

ABBREVIATIONS:

ADDL	ADDITIONAL	MANUF OR MFR	MANUFACTURER
ALT	ALTERNATE	MATL	MATERIAL
AFB	ABOVE FINISH FLOOR	MAX	MAXIMUM
AFG or A.F.G.	ABOVE FINISH GRADE	MECH	MECHANICAL
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MEMB	MEMBRANE
		MEP	MECHANICA, ELECTRICAL, PLUMBING
AWS	AMERICAN WELDING SOCIETY	MID	MIDDLE
APPROX	APPROXIMATELY	MID-PT	MID-POINT
ARCH	ARCHITECT OR ARCHITECTURAL	MIN	MINIMUM
@	AT	MR	MOISTURE RESISTANT
BAL	BALANCE	NFPA	NATIONAL FIRE PROTECTION AGENCY
BTWN	BETWEEN		
BM	BEAM	NTH	NORTH
BRG	BEARING	NIC	NOT IN CONTRACT
BLK	BLOCK	NTS	NOT TO SCALE
BLKG	BLOCKING	NO OR #	NUMBER
B.O.	BOTTOM OF		
BRKT	BRACKET	OC	ON CENTER
BLDG	BUILDING	OPNG	OPENING
		OPP	OPPOSITE
CIP	CAST-IN-PLACE	OD	OUTSIDE DIAMETER
CTRD	CENTERED	OF	OUTSIDE FACE
CL	CENTERLINE		
CLR	CLEAR	P.T.	PRESSURE TREATED
COL	COLUMN	PTD	PAINTED
CONC	CONCRETE	PSF	POUNDS PER SQUARE FOOT
CMU	CONCRETE MASONRY UNIT	PSI	POUNDS PER SQUARE INCH
CONST	CONSTRUCTION	PVC	POLYVINYL CHLORIDE
CONSTJT OR CJ	CONSTRUCTION JOINT CONTROL JOINT	PC	PRECAST CONCRETE
DIA OR Ø	DIAMETER	R	RADIUS
DIM	DIMENSION	REF	REFERENCE
DN	DOWN	REINF	REINFORCE, REINFORCING OR REINFORCEMENT
DWG	DRAWING	REQ'D	REQUIRED
		RD	ROOF DRAIN
EA	EACH	Ⓢ	SEALANT
ELECT	ELECTRICAL	SCH OR SCHED	SCHEDULE
EL OR ⚡	ELEVATION	SECT	SECTION
ELEV	ELEVATOR	SHT	SHEET
EMBED	EMBEDMENT	SHTG	SHEATHING
ENCL	ENCLOSURE	SIM	SIMILAR
EQ	EQUAL	SOG	SLAB ON GRADE
EQUIP	EQUIPMENT	STH	SOUTH
EXIST'G	EXISTING	SPECS	SPECIFICATIONS
EXP BOLT	EXPANSION BOLT	SPKR	SPRINKLER
EJ OR EXP JT	EXPANSION JOINT	SQ or SQR	SQUARE
EXT	EXTERIOR	SQD or SQRD	SQUARED
		S.S. or STN STL	STAINLESS STEEL
FF	FINISH FACE	STD	STANDARD
FT	FEET OR FOOT	STL	STEEL
FIN	FINISH	ST STL	STAINLESS STEEL
FIN FL	FINISHED FLOOR	STRUCT	STRUCTURAL
FPRF	FIREPROOF	SYM	SYMMETRICAL
FL	FLOOR		
FD	FLOOR DRAIN	TEMP	TEMPORARY
FTG	FOOTING	THK	THICK OR THICKNESS
FDN	FOUNDATION	T.O.	TOP OF
		T & B	TOP AND BOTTOM
GA	GAGE OR GAUGE	T.O.C.	TOP OF CURB or CONCRETE
GALV	GALVANIZED		
GWB	GYPNUM WALL BOARD		
HGT	HEIGHT	TOP	TOP PLATE
HORIZ	HORIZONTAL	T.O.S.	TOP OF STEEL
IN	INCH	T.O.W.	TOP OF WALL
INFO	INFORMATION	TYP	TYPICAL
INCL	INCLUDING OR INCLUSIVE		
ID	INSIDE DIAMETER	UNO	UNLESS NOTED OTHERWISE
INSUL	INSULATION	VERT	VERTICAL
INT	INTERIOR	VIF	VERIFY IN FIELD
INV	INVERT	WST	WEST
JT	JOINT	WWPA	WESTERN WOOD PRODUCTS ASSOCIATION
LAU	LAUNDRY		
LWC	LIGHT WEIGHT CONCRETE	W/	WITH
LBS	POUNDS	W/O	WITHOUT
		WP	WORKING POINT

MONUMENT SQUARE RESIDENCES

45 Monument Square, Charlestown, MA 02129

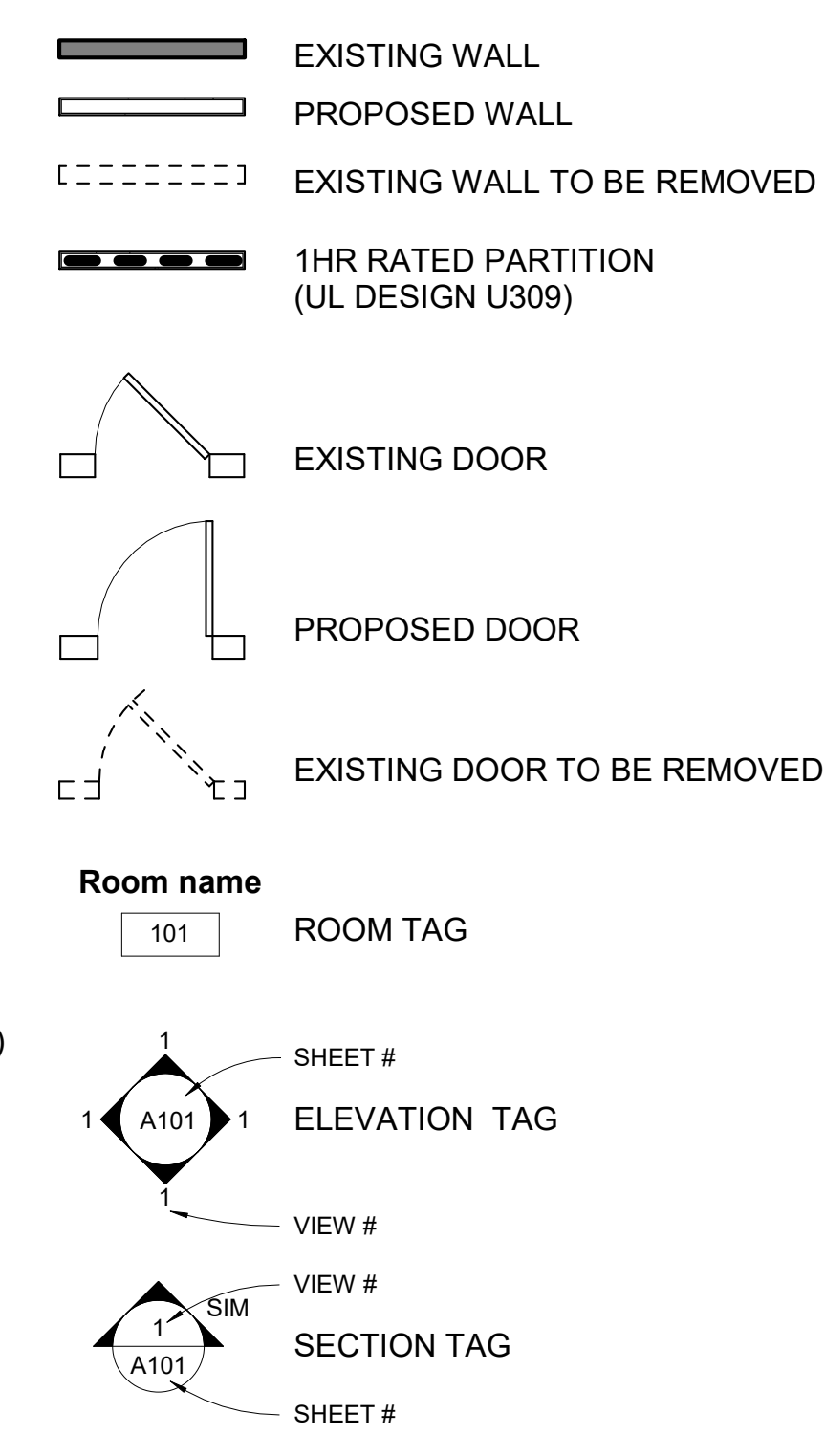
CODE ANALYSIS:

- APPLICABLE CODES:
BUILDING CODE :
IRC 2015 (780 CMR 9TH EDITION)
IEBC 2015
IECC 2018
IFC 2015 (527 CMR)
- ZONING DISTRICT: CHARLESTOWN NEIGHBORHOOD (NDOD)
SUBDISTRICT: 3F-2000
SETBACKS:
FRONT: CONFORMITY
SIDE: 2.5'
REAR: 20'
HEIGHT: 35/3 STORIES
FAR: 2.0
LOT SIZE: 1,500SF
ALLOWED: 3,000GSF
EXISTING: 4,068GSF
PROPOSED: 3,875GSF
BASEMENT: UNFINISHED
FIRST FLOOR: 1,175GSF
SECOND FLOOR: 1,350GSF
THIRD FLOOR: 1,350GSF
TOTAL: 3,875GSF
- USE GROUP CLASSIFICATION : RESIDENTIAL R3 (SINGLE FAMILY)
- CONSTRUCTION CLASSIFICATION: TYPE 5B CONSTRUCTION
- MEANS OF EGRESS: EMERGENCY ESCAPE & RESCUE:
BEDROOM EGRESS:
1 WINDOW MINIMUM REQUIREMENTS
5.7SF OPERABLE CLEAR AREA,
44" MAX SILL HGT

PERFORMANCE REQUIREMENTS

- EXTERIOR WALLS:
EXISTING WOOD FRAMING
R21 MIN INSULATION VALUE (CAVITY)
- WINDOWS:
FIBERGLASS - WOOD GRAIN PATTERN
DOUBLE PANE LOW E
MIN. U-FACTOR: .30
REQUIREMENTS FOR 1 WDW MIN PER BEDROOM:
5.7SF OPERABLE CLEAR AREA, 44" MAX SILL HGT
- EXTERIOR DOORS:
WOOD, WOOD CLAD OR FIBERGLASS W/ WOOD GRAIN PATTERN
DOUBLE PANE LOW E
MIN. U-FACTOR: .30
- CEILING/ROOF
R49 MIN INSULATION VALUE
- FOUNDATION
EXISTING; NO CHANGE
8" CIP, 3,500PSI MIN
- STAIRS:
8 1/4" MAX RISER
10" MIN TREAD
HANDRAILS:
34" MIN. TO 38" MAXIMUM ABOVE STAIR NOSING
GAURDRAILS:
42" MIN TO TOP RAIL
BALUSTERS: 4" MAX CLEAR WIDTH

SYMBOL LEGEND

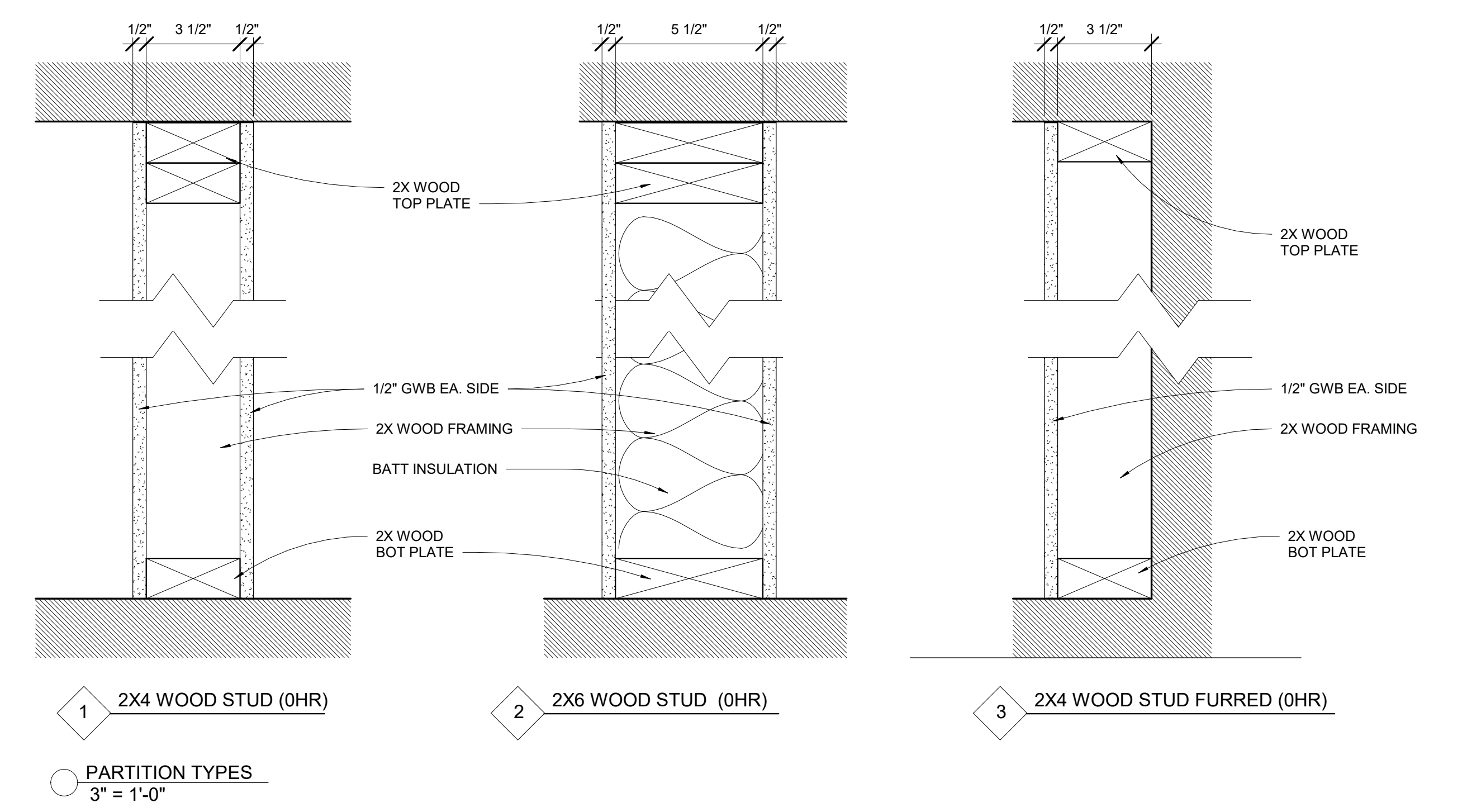


DRAWING LIST

SHEET #	SHEET NAME
A000	TITLE SHEET
A100	DEMO PLANS
A101	DEMO PLANS
A102	FLOOR PLANS
A200	EXTERIOR ELEVATIONS
S100	FRAMING PLANS - BASEMENT & 1ST FLOOR
S101	FRAMING PLANS - 2ND, 3RD & ROOF
S102	FRAMING PLANS - ROOF DECK & HEAD HOUSE

GENERAL NOTES:

- WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS. UNLESS OTHERWISE AGREED UPON, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED TO PERFORM HIS OR HER WORK AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN FOR ALL ELECTRICAL WORK AND IN COMPLIANCE WITH NFPA 70.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PRODUCT SUBMITTAL FOR SMOKE ALARM FIXTURES FOR APPORVAL
- CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT OR THE APPROPRIATE CONSULTING ENGINEERS.
- CONFIRM DIMENSIONS WITH THE ARCHITECT OR APPROPRIATE CONSULTING ENGINEER.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, OF ANY DISCREPANCY, OMISSION, OR UNANTICIPATED FIELD CONDITIONS ALTER THE DESIGN INTENT.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, IF DIMENSIONS INDICATED WITH "+/-" VARIES MORE THAN 3" FROM ACTUAL FIELD MEASUREMENTS.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- DAMAGED TO EXISTING OR NEW CONSTRUCTION CAUSED BY THE CONTRACTOR, HIS OR HER SUB-CONTRACTORS OR CREW IS THE RESPONSIBILITY OF THE CONTRACTOR.



ARCHITECT
S47|a
studio47 architects, inc
517 boston post rd
suite #30
roxbury, ma 01776
p: 508.550.4730
www.s47a.com

PROJECT:
Monument Square Residence

45 Monument Square
Charlestown, MA 02129

CLIENT:
River Front Realty

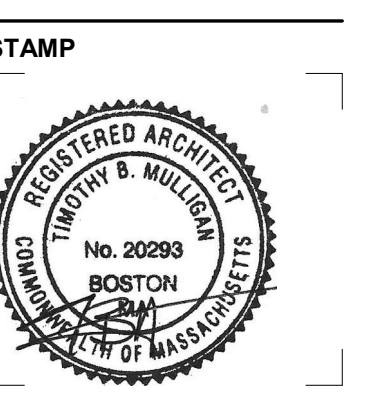
275 Main St
Boston, MA 02129

PROJECT TEAM:

REVISIONS:

3	ROOF DECK	3.30.22

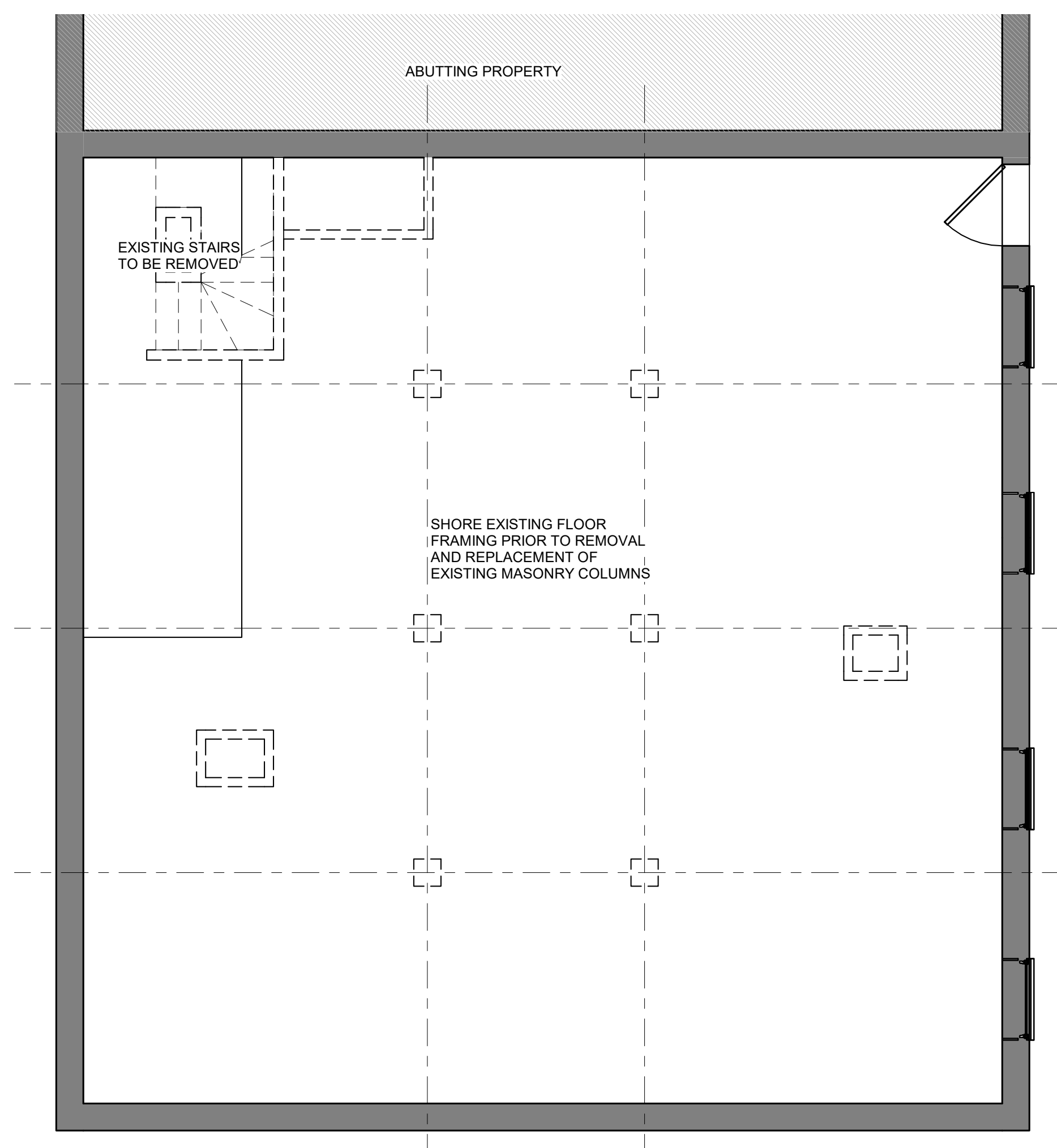
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TITLE SHEET



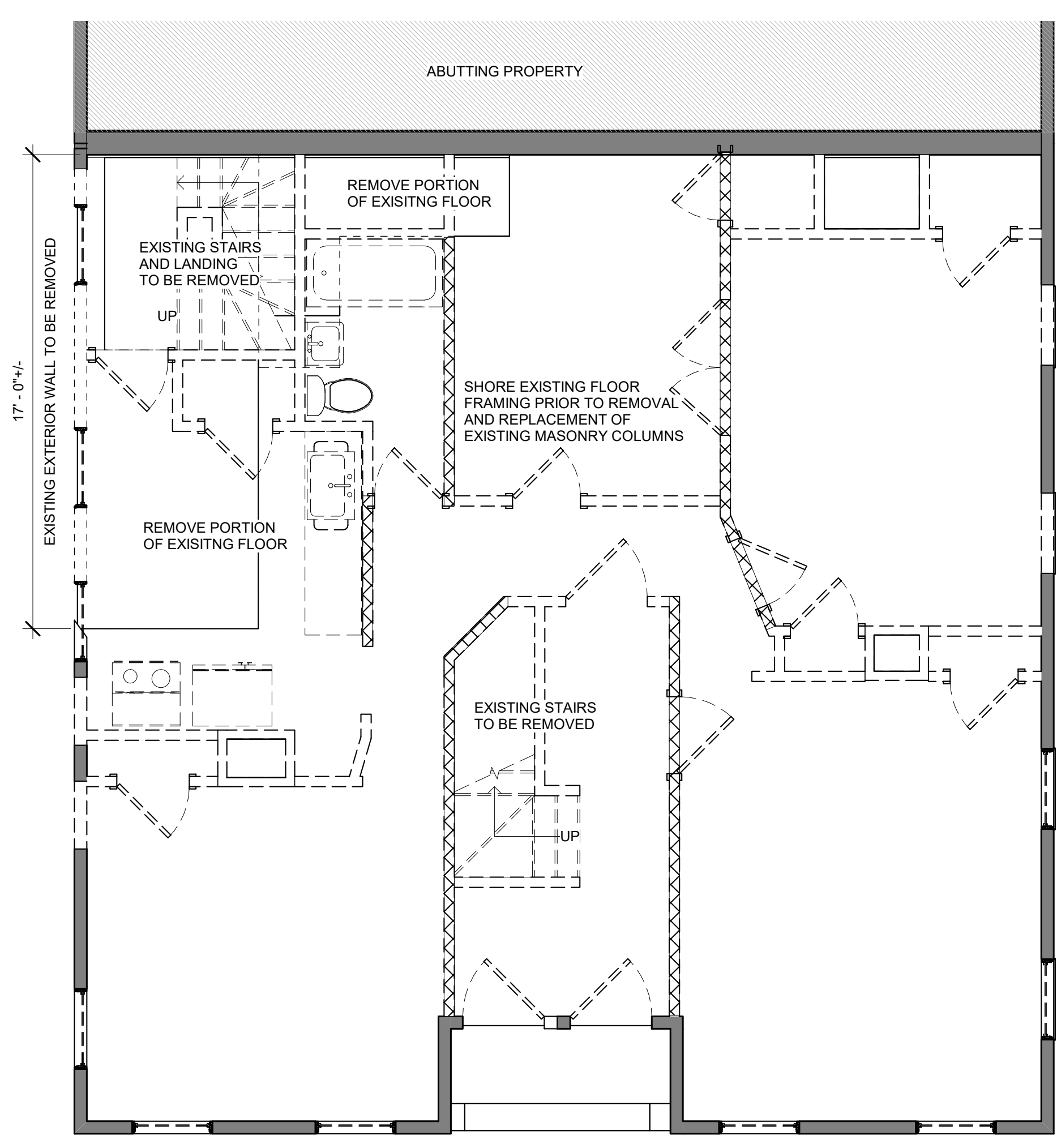
December 6, 2021
DATE OF ISSUE
DESIGN REVIEW
DOCUMENT PHASE
As indicated
SCALE
2114.00
PROJECT #

DRAWING NUMBER:

A000



① DEMO - BASEMENT
1/4" = 1'-0"



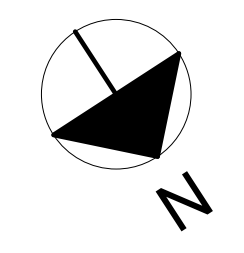
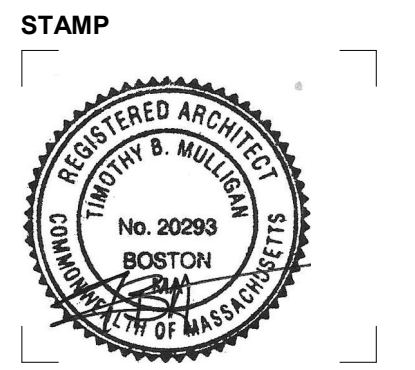
② DEMO - 1ST FLOOR
1/4" = 1'-0"

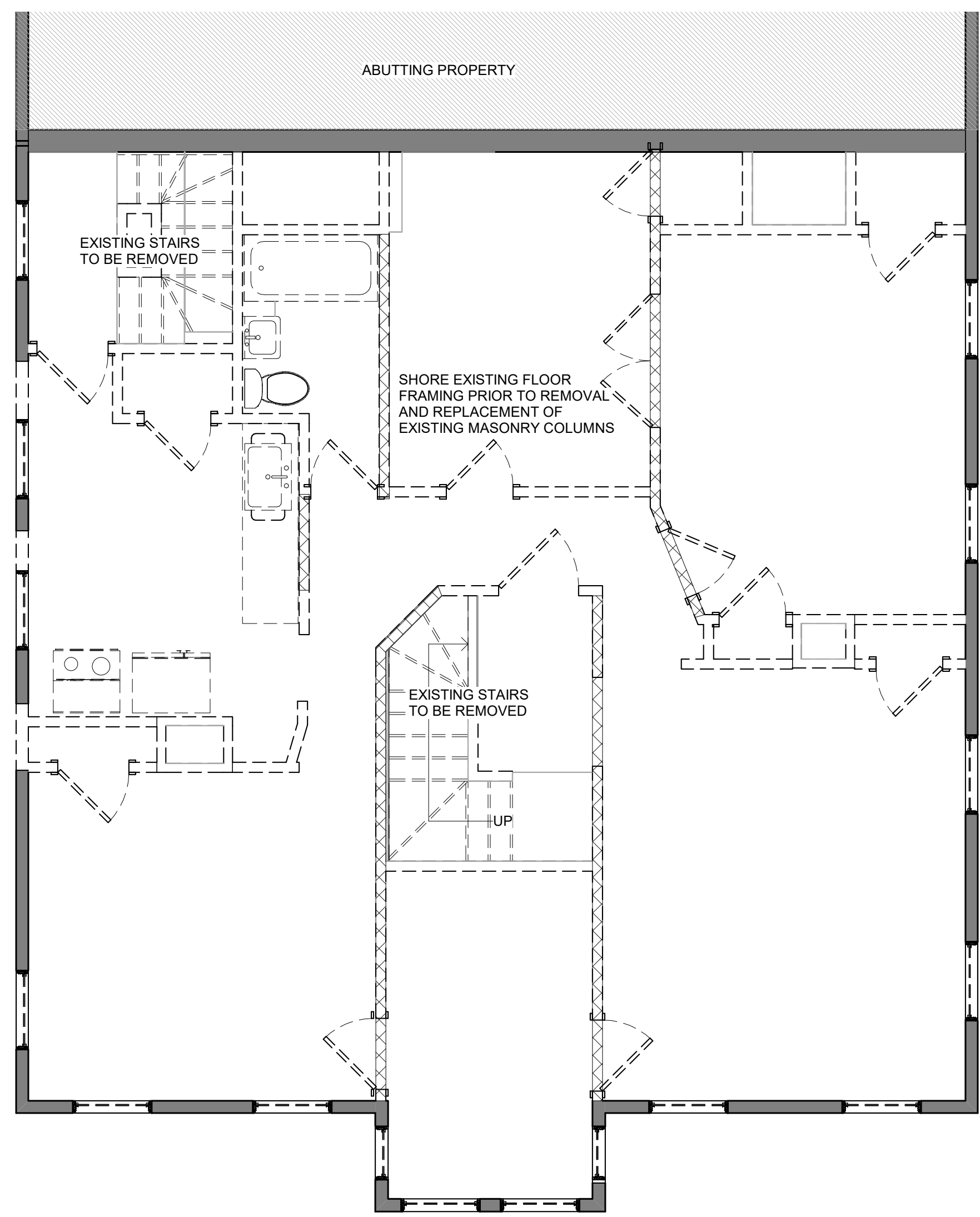
DEMO NOTES:

1. ALL EXISTING CEILING AND FLOOR FINISHES TO BE REMOVED.
2. ALL EXISTING INTERIOR PARTITIONS TO BE REMOVED AS SHOWN.
2. ALL EXISTING PLUMBING AND LIGHTING FIXTURES TO BE REMOVED ON FLOORS 2 THROUGH 4.
3. ALL EXISTING WDWs & DOORS TO BE REMOVED
4. G.C. TO ENSURE ALL BEARING WALLS NOTED FOR REMOVAL ARE PROPERLY SHORED PRIOR TO DEMO AND UNTIL PROPOSED NEW STRUCTURAL COMPONENT IS INSTALLED

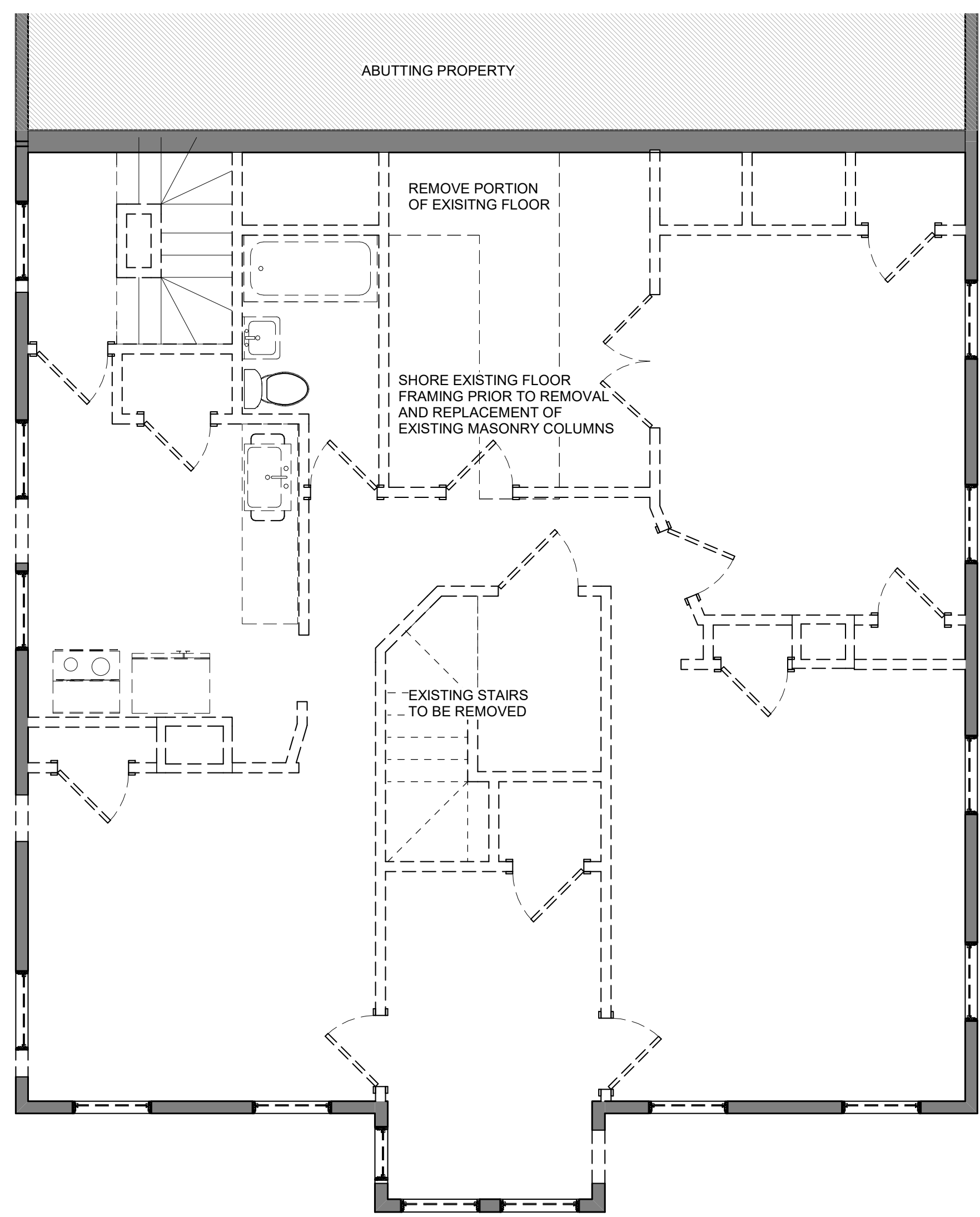
- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- EXISTING BEARING WALL TO BE REMOVED
- EXISTING DOOR TO BE REMOVED

REVISIONS:






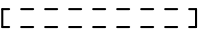
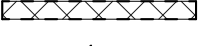
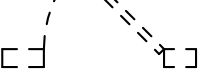
② DEMO - 2ND FLOOR
1/4" = 1'-0"

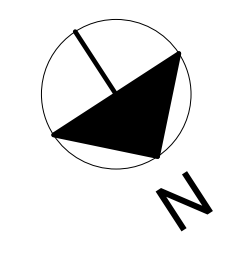


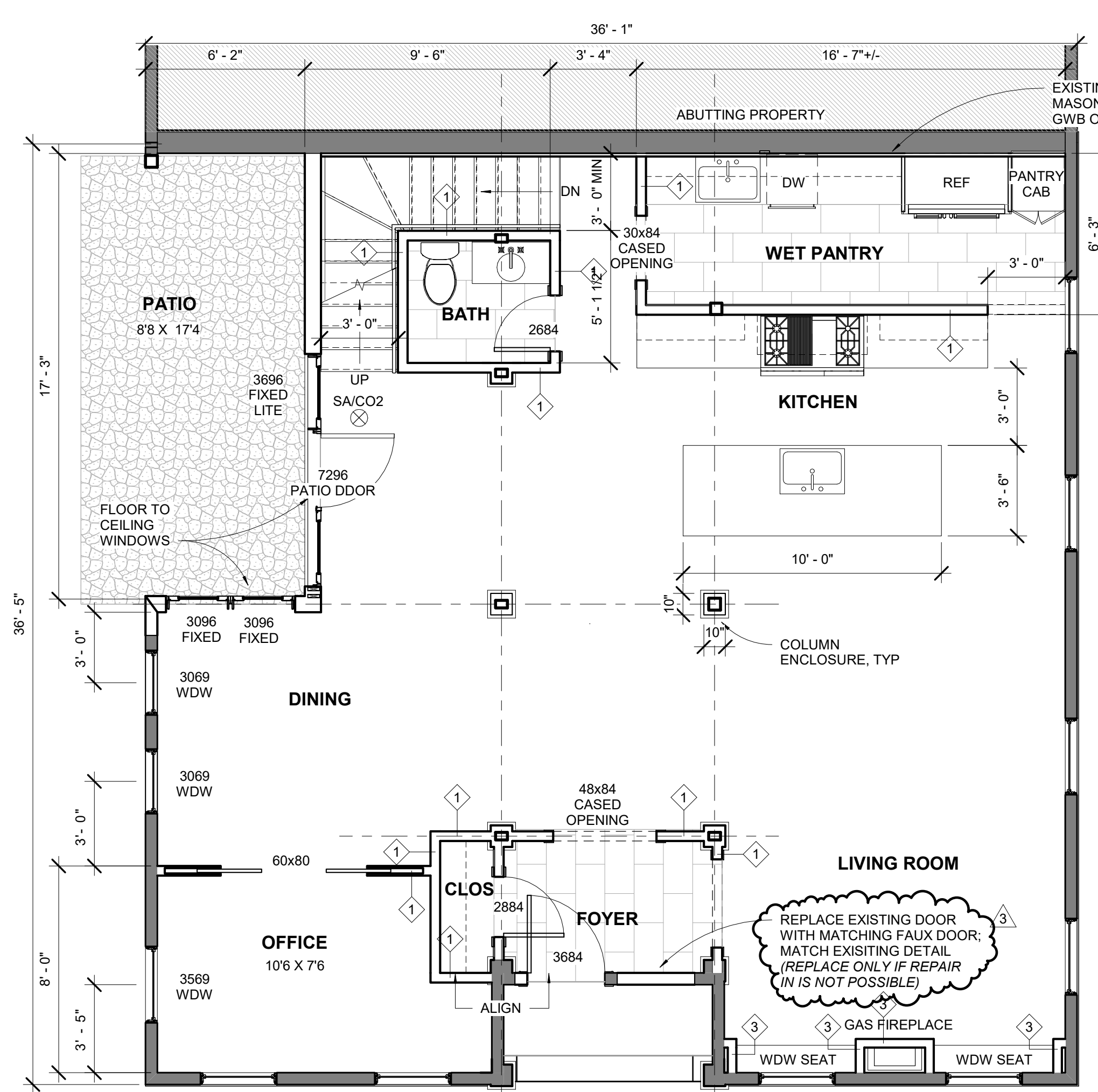
① DEMO - 3RD FLOOR
1/4" = 1'-0"

DEMO NOTES:

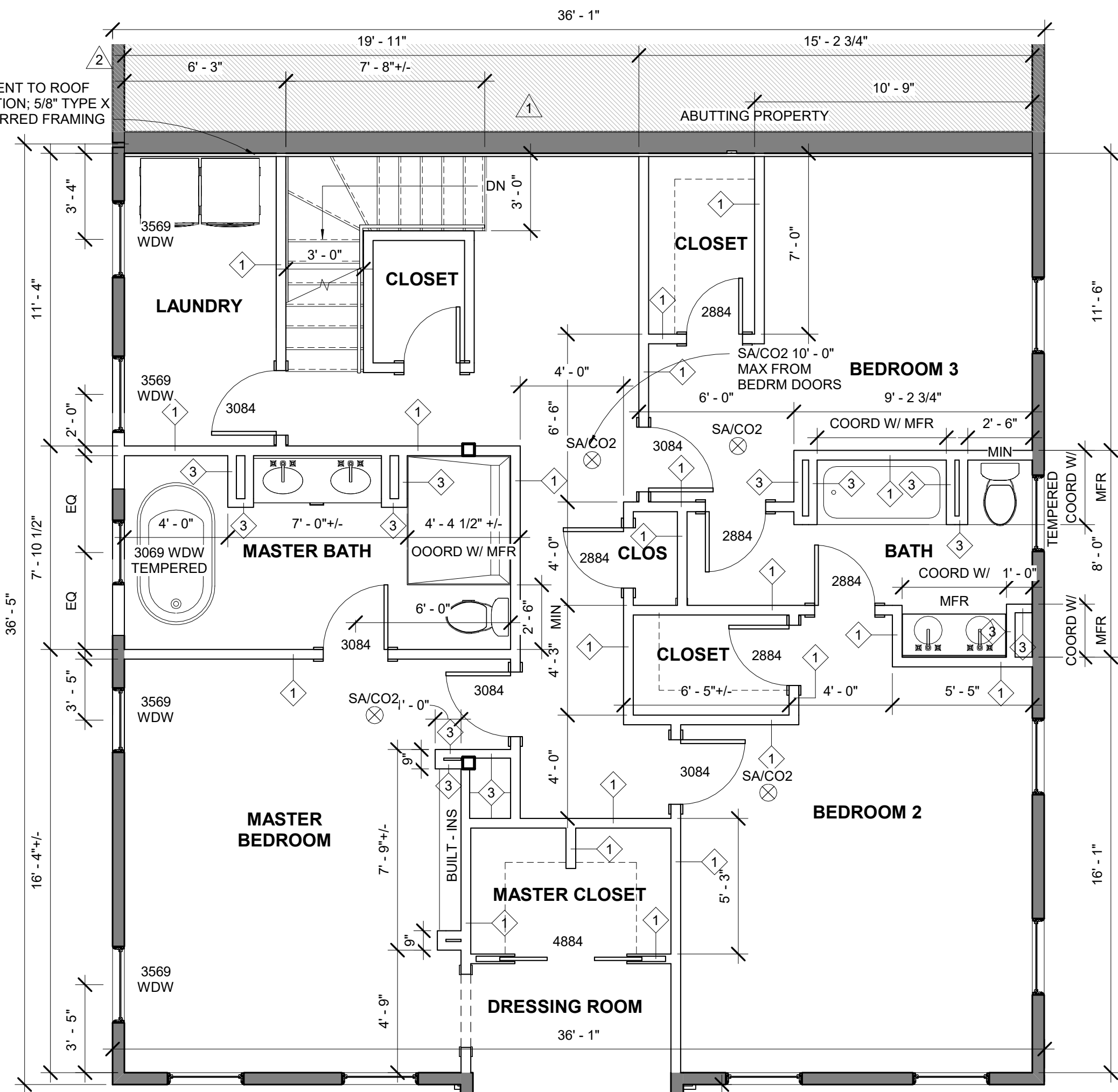
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2. ALL EXISTING INTERIOR PARTITIONS TO BE REMOVED AS SHOWN.
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3. ALL EXISTING WDWs & DOORS TO BE REMOVED
4. G.C. TO ENSURE ALL BEARING WALLS NOTED FOR REMOVAL ARE PROPERLY SHORED PRIOR TO DEMO AND UNTIL PROPOSED NEW STRUCTURAL COMPONENT IS INSTALLED

-  EXISTING WALL
-  EXISTING WALL TO BE REMOVED
-  EXISTING BEARING WALL TO BE REMOVED
-  EXISTING DOOR TO BE REMOVED

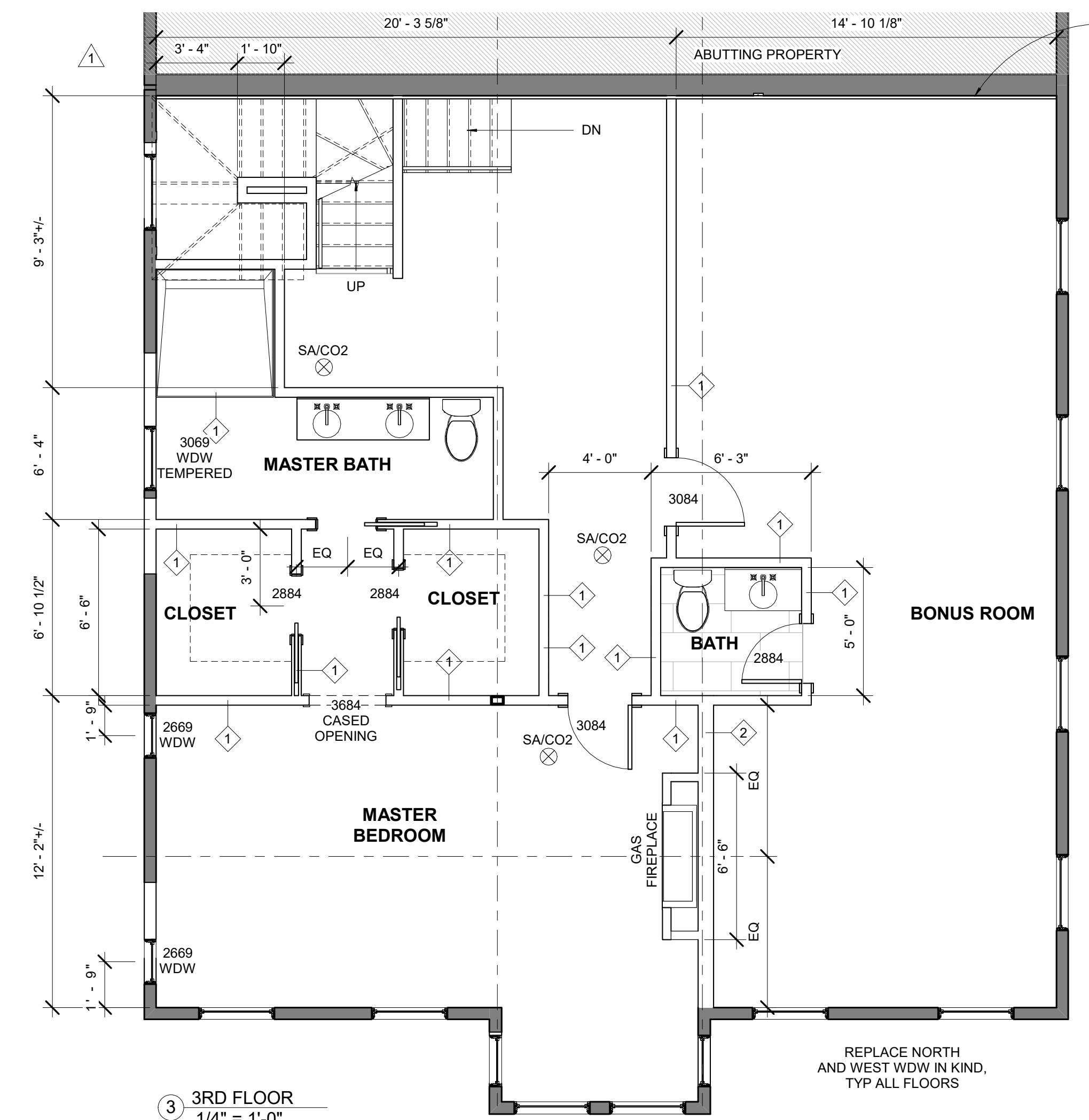




1 1ST FLOOR
1/4" = 1'-0"



2 2ND FLOOR
1/4" = 1'-0"



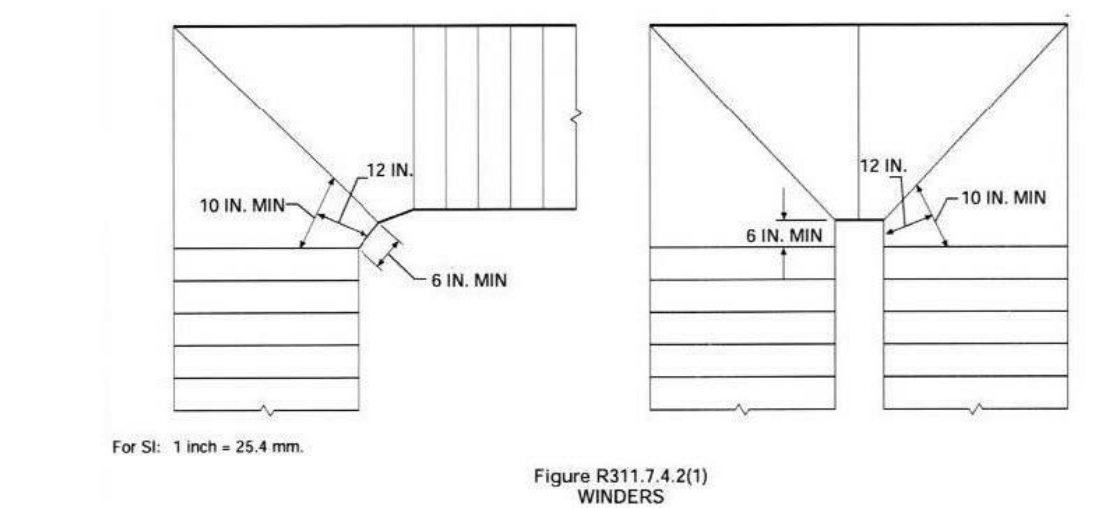
3 3RD FLOOR
1/4" = 1'-0"

PERFORMANCE REQUIREMENTS

- EXTERIOR WALLS:
EXISTING WOOD FRAMING
R21 MIN INSULATION VALUE (CAVITY)
- WINDOWS:
FIBERGLASS - WOOD GRAIN PATTERN
DOUBLE PANE LOW E
MIN. U-FACTOR: .30
REQUIREMENTS FOR 1 WDW MIN PER BEDROOM:
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- CEILING/ROOF
R49 MIN INSULATION VALUE
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10" MIN TREAD
HANDRAILS:
34" MIN. TO 38" MAXIMUM ABOVE STAIR NOSING
GAURDRAILS:
42" MIN TO TOP RAIL
BALUSTERS: 4" MAX CLEAR WIDTH

SYMBOL LEGEND

- EXISTING WALL
- PROPOSED WALL
- EXISTING WALL TO BE REMOVED
- EXISTING DOOR
- PROPOSED DOOR
- SHEET #
- ELEVATION TAG
- VIEW #
- VIEW #
- SECTION TAG
- SHEET #
- COMBO SMOKE/CO2 DETECTOR - KIDDE I12010SCO
- COMBO SMOKE/CO2 DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC



For Sl: 1 inch = 25.4 mm.

Figure R311.7.4.2(1) WINDERS

EXISTING BASEMENT TO ROOF MASONRY PARTITION: 5/8" TYPE X GWB ON 1 1/2" FURRED FRAMING

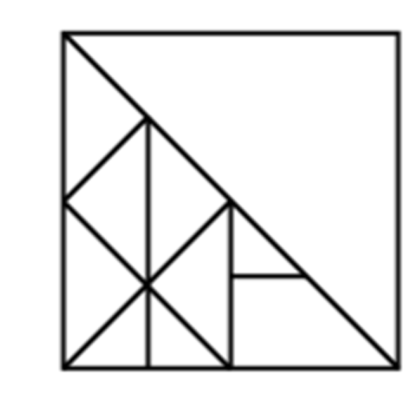
NDOD
BPDA Design Review 4/19/22
Provisos

General:

- All changes to the exterior and/or site plans shall be submitted to the Boston Planning & Development Agency ("BPDA") for review and approval.
- All building improvements shall be completed prior to issuance of occupancy permit by ISD unless prior approval is granted by the BPDA.
- All site improvements, including but not limited to hardscape and plantings, must be completed prior to issuance of occupancy permit by ISD unless prior approval is granted by the BPDA for a delay in completing the site improvements.

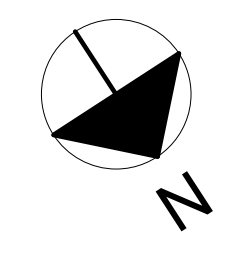
Architecture:

- Siding and trim: No vinyl or aluminum siding will be allowed. Clapboards shall be wood to match the historic condition. All trim (corner boards, door/window casings, soffit/fascia trim, skirt boards, frieze boards, etc.) shall be wood. All existing siding and trim shall be preserved and repaired where possible, and replaced to match existing only if necessary.
- Doors: All doors shall be wood. Metal or vinyl doors will not be allowed. Fiberglass doors may be considered as long as the detailing and finish matches wood doors and has a painted finish. All doors facing the street shall have translucent panels. The front doors shall be retained to match their historic double door entry, or shall be replaced to match existing if repair is not possible.
- Windows: Windows should be wood or wood clad in another material, such as fiberglass. Vinyl windows and metal windows will not be allowed. All windows shall have exterior muntins and half screens. All windows shall be simulated divided lite (SDL).
- All architectural detailing (cornice, frieze, architrave, dentils, etc.) shall be wood, to be preserved and repaired. If repair is not possible, they will be replaced to match existing.
- Roof deck: The roof deck shall be laid out to minimize visibility from Monument Square. The railings shall be a black metal, with an emphasis on verticality, to match existing context. Pressure treated lumber will not be allowed as an externally visible material for exterior decking. All pressure treated wood exposed to public views on the site shall be covered and shielded from view. Use of PVC, composite, and/or natural wood materials is acceptable.



APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY

SIGNATURE *M. Cannizzo*



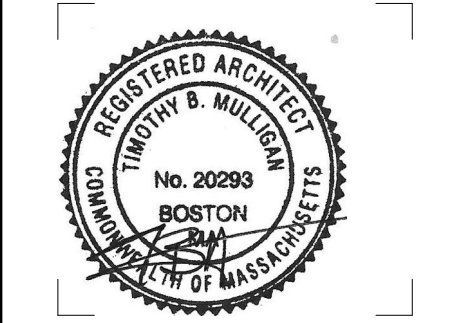
REVISIONS:

1. STAIRS	12.27.21
2. ROOF DECK	1.31.22
3. ROOF DECK	3.30.22

DRAWING TITLE:

FLOOR PLANS

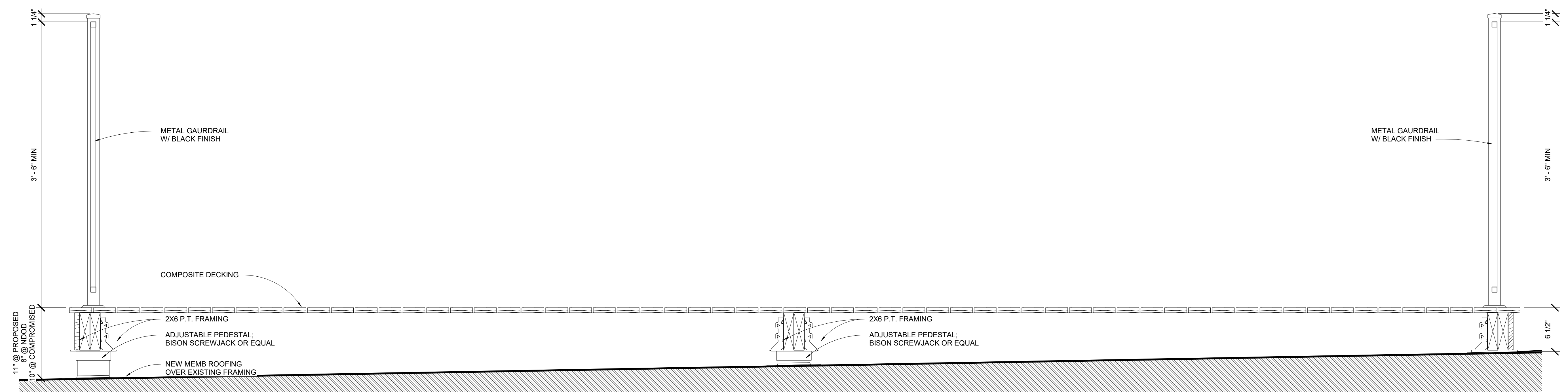
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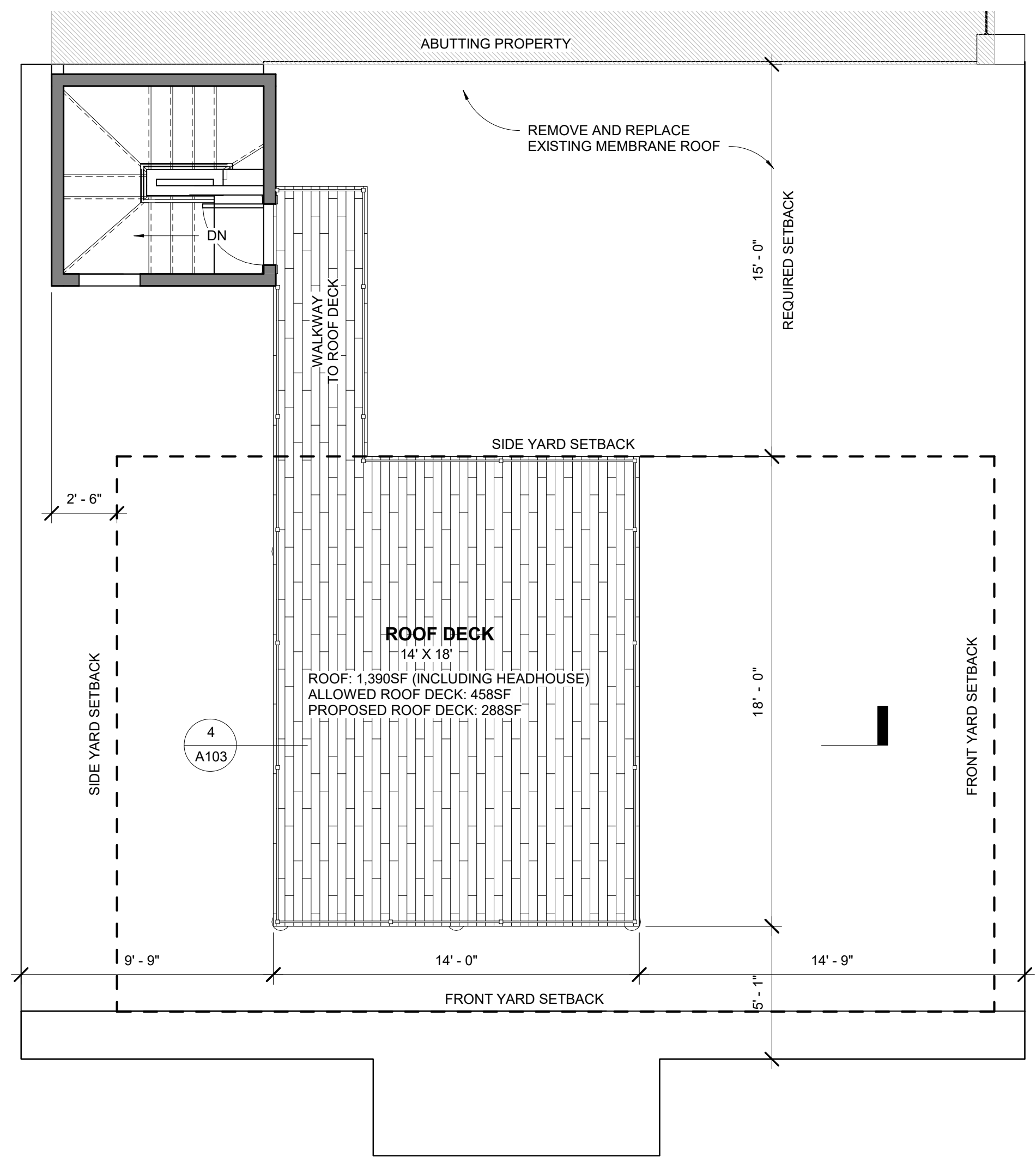
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DESIGN REVIEW
DOCUMENT PHASE
1/4" = 1'-0"
SCALE
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PROJECT #

DRAWING NUMBER:

A102



4 SECTION DETAIL @ ROOF DECK
1 1/2" = 1'-0"



1 ROOF PLAN
1/4" = 1'-0"

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2. Please refer to sheet A102 with the BPDA design review stamp for a full list of BPDA Design Review Provisos.

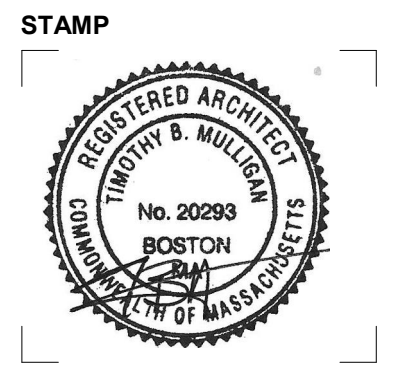
APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY

SIGNATURE *M. Cannizzo*

REVISIONS:

3. ROOF DECK	3.30.22

DRAWING TITLE:
**ROOF DECK
NDOD
OPTIONS**



December 6, 2021
DATE OF ISSUE
DESIGN REVIEW
DOCUMENT PHASE
As indicated
SCALE
2114.00
PROJECT #

DRAWING NUMBER:

A103

REVISIONS:		
2	ROOF DECK	1.31.22
3	ROOF DECK	3.30.22

DRAWING TITLE:

EXTERIOR ELEVATIONS

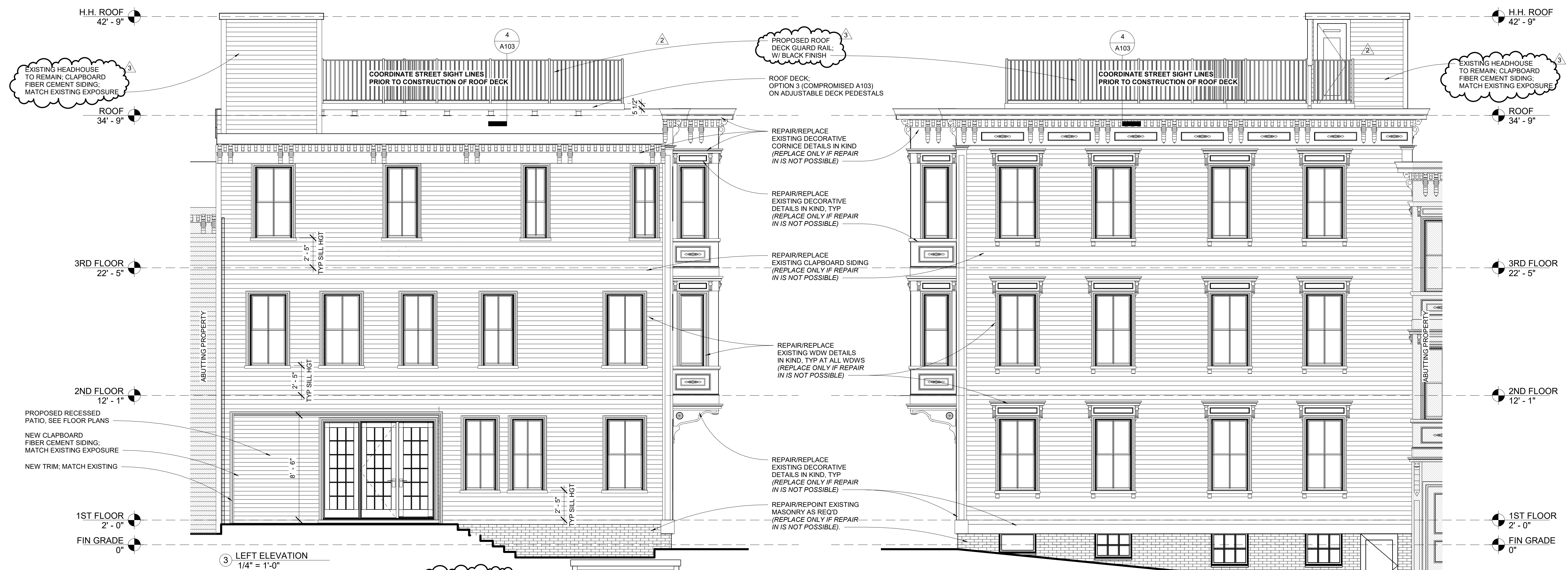
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December 6, 2021
DATE OF ISSUE
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SCALE
2114.00
PROJECT #

DRAWING NUMBER:

A200

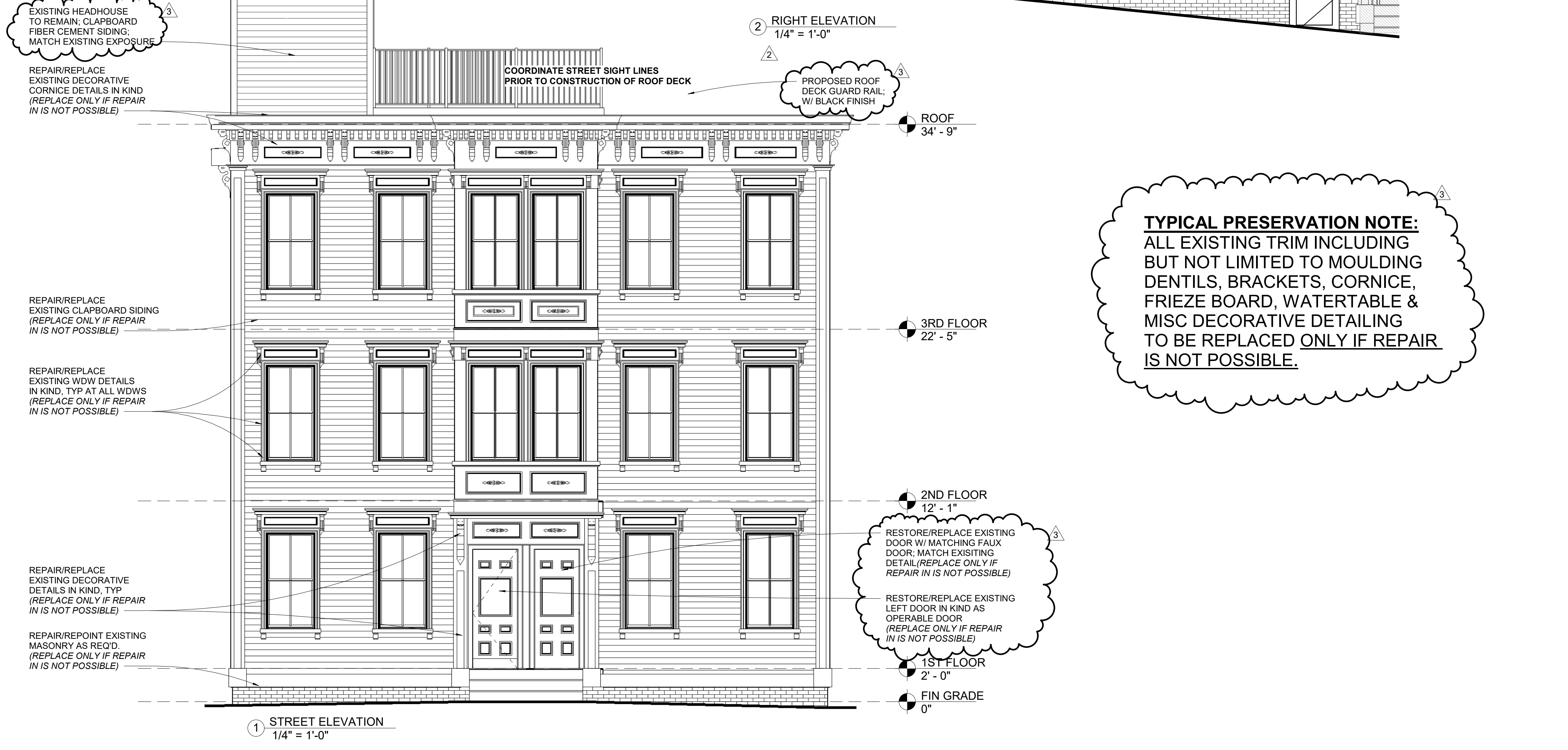
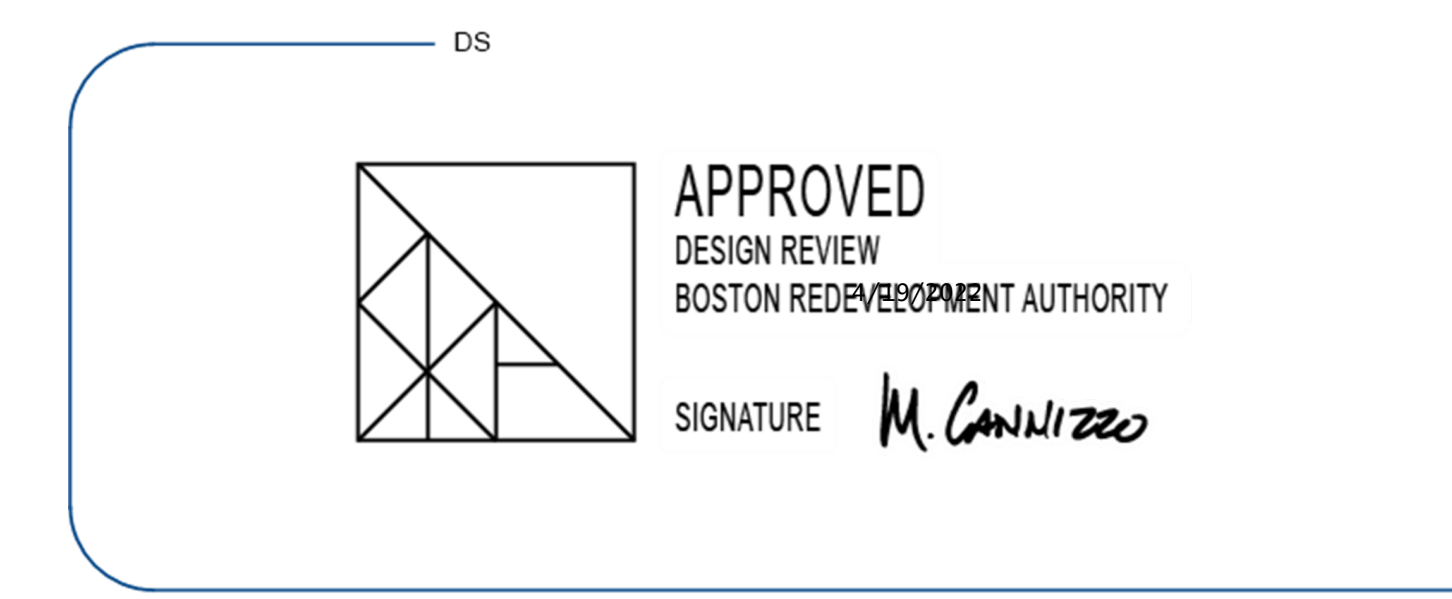


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APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY

SIGNATURE *M. Cannizzo*

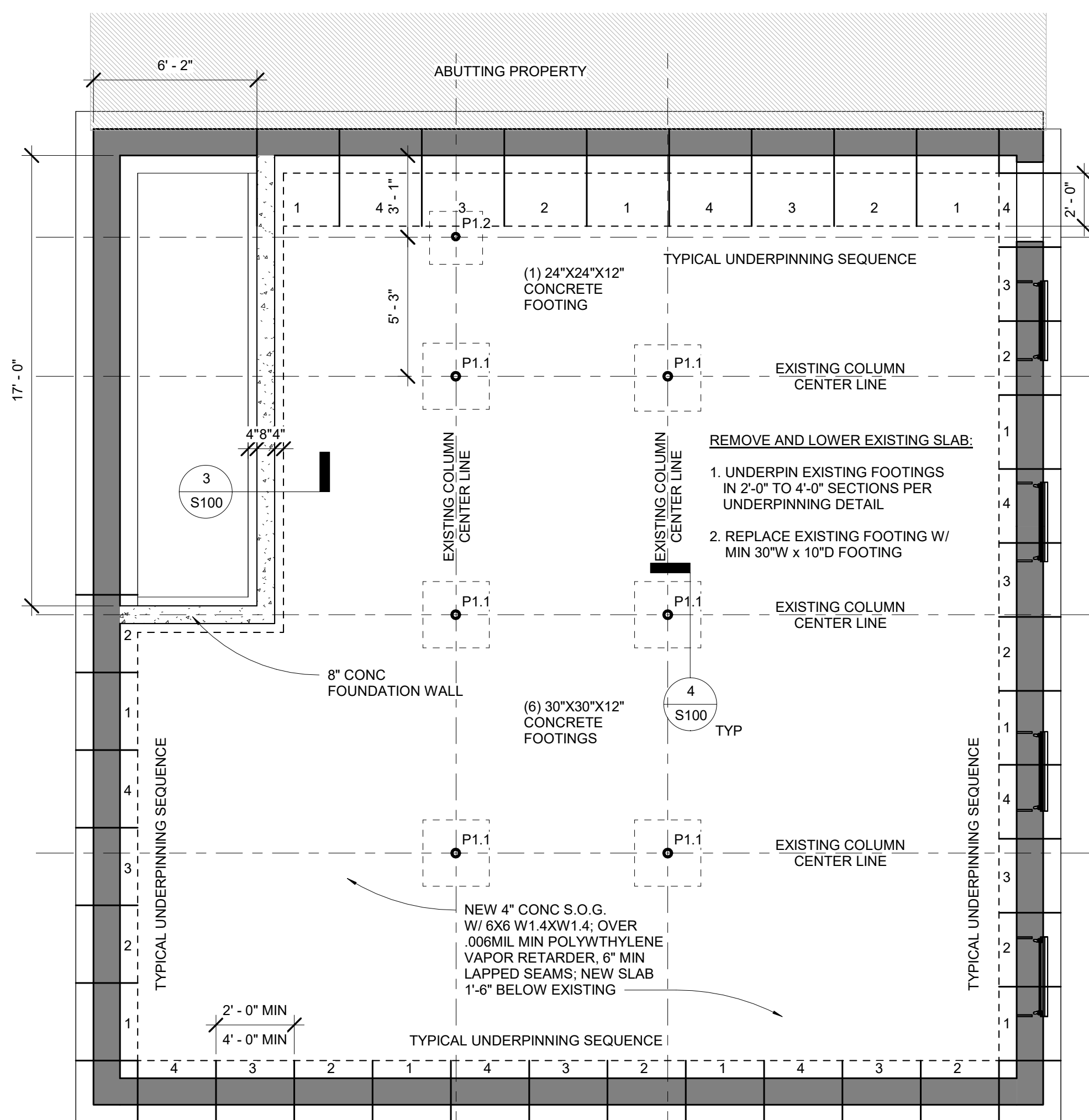


TYPICAL PRESERVATION NOTE:
ALL EXISTING TRIM INCLUDING BUT NOT LIMITED TO MOULDING DENTILS, BRACKETS, CORNICE, FRIEZE BOARD, WATERTABLE & MISC DECORATIVE DETAILING TO BE REPLACED ONLY IF REPAIR IS NOT POSSIBLE.

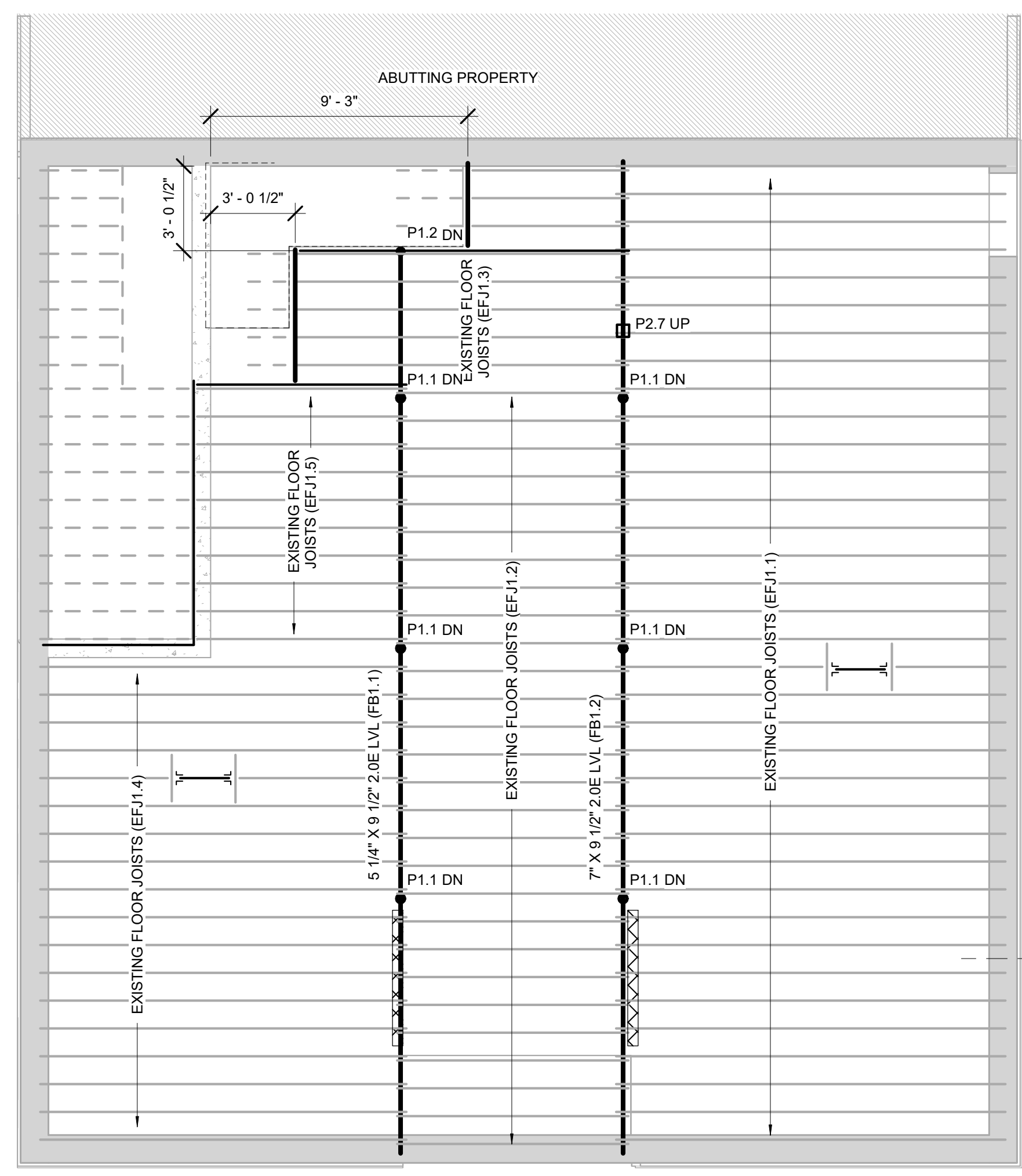
RESTORE/REPLACE EXISTING DOOR W/ MATCHING FAUX DOOR: MATCH EXISTING DETAIL (REPLACE ONLY IF REPAIR IN IS NOT POSSIBLE)

RESTORE/REPLACE EXISTING LEFT DOOR IN KIND AS OPERABLE DOOR (REPLACE ONLY IF REPAIR IN IS NOT POSSIBLE)

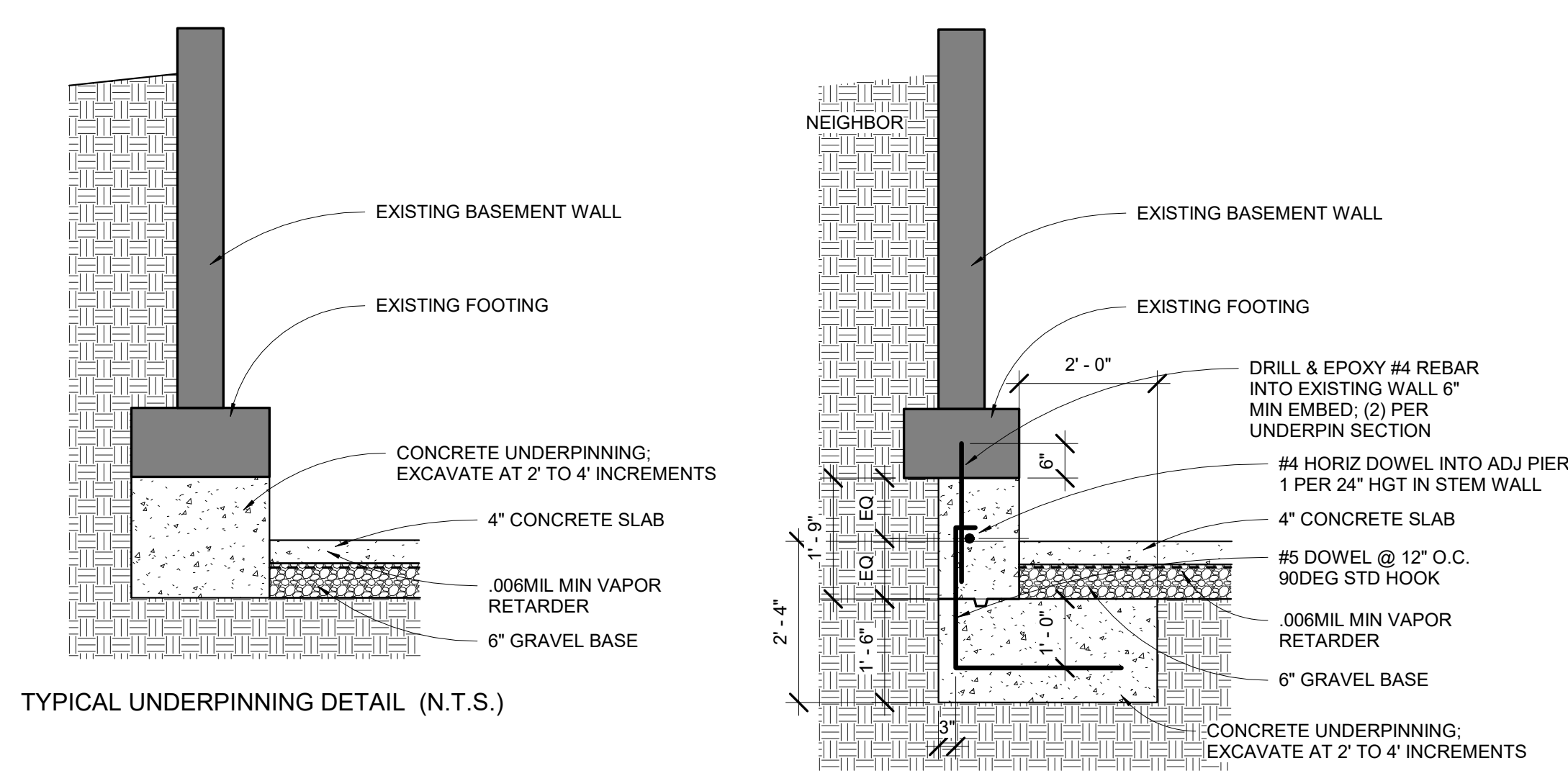
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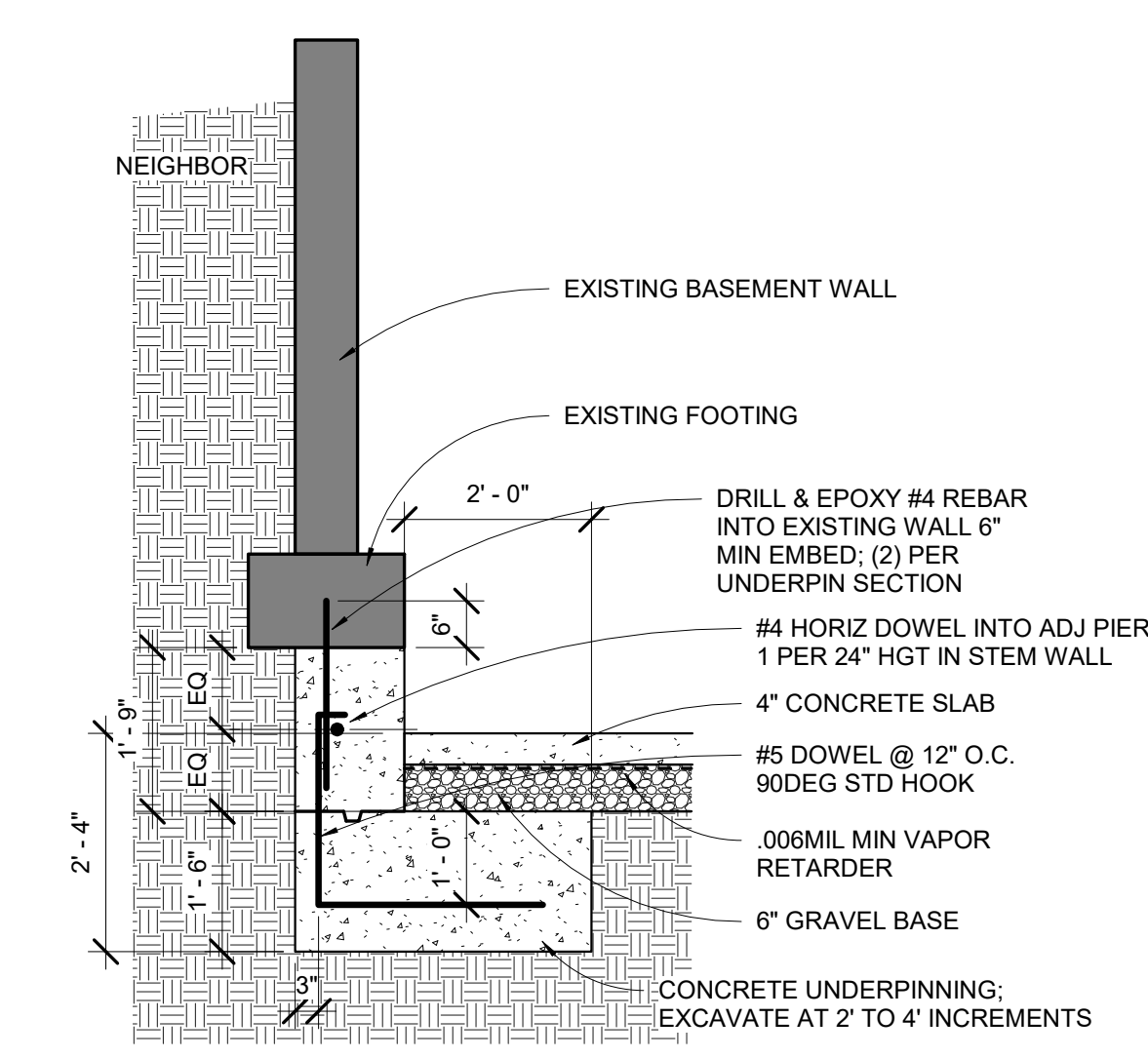
1 FOUNDATION PLAN
1/4" = 1'-0"



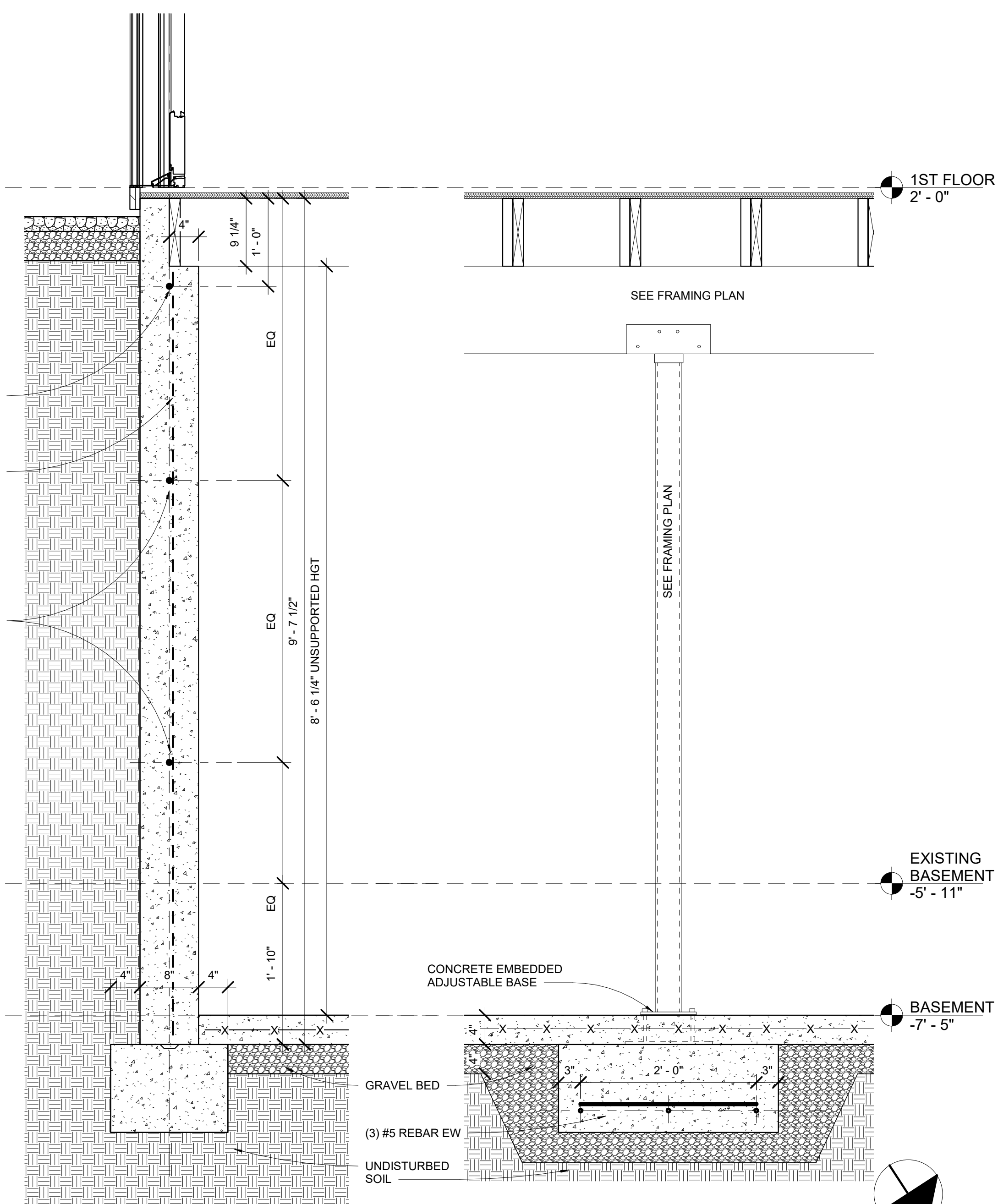
2 FRAMING - 1ST FLOOR
1/4" = 1'-0"



TYPICAL UNDERPINNING DETAIL (N.T.S.)



UNDERPINNING DETAIL @ ABUTTING PROPERTY (N.T.S.)

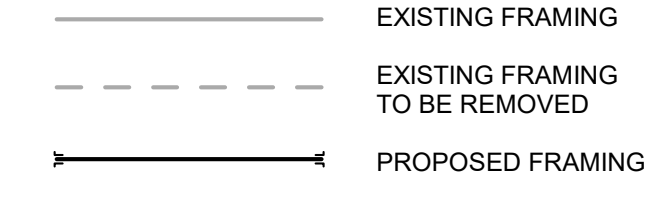


3 DETAIL @ NEW FOUNDATION
1" = 1'-0"

4 DETAIL @ LALLY COLUMN 2
1" = 1'-0"

FRAMING NOTES:

- FRAMING BASED ON ASSUMPTIONS OF EXISTING CONDITIONS; ALERT ARCHITECT OF CONDITIONS THAT VARY FROM EXISTING LAYOUT
- COMMODITY FRAMING GRADE TO BE DOUGLAS FIR #2 (EQUAL OR BETTER) ALL EXTERIOR FRAMING TO BE PRESSURE TREATED (P.T.)
- INSTALL BTWN JOIST FULL DEPTH BLOCKING AT DROP BEAMS AND BEARING WALLS.
- INSTALL SIMPSON JOIST HANGERS AT ALL FACE MOUNT JOIST, U.N.O.
- INSTALL 3/4" T&G PLYWOOD SUB-FLOOR GLUE AND NAIL, TYP ALL FLOORS
- NOTCHING OR DRILLING HOLES IN JOISTS TO BE APPROVED BY ENGINEER
- SPlice BEAMS AT SUPPORTS
- INSULATE AT ALL WINDOWS AND EXTERIOR DOOR HEADERS.
- LIVE LOADS:
BEDROOMS 30 PSF
OTHER THAN BEDROOMS 40 PSF
EXTERIOR DECK 40 PSF
SNOW LOAD 50PSF



COLUMN SCHEDULE		
MARK	DESCRIPTION	COMMENTS
P1.1	3 1/2" DIA SCHED 80 PIPE	A501 OR A53 GRADE B
P1.2	3" DIA SCHED 80 PIPE	
P2.1	4X6 DF2	
P2.2	4X6 DF2	
P2.3	4X6 DF2	
P2.4	4X6 DF2	
P2.5	4X6 DF2	
P2.6	6X6 DF2	
P2.7	5 1/4" X 9 1/4" 1.8E PSL	
P2.9	6X6 P.T. DF2	
P4.1A	6X6 DF2	
P4.1B	6X6 DF2	
P5.1	4X6 DF2	

CONCRETE NOTES:

- ALL CONCRETE WORK SHALL COMPLY WITH ACI 318: BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- ALL CONCRETE SHALL COMPLY WITH ACI 301: SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
- 2,500 MIN PSI COMPRESSIVE STRENGTH POST 28 DAYS
- ALL CONCRETE TO BE POURED MONOLITHICALLY. UNO
- CONCRETE FOUNDATIONS SHALL COMPLY WITH SECTION 18 OF IBC 2015 780CMR.
- STEEL REINFORCING SHALL COMPLY WITH ASTM 615 GRADE 60, U.N.O.

ARCHITECT
S47a
studio47 architects, inc
517 boston post rd
suite #30
roxbury, ma 01776
p: 508.550.4730
www.s47a.com

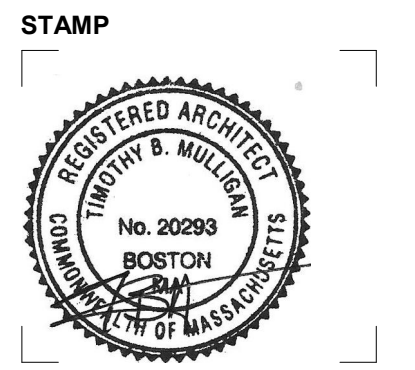
PROJECT:
Monument Square Residence
45 Monument Square
Charlestown, MA 02129

CLIENT:
River Front Realty
275 Main St
Boston, MA 02129

PROJECT TEAM:

REVISIONS:

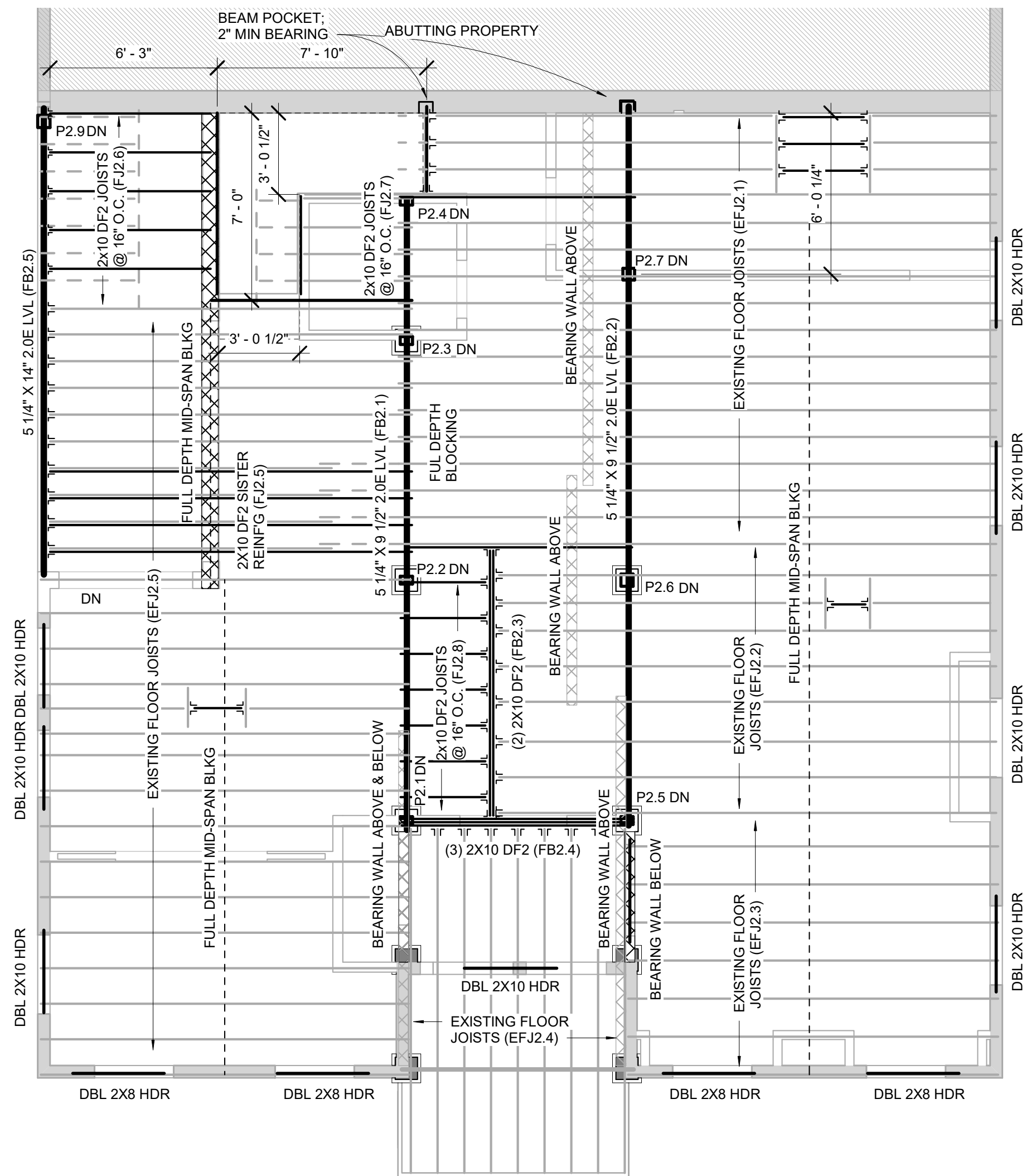
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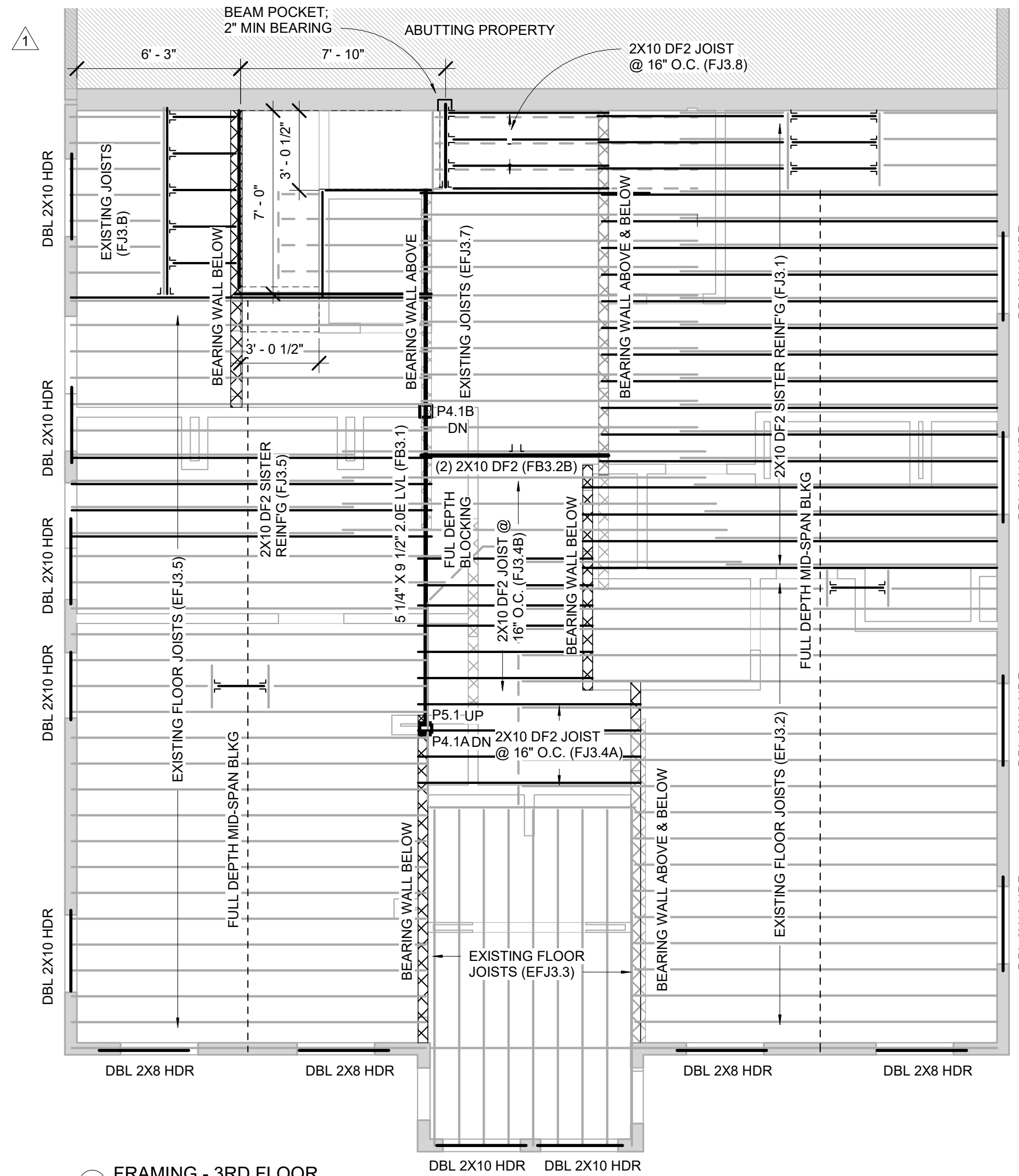
December 6, 2021
DATE OF ISSUE
DESIGN REVIEW
DOCUMENT PHASE
As indicated
SCALE
2114.00
PROJECT #

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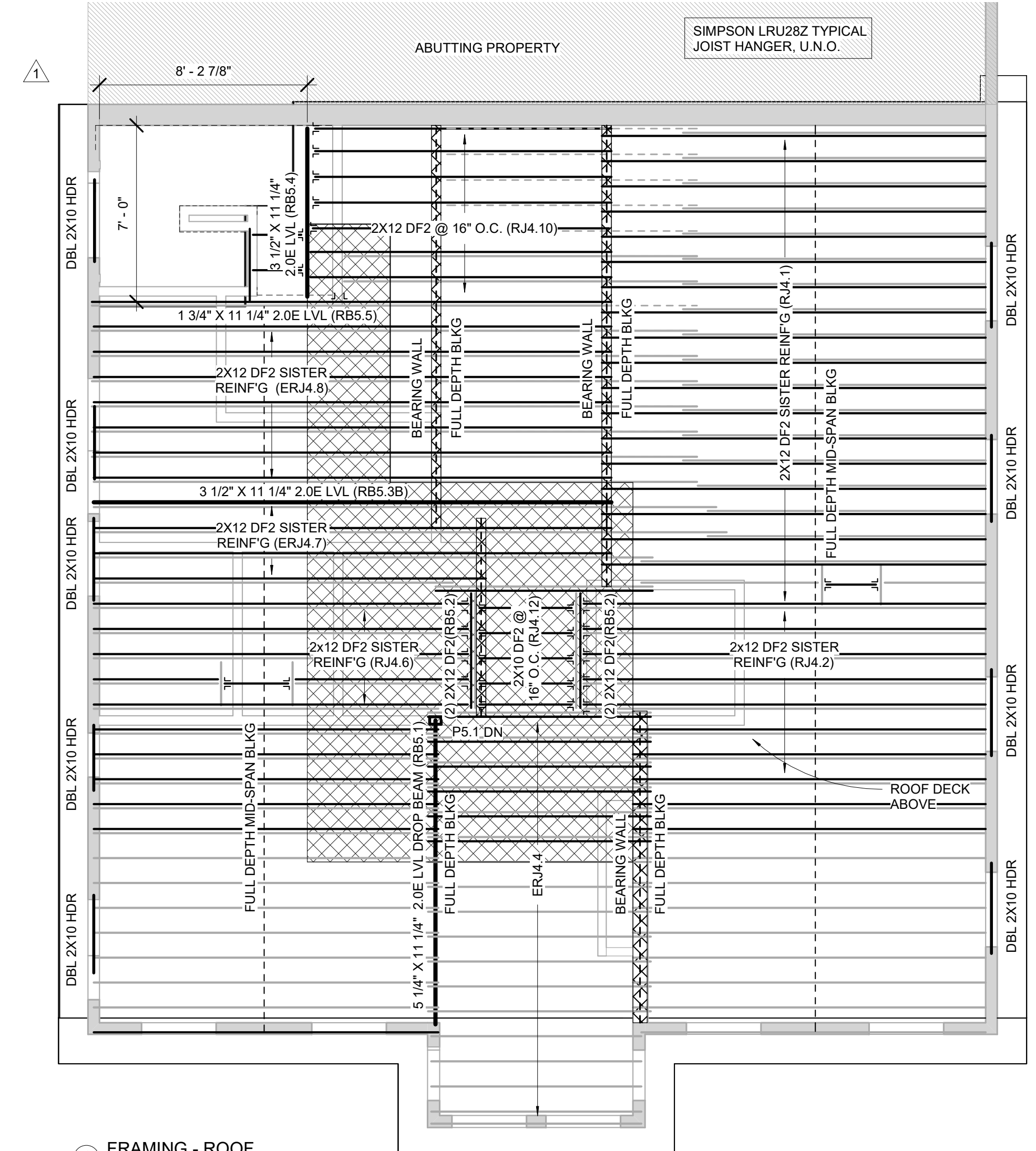
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2 FRAMING - 2ND FLOOR
1/4" = 1'-0"



3 FRAMING - 3RD FLOOR
1/4" = 1'-0"

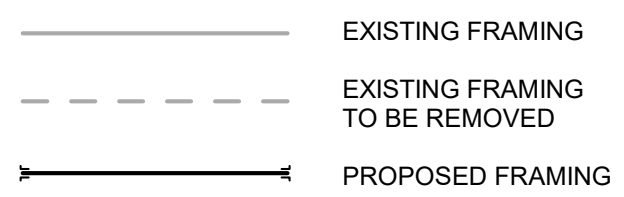


1 FRAMING - ROOF
1/4" = 1'-0"

FRAMING NOTES:

1. FRAMING BASED ON ASSUMPTIONS OF EXISTING CONDITIONS; ALERT ARCHITECT OF CONDITIONS THAT VARY FROM EXISTING LAYOUT
2. COMMODITY FRAMING GRADE TO BE DOUGLAS FIR #2 (EQUAL OR BETTER) ALL EXTERIOR FRAMING TO BE PRESSURE TREATED (P.T.)
3. INSTALL BTWN JOIST FULL DEPTH BLOCKING AT DROP BEAMS AND BEARING WALLS.
4. INSTALL SIMPSON JOIST HANGERS AT ALL FACE MOUNT JOIST, U.N.O.
5. INSTALL 3/4" T&G PLYWOOD SUB-FLOOR GLUE AND NAIL, TYP ALL FLOORS
6. NOTCHING OR DRILLING HOLES IN JOISTS TO BE APPROVED BY ENGINEER
7. SPLICE BEAMS AT SUPPORTS
8. INSULATE AT ALL WINDOWS AND EXTERIOR DOOR HEADERS.
9. LIVE LOADS:
 BEDROOMS 30 PSF
 OTHER THAN BEDROOMS 40 PSF
 EXTERIOR DECK 40 PSF
 SNOW LOAD 50PSF

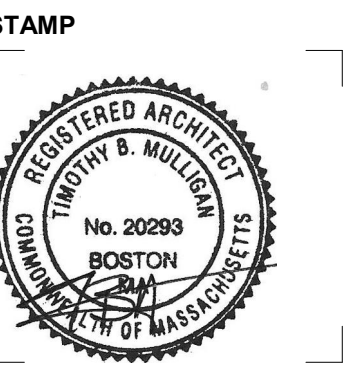
COLUMN SCHEDULE		
MARK	DESCRIPTION	COMMENTS
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P2.9	6X6 P.T. DF2	
P4.1A	6X6 DF2	
P4.1B	6X6 DF2	
P5.1	4X6 DF2	



REVISIONS:

1	STAIRS	12.27.21

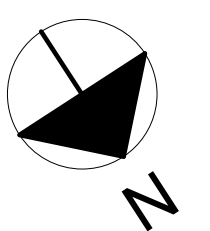
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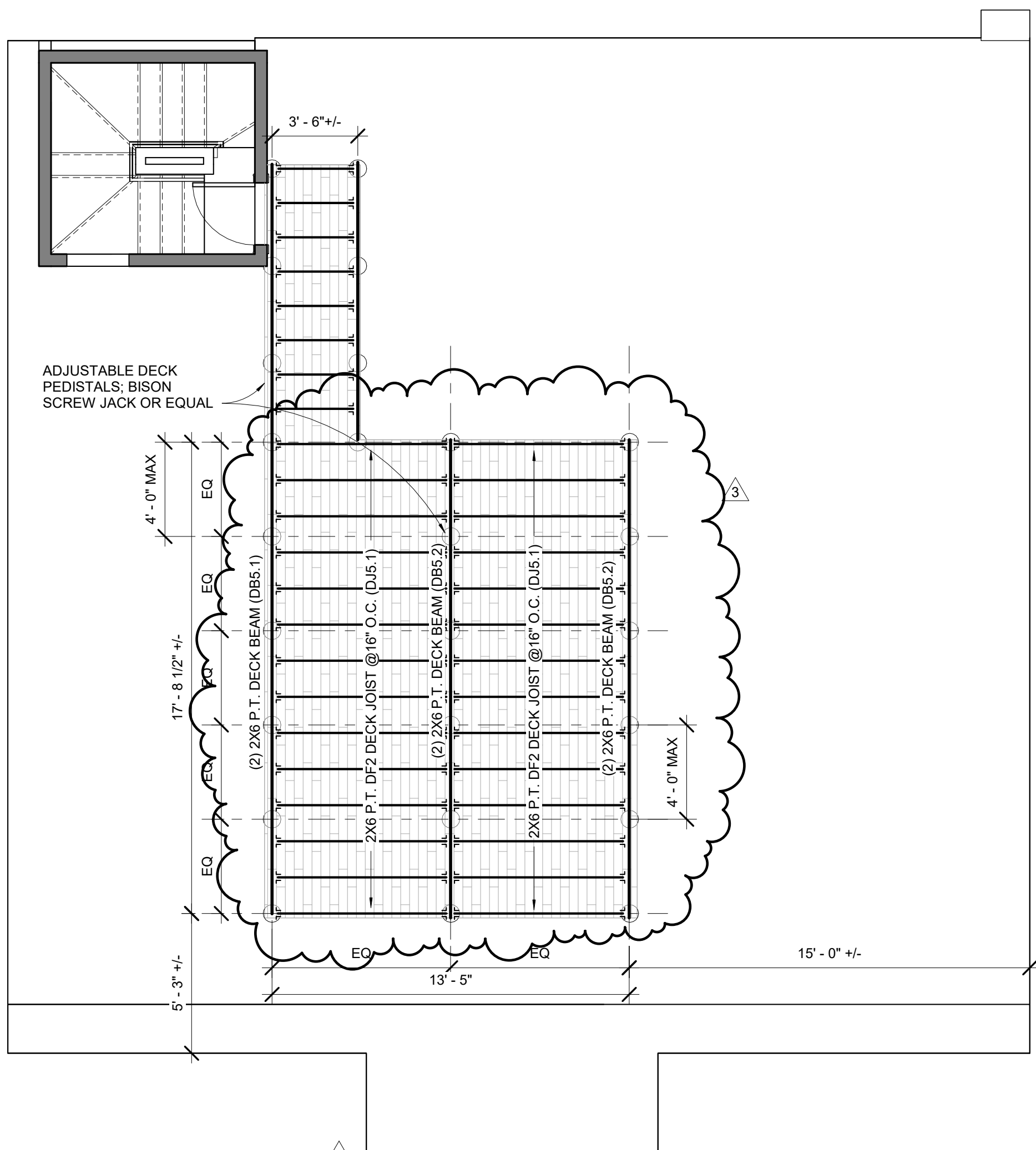


December 6, 2021
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 DESIGN REVIEW
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 1/4" = 1'-0"
 SCALE
 2114.00
 PROJECT #

DRAWING NUMBER:

S101

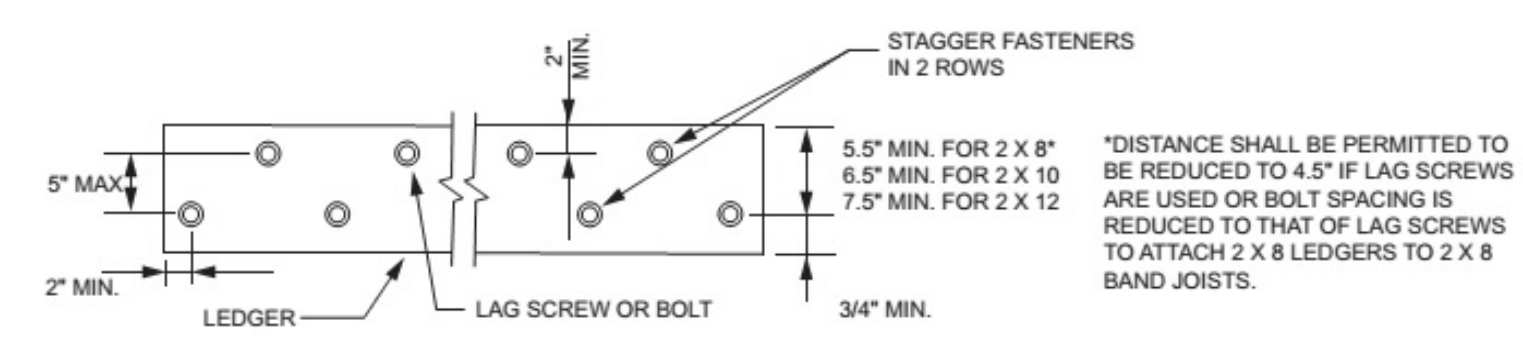
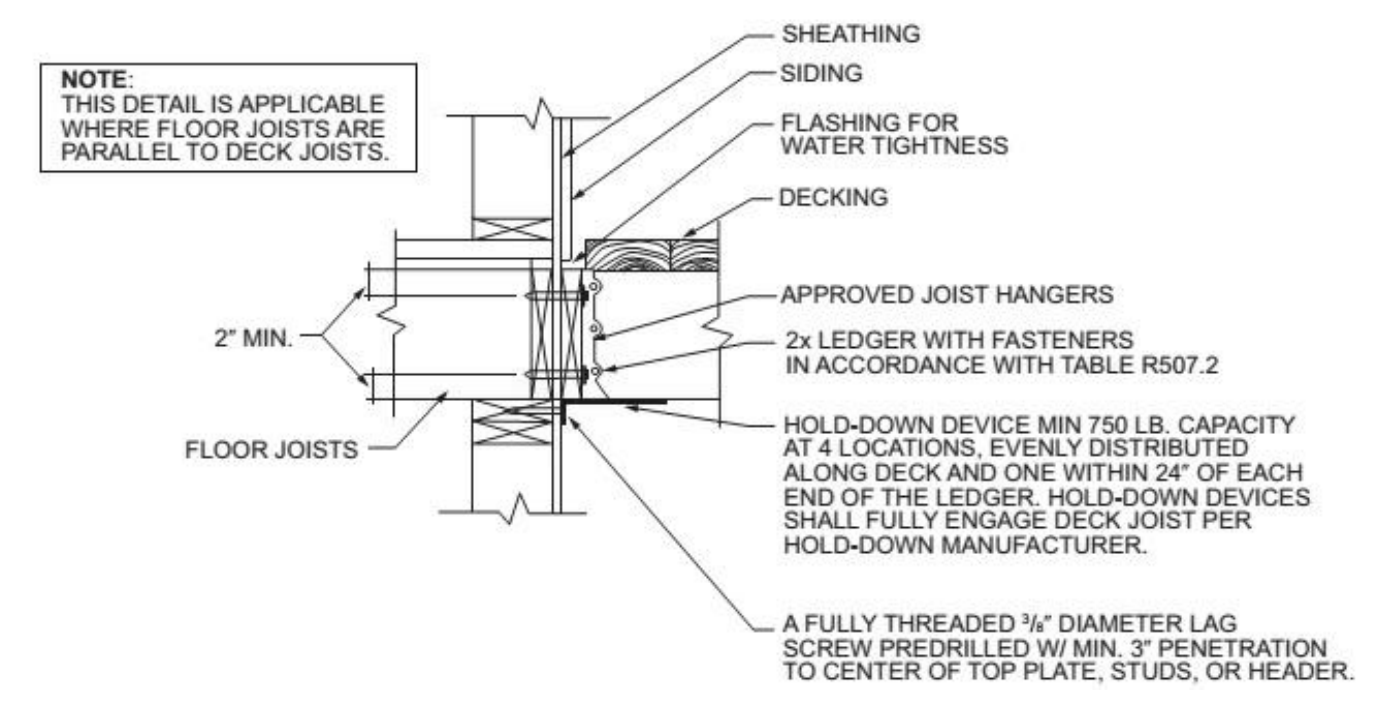
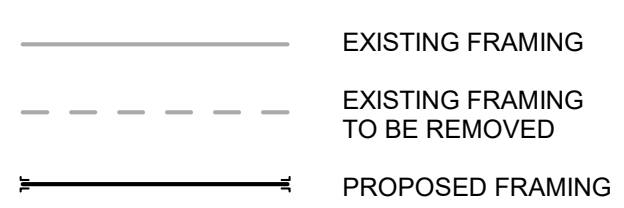




1 FRAMING - ROOF DECK
1/4" = 1'-0"

FRAMING NOTES:

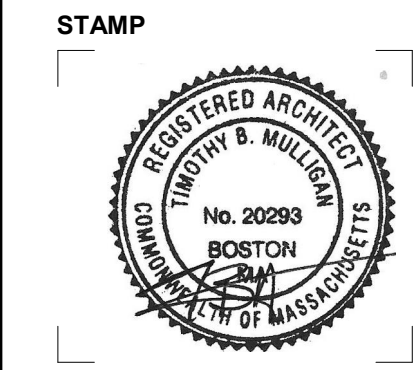
- FRAMING BASED ON ASSUMPTIONS OF EXISTING CONDITIONS; ALERT ARCHITECT OF CONDITIONS THAT VARY FROM EXISTING LAYOUT
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OTHER THAN BEDROOMS 40 PSF
EXTERIOR DECK 40 PSF
SNOW LOAD 50PSF



REVISIONS:

2	ROOF DECK	1.31.22
3	ROOF DECK	3.30.22

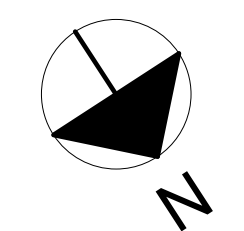
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**FRAMING -
ROOF DECK
& HEAD
HOUSE**



December 6, 2021
DATE OF ISSUE
DESIGN REVIEW
DOCUMENT PHASE
1/4" = 1'-0"
SCALE
2114.00
PROJECT #

DRAWING NUMBER:

S102



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