES

45 Monument Square, Charlestown, MA 02129

CODE ANALYSIS:

- APPLICABLE CODES:
BUILDING CODE :
IRC 2015 (780 CMR 9TH EDITION)
IEBC 2015
IECC 2018
IFC 2015 (527 CMR)
- ZONING DISTRICT: CHARLESTOWN NEIGHBORHOOD
SUBDISTRICT: 3F-2000
SETBACKS:
FRONT: CONFORMITY
SIDE: 2.5'
REAR: 20'
HEIGHT: 35/3 STORIES
FAR: 2.0
LOT SIZE: 1,500SF
ALLOWED: 3,000GSF
EXISTING: 4,068GSF
PROPOSED: 3,875GSF
BASEMENT: UNFINISHED 1,175GSF
FIRST FLOOR: 1,350GSF
SECOND FLOOR: 1,350GSF
THIRD FLOOR: 1,350GSF
TOTAL: 3,875GSF
- USE GROUP CLASSIFICATION : RESIDENTIAL R3 (SINGLE FAMILY)
- CONSTRUCTION CLASSIFICATION: TYPE 5B CONSTRUCTION
- MEANS OF EGRESS: EMERGENCY ESCAPE & RESCUE:
BEDROOM EGRESS:
1 WINDOW MINIMUM REQUIREMENTS
5.7SF OPERABLE CLEAR AREA,
44" MAX SILL HGT

PERFORMANCE REQUIREMENTS

- EXTERIOR WALLS:
EXISTING WOOD FRAMING
R21 MIN INSULATION VALUE (CAVITY)
- WINDOWS:
VINYL OR METAL (METAL MUST HAVE THERMAL BRAKE)
DOUBLE PANE LOW E
MIN. U-FACTOR: .30
REQUIREMENTS FOR 1 WDW MIN PER BEDROOM:
5.7SF OPERABLE CLEAR AREA, 44" MAX SILL HGT
- EXTERIOR DOORS:
VINYL OR METAL (METAL MUST HAVE THERMAL BRAKE)
DOUBLE PANE LOW E
MIN. U-FACTOR: .30
- CEILING/ROOF
R49 MIN INSULATION VALUE
- FOUNDATION
EXISTING; NO CHANGE
8" CIP, 3,500PSI MIN
- STAIRS:
8 1/4" MAX RISER
10" MIN TREAD
HANDRAILS:
34" MIN. TO 38" MAXIMUM ABOVE STAIR NOSING
GAURDRAILS:
42" MIN TO TOP RAIL
BALUSTERS: 4" MAX CLEAR WIDTH

SYMBOL LEGEND

- EXISTING WALL
- PROPOSED WALL
- EXISTING WALL TO BE REMOVED
- 1HR RATED PARTITION (UL DESIGN U309)

- EXISTING DOOR
- PROPOSED DOOR
- EXISTING DOOR TO BE REMOVED

- Room name**
- ROOM TAG
 - SHEET #
 - ELEVATION TAG
 - VIEW #
 - VIEW #
 - SECTION TAG
 - SHEET #

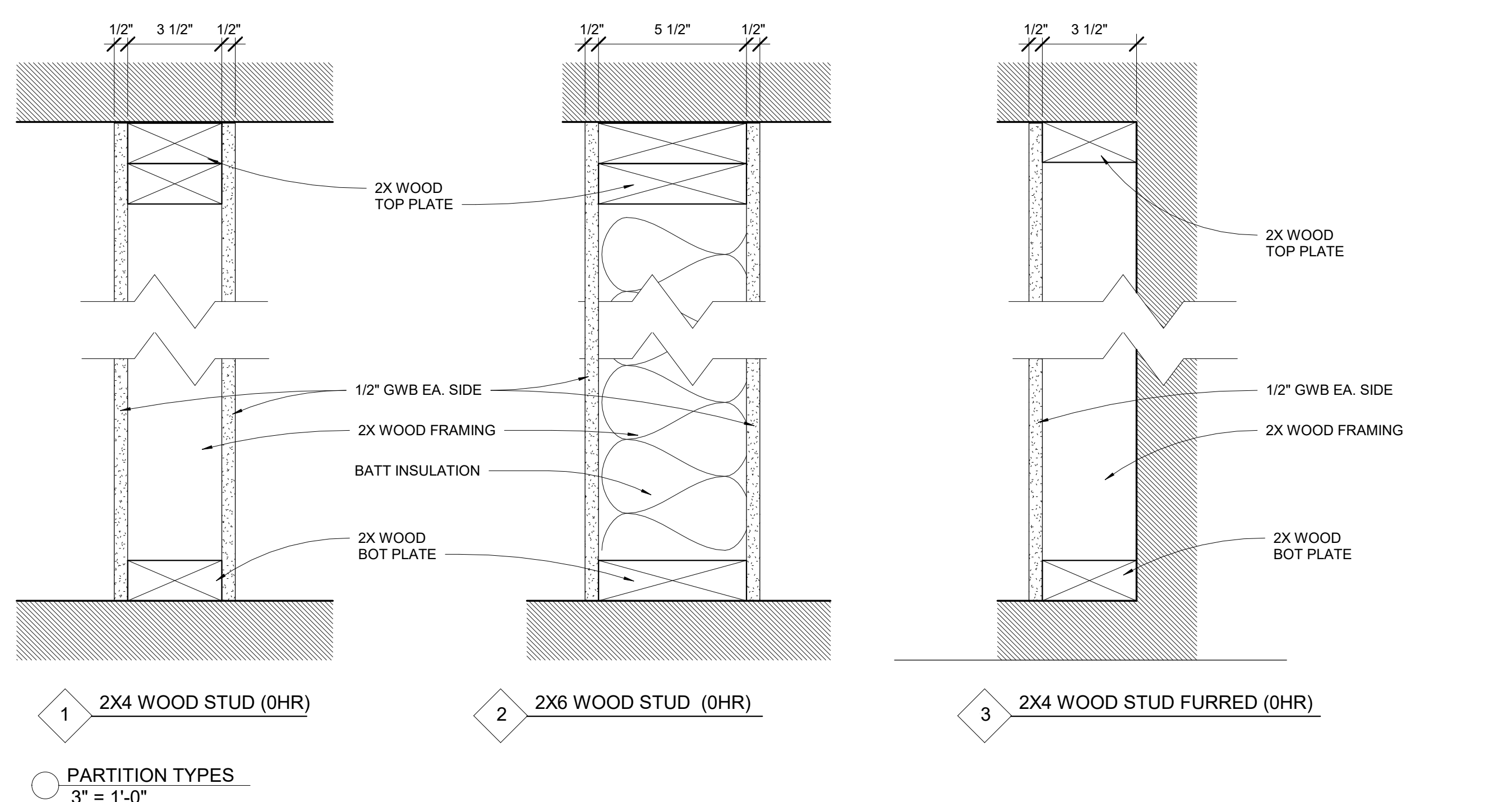
- COMBO SMOKE/CO2 DETECTOR - KIDDE I12010SCO
- COMBO SMOKE/CO2 DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC

DRAWING LIST

SHEET #	SHEET NAME
A000	TITLE SHEET
A100	DEMO PLANS
A101	DEMO PLANS
A102	FLOOR PLANS
A200	EXTERIOR ELEVATIONS
S100	FRAMING PLANS - BASEMENT & 1STR FLOOR
S101	FRAMING PLANS - 2ND, 3RD & ROOF
S102	FRAMING PLANS - ROOF DECK & HEAD HOUSE

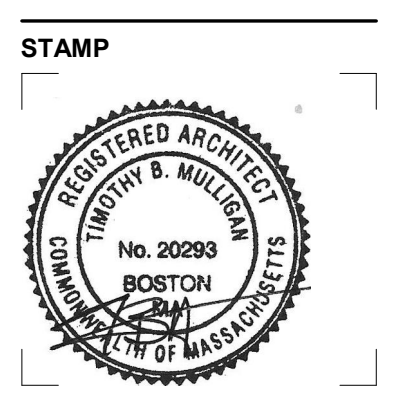
GENERAL NOTES:

- WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS. UNLESS OTHERWISE AGREED UPON, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED TO PERFORM HIS OR HER WORK AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN FOR ALL ELECTRICAL WORK AND IN COMPLIANCE WITH NFPA 70.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PRODUCT SUBMITTAL FOR SMOKE ALARM FIXTURES FOR APPORVAL
- CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT OR THE APPROPRIATE CONSULTING ENGINEERS.
- CONFIRM DIMENSIONS WITH THE ARCHITECT OR APPROPRIATE CONSULTING ENGINEER.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, OF ANY DISCREPANCY, OMISSION, OR UNANTICIPATED FIELD CONDITIONS ALTER THE DESIGN INTENT.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, IF DIMENSIONS INDICATED WITH "+/-" VARIES MORE THAN 3" FROM ACTUAL FIELD MEASUREMENTS.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- DAMAGED TO EXISTING OR NEW CONSTRUCTION CAUSED BY THE CONTRACTOR, HIS OR HER SUB-CONTRACTORS OR CREW IS THE RESPONSIBILITY OF THE CONTRACTOR.



REVISIONS:

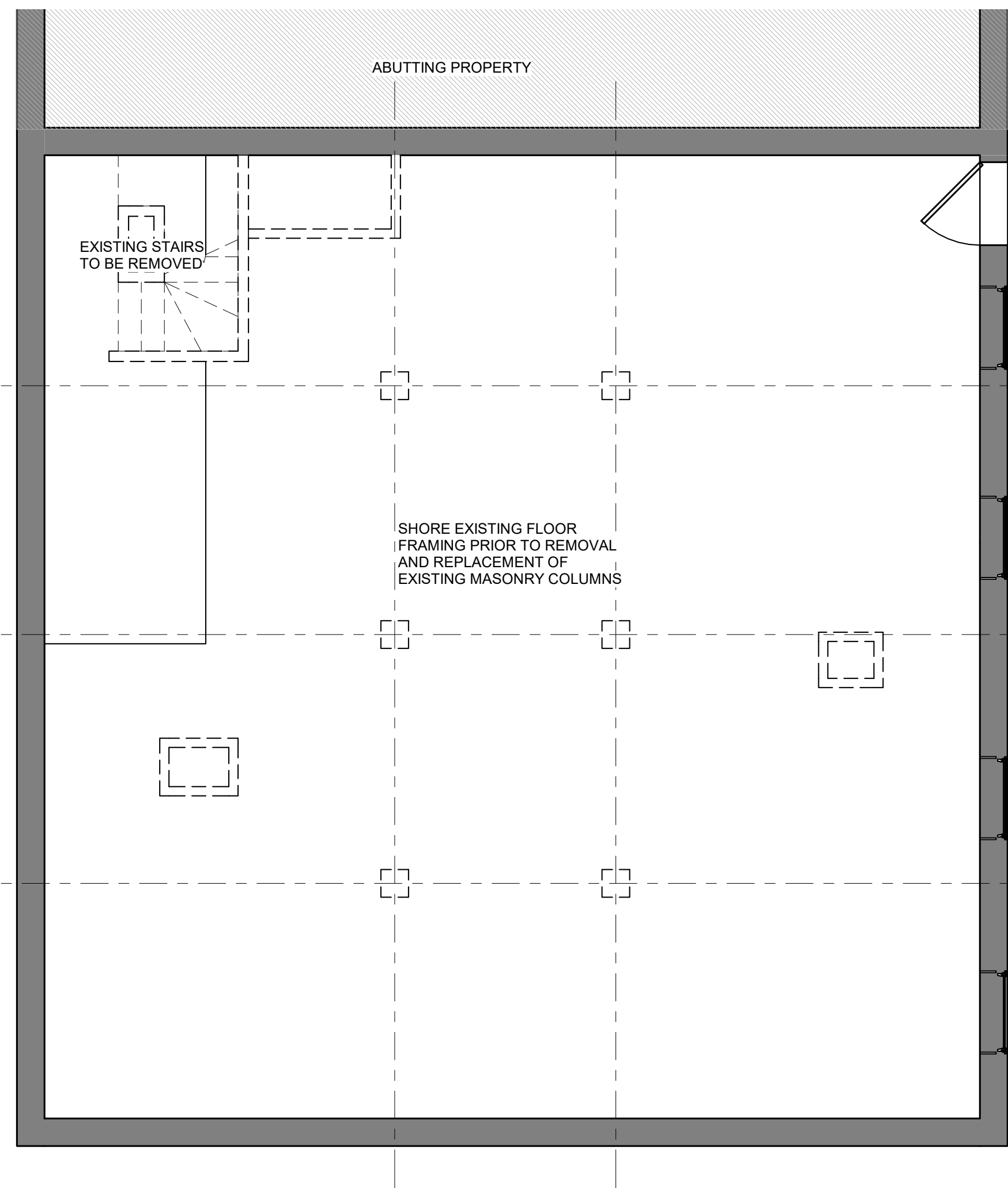
DRAWING TITLE:
TITLE SHEET



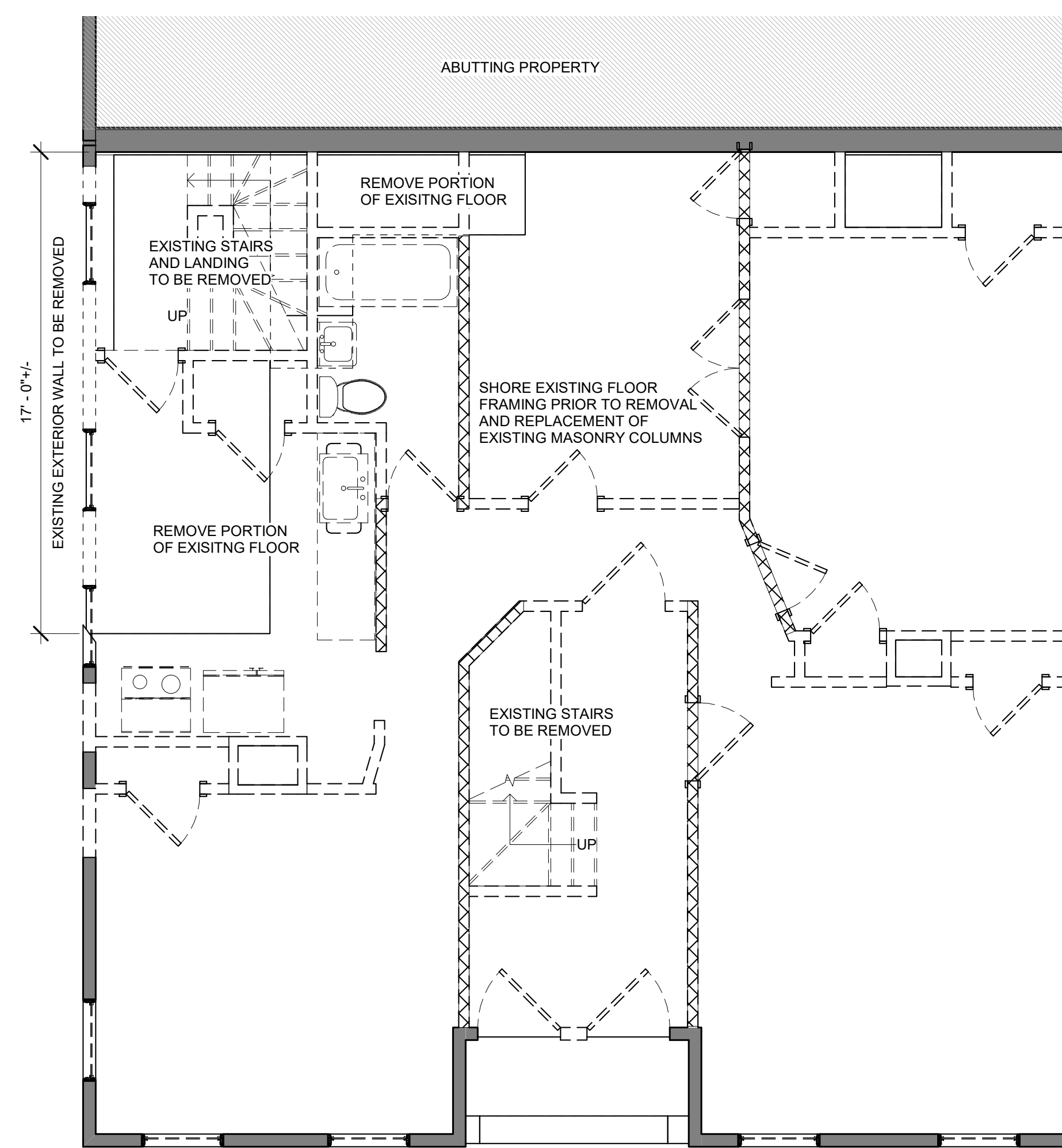
December 6, 2021
DATE OF ISSUE
DESIGN REVIEW
DOCUMENT PHASE
As indicated
SCALE
2114.00
PROJECT #

DRAWING NUMBER:

A000



① DEMO - BASEMENT
1/4" = 1'-0"



② DEMO - 1ST FLOOR
1/4" = 1'-0"

DEMO NOTES:

1. ALL EXISTING CEILING AND FLOOR FINISHES TO BE REMOVED.
2. ALL EXISTING INTERIOR PARTITIONS TO BE REMOVED AS SHOWN.
2. ALL EXISTING PLUMBING AND LIGHTING FIXTURES TO BE REMOVED ON FLOORS 2 THROUGH 4.
3. ALL EXISTING WDWs & DOORS TO BE REMOVED
4. G.C. TO ENSURE ALL BEARING WALLS NOTED FOR REMOVAL ARE PROPERLY SHORED PRIOR TO DEMO AND UNTIL PROPOSED NEW STRUCTURAL COMPONENT IS INSTALLED

- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- EXISTING BEARING WALL TO BE REMOVED
- EXISTING DOOR TO BE REMOVED

REVISIONS:

DRAWING TITLE:

DEMO PLANS

STAMP



December 6, 2021
DATE OF ISSUE

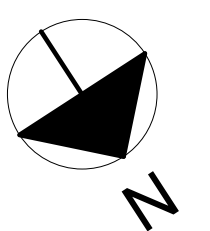
DESIGN REVIEW
DOCUMENT PHASE

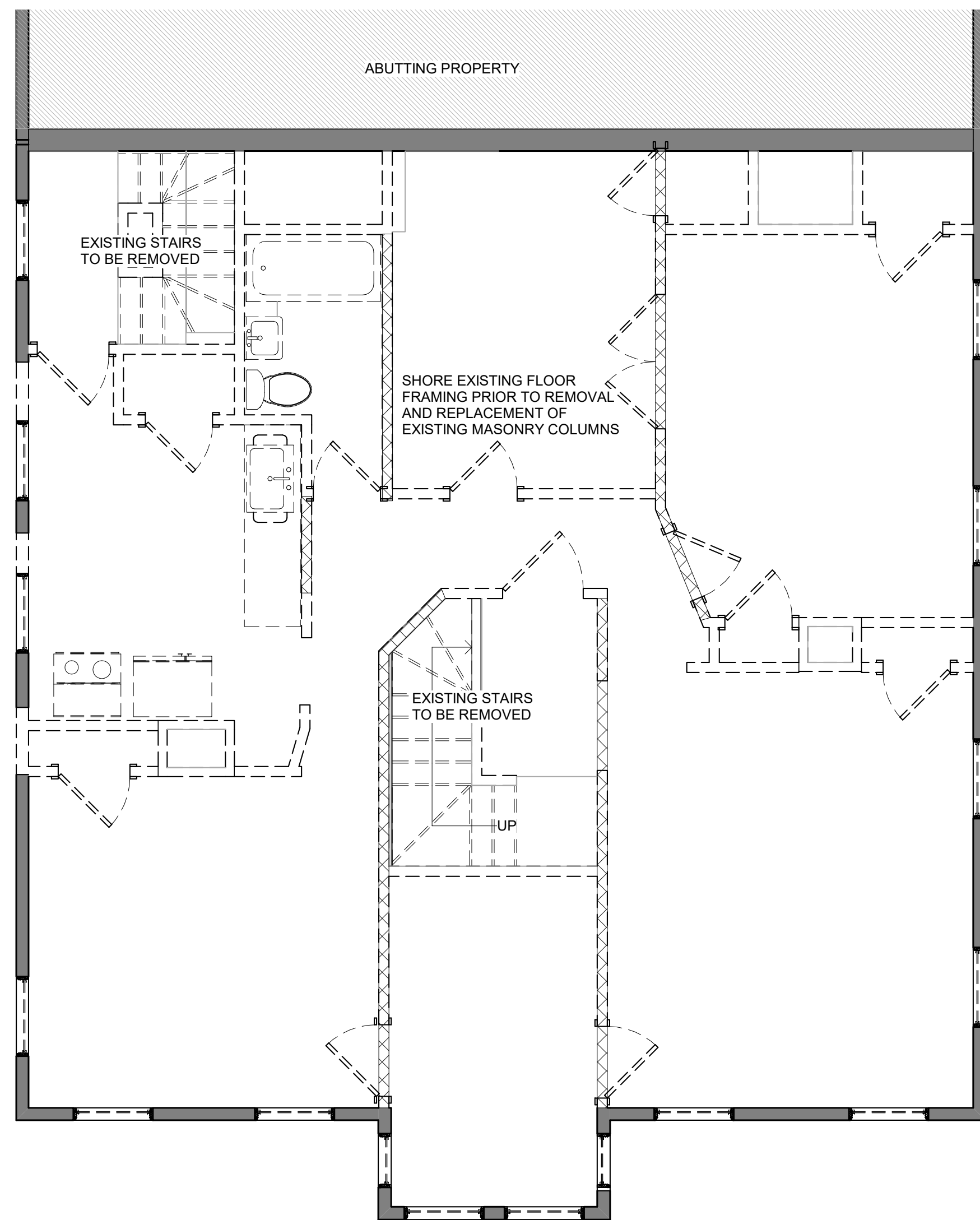
1/4" = 1'-0"
SCALE

2114.00
PROJECT #

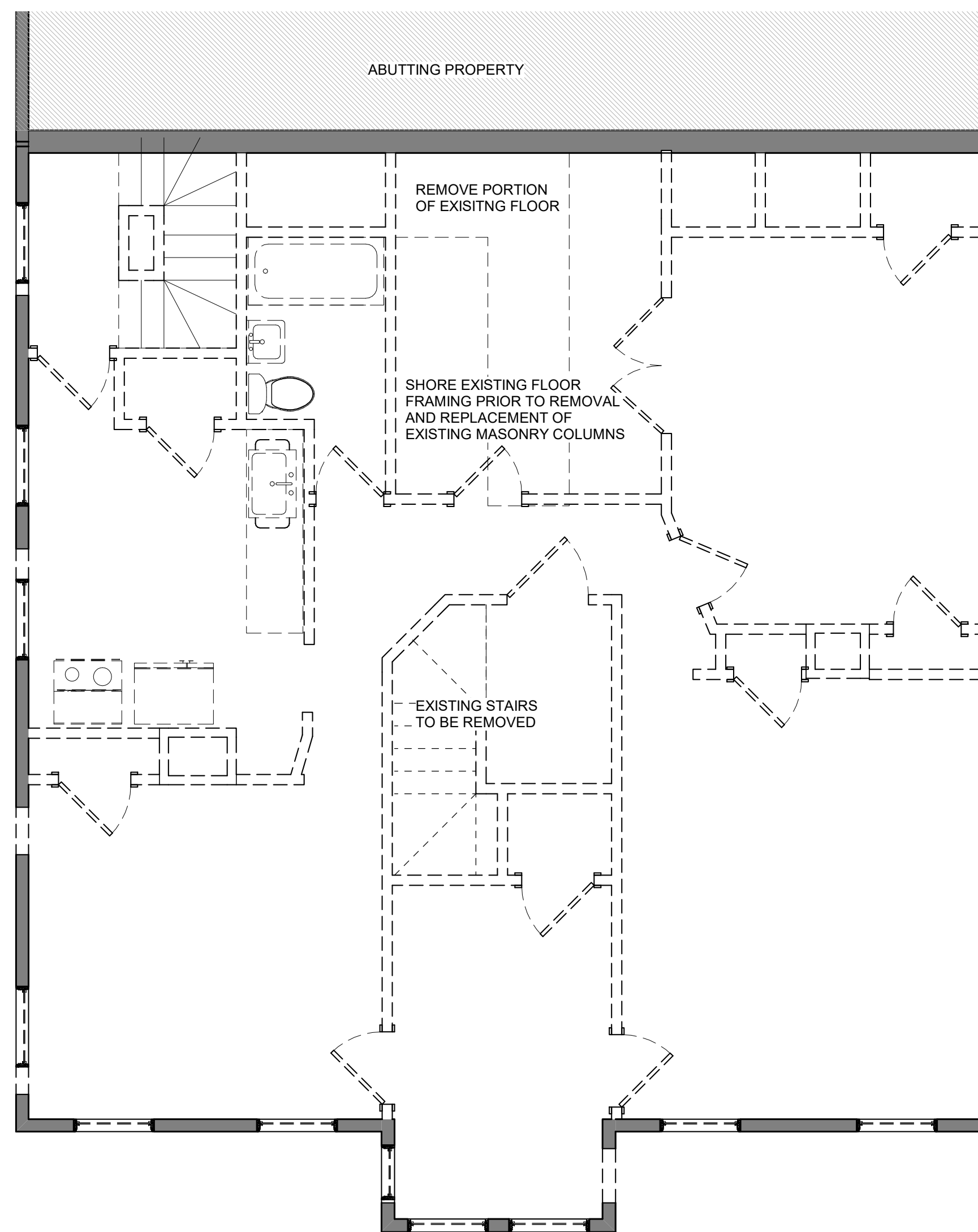
DRAWING NUMBER:

A100





② DEMO - 2ND FLOOR
1/4" = 1'-0"

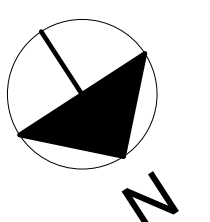
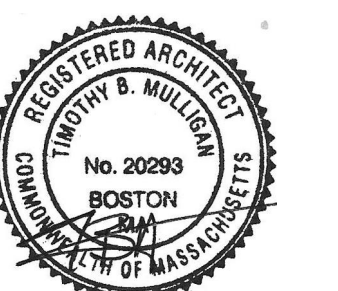


① DEMO - 3RD FLOOR
1/4" = 1'-0"

DEMO NOTES:

1. ALL EXISTING CEILING AND FLOOR FINISHES TO BE REMOVED.
2. ALL EXISTING INTERIOR PARTITIONS TO BE REMOVED AS SHOWN.
2. ALL EXISTING PLUMBING AND LIGHTING FIXTURES TO BE REMOVED ON FLOORS 2 THROUGH 4.
3. ALL EXISTING WDWs & DOORS TO BE REMOVED
4. G.C. TO ENSURE ALL BEARING WALLS NOTED FOR REMOVAL ARE PROPERLY SHORED PRIOR TO DEMO AND UNTIL PROPOSED NEW STRUCTURAL COMPONENT IS INSTALLED

- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- EXISTING BEARING WALL TO BE REMOVED
- EXISTING DOOR TO BE REMOVED

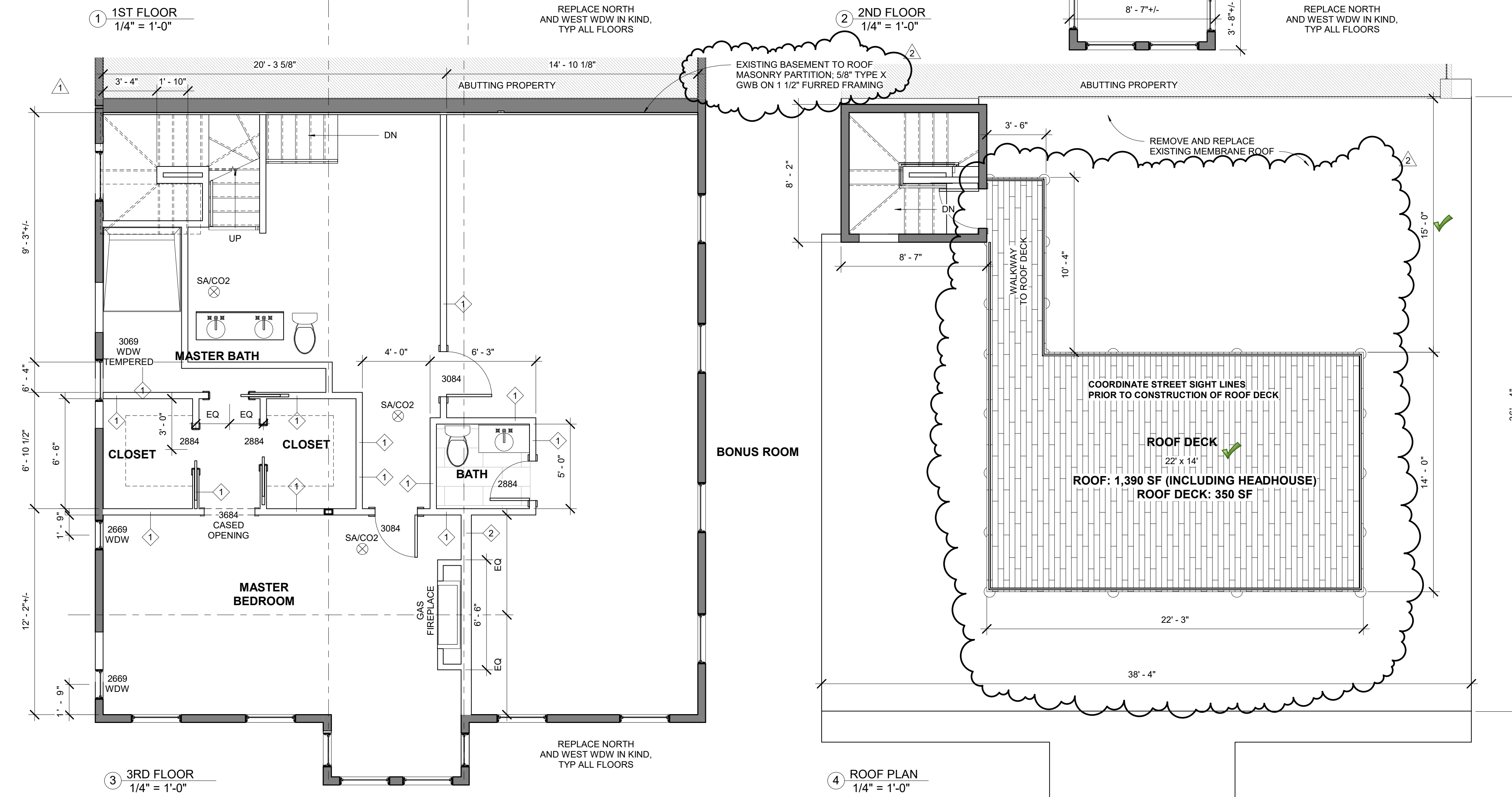
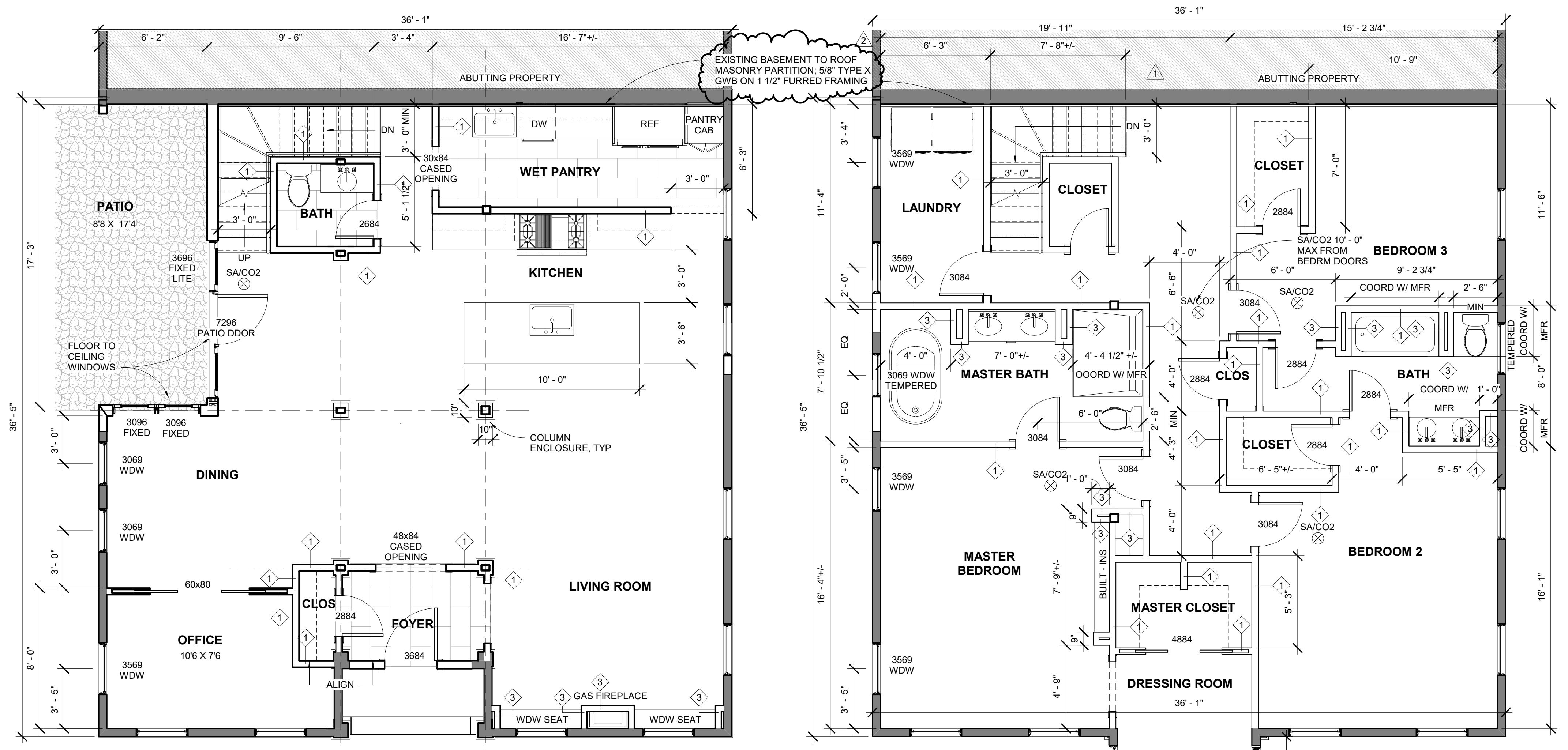
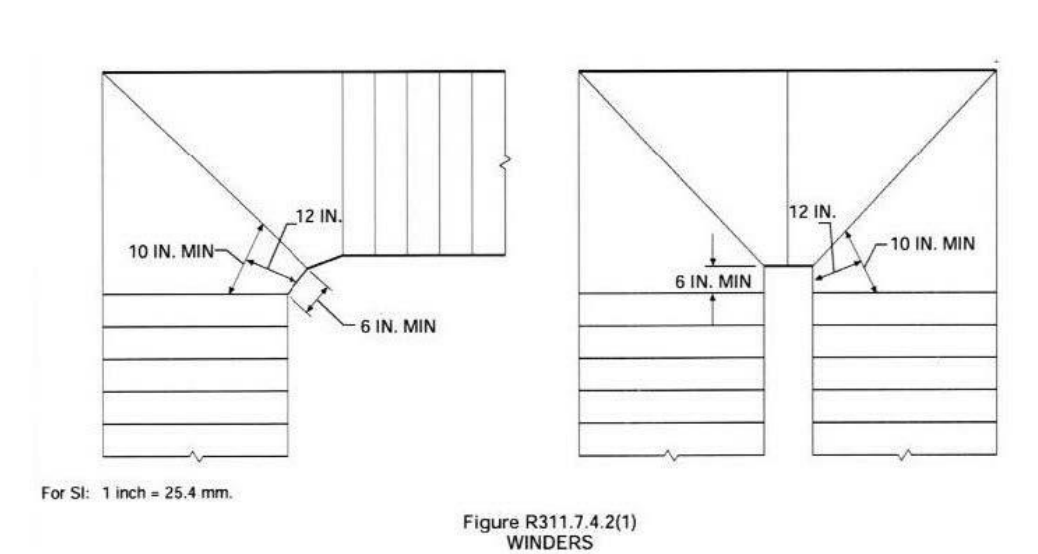


PERFORMANCE REQUIREMENTS

- EXTERIOR WALLS:
 EXISTING WOOD FRAMING
 R21 MIN INSULATION VALUE (CAVITY)
- WINDOWS:
 VINYL OR METAL (METAL MUST HAVE THERMAL BRAKE)
 DOUBLE PANE LOW E
 MIN. U-FACTOR: .30
 REQUIREMENTS FOR 1 WDW MIN PER BEDROOM:
 5.75 SF OPERABLE CLEAR AREA, 44" MAX SILL HGT
- EXTERIOR DOORS:
 VINYL OR METAL (METAL MUST HAVE THERMAL BRAKE)
 DOUBLE PANE LOW E
 MIN. U-FACTOR: .30
- CEILING/ROOF
 R49 MIN INSULATION VALUE
- FOUNDATION
 EXISTING; NO CHANGE
 8" CIP, 3,500PSI MIN
- STAIRS:
 8 1/4" MAX RISER
 10" MIN TREAD
 HANDRAILS:
 34" MIN. TO 38" MAXIMUM ABOVE STAIR NOSING
 GAUDDRAILS:
 42" MIN TO TOP RAIL
 BALUSTERS: 4" MAX CLEAR WIDTH

SYMBOL LEGEND

	EXISTING WALL		SHEET #
	PROPOSED WALL		ELEVATION TAG
	EXISTING WALL TO BE REMOVED		VIEW #
	EXISTING DOOR		VIEW #
	PROPOSED DOOR		SECTION TAG
			SHEET #
			COMBO SMOKE/CO2 DETECTOR - KIDDE I12010SCO
			COMBO SMOKE/CO2 DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC

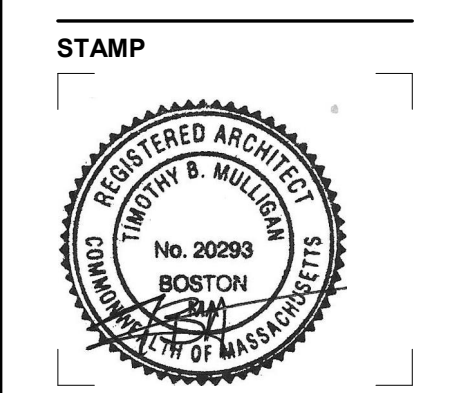


REVISIONS:

1	STAIRS	12.27.21
2	ROOF DECK	1.31.22

DRAWING TITLE:

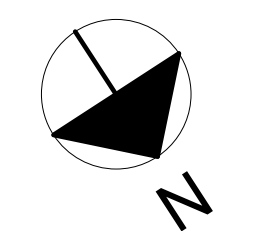
FLOOR PLANS

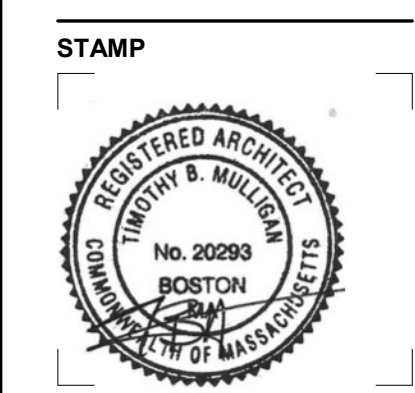


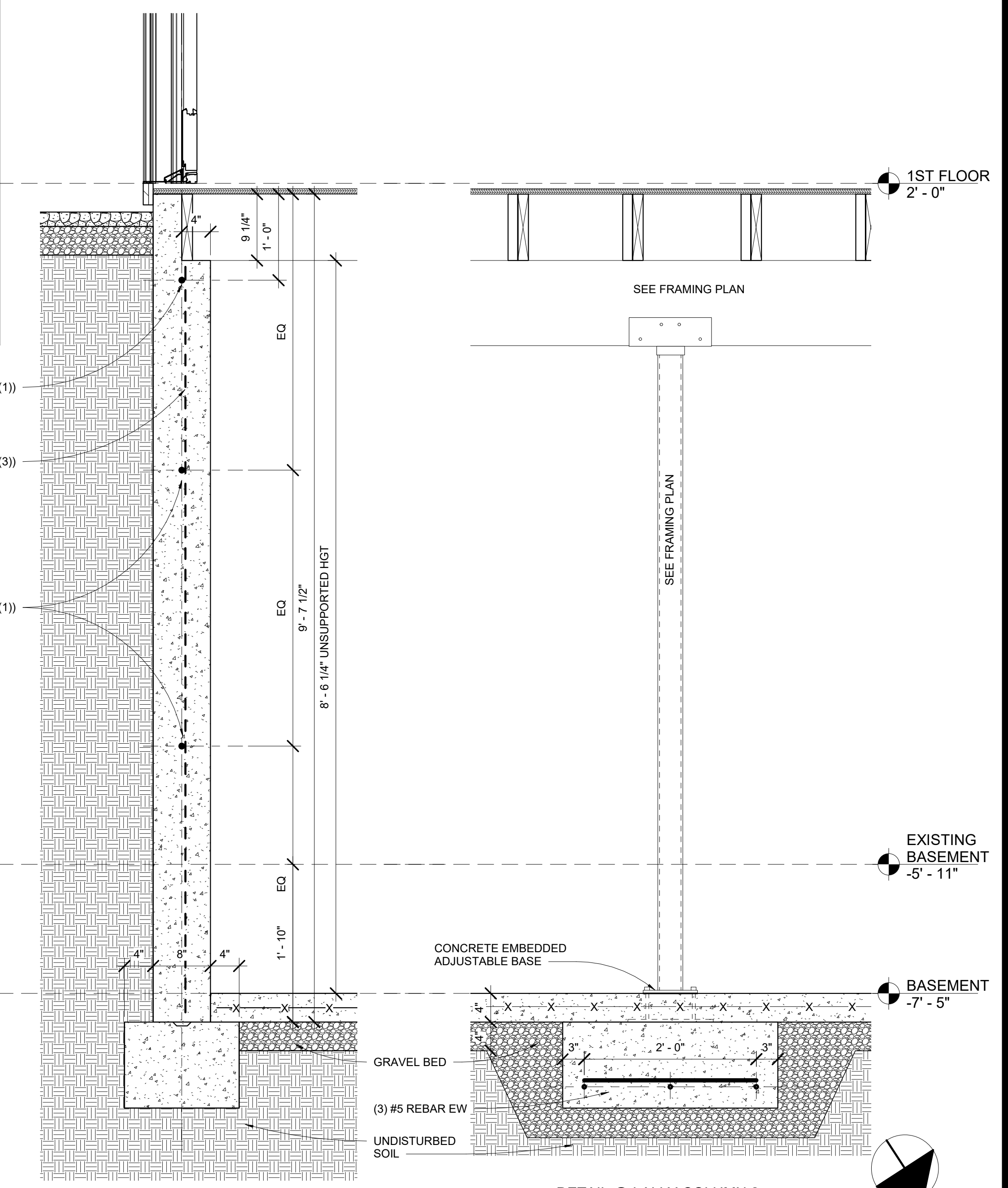
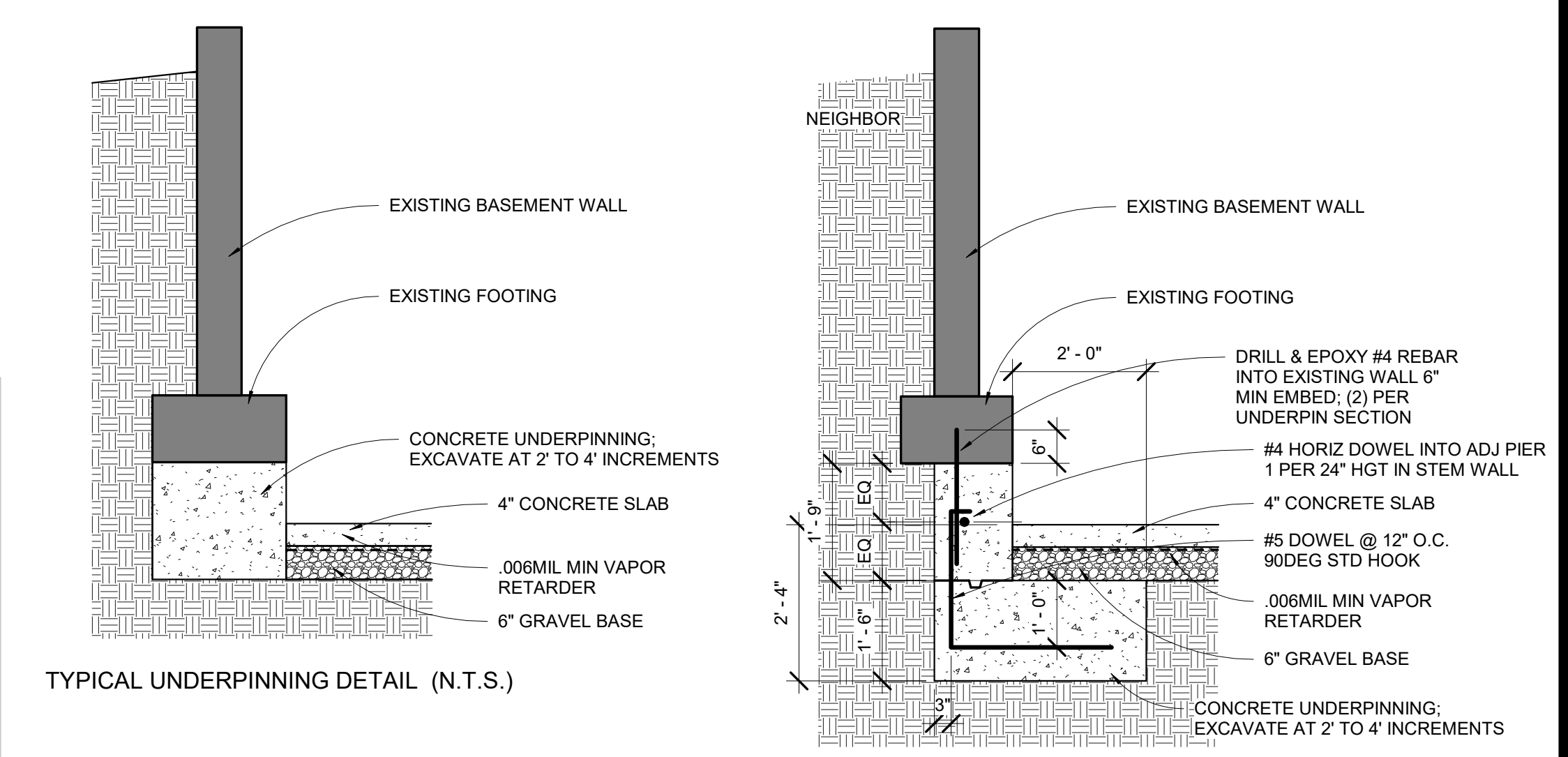
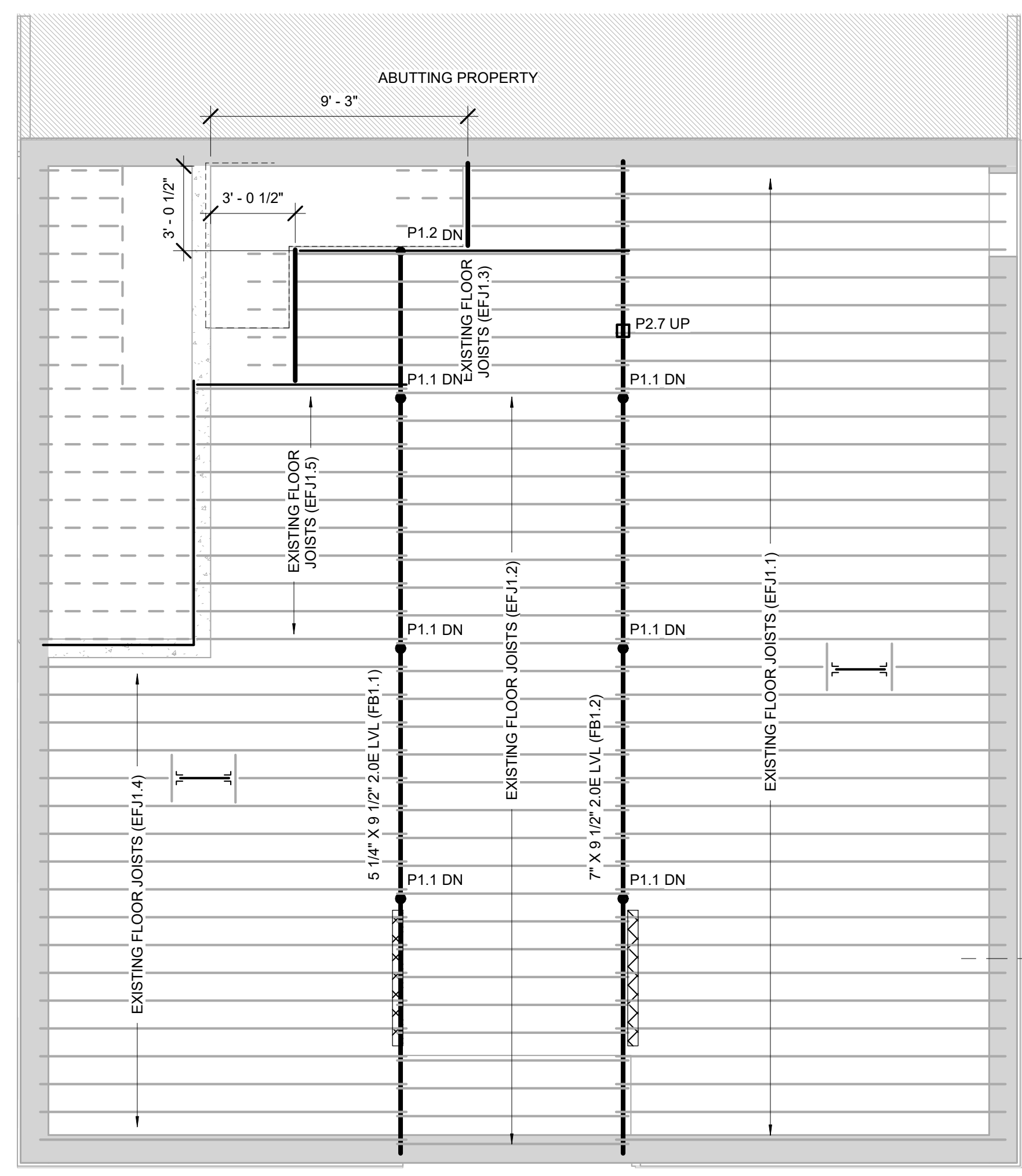
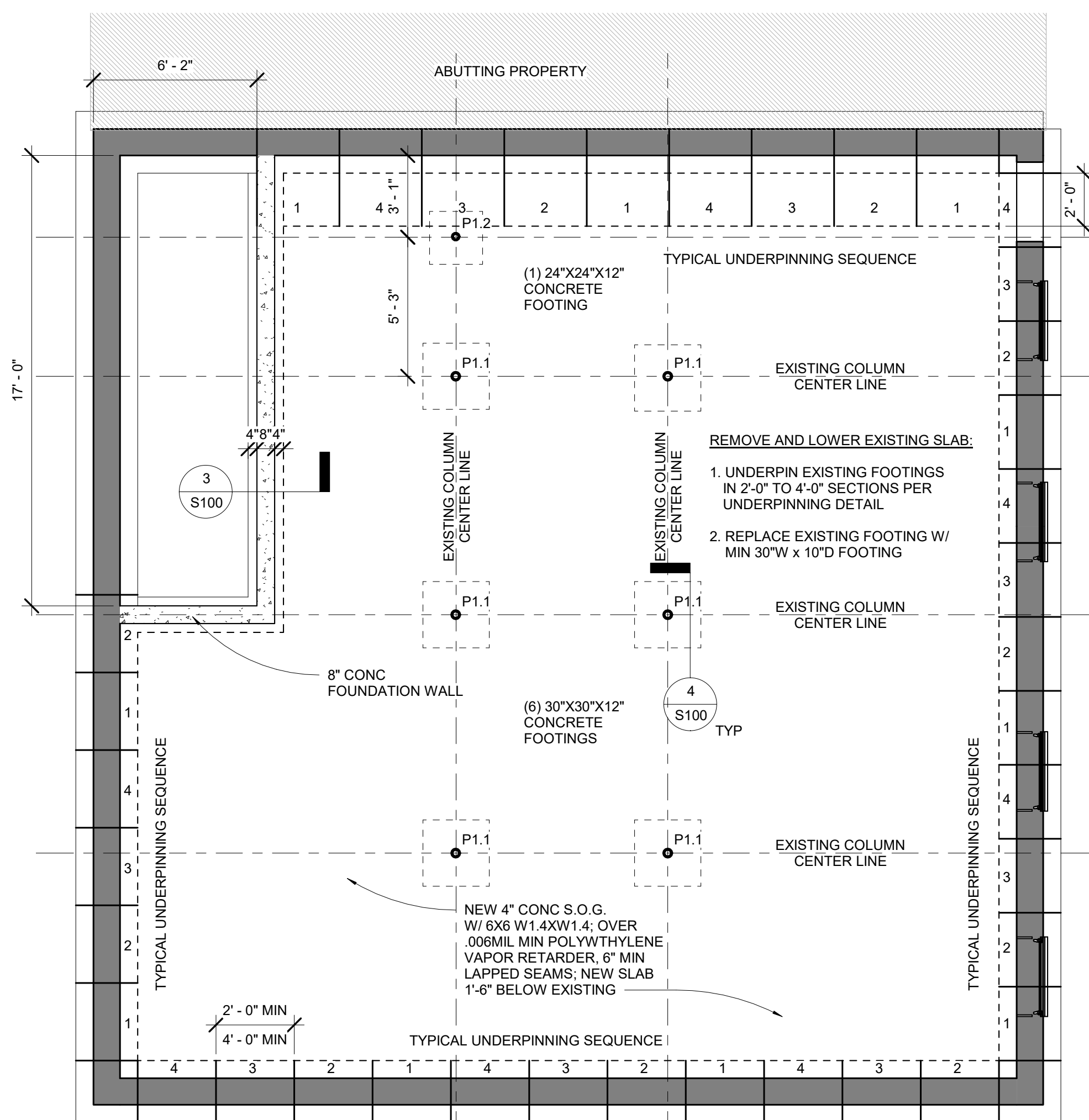
December 6, 2021
 DATE OF ISSUE
 DESIGN REVIEW
 DOCUMENT PHASE
 1/4" = 1'-0"
 SCALE
 2114.00
 PROJECT #

DRAWING NUMBER:

A102





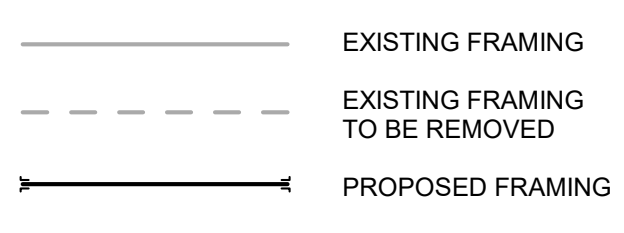


FRAMING NOTES:

- FRAMING BASED ON ASSUMPTIONS OF EXISTING CONDITIONS; ALERT ARCHITECT OF CONDITIONS THAT VARY FROM EXISTING LAYOUT
- COMMODITY FRAMING GRADE TO BE DOUGLAS FIR #2 (EQUAL OR BETTER) ALL EXTERIOR FRAMING TO BE PRESSURE TREATED (P.T.)
- INSTALL BTWN JOIST FULL DEPTH BLOCKING AT DROP BEAMS AND BEARING WALLS.
- INSTALL SIMPSON JOIST HANGERS AT ALL FACE MOUNT JOIST, U.N.O.
- INSTALL 3/4" T&G PLYWOOD SUB-FLOOR GLUE AND NAIL, TYP ALL FLOORS
- NOTCHING OR DRILLING HOLES IN JOISTS TO BE APPROVED BY ENGINEER
- SPICE BEAMS AT SUPPORTS
- INSULATE AT ALL WINDOWS AND EXTERIOR DOOR HEADERS.
- LIVE LOADS:
 BEDROOMS 30 PSF
 OTHER THAN BEDROOMS 40 PSF
 EXTERIOR DECK 40 PSF
 SNOW LOAD 50PSF

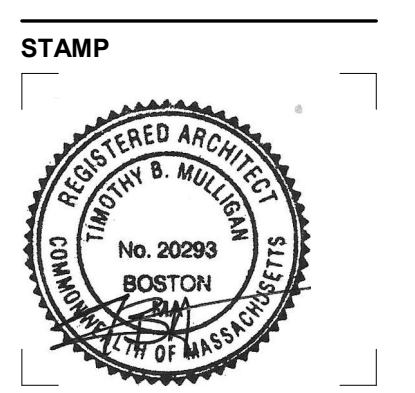
COLUMN SCHEDULE		
MARK	DESCRIPTION	COMMENTS
P1.1	3 1/2" DIA SCHED 80 PIPE	A501 OR A53 GRADE B
P1.2	3" DIA SCHED 80 PIPE	
P2.1	4X6 DF2	
P2.2	4X6 DF2	
P2.3	4X6 DF2	
P2.4	4X6 DF2	
P2.5	4X6 DF2	
P2.6	6X6 DF2	
P2.7	5 1/4" X 9 1/4" 1.8E PSL	
P2.9	6X6 P.T. DF2	
P4.1A	6X6 DF2	
P4.1B	6X6 DF2	
P5.1	4X6 DF2	

- CONCRETE NOTES:**
- ALL CONCRETE WORK SHALL COMPLY WITH ACI 318: BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
 - ALL CONCRETE SHALL COMPLY WITH ACI 301: SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
 - 2,500 MIN PSI COMPRESSIVE STRENGTH POST 28 DAYS
 - ALL CONCRETE TO BE POURED MONOLITHICALLY. UNO
 - CONCRETE FOUNDATIONS SHALL COMPLY WITH SECTION 18 OF IBC 2015 780CMR.
 - STEEL REINFORCING SHALL COMPLY WITH ASTM 615 GRADE 60, U.N.O.



REVISIONS:

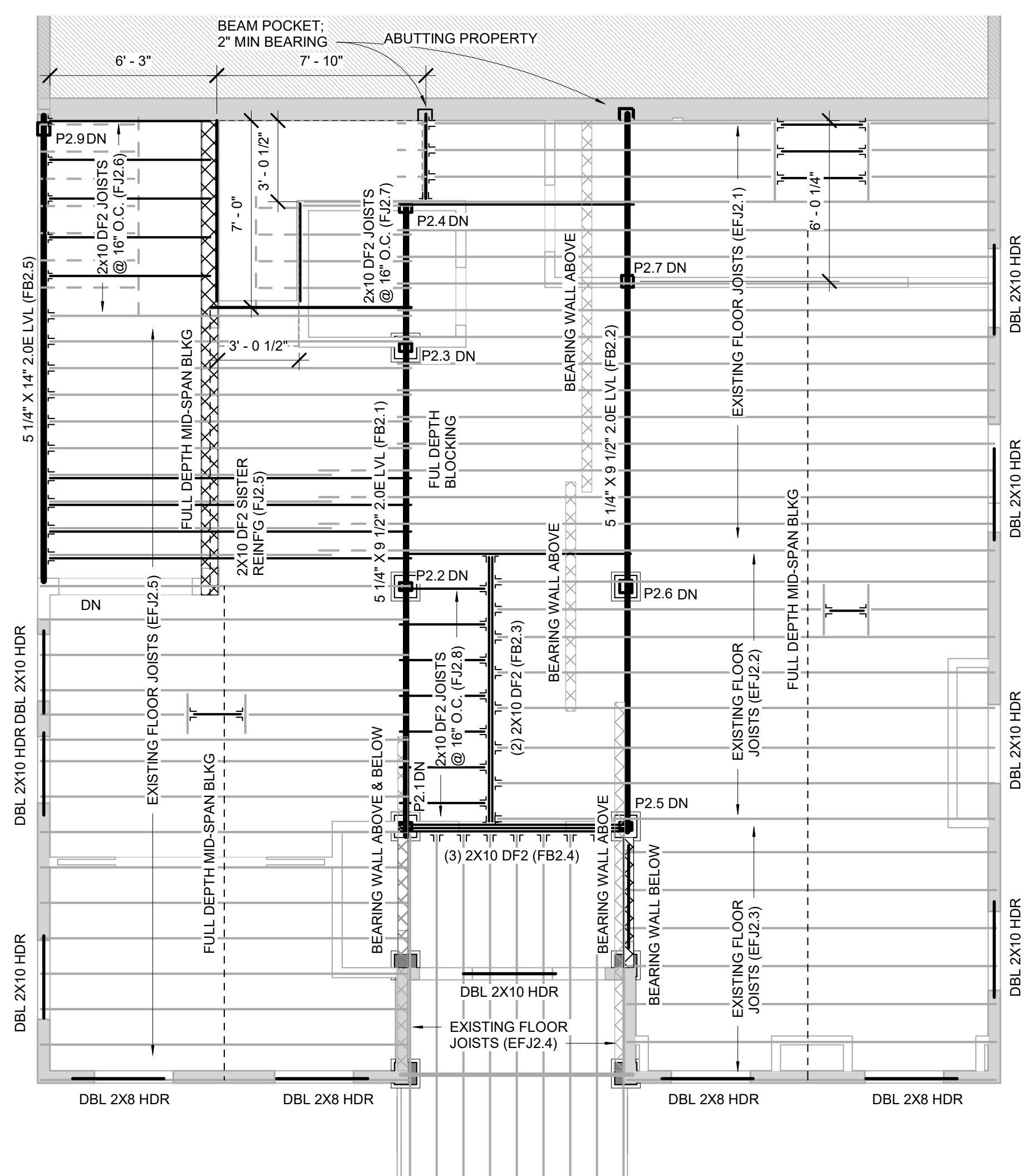
DRAWING TITLE:
FRAMING PLANS - BASEMENT & 1STR FLOOR



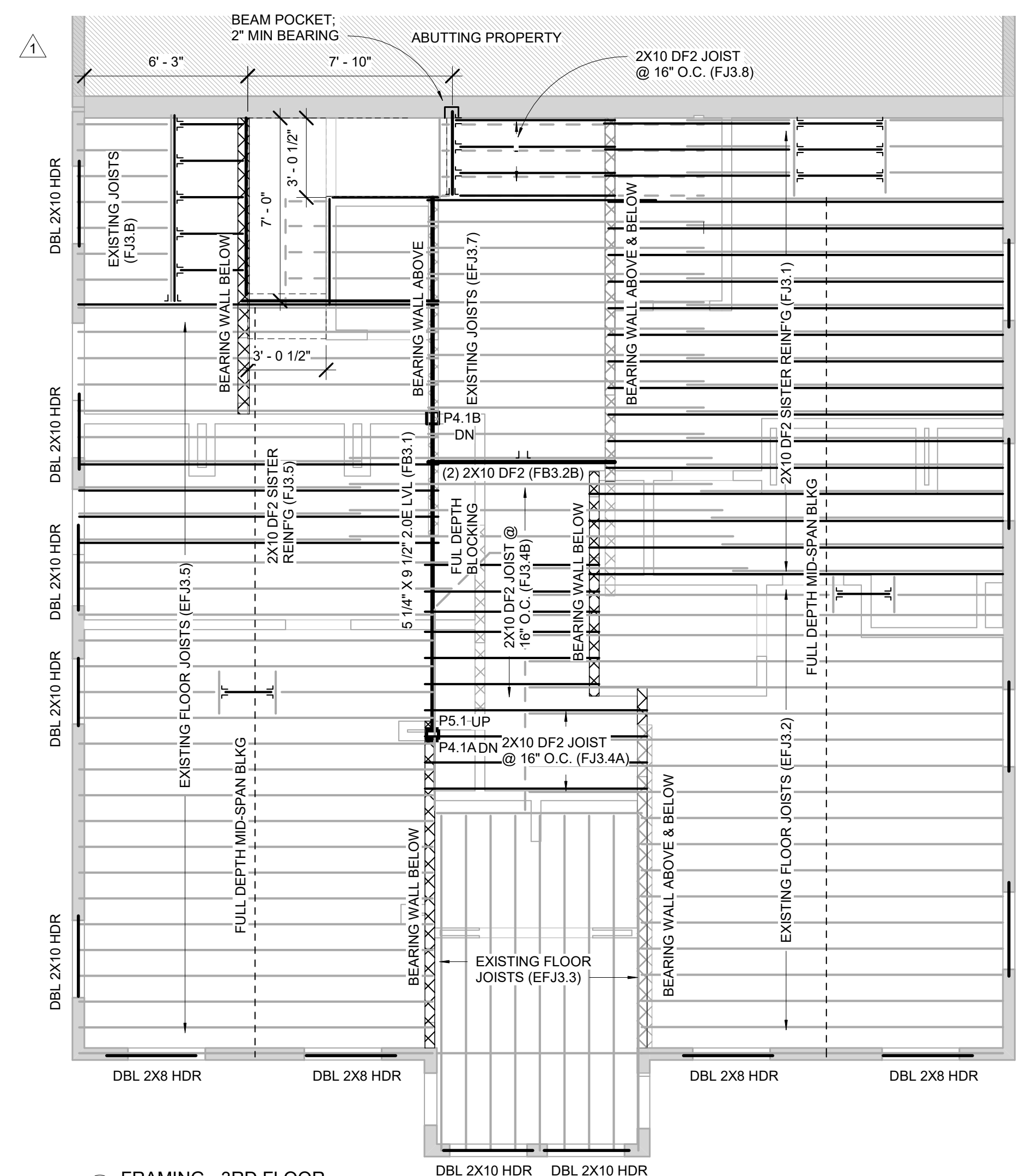
December 6, 2021
 DATE OF ISSUE
 DESIGN REVIEW
 DOCUMENT PHASE
 As indicated
 SCALE
 2114.00
 PROJECT #

DRAWING NUMBER:

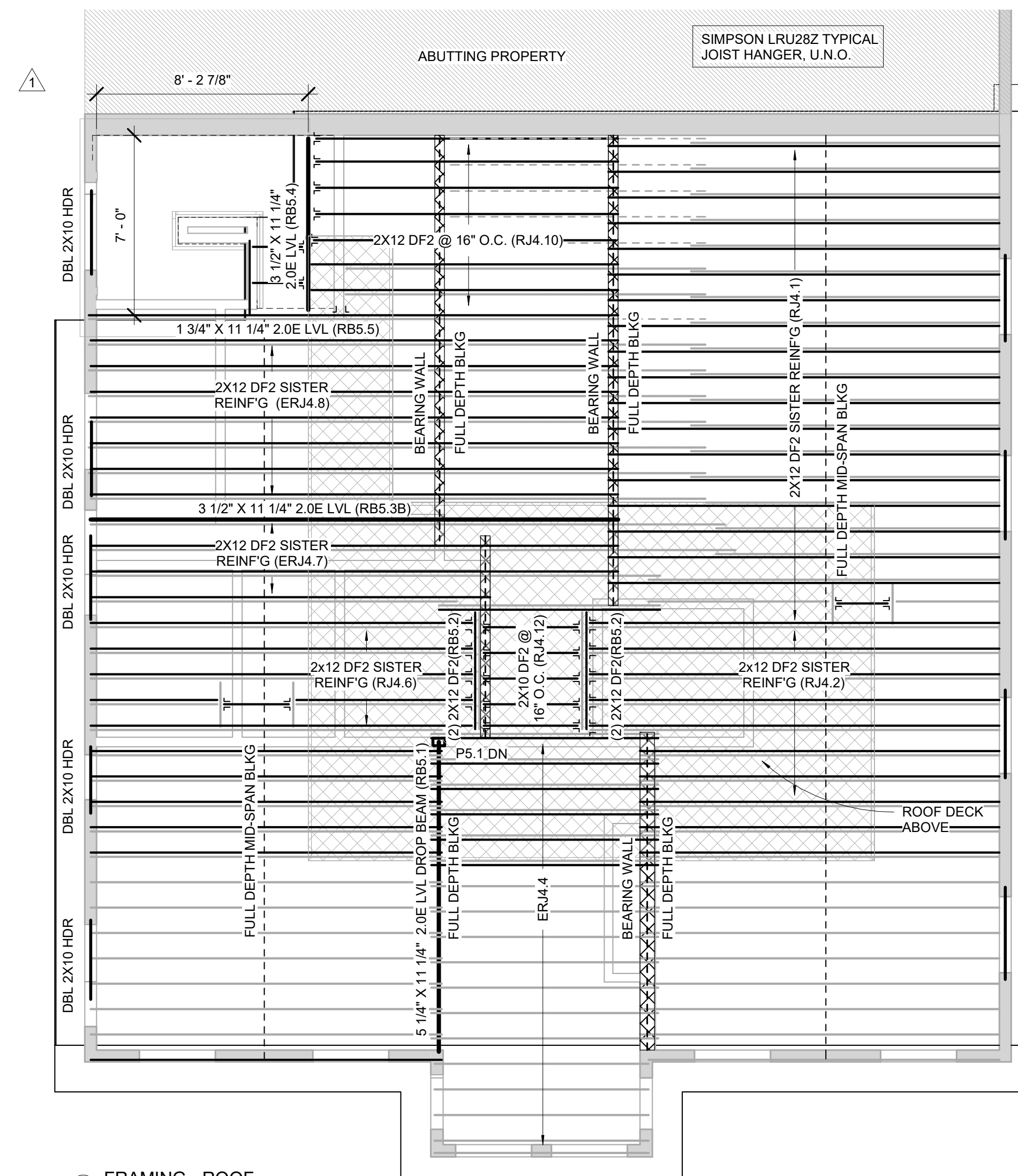
S100



2 FRAMING - 2ND FLOOR
 1/4" = 1'-0"



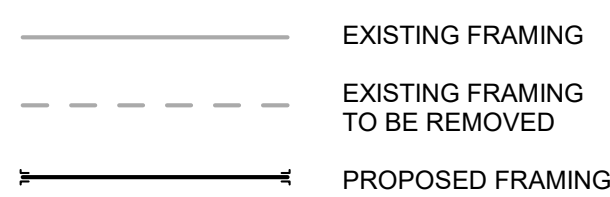
3 FRAMING - 3RD FLOOR
 1/4" = 1'-0"



1 FRAMING - ROOF
 1/4" = 1'-0"

FRAMING NOTES:

- FRAMING BASED ON ASSUMPTIONS OF EXISTING CONDITIONS; ALERT ARCHITECT OF CONDITIONS THAT VARY FROM EXISTING LAYOUT
- COMMODITY FRAMING GRADE TO BE DOUGLAS FIR #2 (EQUAL OR BETTER) ALL EXTERIOR FRAMING TO BE PRESSURE TREATED (P.T.)
- INSTALL BTWN JOIST FULL DEPTH BLOCKING AT DROP BEAMS AND BEARING WALLS.
- INSTALL SIMPSON JOIST HANGERS AT ALL FACE MOUNT JOIST, U.N.O.
- INSTALL 3/4" T&G PLYWOOD SUB-FLOOR GLUE AND NAIL, TYP ALL FLOORS
- NOTCHING OR DRILLING HOLES IN JOISTS TO BE APPROVED BY ENGINEER
- SPlice BEAMS AT SUPPORTS
- INSULATE AT ALL WINDOWS AND EXTERIOR DOOR HEADERS.
- LIVE LOADS:
 BEDROOMS 30 PSF
 OTHER THAN BEDROOMS 40 PSF
 EXTERIOR DECK 40 PSF
 SNOW LOAD 50PSF



COLUMN SCHEDULE		
MARK	DESCRIPTION	COMMENTS
P1.1	3 1/2" DIA SCHED 80 PIPE	A501 OR A53 GRADE B
P1.2	3" DIA SCHED 80 PIPE	
P2.1	4X6 DF2	
P2.2	4X6 DF2	
P2.3	4X6 DF2	
P2.4	4X6 DF2	
P2.5	4X6 DF2	
P2.6	6X6 DF2	
P2.7	5 1/4" X 9 1/2" 1.8E PSL	
P2.9	6X6 P.T. DF2	
P4.1A	6X6 DF2	
P4.1B	6X6 DF2	
P5.1	4X6 DF2	

REVISIONS:	
1	STAIRS 12.27.21

DRAWING TITLE:

**FRAMING
 PLANS - 2ND,
 3RD & ROOF**

STAMP



December 6, 2021

DATE OF ISSUE

DESIGN REVIEW

DOCUMENT PHASE

1/4" = 1'-0"

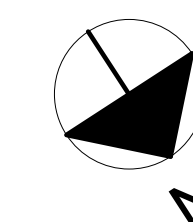
SCALE

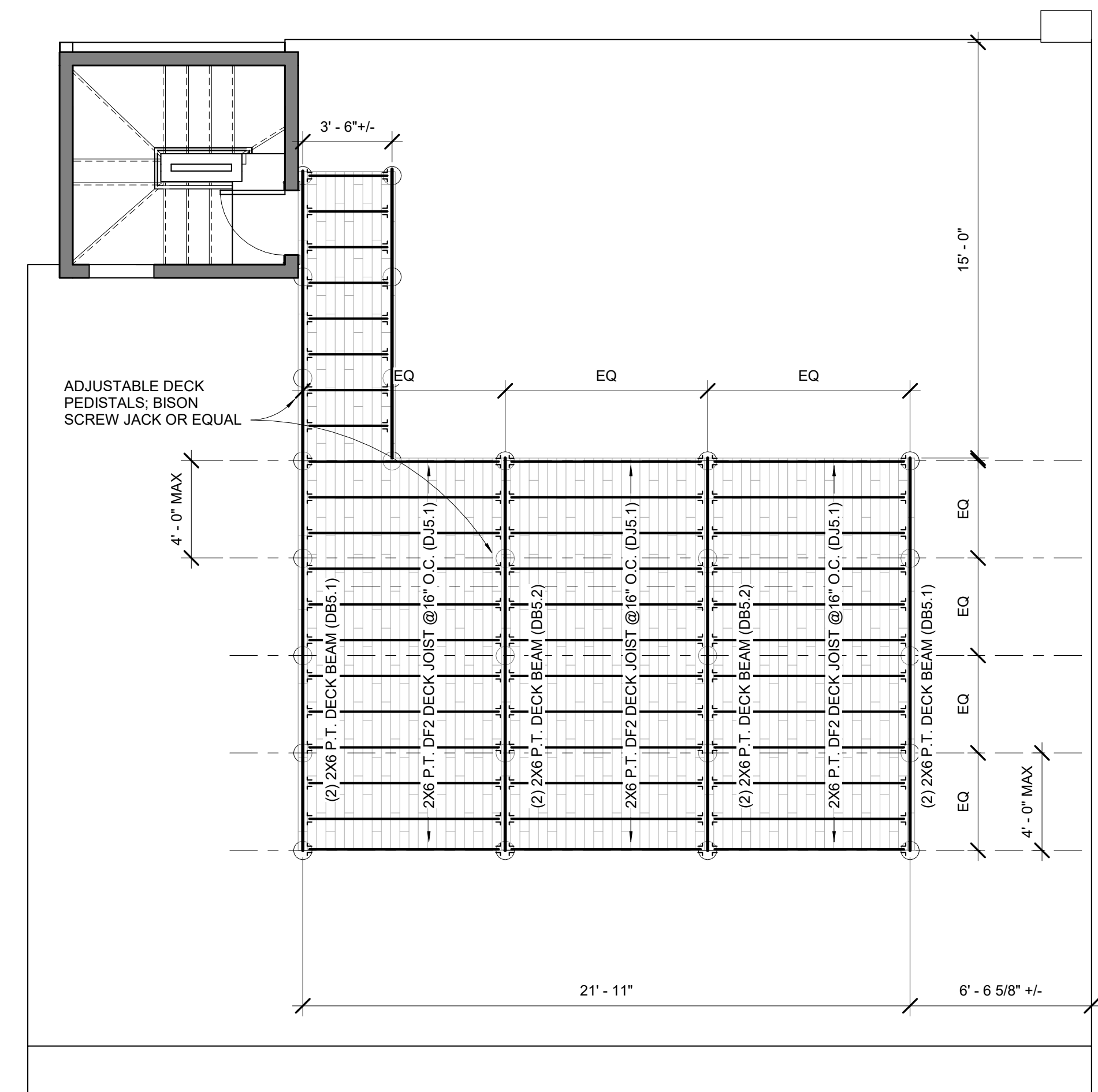
2114.00

PROJECT #

DRAWING NUMBER:

S101

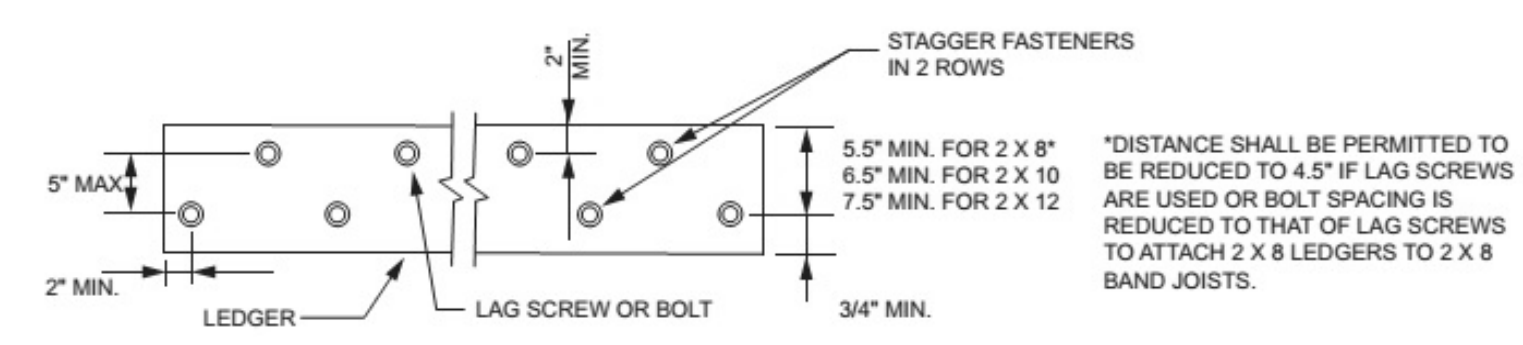
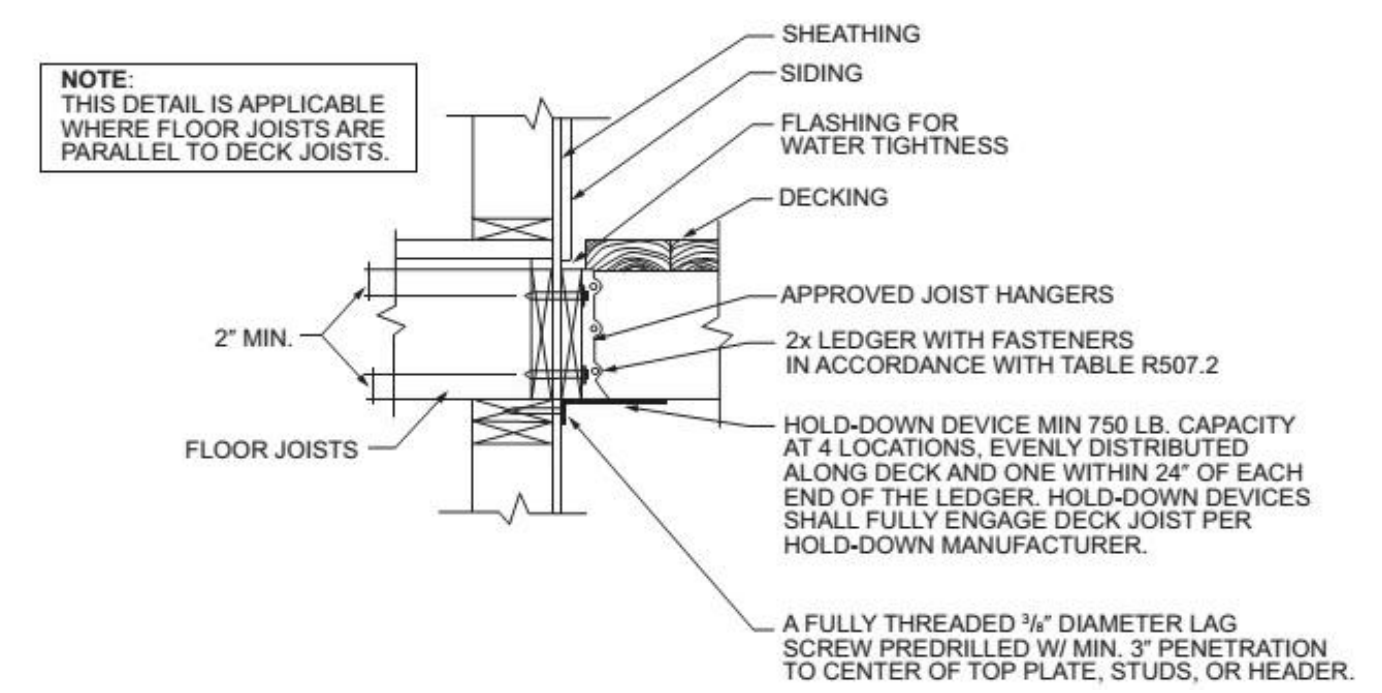
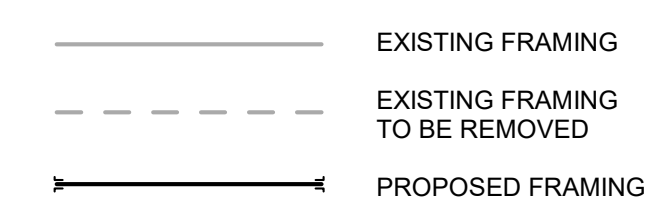




① FRAMING - ROOF DECK
 1/4" = 1'-0"

FRAMING NOTES:

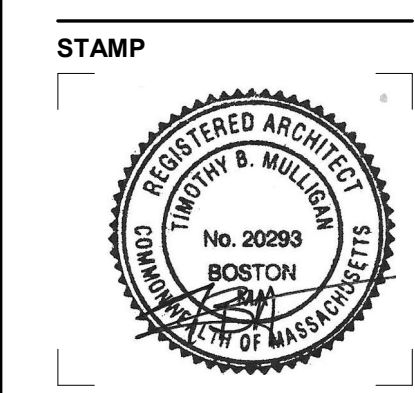
- FRAMING BASED ON ASSUMPTIONS OF EXISTING CONDITIONS; ALERT ARCHITECT OF CONDITIONS THAT VARY FROM EXISTING LAYOUT
- COMMODITY FRAMING GRADE TO BE DOUGLAS FIR #2 (EQUAL OR BETTER) ALL EXTERIOR FRAMING TO BE PRESSURE TREATED (P.T.)
- INSTALL BTWN JOIST FULL DEPTH BLOCKING AT DROP BEAMS AND BEARING WALLS.
- INSTALL SIMPSON JOIST HANGERS AT ALL FACE MOUNT JOIST, U.N.O.
- INSTALL 3/4" T&G PLYWOOD SUB-FLOOR GLUE AND NAIL, TYP ALL FLOORS
- NOTCHING OR DRILLING HOLES IN JOISTS TO BE APPROVED BY ENGINEER
- SPLICE BEAMS AT SUPPORTS
- INSULATE AT ALL WINDOWS AND EXTERIOR DOOR HEADERS.
- LIVE LOADS:
 BEDROOMS 30 PSF
 OTHER THAN BEDROOMS 40 PSF
 EXTERIOR DECK 40 PSF
 SNOW LOAD 50PSF



REVISIONS:

2. ROOF DECK	1.31.22

DRAWING TITLE:
**FRAMING -
 ROOF DECK
 & HEAD
 HOUSE**



December 6, 2021
 DATE OF ISSUE
 DESIGN REVIEW
 DOCUMENT PHASE
 1/4" = 1'-0"
 SCALE
 2114.00
 PROJECT #

DRAWING NUMBER:

S102

