

**PREPARED FOR:**  
FRASER ALLEN  
200 FALCON STREET  
EAST BOSTON, MA 02128

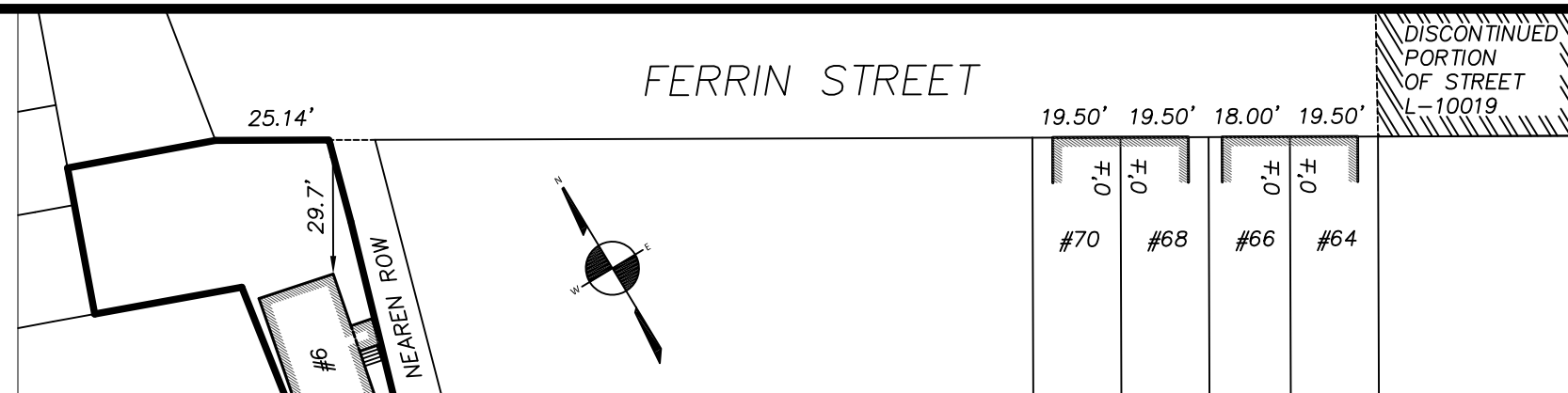
**REFERENCES:**  
OWNER OF RECORD:  
KEVIN A. DEVER  
BARBARA D. DEVER  
6 NEAREN ROW  
CHARLESTOWN, MA 02129

**DEED:** BK 8635, PG 421  
BK 9155, PG 164  
**PLAN:** BK 4267, PG 261  
BK 8292, PG 434  
BK 8354, PG 158  
BK 8404, PG 714  
BK 9155, PG 164  
BK 18633, PG 256  
BK 19939, PG 93  
PL 2008 #489  
PL 2014 #361  
**LCC:** 8038-A  
8038-B  
11099-A

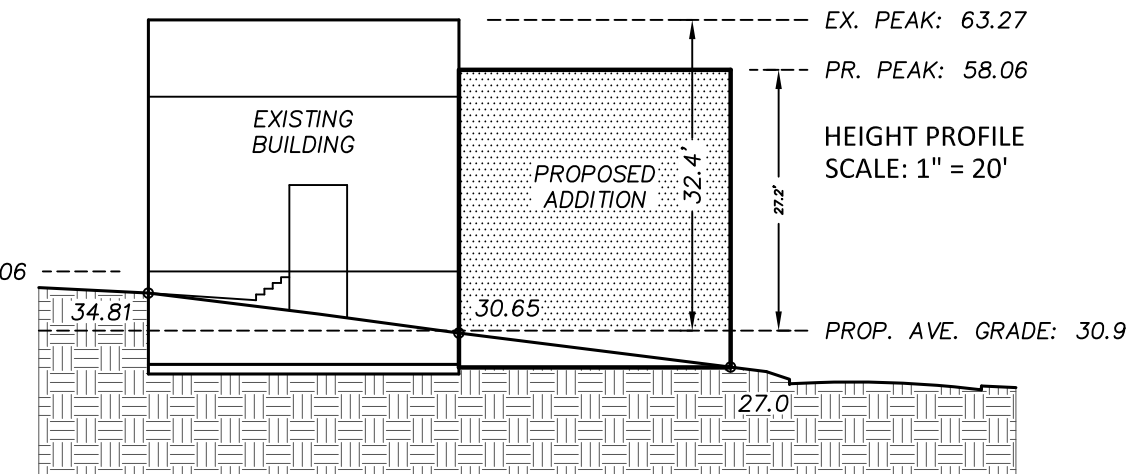
**CITY OF BOSTON ENGINEERING RECORDS:**  
FB 438, PG 30  
FB 490, PG 58-59  
FB 504, PGS 48-49  
FB 593, PG 148  
FB 1159, PGS 32-33

L-7727 FERRIN STREET  
L-7756 NEAREN ROW

**NOTES:**  
PARCEL ID: 0202977000



AVERAGE ALIGNMENT	SCALE 1.0' = 40.0'
NEAREN ROW	
COMMON SETBACK	FRONTAGE
0'± (MODAL)	19.50'
	19.50'
	18.00'
	19.50'
TOTAL	76.50'
29.7	25.14'



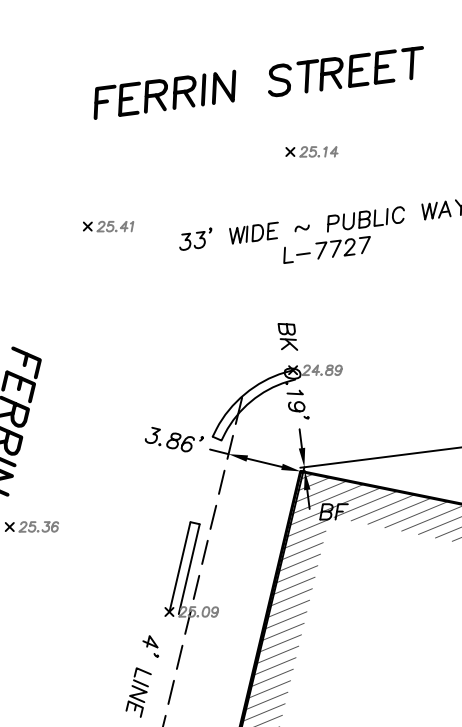
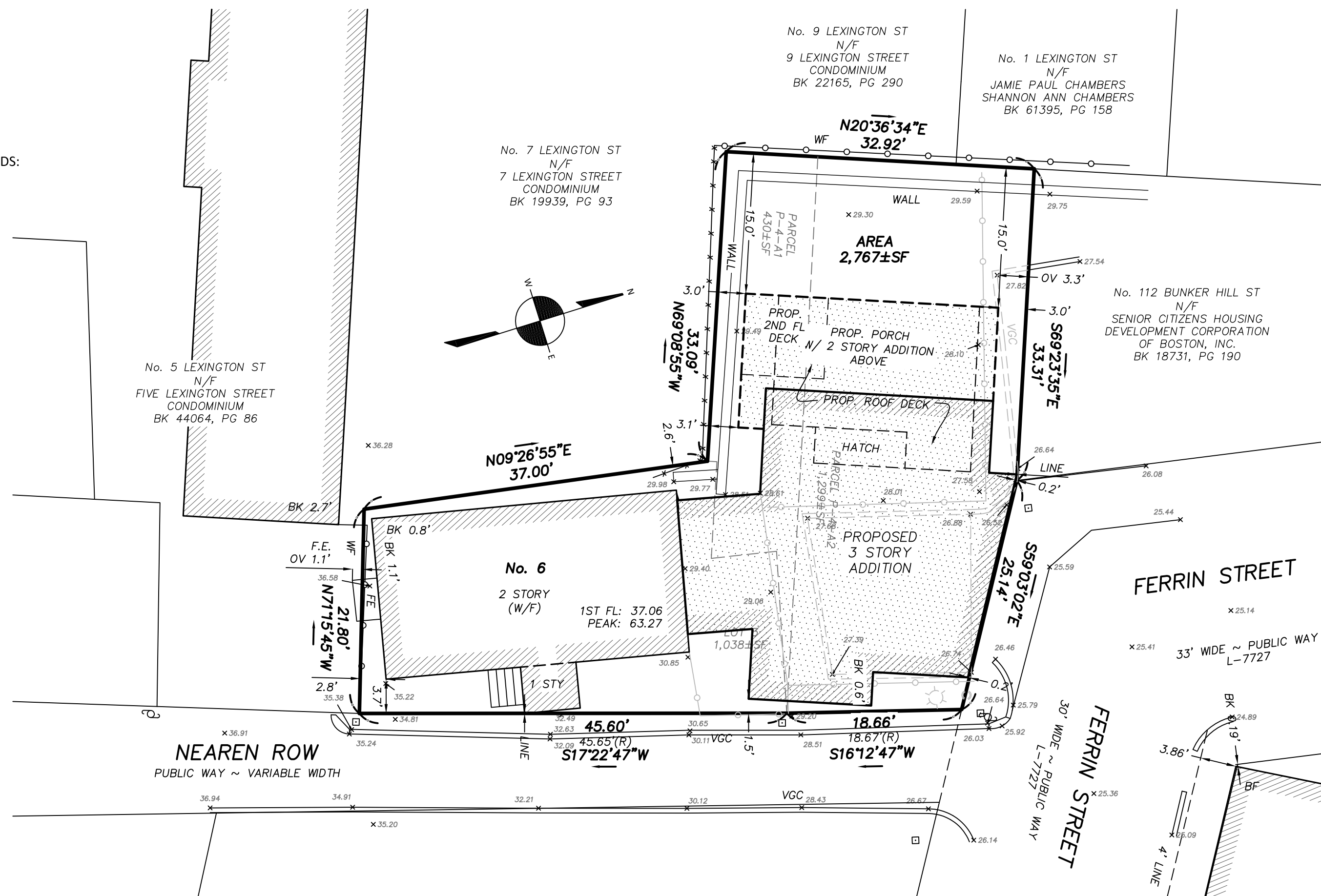
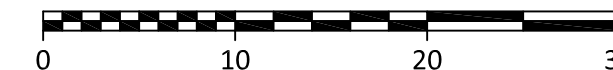
01/18/2024

All changes to the exterior and/or site plan shall be submitted to the Boston Planning and Development Agency ("BPDA") for review and approval.

# CERTIFIED PLOT PLAN

LOCATED AT  
6 NEAREN ROW  
CHARLESTOWN, MA

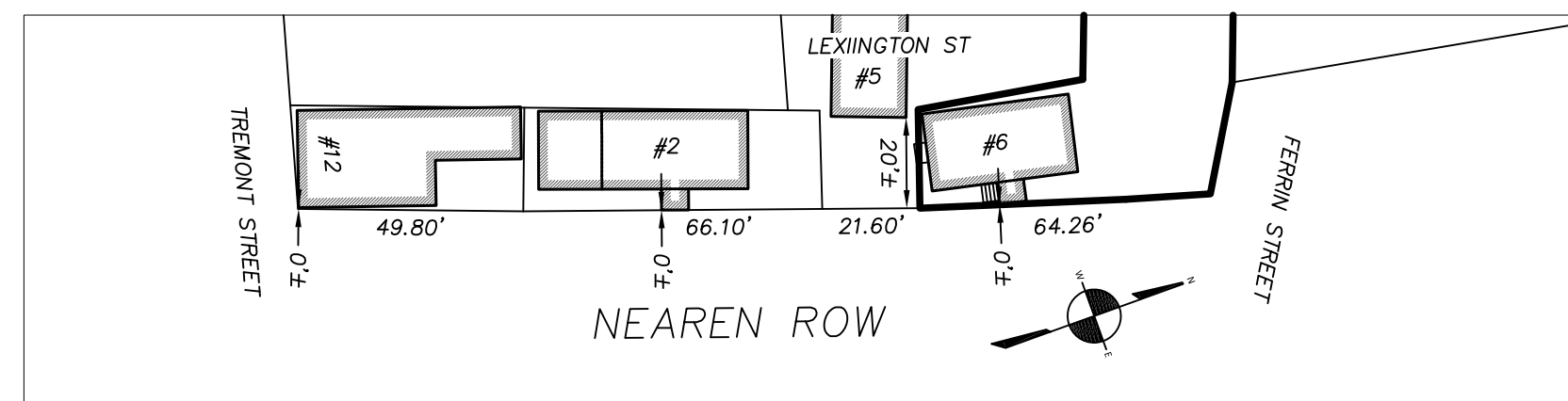
SCALE: 1.0 INCH = 10.0 FEET



**BOSTON SURVEY, INC.**  
UNIT C-4 SHIPWAY PLACE  
CHARLESTOWN, MA 02129  
(617) 242-1313

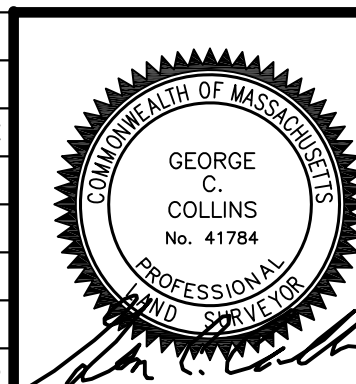
I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JUNE 7, 2023 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS:  
ZONE: X  
COMMUNITY PANEL: 25025C0018J  
EFFECTIVE DATE: 03/16/2016



AVERAGE ALIGNMENT	SCALE 1.0' = 40.0'
NEAREN ROW	
COMMON SETBACK	FRONTAGE
0'± (MODAL)	49.60'
	64.26'
	66.10'
TOTAL	179.96'
20'±	21.60

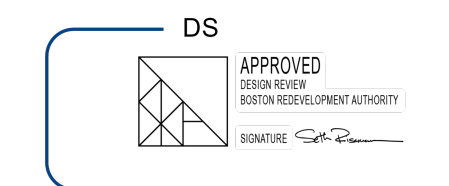
FIELD:	JJH
DRAFT:	RAP
CHECK:	GCC
DATE:	12/28/23
JOB #	23-00360





# PROPOSED RENOVATION & SEMI-ATTACHED ADDITION

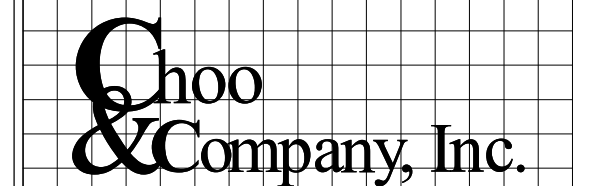
## 6-8 NEAREN ROW. CHARLESTOWN, MA 02129



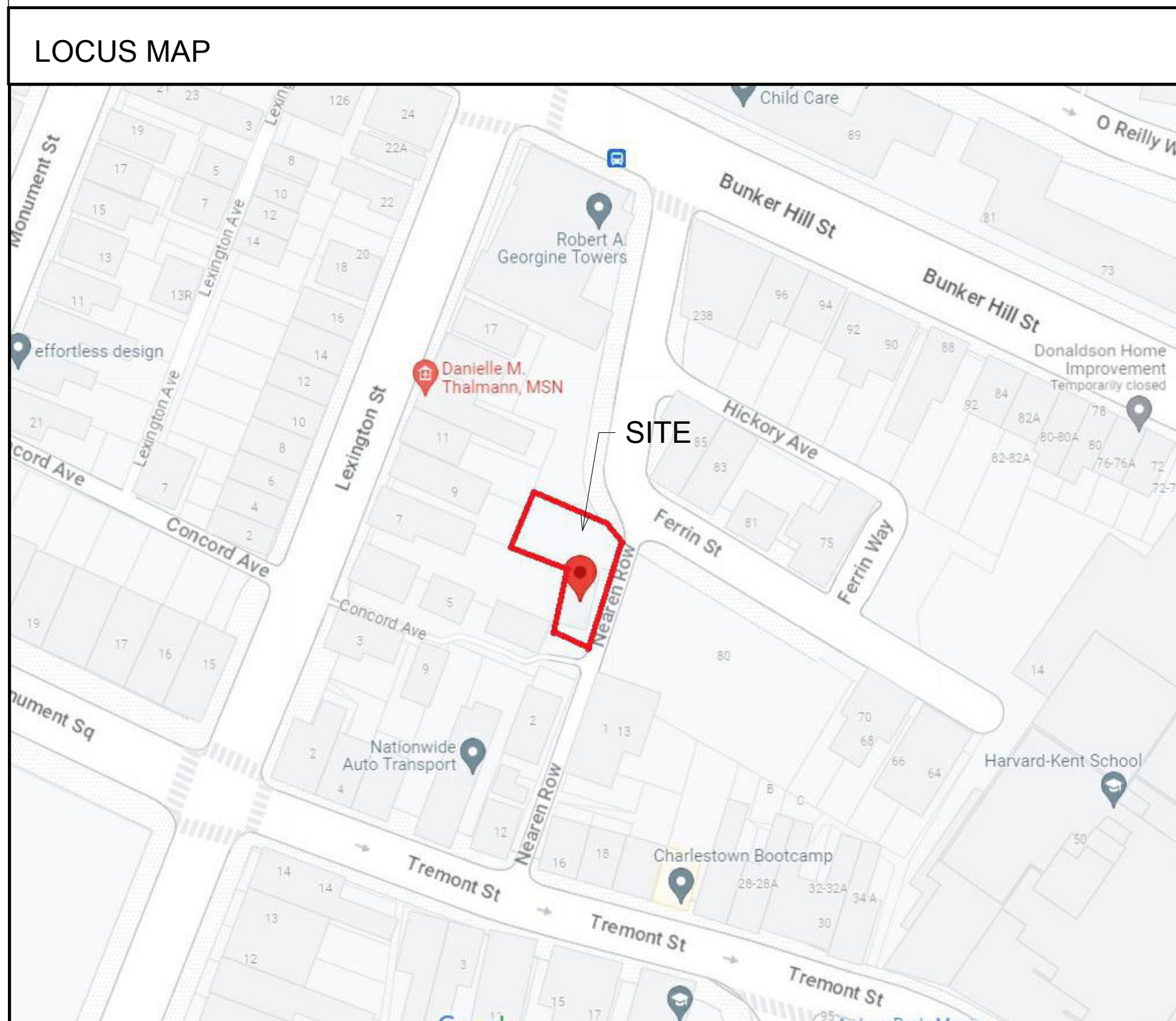
01/18/2024

All changes to the exterior and/or site plan shall be submitted to the Boston Planning and Development Agency ("BPDA") for review and approval.

PROPOSED RENOVATION &  
 SEMI-ATTACHED ADDITION  
 6-8 NEAREN ROW,  
 CHARLESTOWN, MA 02129



One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715



ZONING SUMMARY ART. 62 3F-2000													
	LOT AREA MINIMUM	LOT AREA PER ADD'L UNIT	MIN. LOT SIZE	MIN. LOT WIDTH	MIN. LOT FRONTAGE	F.A.R.	MAX. STORIES	MAX. HEIGHT	SETBACK FRONT	SETBACK EA. SIDE	SETBACK REAR	MIN. OPEN SPACE PER UNIT	MIN. PARKING SPACES PER UNIT
ZONING SUB-DISTRICT 3F-2000	1000 SF / DU	1000 SF	2000 SF	20'	20'	2.0	3	35'	0' MODAL	2.5'	15'	542 SF/DU	1 PS/DU
EXISTING			2767 SF	33' +/-	89.4'	.49	2.5	32.5'	0'	1' +/-	35.6'	1553 SF/DU	1 PS/DU
PROPOSED			2767 SF	33' +/-	89.4'	1.82 (5023 SF)	3	32.5'	0'	3.3'	15'	547 SF/DU	1 PS/DU

\* NOTE:  
VIOLATION

No.	Description	Date
2	Revision 2	10-19-2023
3	BPDA	01-11-2024

Project No: 2023112  
 Scale: 1/8" = 1'-0"  
 Date: 09-06-2023  
 Drawn By: TN / DF

Drawing Name

COVER SHEET

Sheet No.  
A-0.00

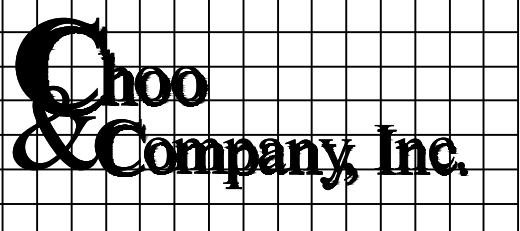


ABBREVIATIONS			
AB	ANCHOR BOLT	LAM	LAMINATE, LAMINATED
ATC	ACOUSTICAL TILE CEILING	LAV	LAVATORY
AW	ACOUSTICAL WALLCOVERING	LT	LIGHT
ACOUS	ACOUSTICAL		
ADJ	ADJACENT, ADJUSTABLE		
ALUM	ALUMINUM	MACH	MACHINE
ALT	ALTERNATE	MATL	MATERIAL
AP	ACCESS PANEL	MAX	MAXIMUM
APPROX	APPROXIMATE	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MEMB	MEMBRANE
AF	AWNING FABRIC	MET, MTL	METAL
B	BASE	MFR	MANUFACTURER
BD	BOARD	MH	MANHOLE
BG	BUMPER GUARD	MIN	MINIMUM
BIT	BITUMINOUS CONCRETE	MIR	MIRROR
BLDG	BUILDING	MISC	MISCELLANEOUS
BLK	BLOCK	MO	MASONRY OPENING
BLKG	BLOCKING	M/R	M/OISTURE RESISTANT
BM	BEAM	MTD	MOUNTED
BOT	BOTTOM	MTG	MEETING, MOUNTING
		MUL	MULLION
CAB	CABINET	N	NORTH
CB	CONCRETE BLOCK	NEO	NEOPRENE
CEM	CEMENT	NIC	NOT IN CONTRACT
CER	CERAMIC	NO	NUMBER
CF	CONCRETE FINISH	NOM	NOMINAL
CG	CORNER GUARD	NTS	NOT TO SCALE
CJ	CONTROL JOINT		
CKT	CIRCUIT	OA	OVERALL
CL	CLOSET	OBS	OBSCURE
CLKG	CAULKING	OC	ON CENTER
CLG, CEIL	CEILING	OD	OUTSIDE DIAMETER
CLR	CLEAR	OFF	OFFICE
CMU	CONCRETE MASONRY UNIT	OPNG	OPENING
COL	COLUMN	OPP	OPPOSITE
		PTD	PAINT
CONC	CONCRETE	PL	PLATE
COND	CONDITION	P. LAM, PL-	PLASTIC LAMINATE
CONSTR	CONSTRUCTION	PLAS	PLASTER
CONT	CONTINUOUS	PLWYD	PLYWOOD
CONTR	CONTRACTOR	PNL	PANEL, PANELBOARD
CORR	CORRIDOR	PP	PREFINISHED PANELS
CPT, C	CAPIT	PR	PAIR
CT	CERAMIC TILE	PROJ	PROJECT
CTR	CENTER	PROP	PROPERTY
		P.T.	PRESSURE TREATED
DN	DOWN	PT	POINT
DET	DETAIL	PTN	PARTITION
DIA	DIAMETER	PWR	POWER
DIFF	DIFFUSER		
DIM	DIMENSION	QT	QUARRY TILE
DISP	DISPENSER	QTY	QUANTITY
DO	DOOR OPENING		
DR	DOOR	R	RISER
DWG(S)	DRAWING, DRAWINGS	RAD, R	RADIUS
BWR	DRAWER	REFL	REFLECTED
		REINF	REINFORCED
EA	EAST	REQ, REQD	REQUIRED
EIFS	EACH	RESIL	RESILIENT
EJ	EXTERIOR INSUL FIN. SYSTEM	RF	RESILIENT FLOORING
EJ	EXPANSION JOINT	RM	ROOM
EL, ELEV	ELEVATION	RO	ROUGH OPENING
ELEC	ELECTRIC, ELECTRICAL	RWL	RAIN WATER LEADER
ELEV	ELEVATOR		
EMERG	EMERGENCY	S	SOUTH
ENCL	ENCLOSURE	SC	SOLID CORE
EQUIP	EQUIPMENT	SCHED	SCHEDULE
EWC	ELECTRIC WATER COOLER	SD	SOAP DISPENSER
EXH	EXHAUST	SECT	SECTION
EXIST	EXISTING	SF	SQUARE FEET
EXP	EXPANSION, EXPOSED	SH	SHELF
EXT	EXTERIOR	SHT	SHEET
		SIM	SIMILAR
FA	FIRE ALARM	SL	SLIDING
FB	FLAT BAR	SPEC	SPECIFICATION
FD	FLOOR DRAIN	SQ	SQUARE
FDN	FOUNDATION	SST	STAINLESS STEEL
FE	FIRE EXTINGUISHER	ST	STAIN
FEC	FIRE EXTINGUISHER CABINET	STD	STANDARD
FIN	FINISH	STL	STEEL
FIX, FIXT	FIXTURE	STOR	STORAGE
FL, FLR	FLOOR	STRUCT	STRUCTURAL
FLASH	FLASHING	SUSP	SUSPENDED
FLUOR	FLUORESCENT	SYM	SYMMETRICAL
FOC	FACE OF CONCRETE		
FOF	FACE OF FINISH	T	TILE
FOS	FACE OF STUDS	TEL	TELEPHONE
FOW	FACE OF WALL	TEMP	TEMPERED
FR	FIRE RATED/RETARDANT	THK	THICK, THICKNESS
FRP	FIBERGLASS REINFORCED POLYESTER PANEL	TOS	TOP OF STEEL
		TOW	TOP OF WALL
FRTW	FIRE RETARDANT TRTD. WD.	TT	TOILET TISSUE DISPENSER
FT	FOOT, FEET	TYP	TYPICAL
FURR	FURRING	UNF	UNFINISHED
		UON	UNLESS OTHERWISE NOTED
G	GROUT		
GA	GAUGE	VCT	VINYL COMPOSITION TILE
GALV	GALVANIZED	VF	VERIFY IN FIELD
GB	GRAB BAR	VERT	VERTICAL
GEN	GENERATOR	VEST	VESTIBULE
GL	GLASS	VVC	VINYL WALLCOVERING
GND, GRND	GROUND	W	WEST
GWB	GYP SUM WALLBOARD	W/	WITH
GYP	GYP SUM	WC	WALL COVERING
		WD	WOOD
HB	HOSE BIBB	WDO	WINDOW
HC	HANDICAPPED	WF	WOOD FLOOR
HD	HEAD	WM	WALK-OFF MAT
HDWE	HARDWOOD	W/O	WITHOUT
HDWR	HARDWARE	WP	WATERPROOF
HM	HOLLOW METAL	WR	WATER RESISTANT
HORIZ	HORIZONTAL	WT	WEIGHT
HR	HOUR		
HT	HEIGHT		
HVAC	HEATING, VENTILATING, AIR CONDITIONING		
ID	INSIDE DIAMETER		
IN	INCH		
INSUL	INSULATION		
INT	INTERIOR		
JAN	JANITOR		
JST	JOIST		
JT	JOINT		
KIT	KITCHEN		
KP	KICK PLATE		

KEY SYMBOLS			
	EGRESS INDICATORS		2 HOUR CEILING TAG ABOVE (SEE C.T.1/G-01c)
	WALL TAG (SEE G-01a-G-01.b)		BREAK LINE
	FIRE EXIT SIGN		FAN
	FIRE EXTINGUISHER		REVISION TAG
	SMOKE DETECTOR		CEILING HEIGHT
	HEAT DETECTOR		DOOR (POCKET)
	CARBON MONOXIDE DETECTOR		DOOR (SWING)
	WINDOW TYPE		WINDOW
	45MIN. DOOR TAG		NEW WALL
	DOOR NUMBER		ELEVATION GRADE LINE
	1 1/2 HOUR DOOR TAG		WALL SECTION MARKER
	HORN/STROBE/PULL STATION		BUILDING SECTION MARKER
	HORN/STROBE		DETAIL SYMBOL
	EMERGENCY LIGHT (FLOOD LIGHT)		EXTERIOR ELEVATION MARKER
	FIRE ALARM CONTROL PANEL		ROOM NAME
	1 HOUR CEILING TAG ABOVE (SEE C.T.1/G-01c)		ROOM NUMBER

LIST OF DRAWINGS		
DWG. NO / DWG. TITLE		
<b>GENERAL</b>		
A-0.00	COVER SHEET	
A-0.01	ABBREVIATION DRAWING LIST & LEGENDS	
<b>CIVIL</b>		
<b>LANDSCAPE</b>		
<b>ARCHITECTURAL</b>		
E-0.01	EXISTING/DEMO CONDITIONS FLOOR PLAN	
A-0.02	REMOVALS & PROJECT NOTES	
A-1.00	PROPOSED FOUNDATION PLAN	
A-1.10	PROPOSED GARDEN LEVEL FLOOR	
A-1.11	PROPOSED FIRST FLOOR PLAN	
A-1.12	PROPOSED SECOND FLOOR PLAN	
A-1.13	PROPOSED THIRD FLOOR PLAN	
A-1.14	PROPOSED ROOF PLAN	
A-2.10	PROPOSED ELEVATION	
A-2.11	PROPOSED ELEVATION	
A-2.12	PROPOSED ELEVATION	
A-2.13	PROPOSED ELEVATION	
A-3.10	EXTERIOR WALL SECTIONS	
A-3.11	EXTERIOR WALL SECTIONS	
A-4.10	STAIR SECTION AND DETAILS	
A-5.00	EXTERIOR & INTERIOR PARTITION TYPES	
A-5.13	ROOF DETAILS	
A-5.14	ROOF DETAILS	
A-6.01	WINDOW SCHEDULE AND ELEVATIONS	
A-6.02	DOOR SCHEDULE AND ELEVATIONS	
A-6.03	FASTENING SCHEDULE & FRAMING DETAILS	
A-6.04	AJS FASTENING SCHEDULE & FRAMING DETAILS	
<b>STRUCTURAL</b>		
S-0	GENERAL NOTES	
S-1.1	FOUNDATION PLAN	
S-1.2	FRAMING PLAN	
S-1.3	FRAMING PLAN	
S-1.4	FRAMING PLAN	
S-1.5	FRAMING PLAN	
<b>MECHANICAL</b>		
<b>PLUMBING</b>		
<b>FIRE PROTECTION</b>		
<b>ELECTRICAL</b>		
<b>FIRE ALARM</b>		

**PROPOSED RENOVATION & SEMI-ATTACHED ADDITION  
6-8 NEAREN ROW,  
CHARLESTOWN, MA 02129**



One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

No.	Description	Date
3	BPDA	01-11-2024

Project No: 2023112  
Scale: AS NOTED  
Date: 09-06-2023  
Drawn By: AMF

Drawing Name

**REMOVALS & PROJECT NOTES**

Sheet No.

**A-0.01**

**GENERAL NOTES:**

**CONTRACTOR RESPONSIBILITY- CONTRACTOR IS SOLELY RESPONSIBLE FOR:**

- VIEWING SITE AND INCLUDING ANY SPECIAL CONDITIONS NECESSARY TO PERFORM THE WORK AS DESCRIBED IN THE DRAWINGS.
- ESTABLISHING CONTROL OF THE SITE VIA SURVEY, AND LAYOUT.
- OBTAINING AND PAYING FOR ALL PERMITS.
- PAYING FOR ALL TEMPORARY UTILITIES AND FACILITIES.
- CHECKING AND CONFIRMING ALL DIMENSIONS, AND LAYOUTS.
- SCHEDULING AND SEQUENCING.
- CONSTRUCTION MEANS, METHODS AND TECHNIQUES
- MAINTAINING DRAWINGS AND PERMITS ON SITE.
- JOB SITE SAFETY
- COORDINATION BETWEEN TRADES, AND SUPPLIERS.
- PROVIDE SCHEDULE TO OWNER AND ARCHITECT.
- PROVIDE A SCHEDULE OF VALUES TO THE OWNER AND ARCHITECT.
- TEMPORARY HEAT, ICE AND SNOWPLOWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- SITE CLEANLINESS AND CONFORMANCE TO NPFA 241 REQUIREMENTS.
- REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
- GIVING WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

**REVIEW OF WORK BY DESIGNERS-**

CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROJECT STARTS.

CONTRACTOR SHALL NOTIFY ARCHITECT, ONE WEEK PRIOR TO:

- POURING CONCRETE
- INSULATING
- INSTALLING DRYWALL
- FINAL INSPECTION

**SHOP DRAWINGS-**

ALL SHOP DRAWINGS SHALL BE SUBMITTED 30 DAYS AFTER CONTRACT AWARD.

GENERAL CONTRACTOR SHALL APPROVE SHOP DRAWINGS, PRIOR TO SUBMITTING TO ARCHITECT OR ENGINEER.

NON SUBMISSION DOES NOT CONSTITUTE APPROVAL OF ANY WORK.

NO EXCEPTIONS TAKEN DOES NOT RELIEVE THE CONTRACTOR OF PERFORMING ANY OTHER WORK ON THE DRAWINGS.

CONTRACTOR SHALL EXPECT A MINIMUM OF 2 WEEKS FOR DESIGNERS' REVIEW TIME.

ANY VARIANCE FROM THE ORIGINAL DESIGN SHALL BE NOTED.

ANY SUBSTITUTION NOT INDICATED SHALL NOT CONSTITUTE APPROVAL OF A CHANGE.

SHOP DRAWINGS ARE NOT COORDINATION DRAWINGS.

DESIGNERS ARE NOT RESPONSIBLE FOR DIMENSIONS.

CONTRACTOR TO ENSURE MATERIALS AND ASSEMBLIES ARE COMPATIBLE AND ACCEPTABLE TO THE MANUFACTURER. ALL ASSEMBLY MATERIALS SHALL BE FROM A SINGLE SOURCE AS MUCH AS POSSIBLE.

**REQUEST FOR INFORMATION -**

ONLY RFIS SENT THROUGH BY THE OWNER AND AWARDDING CONTRACTOR WILL BE ANSWERED. SUBCONTRACTORS MUST SUBMIT RFIS THROUGH THE GENERAL CONTRACTOR.

BIDDING PHASE - OWNER AND AWARDDING CONTRACTOR ARE RESPONSIBLE FOR COMPILING AND AGGREGATING RFIS AND SUBMITTING TO THE ARCHITECT OR DESIGNER AT ONE TIME ONLY. ARCHITECT OR DESIGNER HAS ONE WEEK TO RESPOND. QUESTIONS MUST BE COMPLETE, NOT PIECEMEAL AND SHOULD BE SUBMITTED BY CSI DIVISION.

**CHANGE ORDERS-**

CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.

DESIGNER SHALL BE NOTIFIED OF ANY CHANGE TO THE DRAWINGS, UNFORESEEN FIELD CONDITIONS OR DISCREPANCIES PRIOR TO PERFORMING WORK.

ANY PROPOSED CHANGES SHALL BE ACCOMPANIED WITH A WRITTEN DESCRIPTION OR A SKETCH FOR CLARIFICATION.

ALL CHANGE ORDERS SHALL BE APPROVED PRIOR TO PERFORMING WORK.

CHANGE ORDERS SHALL BE PRICED EITHER LUMP SUM OR UNIT PRICE OR TIME AND MATERIALS.

ANY SUBSTITUTION REQUEST SHALL BE MADE VIA CHANGE ORDER, AND NOT VIA SHOP DRAWINGS UNLESS AGREED TO.

ANY CHANGE SHALL STATE THE CREDIT OR COST ADD AND/OR ANY CHANGE TO THE SCHEDULE.

**REQUISITIONS-**

ANY REQUISITION REQUIRED TO BE SIGNED BY THE ARCHITECT SHALL BE SUBMITTED A MINIMUM OF ONE WEEK PRIOR TO BEING SUBMITTED TO THE BANK FOR REVIEW.

CONTRACTOR SHALL PROVIDE RECEIPTS AND INSURANCE CERTIFICATES FOR ANY MATERIALS FOR PAYMENT FOR ANY UNINSTALLED MATERIALS.

NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE DESIGNING ARCHITECT OR STRUCTURAL ENGINEER ACCEPTS NO RESPONSIBILITY FOR EXISTING SOIL CONDITIONS. ANY SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM IS DESIGNED BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. IT SHALL BE THE CONTRACTORS OR OWNERS' RESPONSIBILITY TO DETERMINE SUITABLE SOIL CONDITIONS AND VERIFY THE BEARING PRESSURE. IF A SUITABLE SOIL THAT CAN WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

**WOOD NOTES:**

- ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
- ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM:
  - FB=875 PSI, FV=135 PSI, E=1,300,000 PSI.
- ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
- ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
- PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
- PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
- PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
- PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
- ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

**WOOD LINTEL SCHEDULE:**

Lintels over openings in bearing walls shall be as follows;or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

**DESIGN CRITERIA:**

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE NINTH EDITION OF THE MASSACHUSETTS BUILDING CODE.

DESIGN LIVE LOAD	= 40 POUNDS PER SQUARE FOOT
- FLOORS	
- PRIVATE DECK	
DESIGN SNOW LOAD	= 40 POUNDS PER SQUARE FOOT WITH SNOW DRIFT WHERE APPLICABLE.
WIND LOAD	= 128 MILES PER HOUR
SEISMIC:	Ss = 0.217 S1 = 0.069
ALL LUMBER SHALL BE #2 SPF, Fb= 875 PSI, Fv=135 PSI.	

**FOUNDATION NOTES:**

- THE FOUNDATION HAS BEEN DESIGNED FOR 4000 PSF ALLOWABLE SOIL BEARING CAPACITY.
- ALL BACKFILL UNDER STRUCTURAL SLABS, MATS, AND FOOTINGS WILL BE ENGINEERED BACKFILL COMPACTED IN SPECIFIC LIFTS TO 95 PERCENT OF MAXIMUM DRY DENSITY, UNLESS OTHERWISE INDICATED OR SPECIFIED.
- ALL EMBANKMENTS AND BACKFILL COMPACTED IN SPECIFIED LIFTS TO 90 PERCENT OF MAXIMUM DRY DENSITY, UNLESS OTHERWISE INDICATED OR SPECIFIED.
- PROVIDE SHEETING, BRACING, AND UNDERPINNING AS REQUIRED TO PRESERVE ADJACENT STRUCTURES.
- FOUNDATIONS SHALL NOT BE POURED IN WATER OR ON FROZEN GROUND.
- VERIFY LOCATIONS AND REQUIREMENTS FOR INSERTS, SLEEVES, CONDUITS, EMBEDMENT AND PENETRATIONS WITH RESPECTIVE TRADES BEFORE PLACING CONCRETE.
- DOWELS FROM FOUNDATIONS INTO PIERS, COLUMNS, BUTTRESSES OR WALLS SHALL BE THE SAME SIZE AND NUMBER AS REINFORCEMENT IN PIERS, COLUMNS, BUTTRESSES OR WALLS ABOVE, EXCEPT AS OTHERWISE SHOWN.
- CONTRACTOR SHALL PROVIDE CONTINUOUS DRAINAGE BY MECHANICAL METHODS TO CONTROL SURFACE AND UNDERGROUND WATER, AS REQUIRED DURING CONSTRUCTION.
- CONTRACTOR SHALL ENSURE THAT GROUND WATER LEVELS UNDER ADJACENT STRUCTURES AND PROPERTIES ARE NOT ALTERED.
- ALL FOUNDATION UNITS (PIERS) SHALL BE CENTERED SUPPORT MEMBERS, UNLESS OTHERWISE NOTED ON PLANS.
- COORDINATE UNDER FLOOR AND PERIMETER DRAIN REQUIREMENTS WITH ARCHITECTURAL, CIVIL AND PLUMBING DRAWINGS AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- ALL BEARING MATERIALS SHALL BE INSPECTED BY THE INDEPENDENT TESTING AGENCY PRIOR TO CONCRETE PLACEMENT. THE INDEPENDENT TESTING AGENCY SHALL DETERMINE THE SUITABILITY OF THE BEARING MATERIAL. FOOTING ELEVATIONS SHALL BE ADJUSTED AS REQUIRED.
- BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BEAR A MINIMUM OF 4'-0" BELOW FINAL FINISHED GRADE FOR FROST PROTECTION.
- FOUNDATION WALLS THAT RETAIN EARTH SHALL BE BRACED AGAINST BACKFILLING PRESSURES UNTIL FLOOR & SLAB AT TOP AND BOTTOM ARE IN PLACE.
- WHERE FOUNDATION WALLS ARE TO HAVE EARTH PLACED ON EACH SIDE, PLACE FILL SIMULTANEOUSLY SO AS TO MAINTAIN A COMMON ELEVATION ON EACH SIDE OF THE WALL.
- ALL FOOTING EXCAVATIONS ARE TO BE FINISHED BY HAND.
- SEE THE REQUIREMENTS OF THE SPECIFICATIONS FOR BACKFILLING UNDER OR ADJACENT TO ANY PORTION OF THE BUILDING.
- PROTECT IN-PLACE FOUNDATIONS, SLABS AND ADJACENT STRUCTURES, NEW CONSTRUCTION, STREET UTILITIES FROM FROST PENETRATION OR DAMAGE FROM CONSTRUCTION ACTIVITIES UNTIL THE PROJECT IS COMPLETED.
- SLAB ON GRADE SHALL BEAR DIRECTLY ON A MIN. 12" THICK LAYER OF COMPACTED STRUCTURAL FILL, OR MIN. 6" THICK LAYER OF CRUSHED STONE, PLACED ABOVE PROOFROLLED AND COMPACTED EXISTING FILL, OR ABOVE UNDISTURBED NATURAL TILL. SHOULD BEDROCK BE ENCOUNTED AT OR WITHIN 12" OF BOTTOM OF SLAB, BEDROCK SHALL BE OVER EXCAVATED A MIN. OF 12" BELOW BOTTOM OF SLAB.
- WHERE BEDROCK IS ENCOUNTED AT OR WITHIN 12" OF DESIGN FOOTING GRADE, IT SHOULD BE OVER EXCAVATED A MIN. OF 12" BELOW THE BOTTOM OF PROPOSED FOOTING. BEDROCK EXCAVATIONS SHOULD EXTEND A MIN. OF 12" BEYOND FOOTING EDGE. LOOSE ROCK PIECES SHOULD BE REMOVED WITHIN THE FOOTING BEARING ZONE, AND OPEN BEDROCK JOINTS SHOULD BE CHOKED WITH CRUSHED STONE OR FILLED WITH CONCRETE PRIOR TO PLACING THE SOIL CUSHION.

**CONCRETE NOTES:**

- ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:
  - **3000 PSI** FOR FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER.
- MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.

**REINFORCING NOTES:**

- ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
- ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
- ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
- THE CONTRACTOR SHALL SUBMIT FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
- CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
  - A. FOOTINGS 3 INCHES
  - B. SIDES OF FOUNDATIONS WALLS, EXPOSED FACES OF FOUNDATIONS, SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE 2 INCHES
  - C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER 1-1/2 INCHES
  - D. TOP STEEL OF INTERIOR SLABS 1 INCHES
- MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

**REMOVALS NOTES:**

- DEMOLITION CONTRACTOR IS TO ARRANGE FOR SHUT OFF OF EXISTING UTILITIES. CONTRACTOR SHALL ARRANGE ALL TEMPORARY POWER.
- ALL DEMOLISHED MECHANICAL AND ELECTRICAL ITEMS SHALL BE REMOVED INCLUDING MAIN RUNS AND SERVICE LINES TO SOURCE. ALL SYSTEM LINES ARE NOT SHOWN ON CONSTRUCTION DOCUMENTS.
- THE EXISTING INTERIOR MAIN STAIR IS TO REMAIN FOR RE-USE. GC TO PROVIDE PROTECTION TO HANDRAIL & BALUSTERS THROUGHOUT CONSTRUCTION. GC TO REPAIR ANY DAMAGE TO ITEMS INDICATED TO REMAIN AS A RESULT OF DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. DEMOLITION NOTES INDICATED ON DRAWINGS MAY NOT BE ALL INCLUSIVE. REMOVE ALL ITEMS REQUIRED FOR RECONSTRUCTION ACTIVITIES.
- VERIFY EXTENT OF ALL CONDITIONS OF DEMOLITION WITH FLOOR PLANS AND SCHEDULED CONSTRUCTION PRIOR TO DEMOLITION. DISCREPANCIES BETWEEN DESIGN CONDITIONS AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT.
- ALL WALLS, SUBSTRUCTURAL FRAMES, PARTITIONS, EQUIPMENT, ETC. INDICATED BY DASHED LINES (----) SHALL BE REMOVED. ALL MECHANICAL, ELECTRICAL, PLUMBING AND OTHER SERVICES WHICH ARE CONTAINED IN THE AREA TO BE REMOVED SHALL ALSO BE REMOVED OR REROUTED. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION BEFORE STARTING DEMOLITION.
- ALL EXISTING UNUSED WALL PENETRATIONS IN INTERIOR AND EXTERIOR WALLS ALONG WITH PENETRATIONS LEFT AFTER SELECTIVE DEMOLITION ACTIVITIES SHALL BE INFILLED TO MATCH ADJACENT WALL FINISHES AND THICKNESS AS DIRECTED.
- MAINTAIN CLEAR EXIT PATHS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- ALL STRUCTURAL ELEMENTS SHALL BE PROTECTED DURING DEMOLITION.
- REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC., SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
- WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER.
- PROTECT ALL EXISTING STRUCTURE, SYSTEMS, FINISHES AND GENERAL CONSTRUCTION THAT ARE TO REMAIN THROUGHOUT THE COURSE OF THE WORK TO PREVENT DAMAGE OR LOSS. ANY SUCH DAMAGE CAUSED DURING THE COURSE OF THIS WORK WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE BEFORE THIS WORK IS CONCLUDED.
- CONTRACTOR IS TO VERIFY UTILITY LINE LOCATIONS AND MAINTAIN THOSE THAT SERVE OTHER PARTS OF THE BUILDING THAT ARE NOT AFFECTED BY THE DEMOLITION.
- ALL WORK WILL BE PERFORMED IN THE BEST WORKMANSHIP POSSIBLE IN ACCORDANCE WITH THAT TRADE'S BEST INDUSTRY STANDARDS.

Location

**PROPOSED RENOVATION & SEMI-ATTACHED ADDITION**  
**6-8 NEAREN ROW,**  
**CHARLESTOWN, MA 02129**



Choo & Company, Inc.  
 One Billings Road Quincy, MA 02171  
 617-786-7727 fax 617-786-7715

No.	Description	Date
3	BPDA	01-11-2024

Project No: 2023112  
 Scale: AS NOTED  
 Date: 09-06-2023  
 Drawn By: AMF





Drawing Name

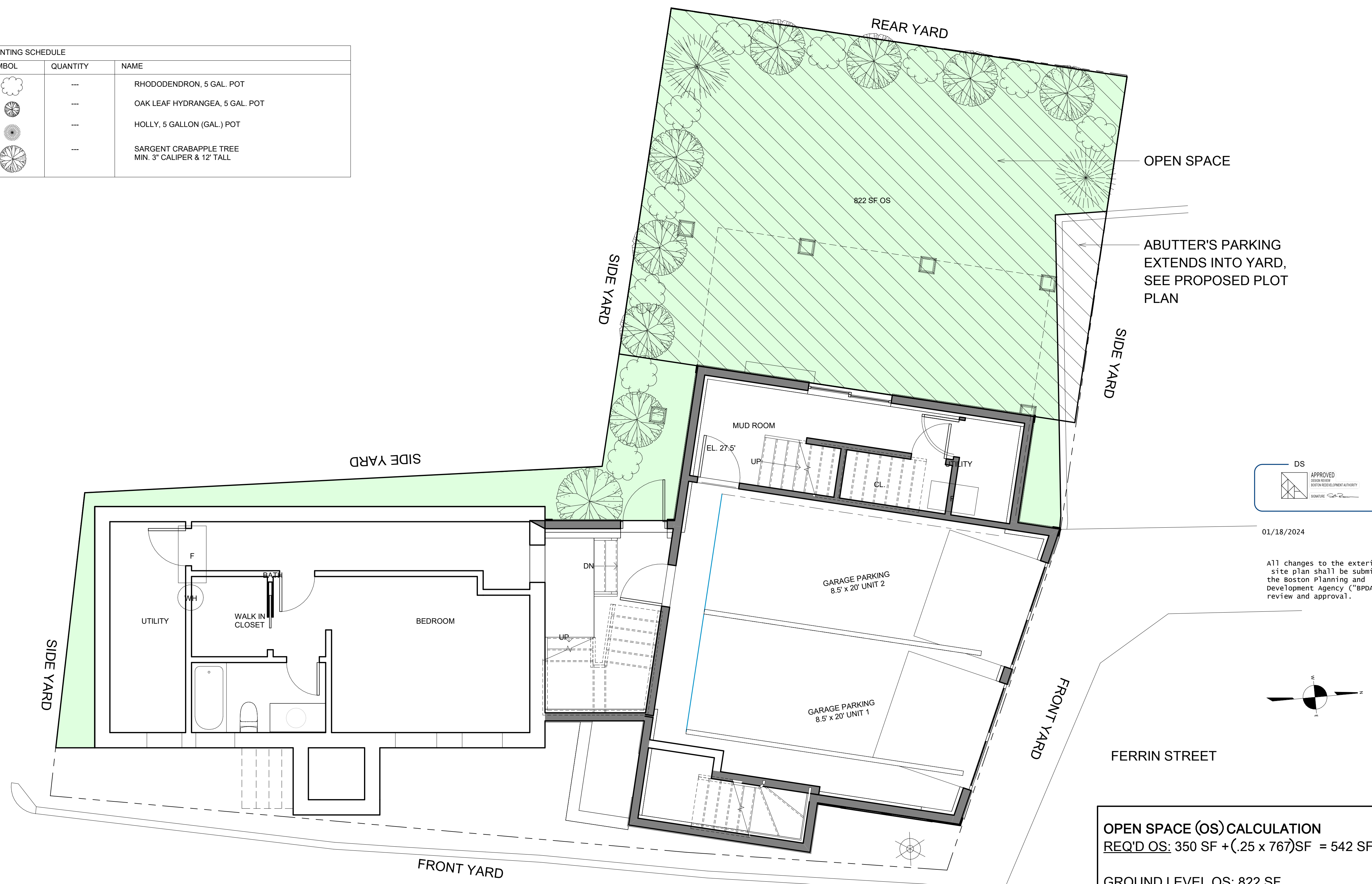
**REMOVALS & PROJECT NOTES**

Sheet No.

**A-0.02**

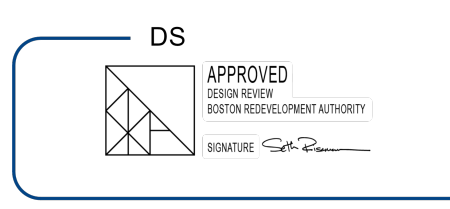


PLANTING SCHEDULE		
SYMBOL	QUANTITY	NAME
	---	RHODODENDRON, 5 GAL. POT
	---	OAK LEAF HYDRANGEA, 5 GAL. POT
	---	HOLLY, 5 GALLON (GAL.) POT
	---	SARGENT CRABAPPLE TREE MIN. 3" CALIPER & 12' TALL



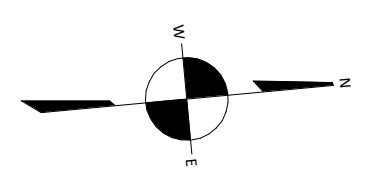
OPEN SPACE  
822 SF OS

ABUTTER'S PARKING  
EXTENDS INTO YARD,  
SEE PROPOSED PLOT  
PLAN



01/18/2024

All changes to the exterior and/or site plan shall be submitted to the Boston Planning and Development Agency ("BPDA") for review and approval.

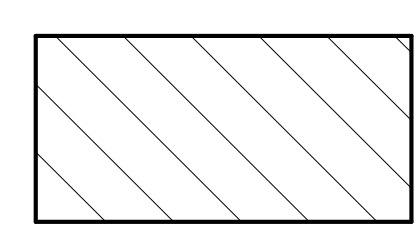


**OPEN SPACE (OS) CALCULATION**  
 REQ'D OS:  $350 \text{ SF} + (.25 \times 767) \text{ SF} = 542 \text{ SF} / \text{UNIT}$

**GROUND LEVEL OS: 822 SF**

**DECK OS: 398 SF,**  
 MAX ALLOWABLE DECK OS  $542 \text{ SF} \times .25 = 136 \text{ SF/UNIT}$

**TOTAL OS:  $822 \text{ SF} + 272 \text{ SF} = 1094 \text{ SF}/2 = 547 \text{ SF} > 542 \text{ SF}$**   
 REQ'D OK

 = OPEN SPACE

1 ARCHITECTURAL SITE PLAN -  
 1/4" = 1'-0"

THIS DRAWING WAS PREPARED FROM AN UNDERLAY CERTIFIED PLOT PLAN PREPARED BY BOSTON SURVEY, INC., UNIT C-4 SHIPWAY PLACE, CHARLESTOWN, MA 02129. PROJECT NUMBER 23-00360 DATED 08-25-23

Location

**PROPOSED RENOVATION & SEMI-ATTACHED ADDITION**  
 6-8 NEAREN ROW,  
 CHARLESTOWN, MA 02129

**Choo & Company, Inc.**

One Billings Road Quincy, MA 02171  
 617-786-7727 fax 617-786-7715

No.	Description	Date
3	BPDA	01-11-2024

Project No: 2023112  
 Scale: As indicated  
 Date: 09-06-2023  
 Drawn By: TN / DF

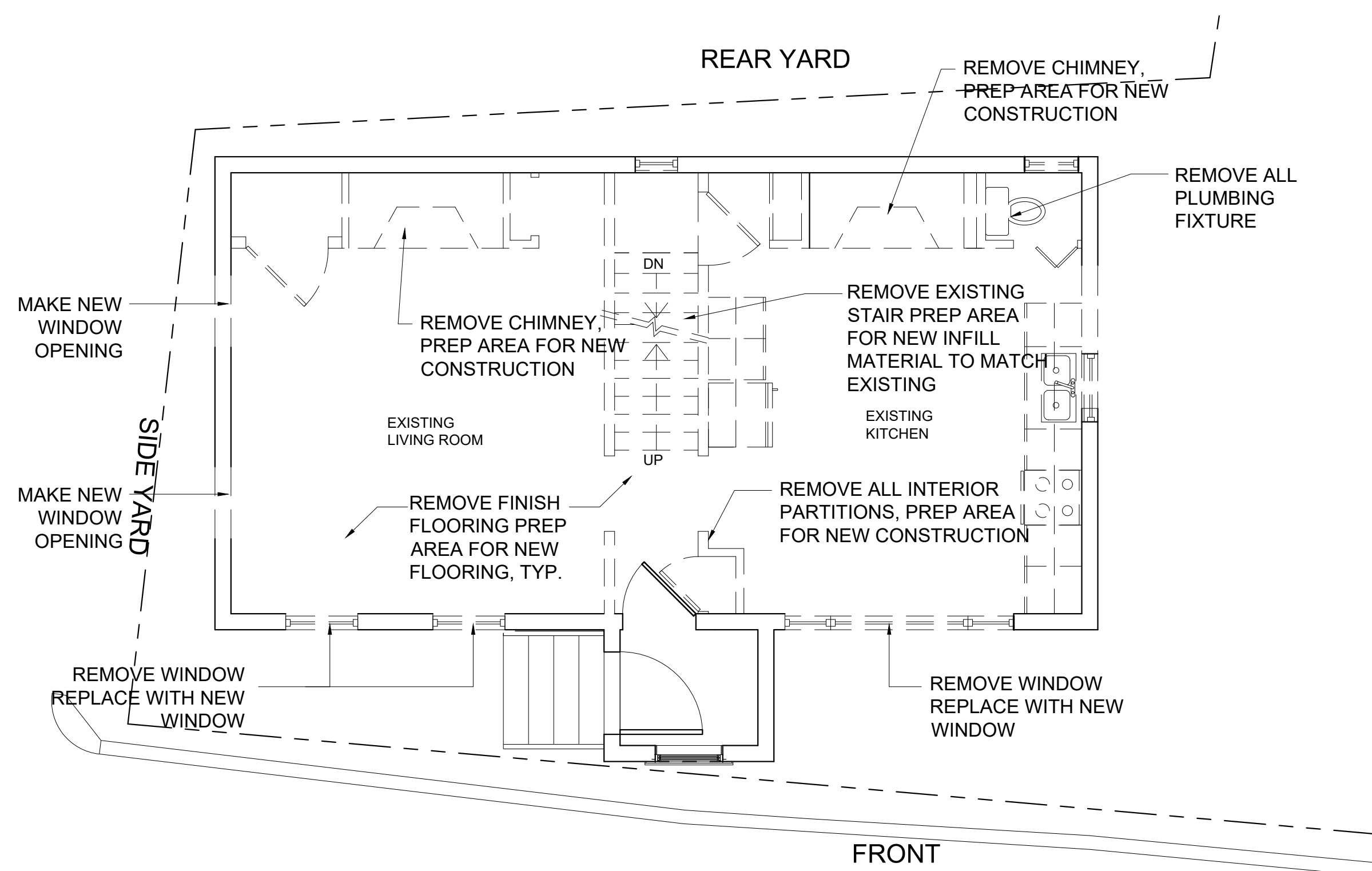
Drawing Name

**ARCHITECTURAL SITE PLAN**

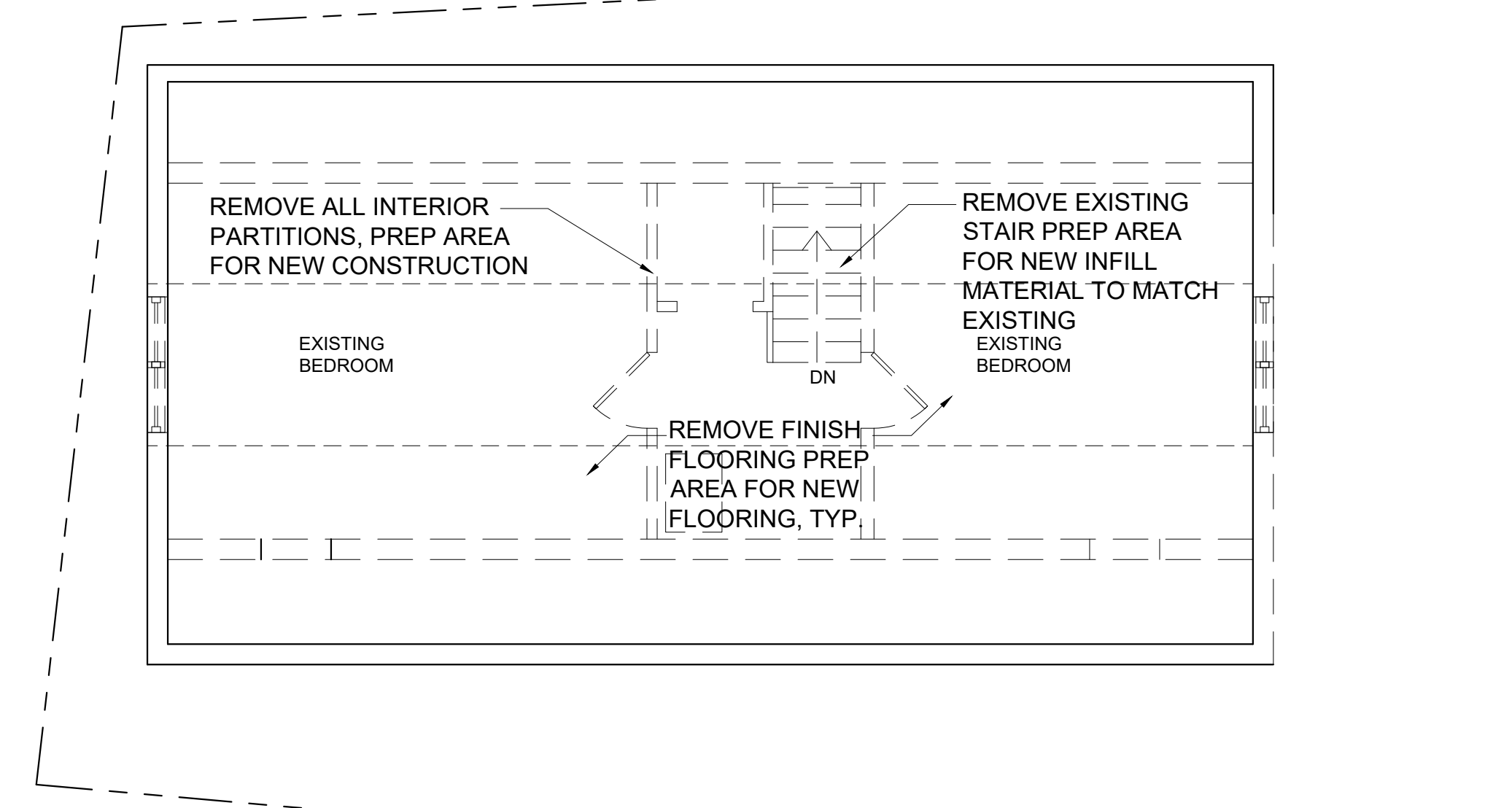
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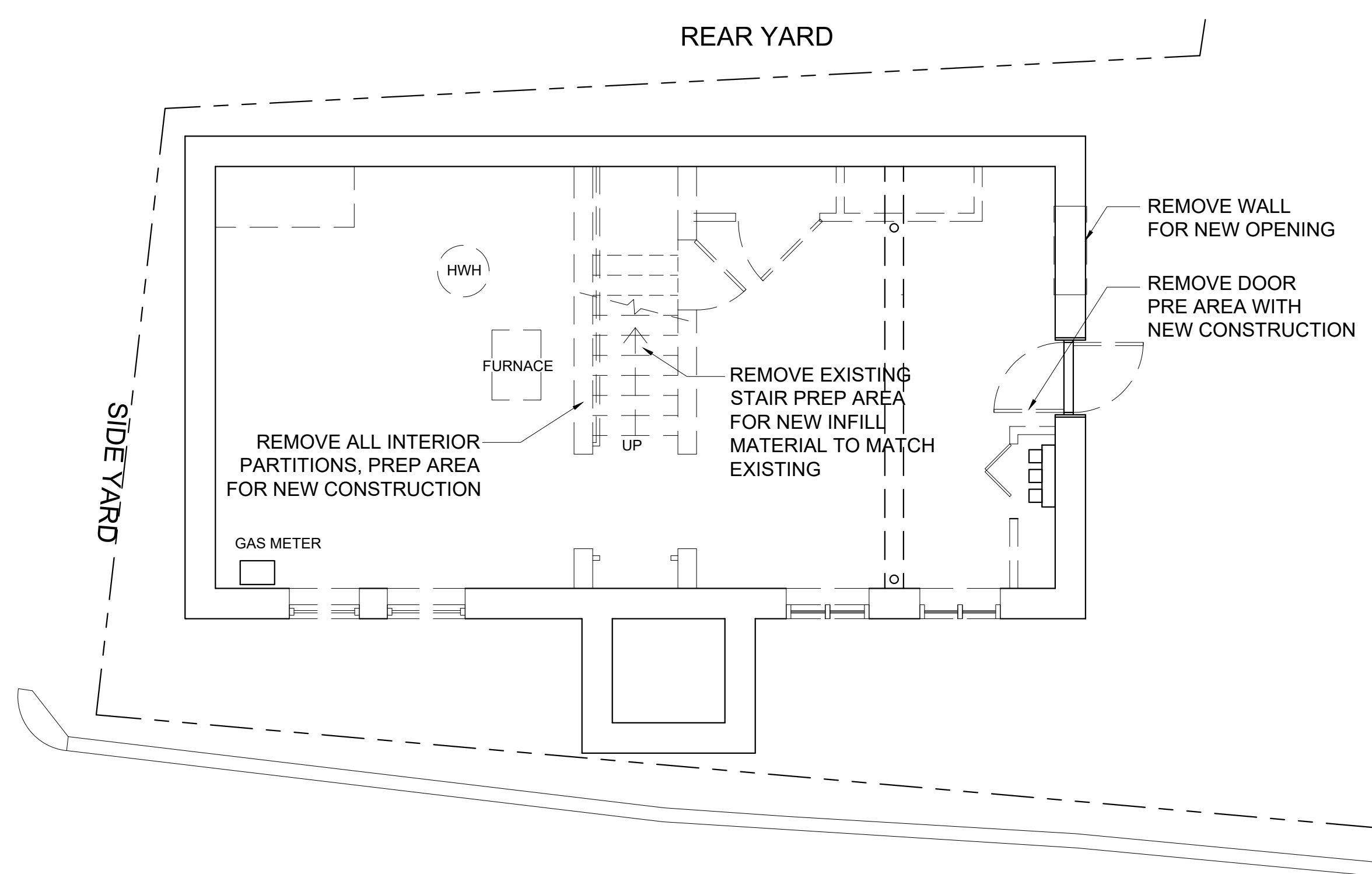




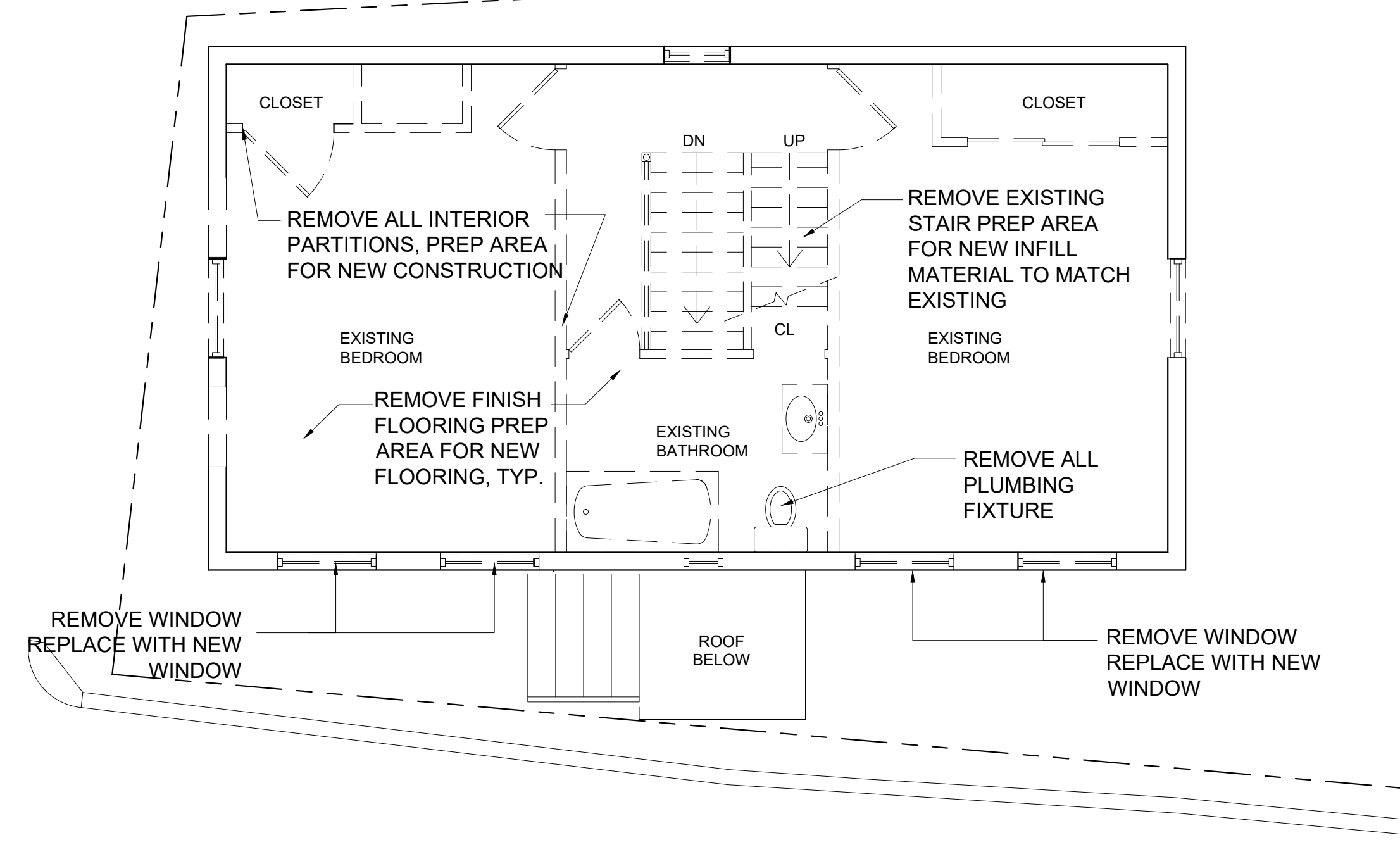
1 EXISTING FIRST FLOOR PLAN  
1/4" = 1'-0"



3 EXISTING THIRD FLOOR PLAN  
1/4" = 1'-0"



0 EXISTING BASEMENT FLOOR PLAN  
1/4" = 1'-0"



2 EXISTING SECOND FLOOR PLAN  
1/4" = 1'-0"

- DEMO NOTE:
1. PRIOR TO COMMENCEMENT OF WORK OR FABRICATION OF NEW COMPONENTS, CONTRACTORS SHALL INVESTIGATE AND VERIFY IN THE FIELD ALL CONDITIONS, DIMENSIONS AND ELEVATIONS OF THE EXISTING CONSTRUCTION
  2. REMOVAL OF ALL DEBRI FROM THE SITE SHALL BE DISPOSED OF LEGALLY AND IN ACCORDANCE WITH APPLICABLE CODES.
  3. BRACE AND MAINTAIN AS REQUIRED TO MAINTAIN AND PRESERVE EXISTING WALL INTEGRITY IN ITS ORIGINAL CONDITIONS DURING CONSTRUCTION
  4. PROPERLY BRACE ALL WALLS AS NECESSARY UNTIL ROOF FRAMING IS COMPLETE, AND NEW CONSTRUCTION DETAILS SUPPORT TOPS OF WALLS Laterally

Location

**PROPOSED RENOVATION & SEMI-ATTACHED ADDITION**  
6-8 NEAREN ROW,  
CHARLESTOWN, MA 02129

**Choo & Company, Inc.**

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No.	Description	Date
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Drawn By: AMF

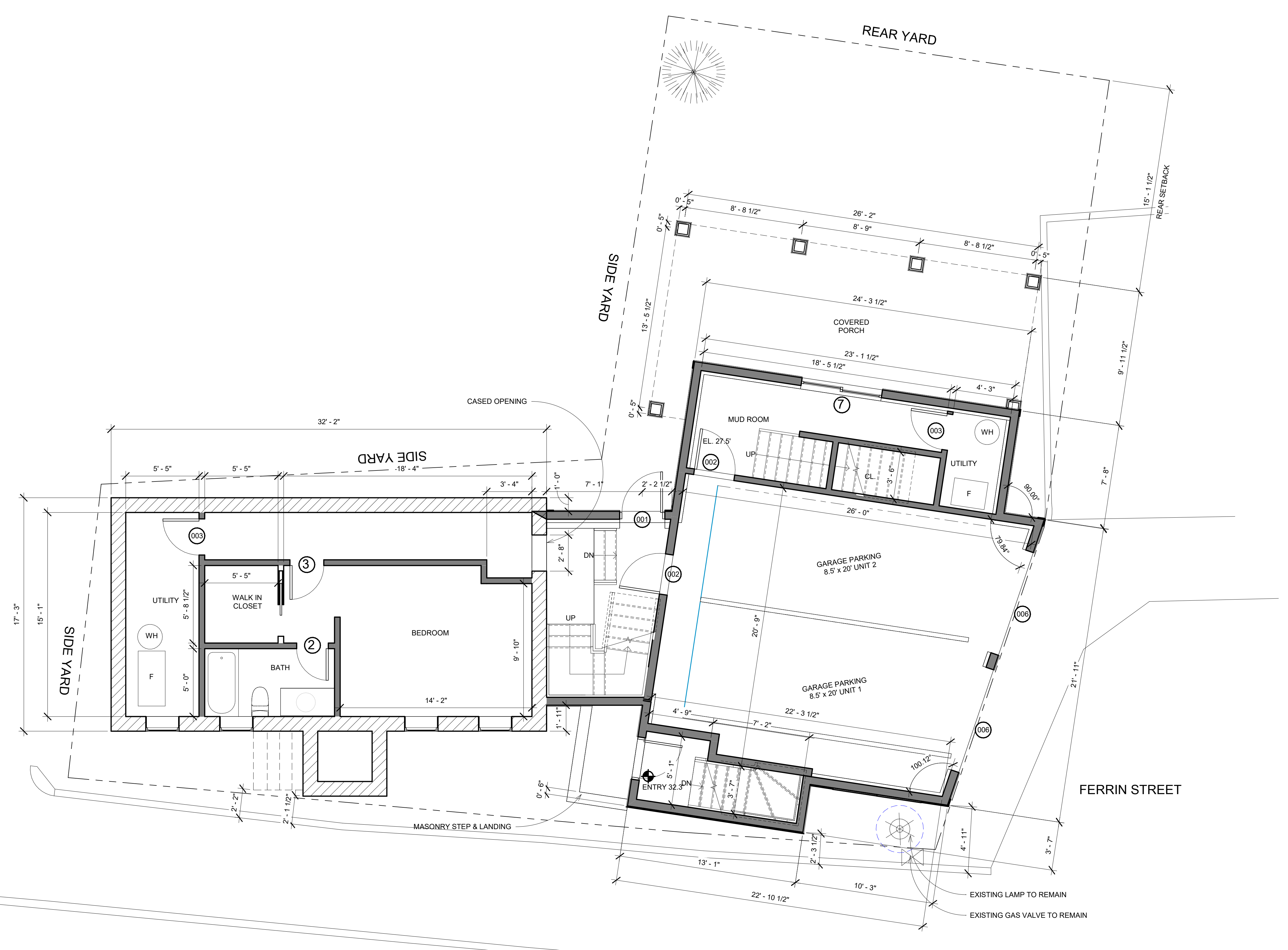
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**EXISTING/DEMO CONDITIONS FLOOR PLANS**

Sheet No.

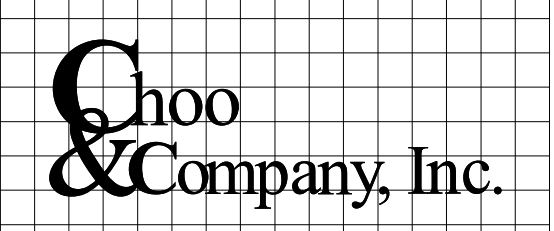
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Location

**PROPOSED RENOVATION &  
SEMI-ATTACHED ADDITION  
6-8 NEAREN ROW,  
CHARLESTOWN, MA 02129**



One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

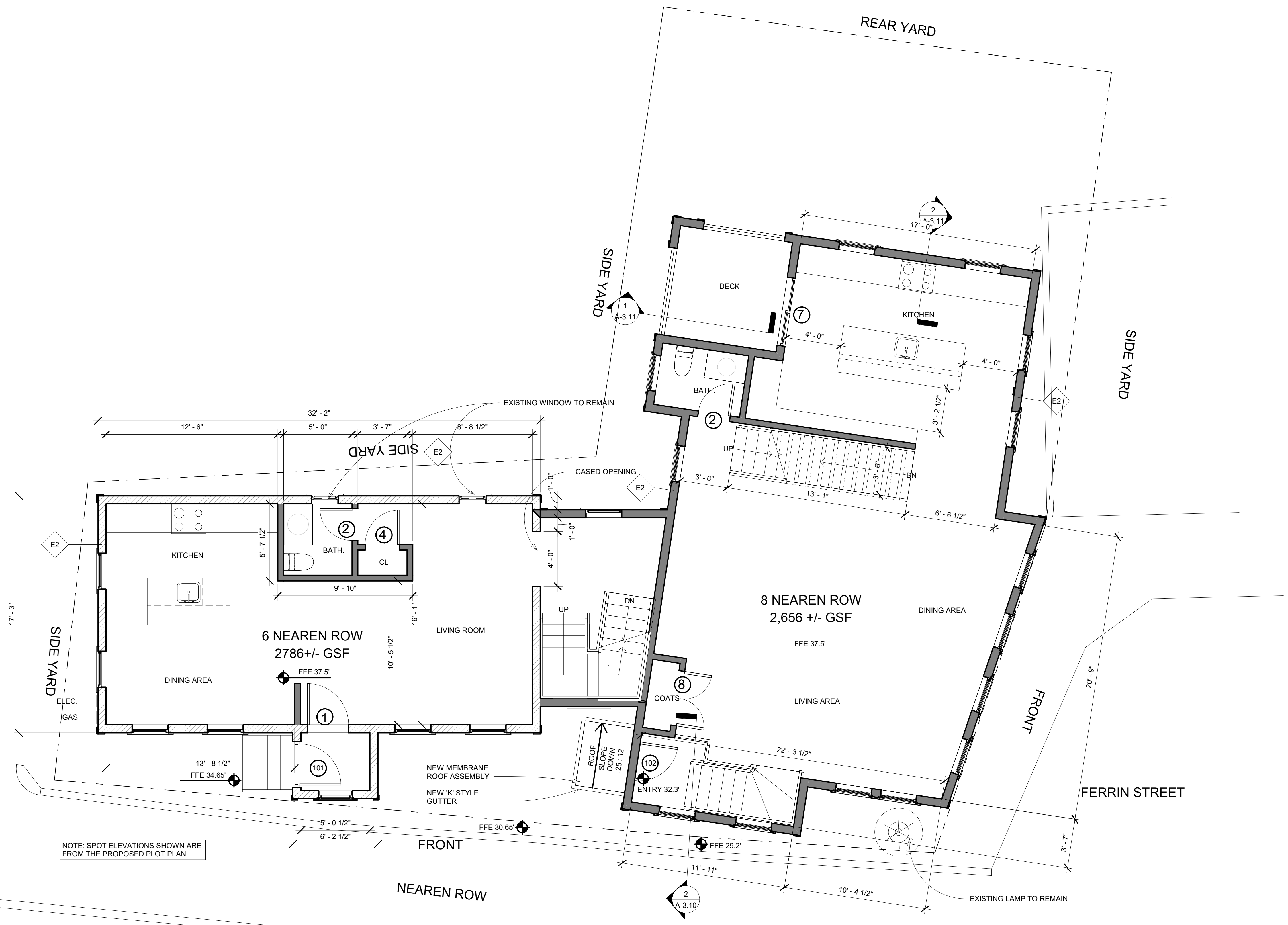
No.	Description	Date
3	BPDA	01-11-2024

Project No: 2023112  
Scale: 1/4" = 1'-0"  
Date: 09-06-2023  
Drawn By: TN / DF

**PROPOSED  
GARDEN  
LEVEL FLOOR  
PLAN**

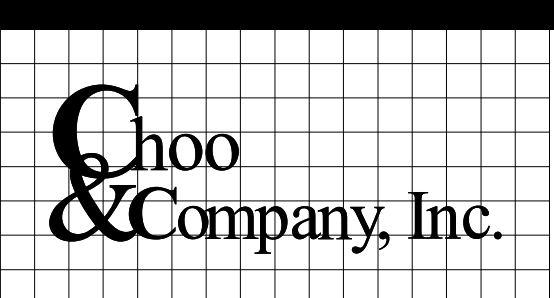
Sheet No.  
**A-1.10**





NOTE: SPOT ELEVATIONS SHOWN ARE FROM THE PROPOSED PLOT PLAN

**PROPOSED RENOVATION & SEMI-ATTACHED ADDITION**  
**6-8 NEAREN ROW,**  
**CHARLESTOWN, MA 02129**



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 617-786-7727 fax 617-786-7715

No.	Description	Date
1	Revision 1	10-06-2023
3	BPDA	01-11-2024

Project No: 2023112  
 Scale: 1/4" = 1'-0"  
 Date: 09-06-2023  
 Drawn By: TN / DF

**PROPOSED FIRST FLOOR PLAN**

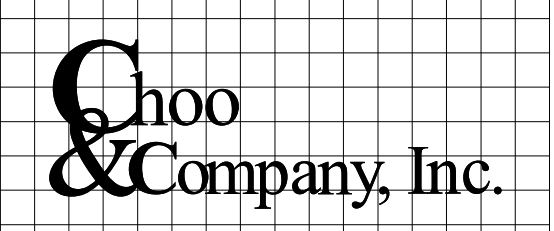
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**A-1.11**





Location

**PROPOSED RENOVATION & SEMI-ATTACHED ADDITION**  
**6-8 NEAREN ROW,**  
**CHARLESTOWN, MA 02129**



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 617-786-7727 fax 617-786-7715

No.	Description	Date
1	Revision 1	10-06-2023
3	BPDA	01-11-2024

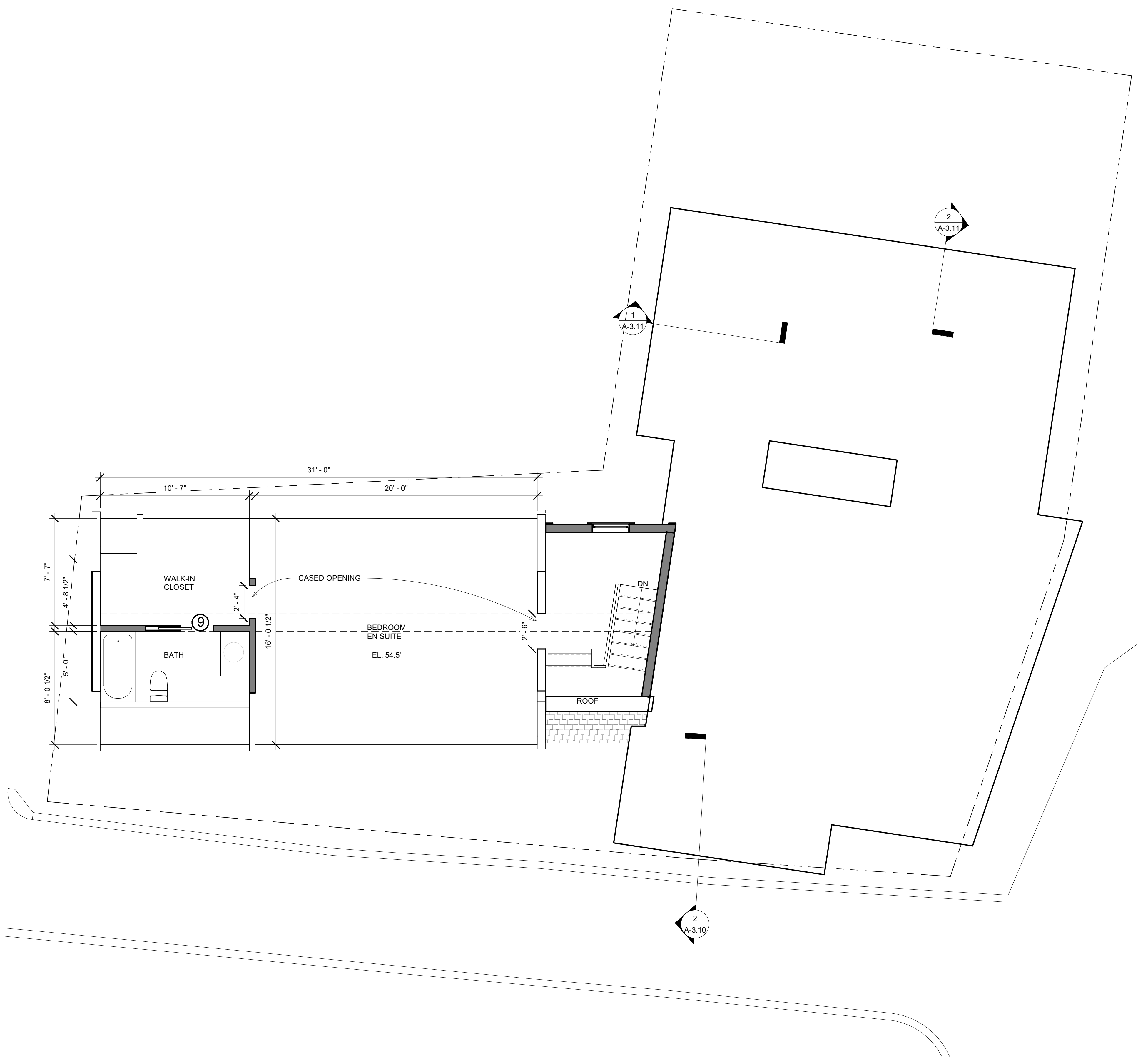
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 Date: 09-06-2023  
 Drawn By: TN / DF

Drawing Name

**PROPOSED SECOND FLOOR PLAN**

Sheet No.

**A-1.12**



Location

**PROPOSED RENOVATION &  
SEMI-ATTACHED ADDITION  
6-8 NEAREN ROW,  
CHARLESTOWN, MA 02129**

**Choo  
& Company, Inc.**

One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

No.	Description	Date
2	Revision 2	10-19-2023
3	BPDA	01-11-2024

Project No: 2023112  
Scale: 1/4" = 1'-0"  
Date: 09-06-2023  
Drawn By: TN / DF

Drawing Name

**PROPOSED  
THIRD FLOOR  
LEVEL**

Sheet No.

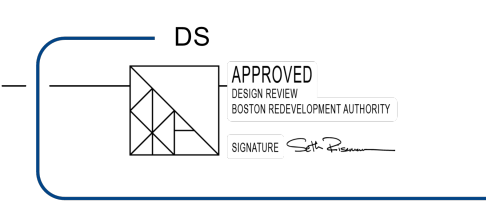
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01/18/2024

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Location  
**PROPOSED RENOVATION & SEMI-ATTACHED ADDITION**  
**6-8 NEAREN ROW,**  
**CHARLESTOWN, MA 02129**

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 One Billings Road Quincy, MA 02171  
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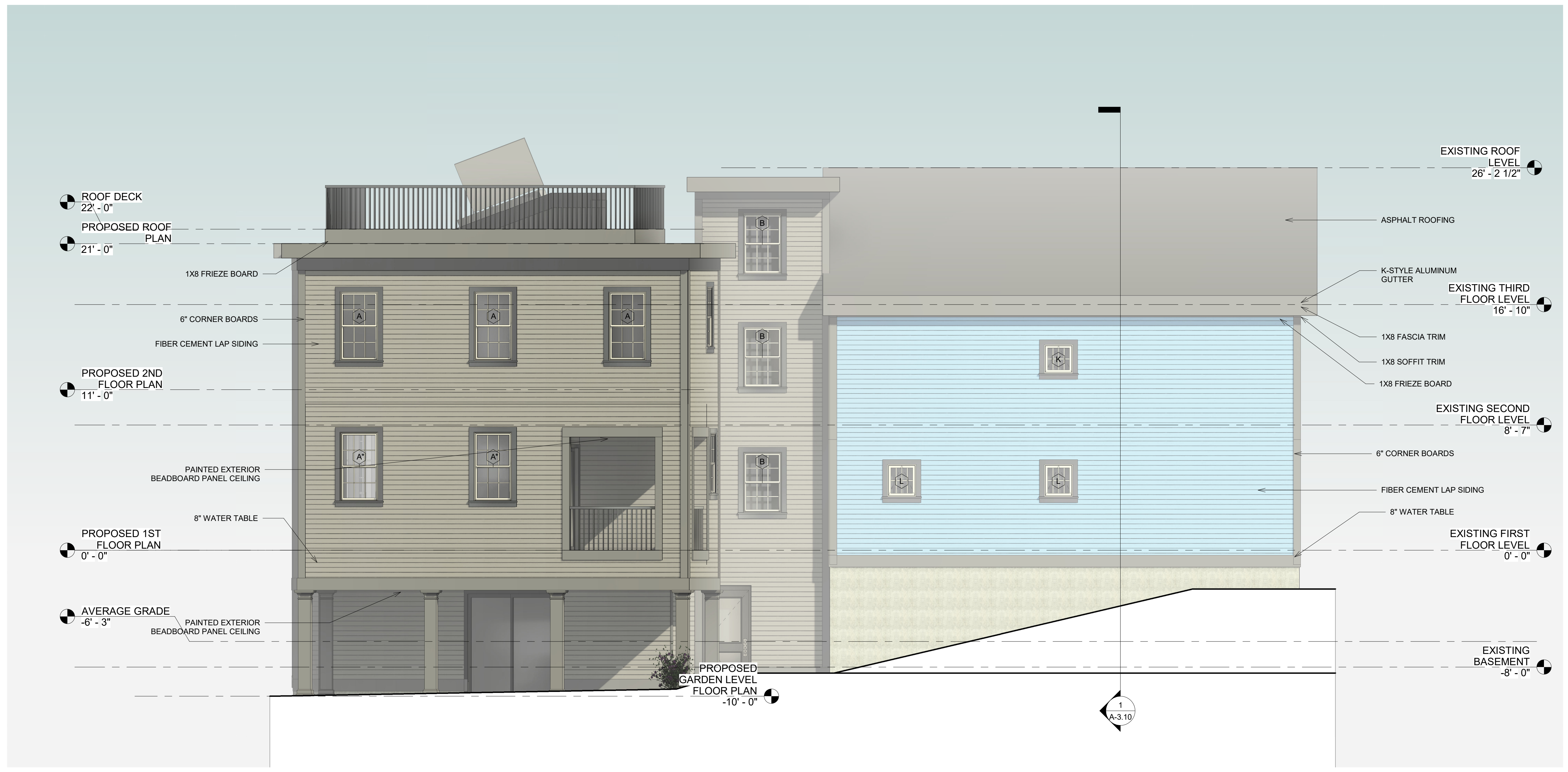
No.	Description	Date
3	BPDA	01-11-2024

Project No: 2023112  
 Scale: 1/4" = 1'-0"  
 Date: 09-06-2023  
 Drawn By: TN / DF

Drawing Name  
**PROPOSED WEST ELEVATION**

Sheet No.  
**A-2.11**





Location

**PROPOSED RENOVATION & SEMI-ATTACHED ADDITION**  
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No.	Description	Date
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3	BPDA	01-11-2024

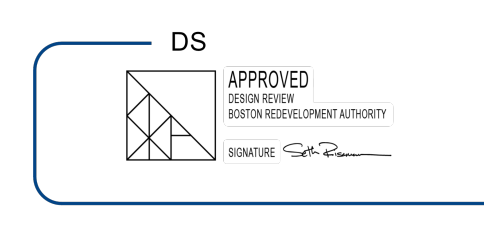
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 Date: 09-06-2023  
 Drawn By: TN / DF

Drawing Name

**PROPOSED SOUTH ELEVATION**

Sheet No.

**A-2.12**



01/18/2024

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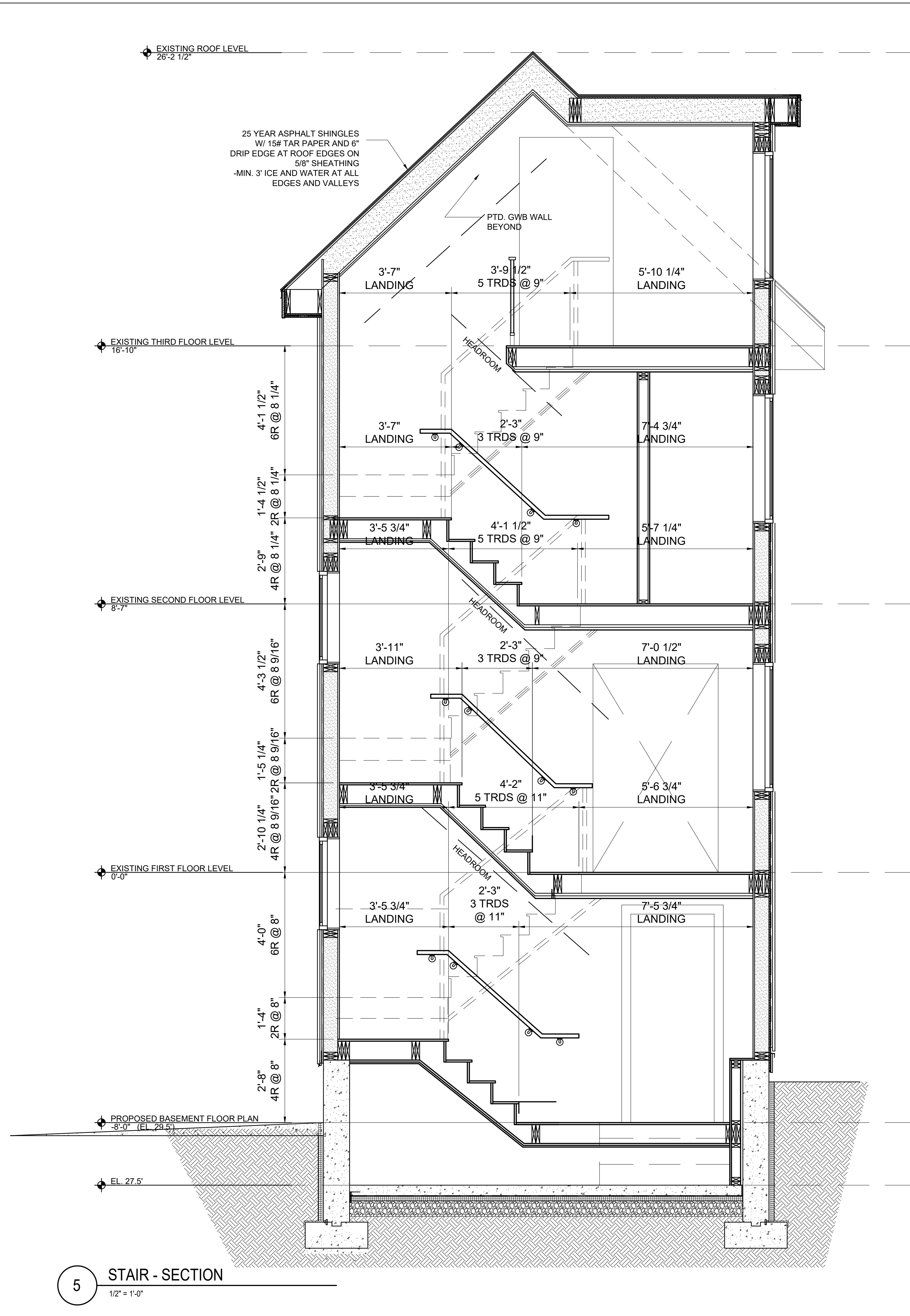




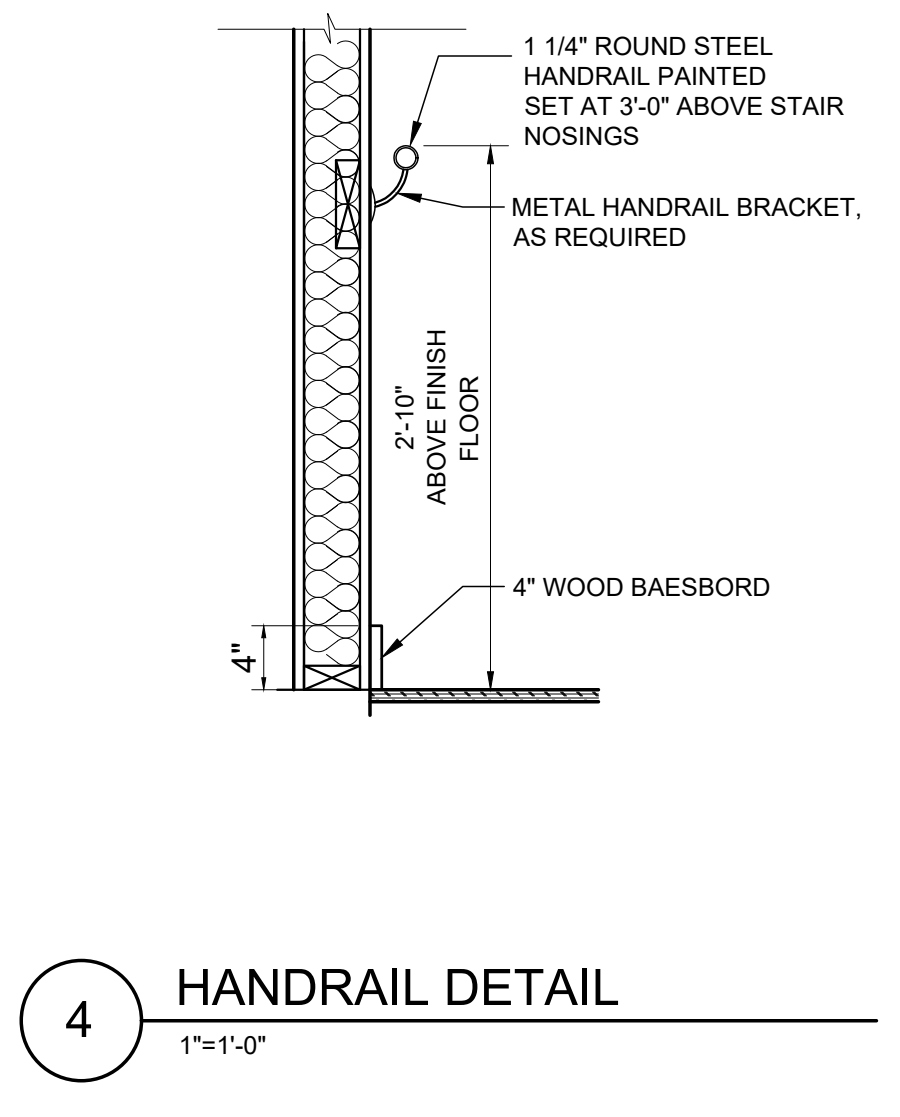
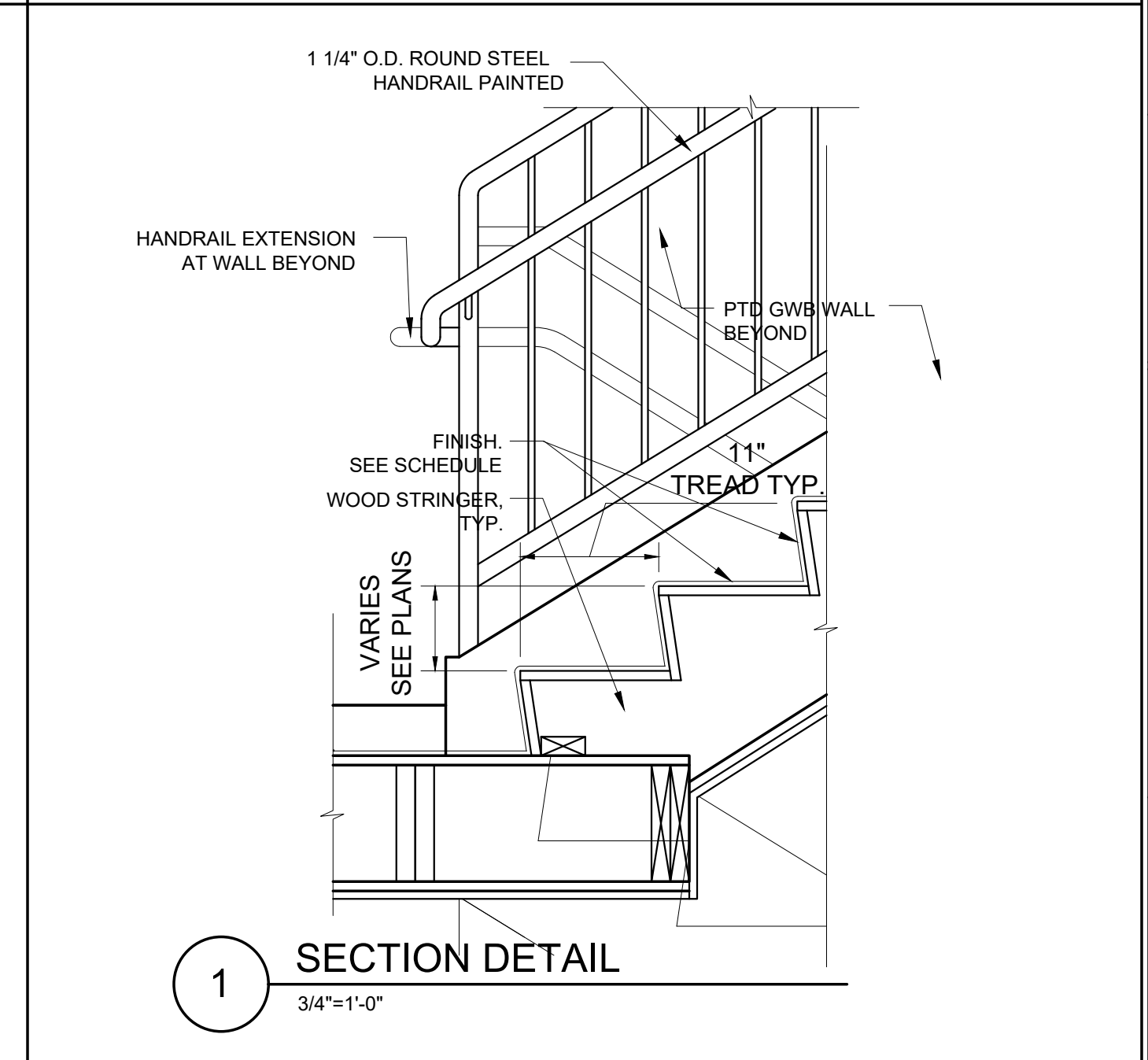
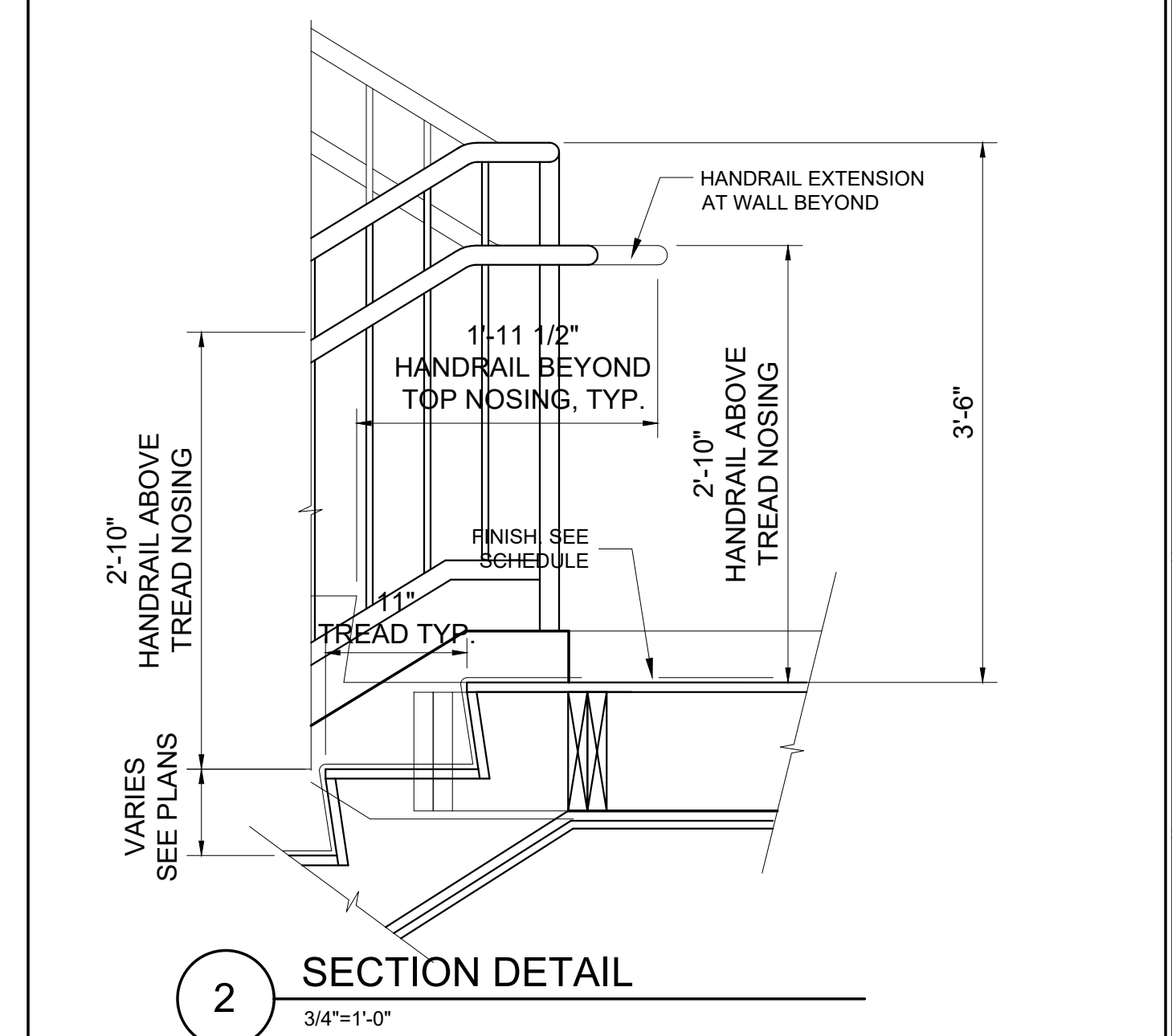
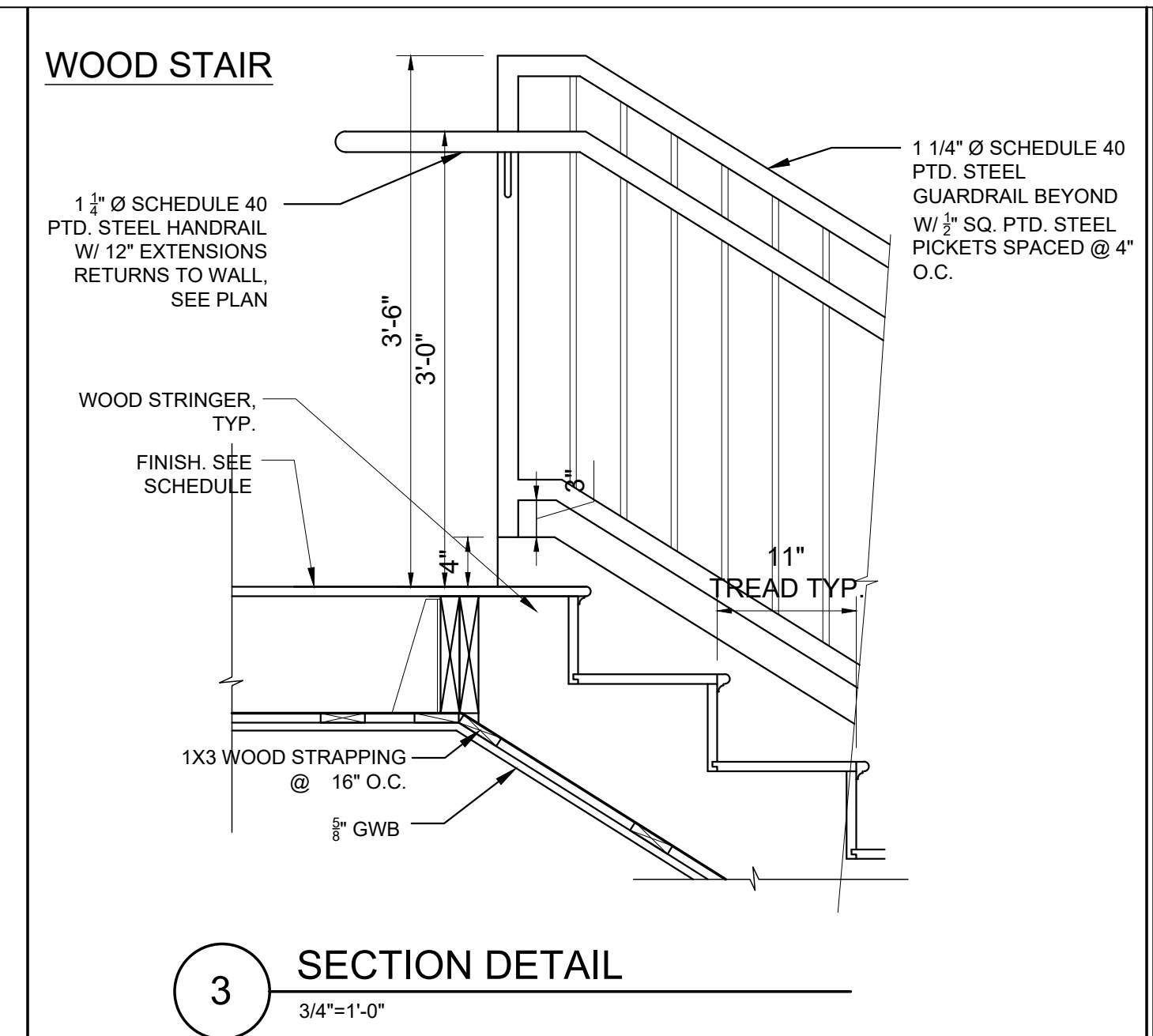








5 STAIR - SECTION  
1/2" = 1'-0"



Location

**PROPOSED RENOVATION &  
SEMI-ATTACHED ADDITION  
6-8 NEAREN ROW,  
CHARLESTOWN, MA 02129**

**Choo  
& Company, Inc.**

One Billings Road Quincy, MA 02171  
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No.	Description	Date
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Project No: 2023112  
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Date: 09-06-2023  
Drawn By: AMF

**STAIR SECTION  
AND DETAILS**

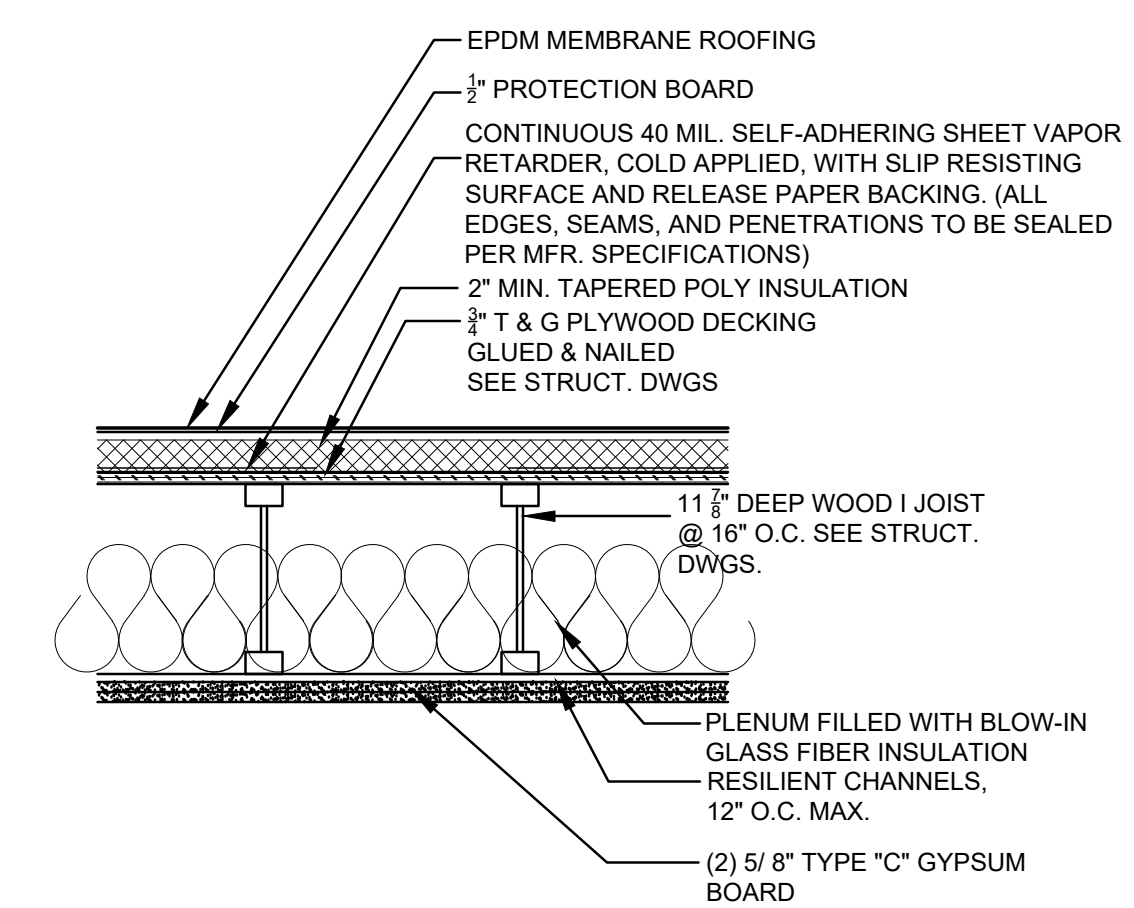
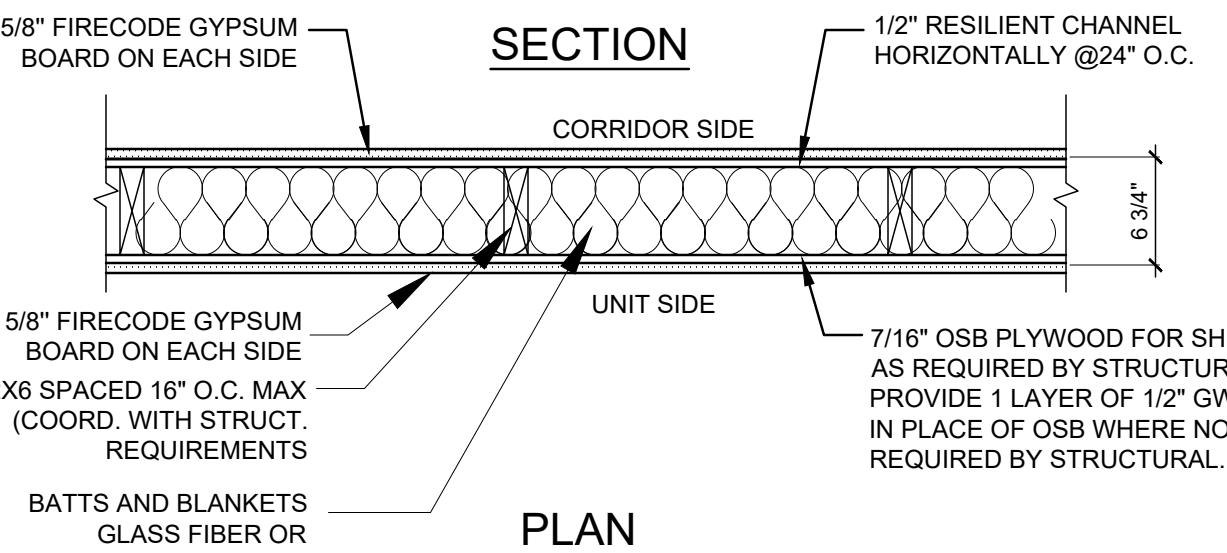
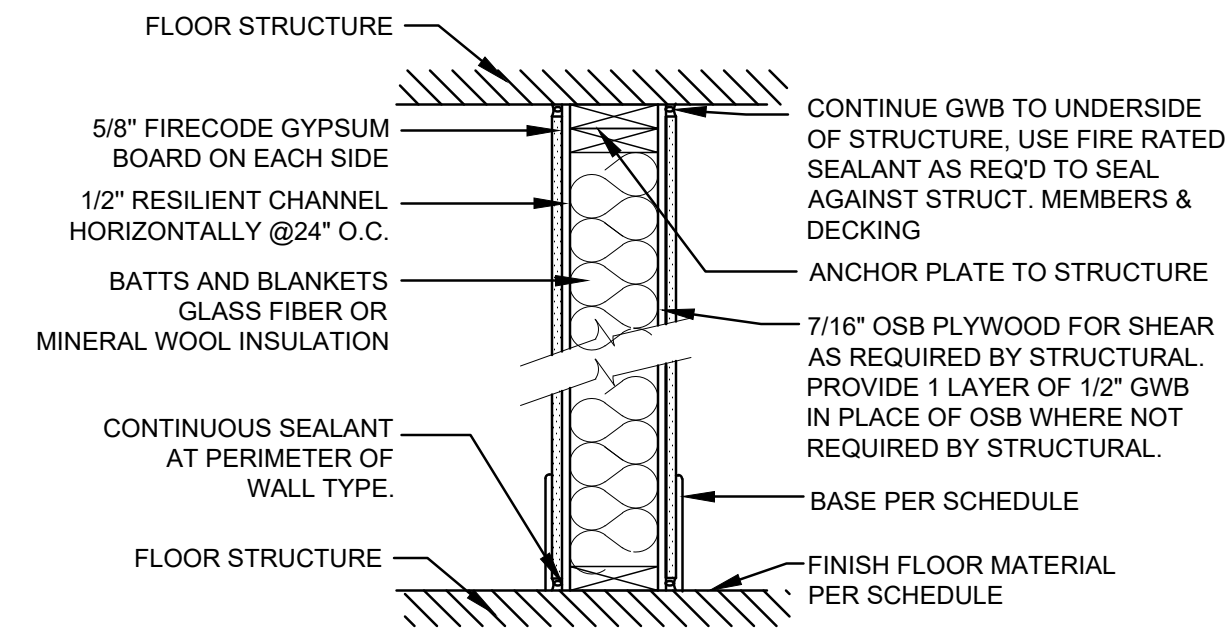
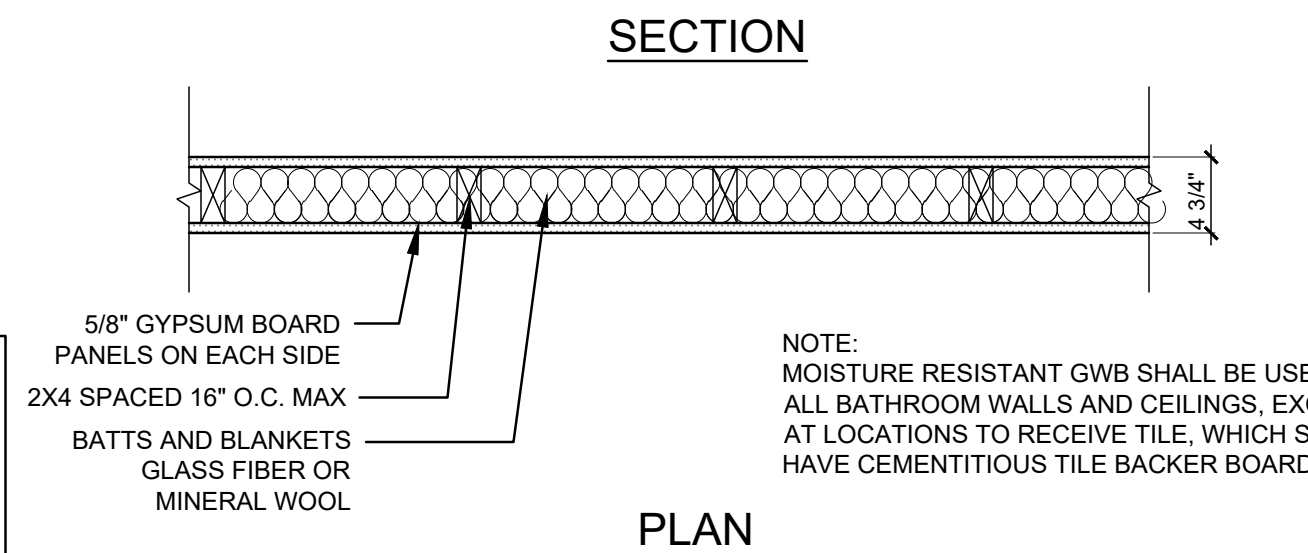
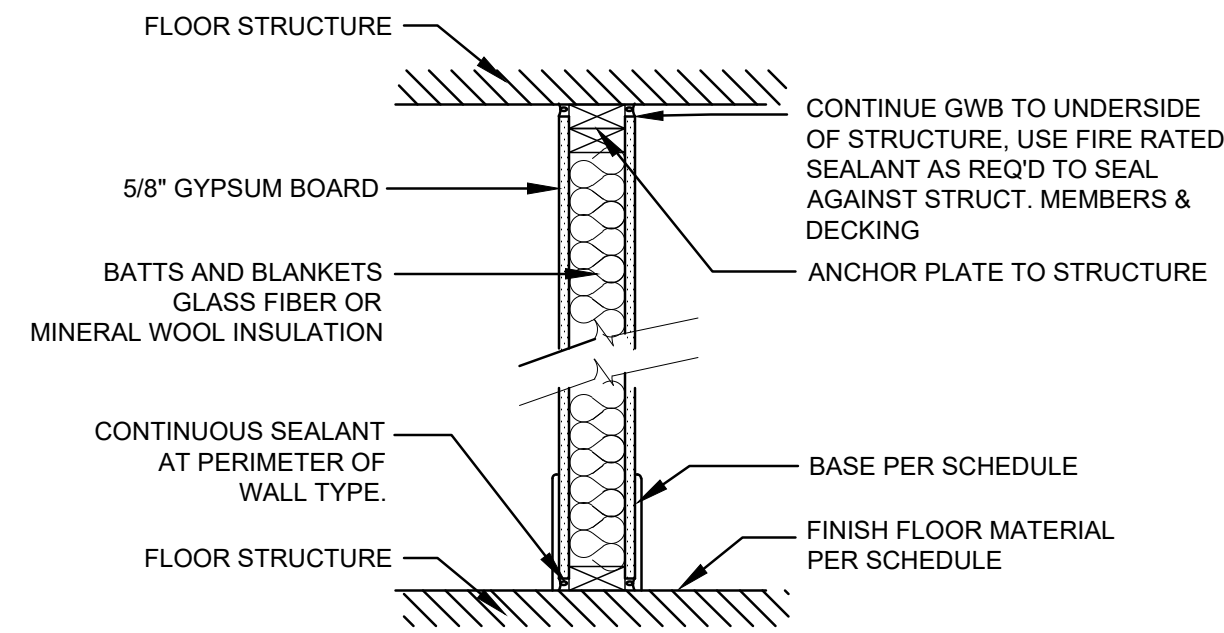
Sheet No.

**A-4.10**



**PARTITION NOTES**

1. ALL NON-BEARING WALLS TO BE PARTITION TYPE 0 UNLESS OTHERWISE NOTED.
2. AT THE INTERSECTION OF PARTITIONS AND ASSEMBLIES, ALL PORTIONS OF THE HIGHER RATED PARTITION OR ASSEMBLY SHALL BE CONTINUOUS PAST THE LOWER OR NON-RATED ASSEMBLY/PARTITION.
3. ALL PENETRATIONS AND OPENINGS IN PARTITIONS/ASSEMBLIES (INCLUDING ABOVE THE CEILING) ARE TO BE FILLED WITH INSULATION AND/OR SEALANT AS REQUIRED AT FIRE AND ACOUSTICAL RATED PARTITIONS TO MAINTAIN RATING. GC TO SUBMIT A PENETRATION FIRESTOPPING PACKAGE FOR APPROVAL.
4. ALL PENETRATIONS THROUGH NON-RATED ASSEMBLIES ARE TO BE PROVIDED WITH ACOUSTICAL SEALANT.
5. CONTRACTOR SHALL INSTALL PUTTY PACKS ON ALL BACK-TO-BACK OUTLETS, WALL BOXES, OR OTHER INSTALLATIONS THAT MAY COMPROMISE FIRE RATING, THERMAL, AND/OR ACOUSTICAL PERFORMANCE. OUTLETS TO BE STAGGERED AS TO NOT BE BACK TO BACK, WHERE POSSIBLE.
6. INSTALL PERIMETER ACOUSTICAL SEALANT AT ALL INTERIOR ASSEMBLIES AND EXTERIOR WALLS.
7. ALL UNIT DEMISING WALLS AND UNIT CORRIDOR WALLS TO ACHIEVE AND STC-50 RATING MINIMUM.
8. AT ALL FIRE-RATED ASSEMBLIES, STUD SPACING SHALL COMPLY WITH THE UL REQUIREMENTS PER THE UL APPROVED LISTING. STUD SPACING IN UL ASSEMBLIES IS A MAX U.O.N., SEE STRUCTURAL DRAWINGS FOR THE ACTUAL STUD SPACING. GC SHALL REVIEW FRAMING SUBMITTALS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FABRICATION OR INSTALLATION OF FRAMING.
9. ARCHITECT TO BE NOTIFIED OF ANY CHANGES TO THE UL LISTED ASSEMBLIES MADE BY THE OWNER/CONTRACTOR PRIOR TO CONSTRUCTION.
10. ALL GYPSUM WALL BOARD (GWB) IS 5/8" TYPE "X" U.O.N.
11. SEAL ALL VAPOR BARRIER TERMINATIONS AND SEAMS PER MANUFACTURER'S REQUIREMENTS.
12. ALL SEAMS BETWEEN DIFFERENTIAL EXTERIOR MATERIALS AND CONTROL JOINTS TO BE CAULKED ACCORDINGLY.



**NOTES:**  
 1. ALL PENETRATIONS TO BE SEALED WITH FIRE STOP SYSTEM SEALANTS, TAPES AND COMPONENTS AS REQUIRED TO MAINTAIN HOURLY RATING. PROVIDE USG FIRE STOP SYSTEM OR EQUAL.

0 HR	INTERIOR LOAD BEARING/ NON LOAD BEARING	UL #:	
------	---	-------	--

1 HR	INTERIOR LOAD BEARING/ NON LOAD BEARING	UL #:	U327
------	---	-------	------

1 HR	ROOF/CEILING ASSEMBLY	DESIGN No.	WNR/RCA 60-01
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SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING

SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING

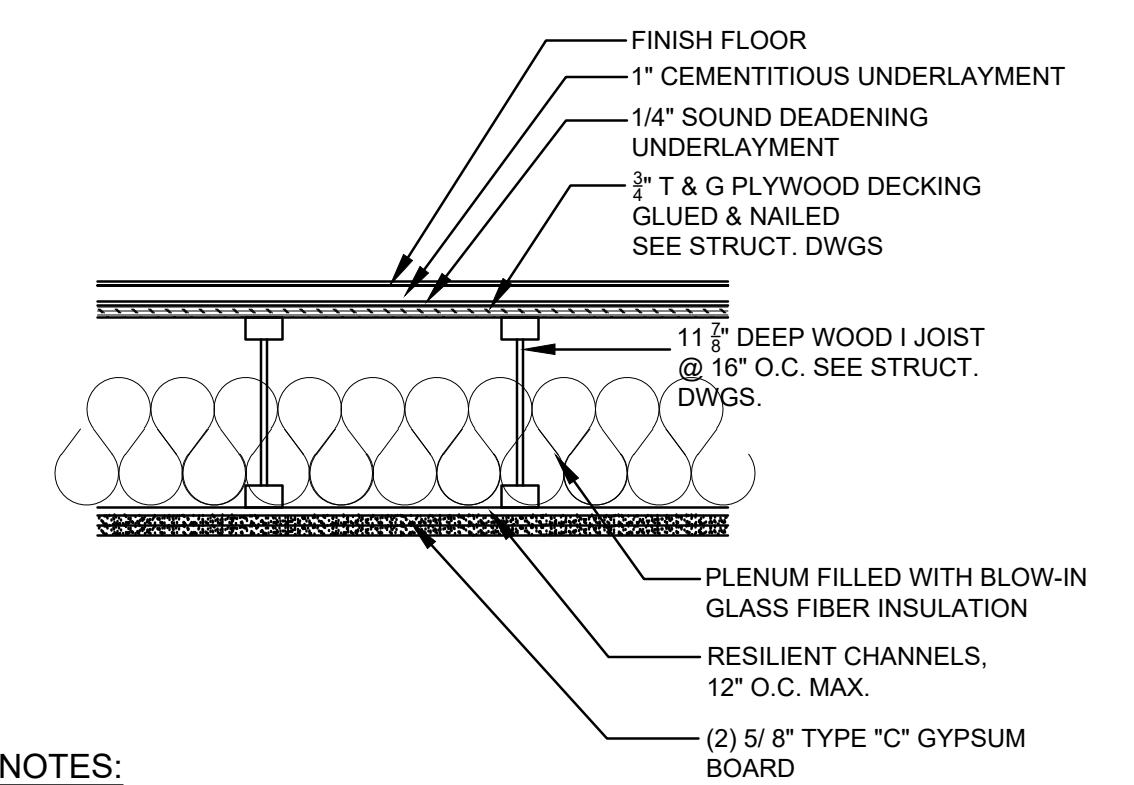
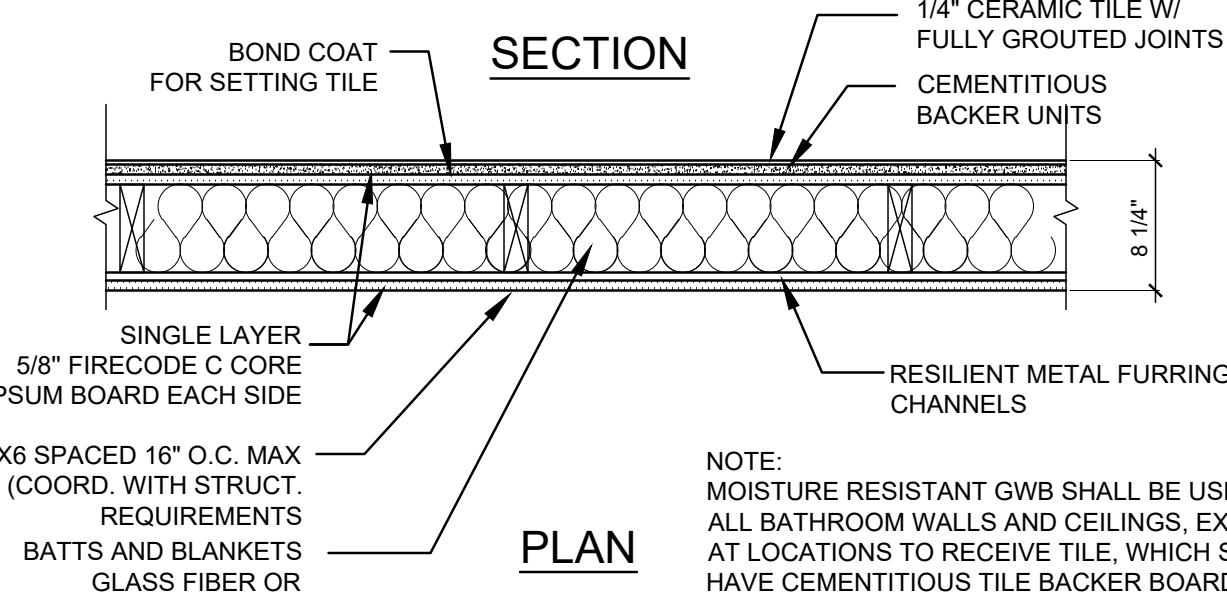
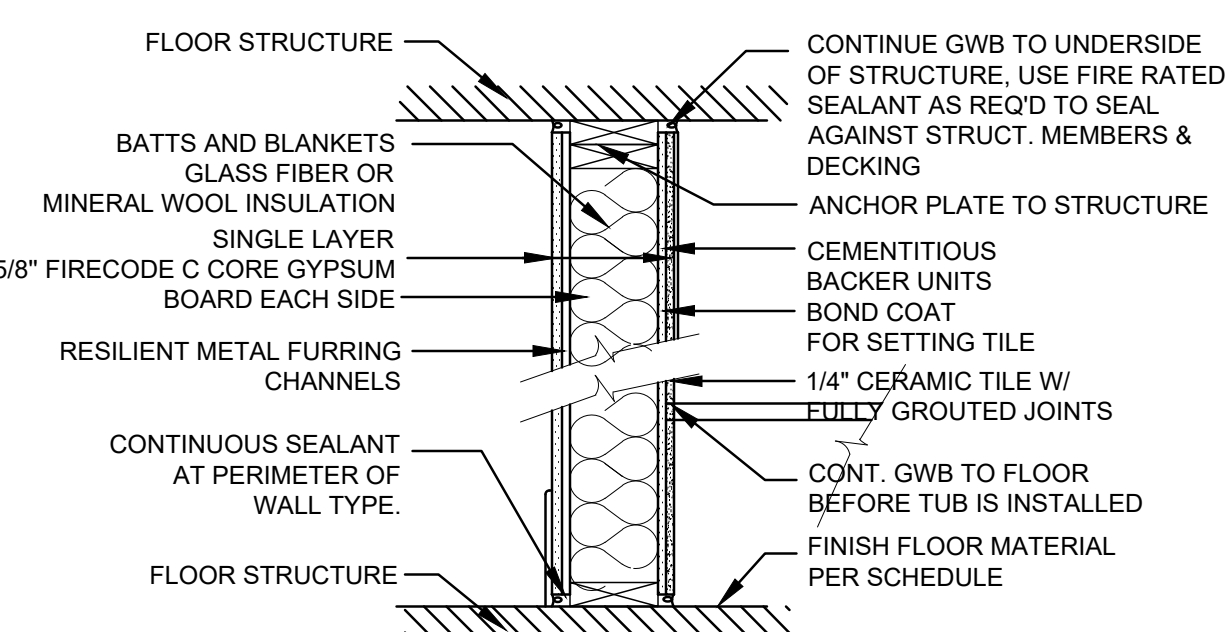
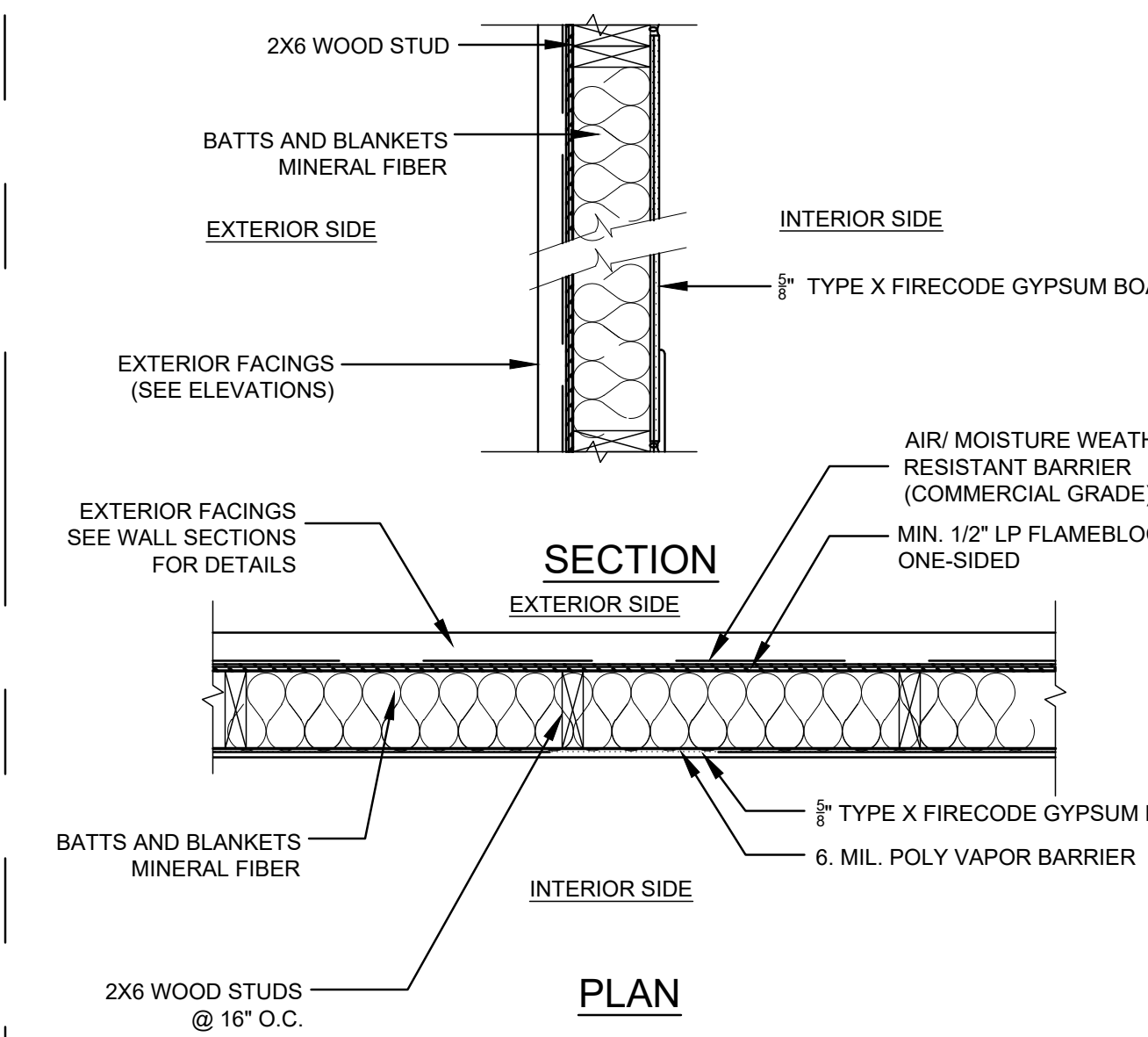
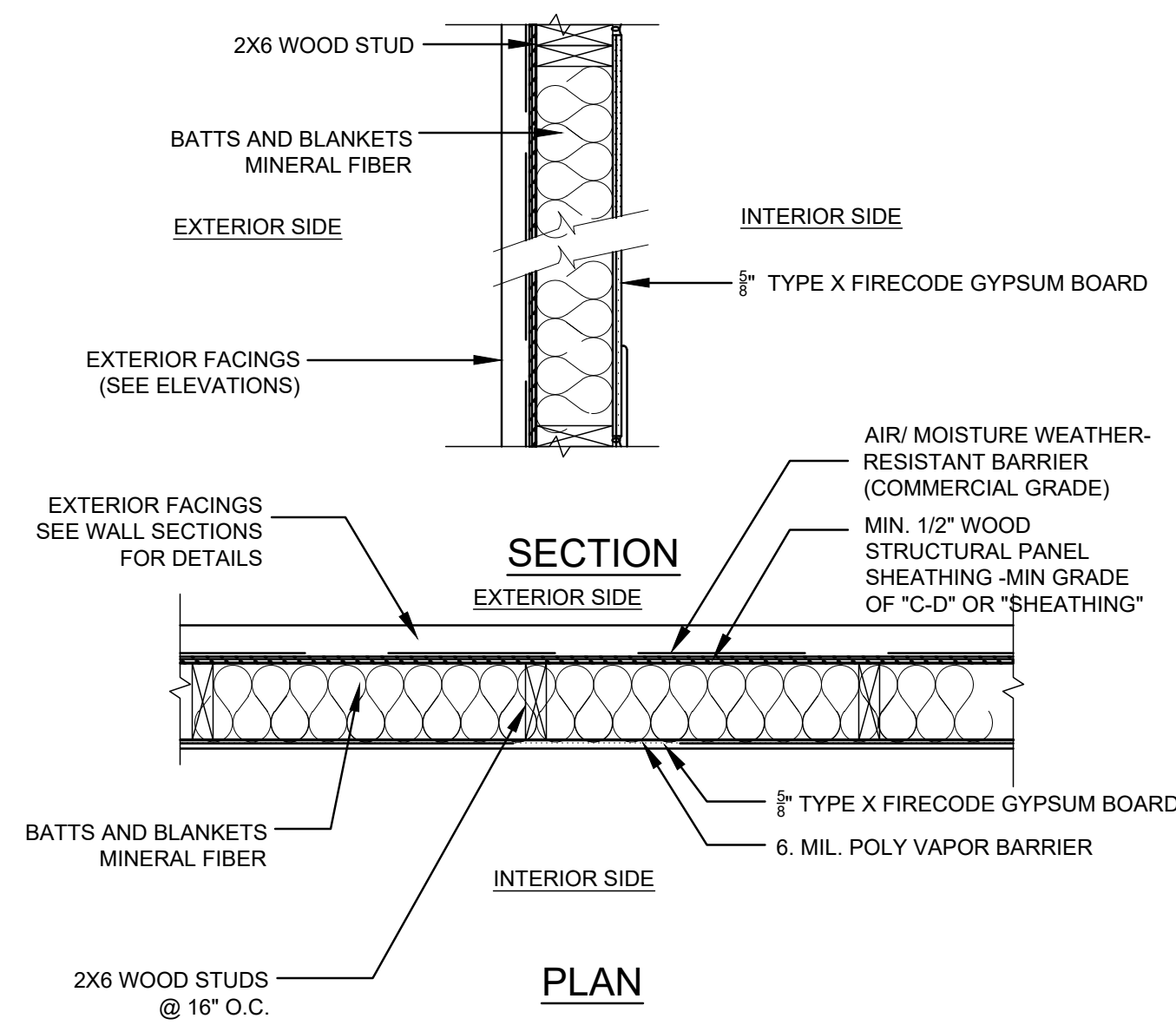
SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND FRAMING SIZES/SPACING

**0** 2X4 WOOD STUDS W/ SOUND BATTS (UNIT INTERIOR WALL)

**1** 2X6 WOOD STUDS W/ SOUND BATTS (CORRIDORS & UNIT INTERIOR BEARING WALL) 1HR. FIRE RATED - UL DES. U305 (STC 50-54)

**R1** WOOD ROOF SYSTEM FRAMING (ROOF ASSEMBLY) 1HR. FIRE RATED - DESIGN No. WNR/RCA 60-01

**0A** 2X6 WOOD STUDS W/ SOUND BATTS (UNIT INTERIOR WALL)



**NOTES:**  
 1. ALL PENETRATIONS TO BE SEALED WITH FIRE STOP SYSTEM SEALANTS, TAPES AND COMPONENTS AS REQUIRED TO MAINTAIN HOURLY RATING. PROVIDE USG FIRE STOP SYSTEM OR EQUAL.

1 HR	EXTERIOR LOAD BEARING/ NON LOAD BEARING	UL #:	V340
------	---	-------	------

1 HR	INTERIOR LOAD BEARING/ NON LOAD BEARING	UL #:	U329
------	---	-------	------

1 HR	1-HR FLOOR/CEILING ASSEMBLY	UL	L570
------	-----------------------------	----	------

SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING

USED FOR ALL RATED BATHROOM SHOWER/BATHTUB WALLS

SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND FRAMING SIZES/SPACING

**E1** EXTERIOR BEARING WALL - RATED FROM INTERIOR ONLY 1 HR. FIRE RATED - UL DES. U356

**1B** 2X6 WOOD STUDS W/ SOUND BATTS (STC 50-54) 1HR. FIRE RATED - UL DES. U329

**F1** FLOOR SYSTEM - (UPPER FLOOR) 1 HR. FIRE RATED - UL # DES L570 (STC 59)

**PROPOSED RENOVATION & SEMI-ATTACHED ADDITION**  
**6-8 NEAREN ROW,**  
**CHARLESTOWN, MA 02129**

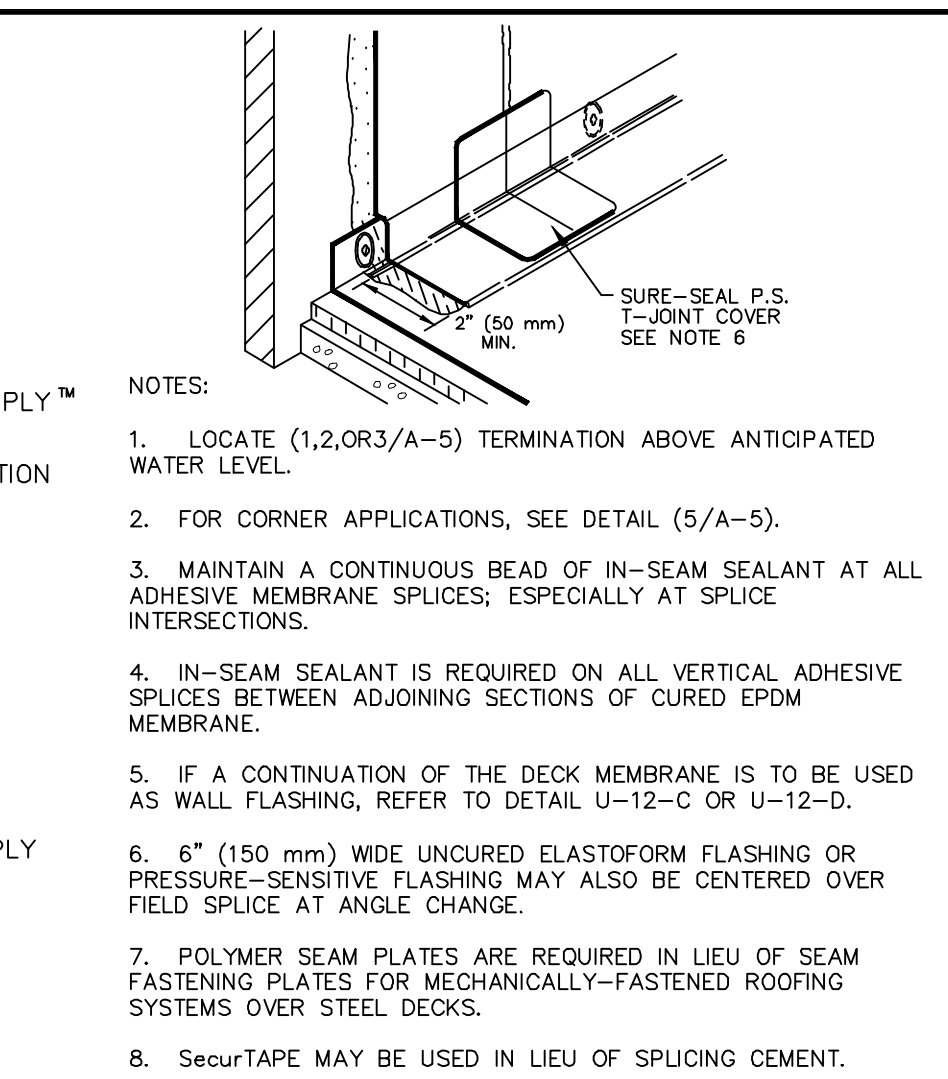
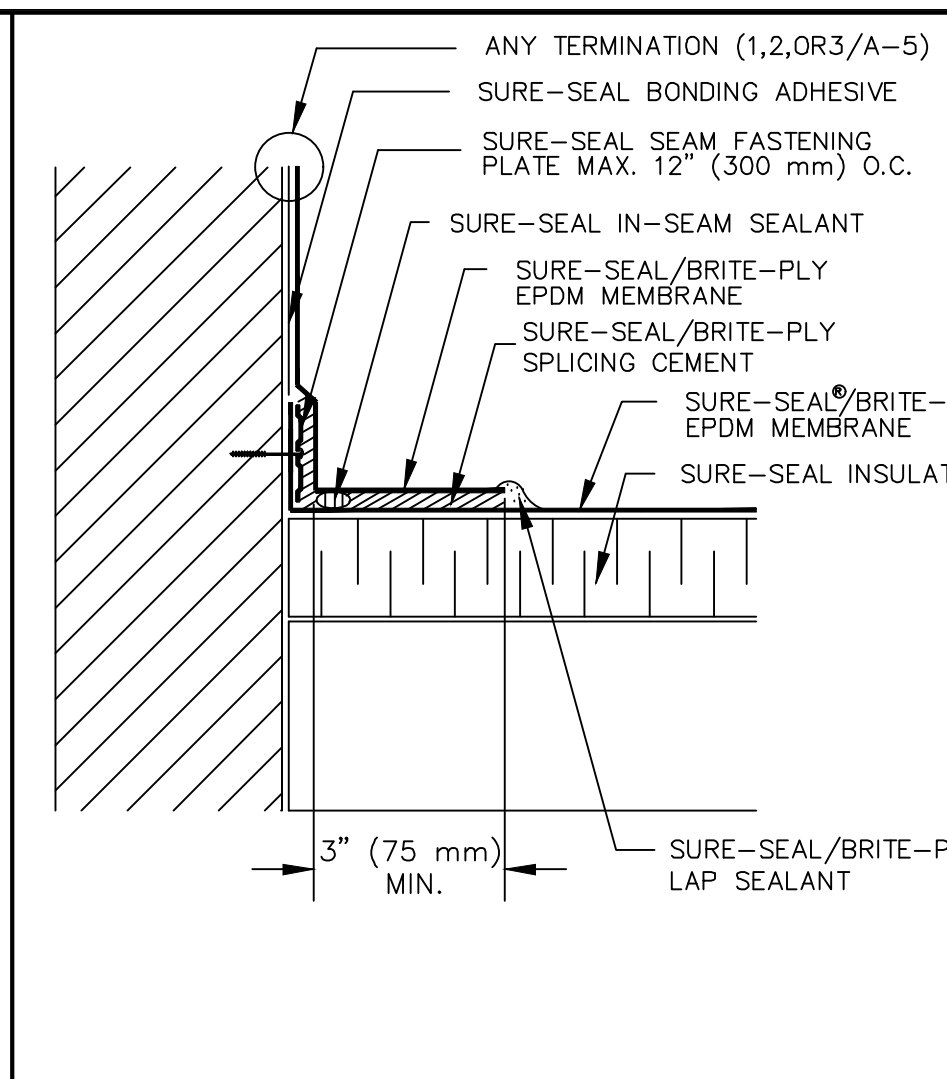
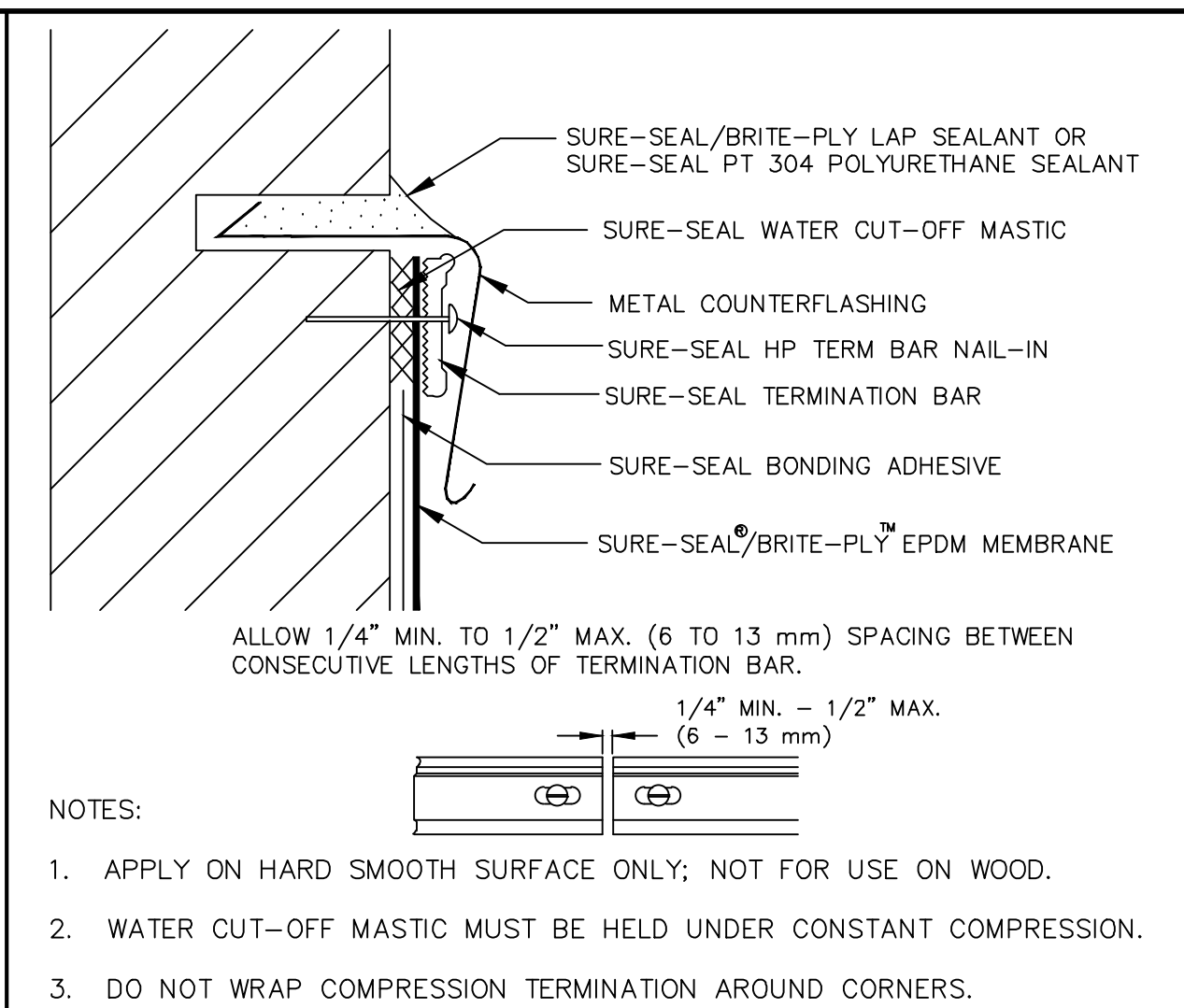
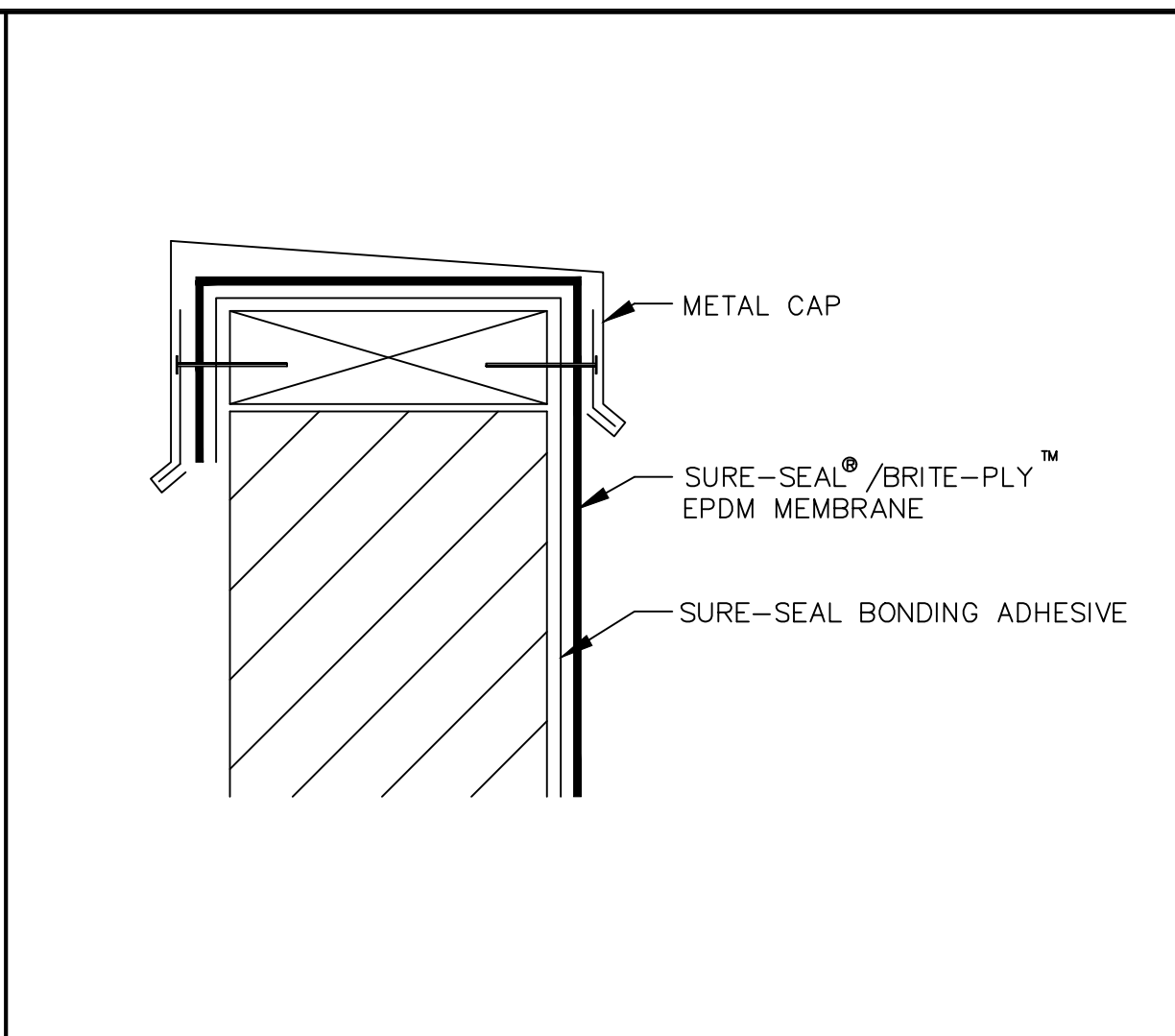
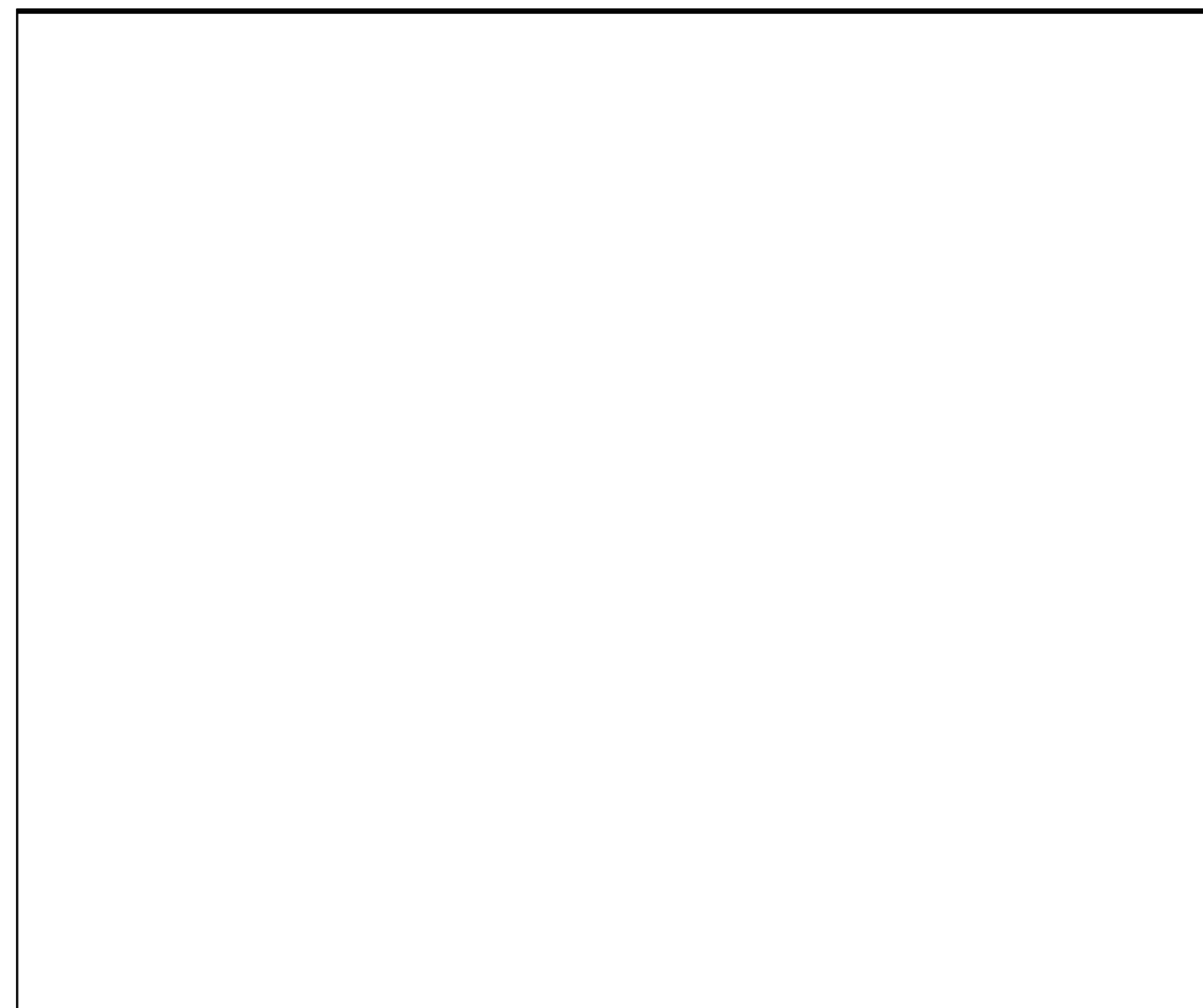
**Choo & Company, Inc.**  
 One Billings Road Quincy, MA 02171  
 617-786-7727 fax 617-786-7715

No.	Description	Date
3	BPDA	01-11-2024

Project No: 2023112  
 Scale: AS NOTED  
 Date: 09-06-2023  
 Drawn By: AMF

**EXTERIOR & INTERIOR PARTITION TYPES**

Sheet No.  
**A-5.00**



Location

**PROPOSED RENOVATION & SEMI-ATTACHED ADDITION**  
**6-8 NEAREN ROW,**  
**CHARLESTOWN, MA 02129**

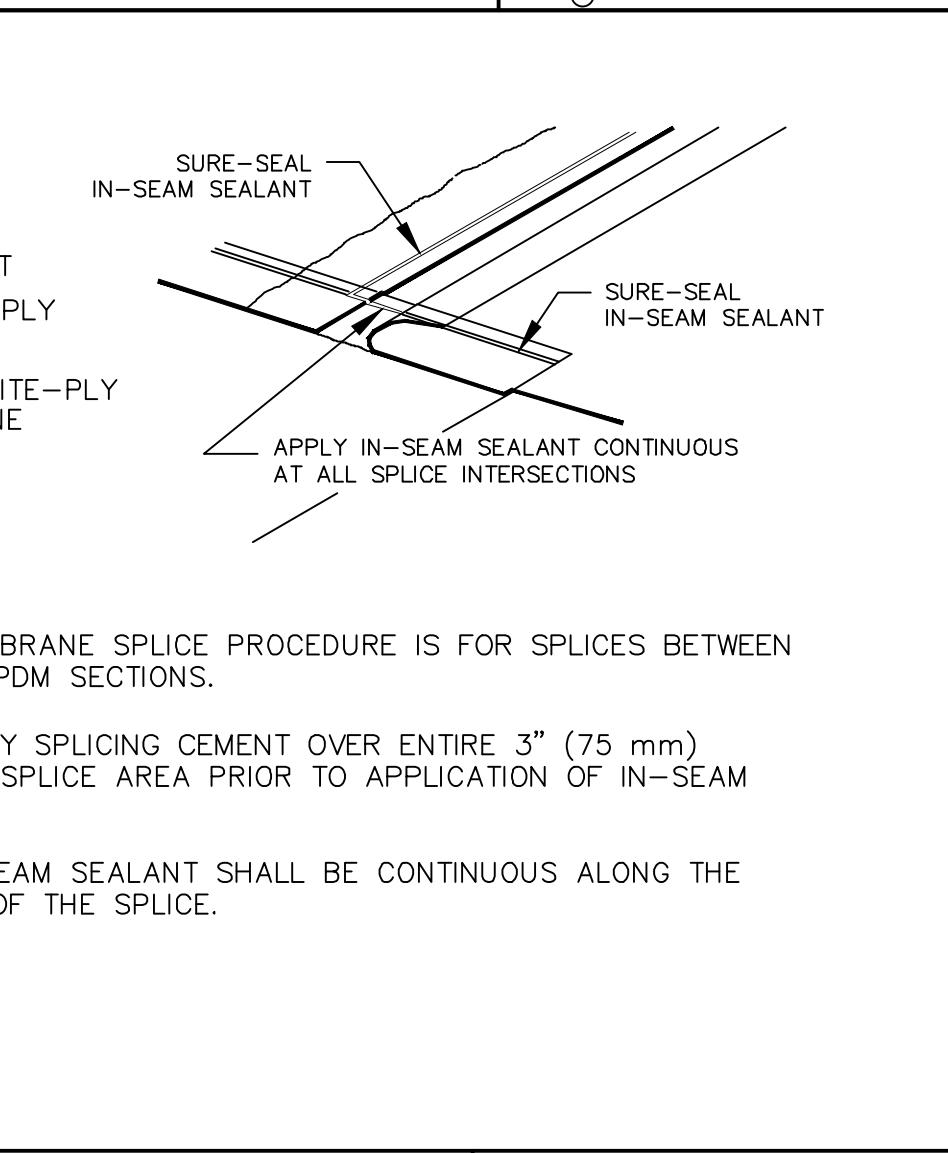
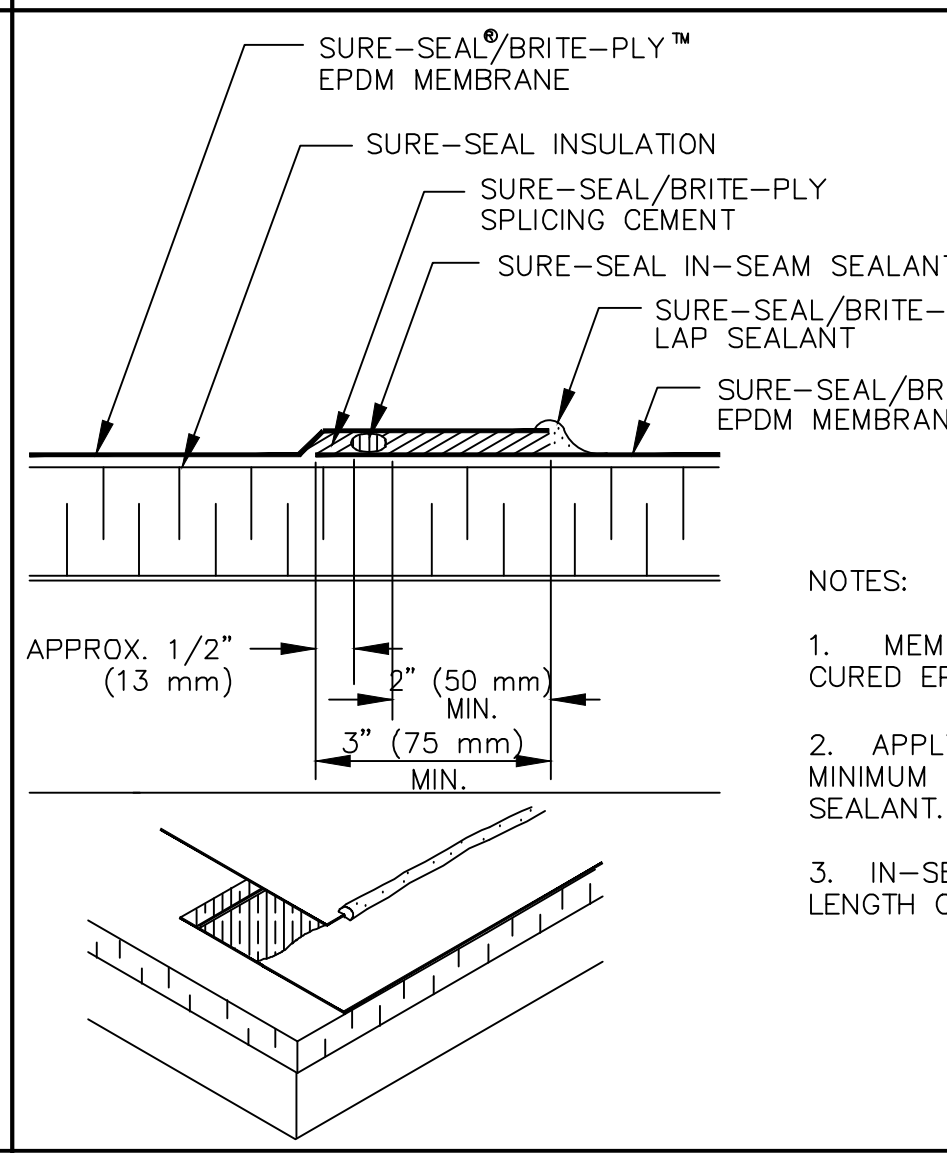
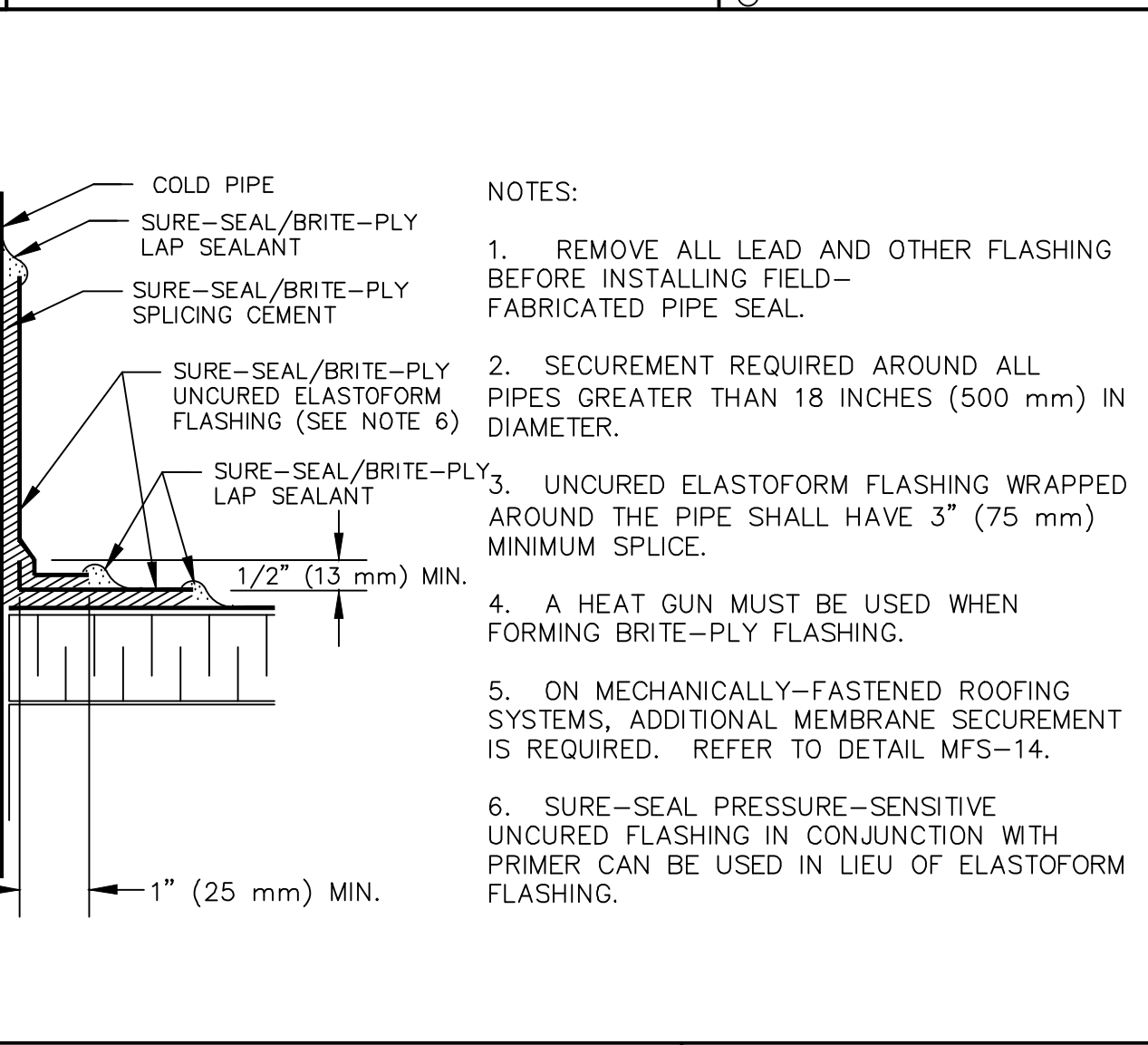
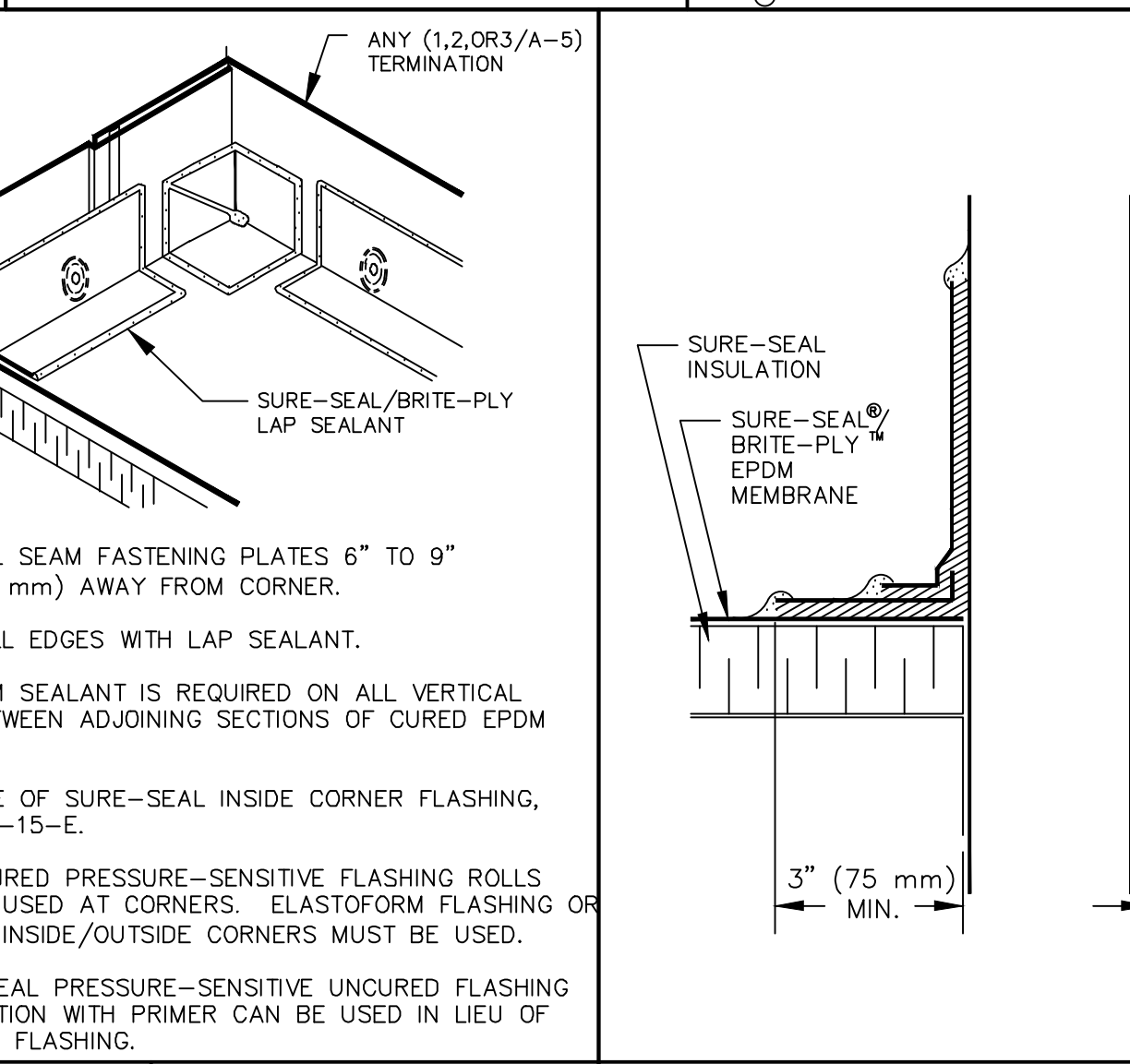
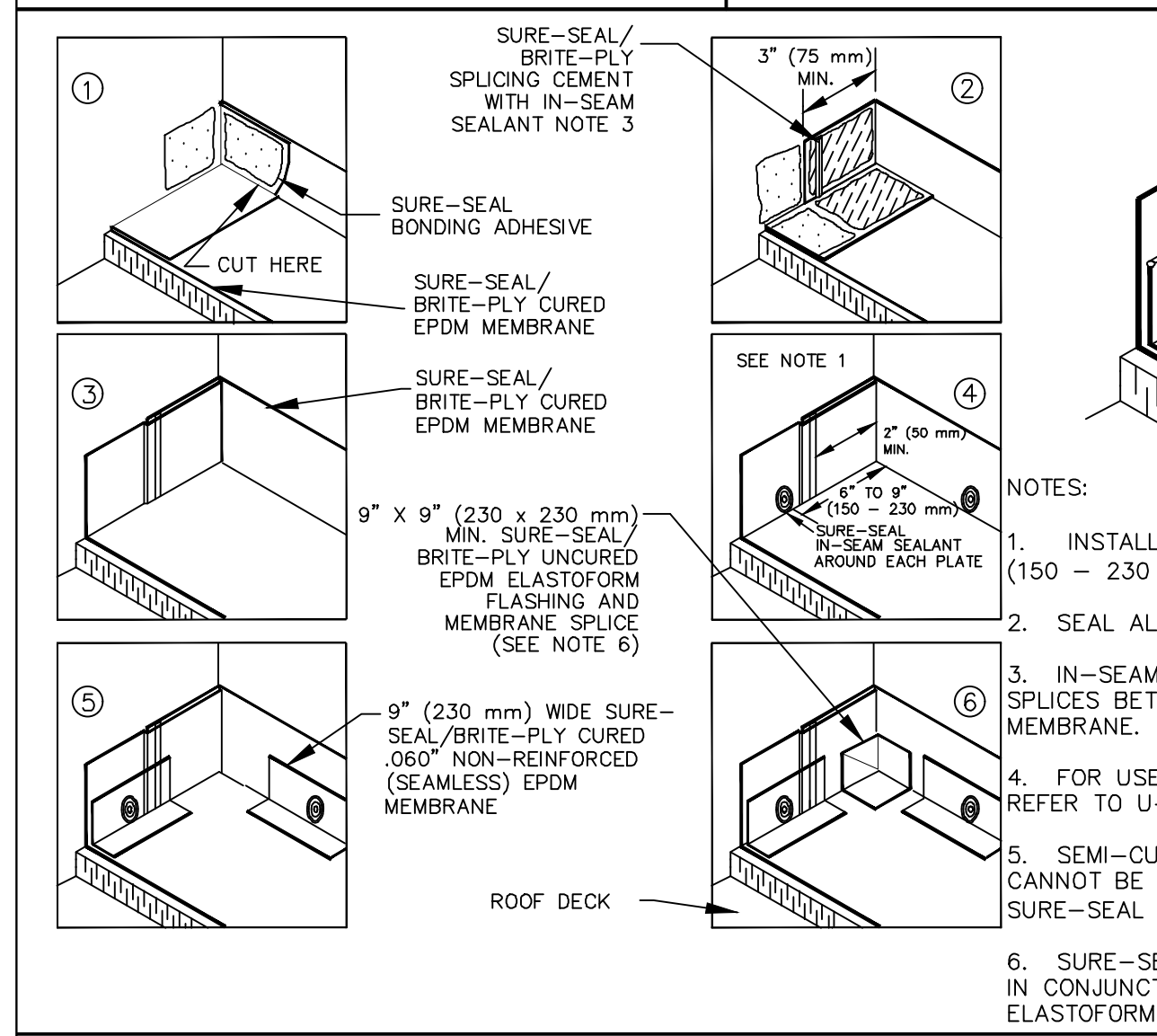
CAP FLASHING TERMINATION

COUNTERFLASHING TERMINATION

PARAPET/CURB CURED EPDM

MEMBRANE SPLICE WITH SPLICING CEMENT

INSIDE CORNER CONTINUOUS EPDM WALL FLASHING



Choo & Company, Inc.  
 One Billings Road Quincy, MA 02171  
 617-786-7727 fax 617-786-7715

No.	Description	Date
3	BPDA	01-11-2024

Project No: 2023112  
 Scale: AS NOTED  
 Date: 09-06-2023  
 Drawn By: AMF  
 Drawing Name

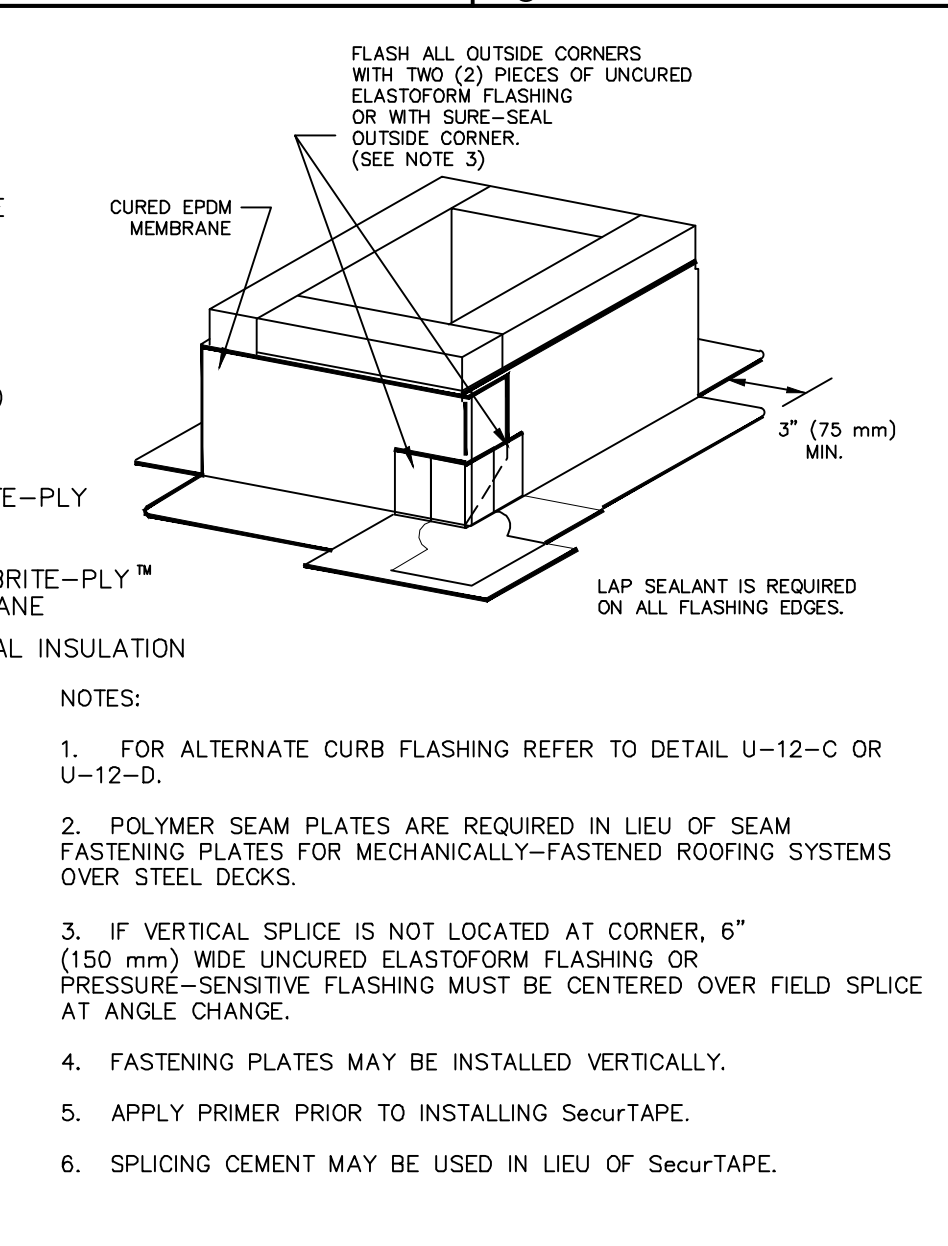
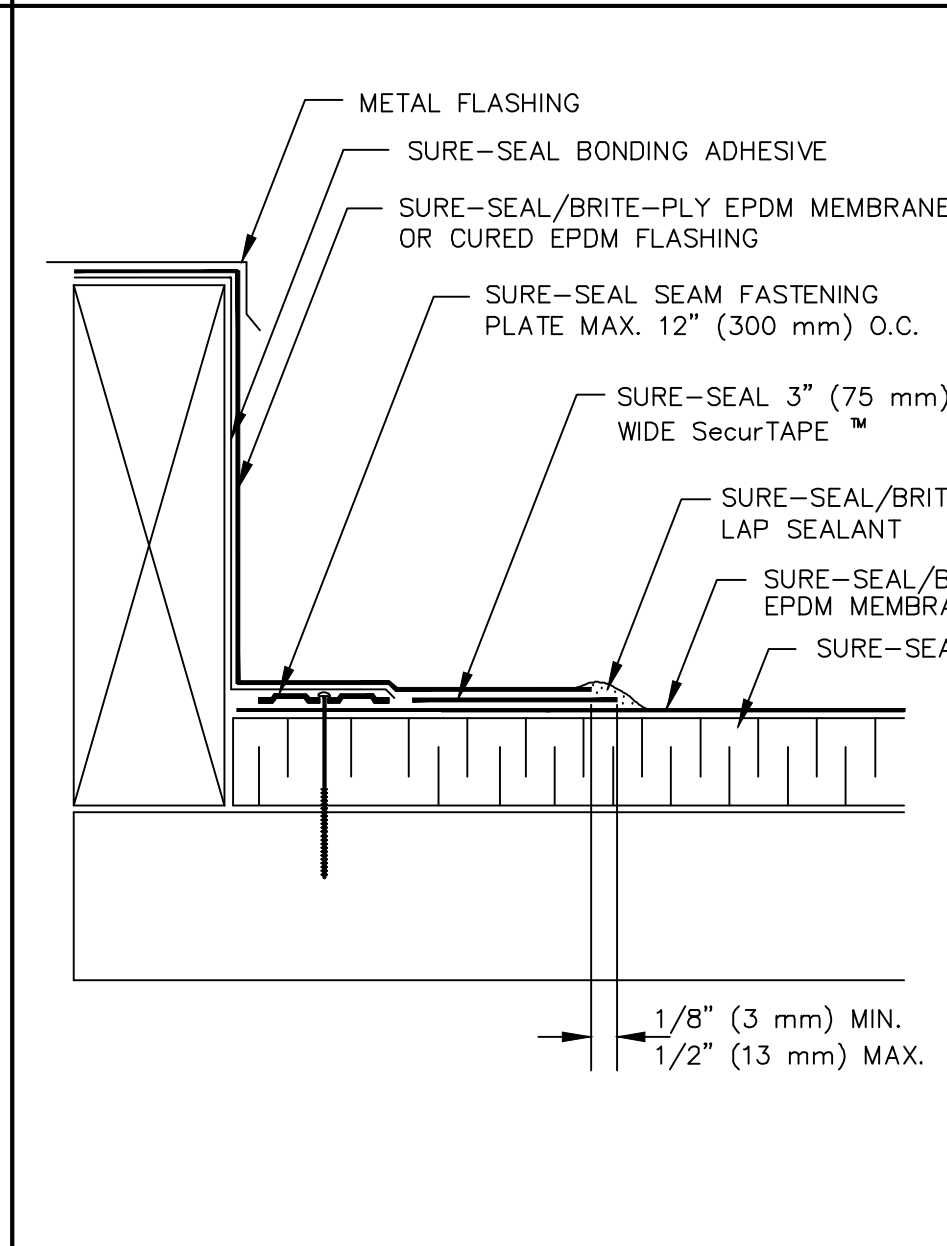
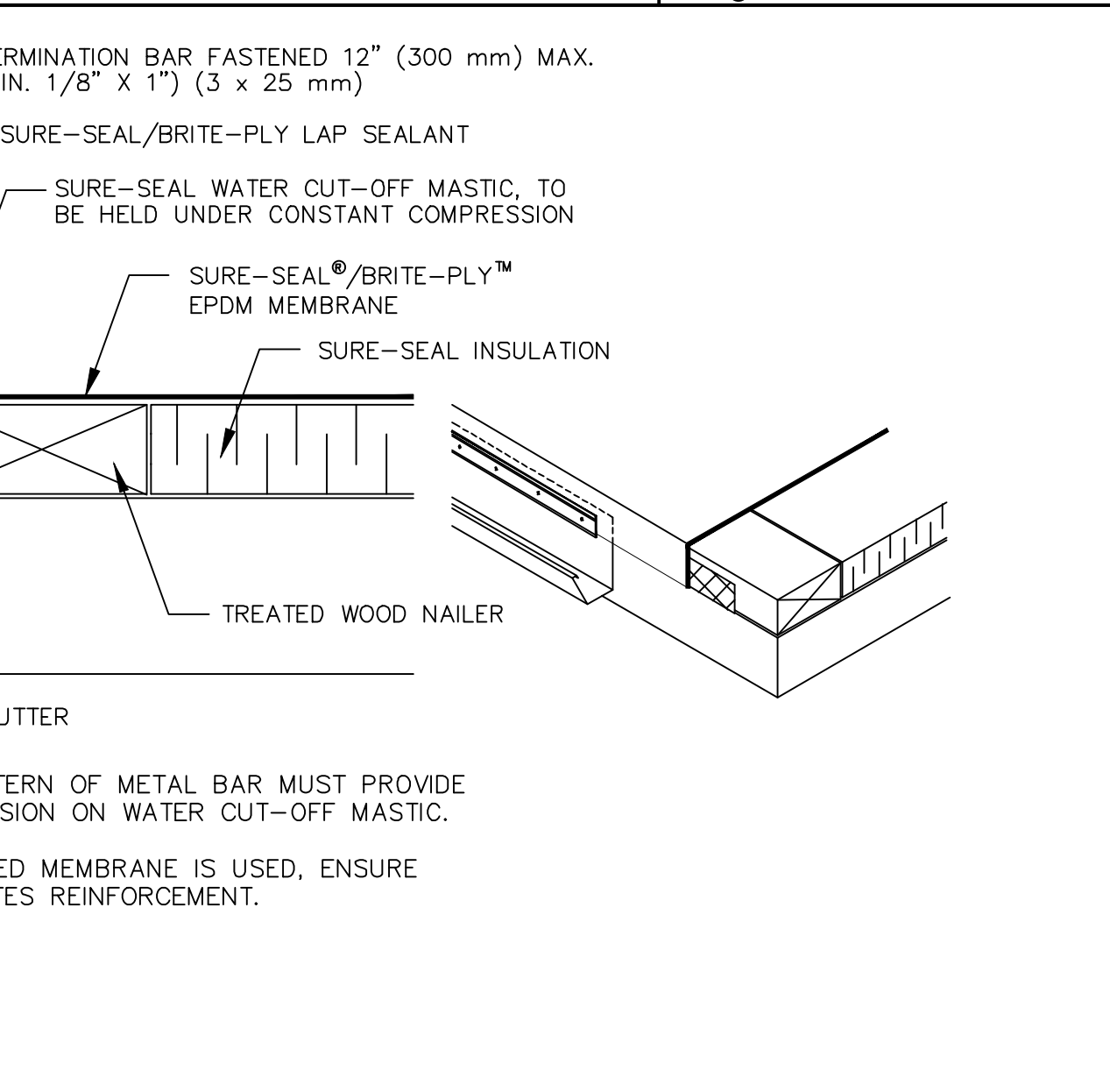
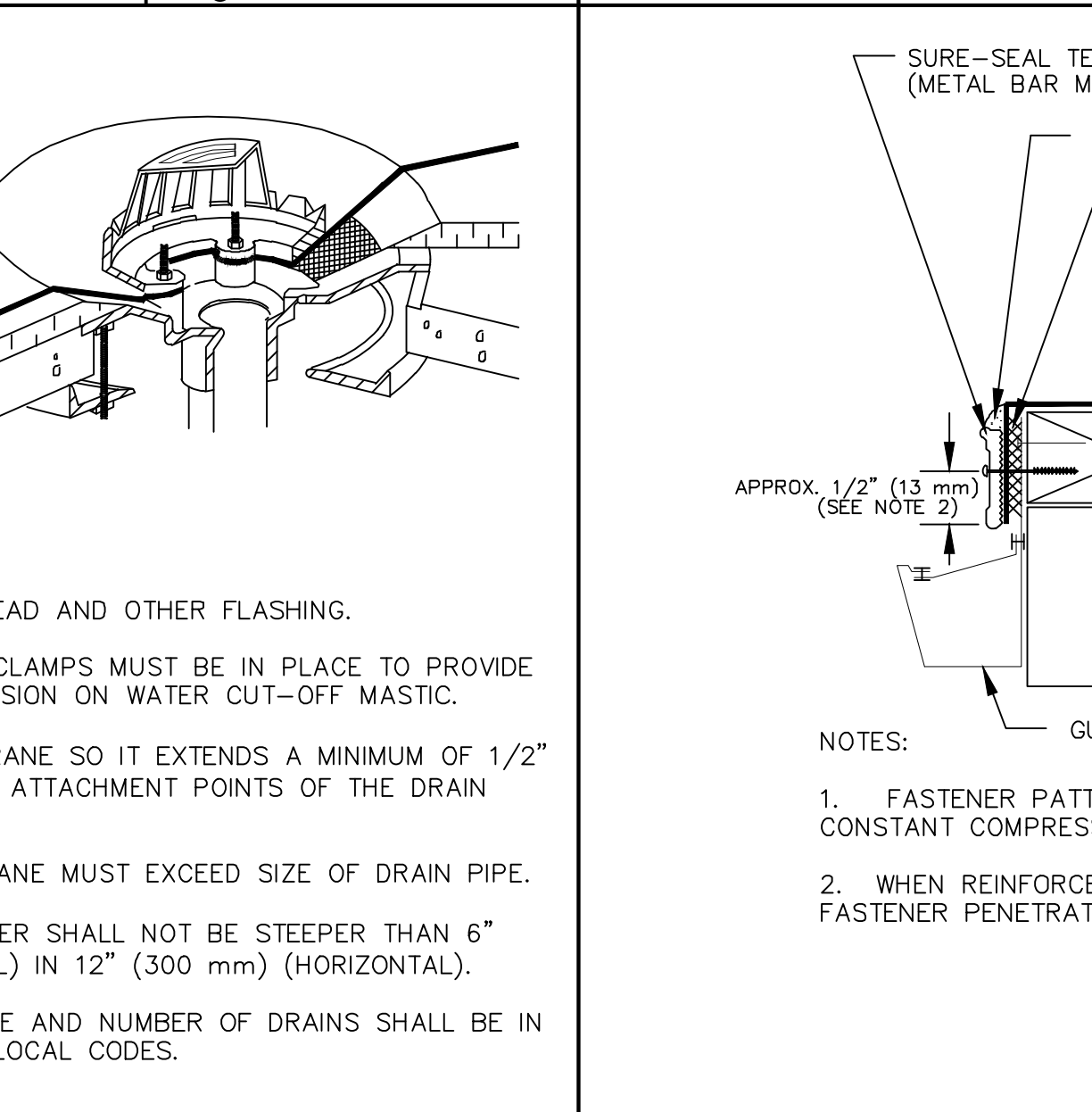
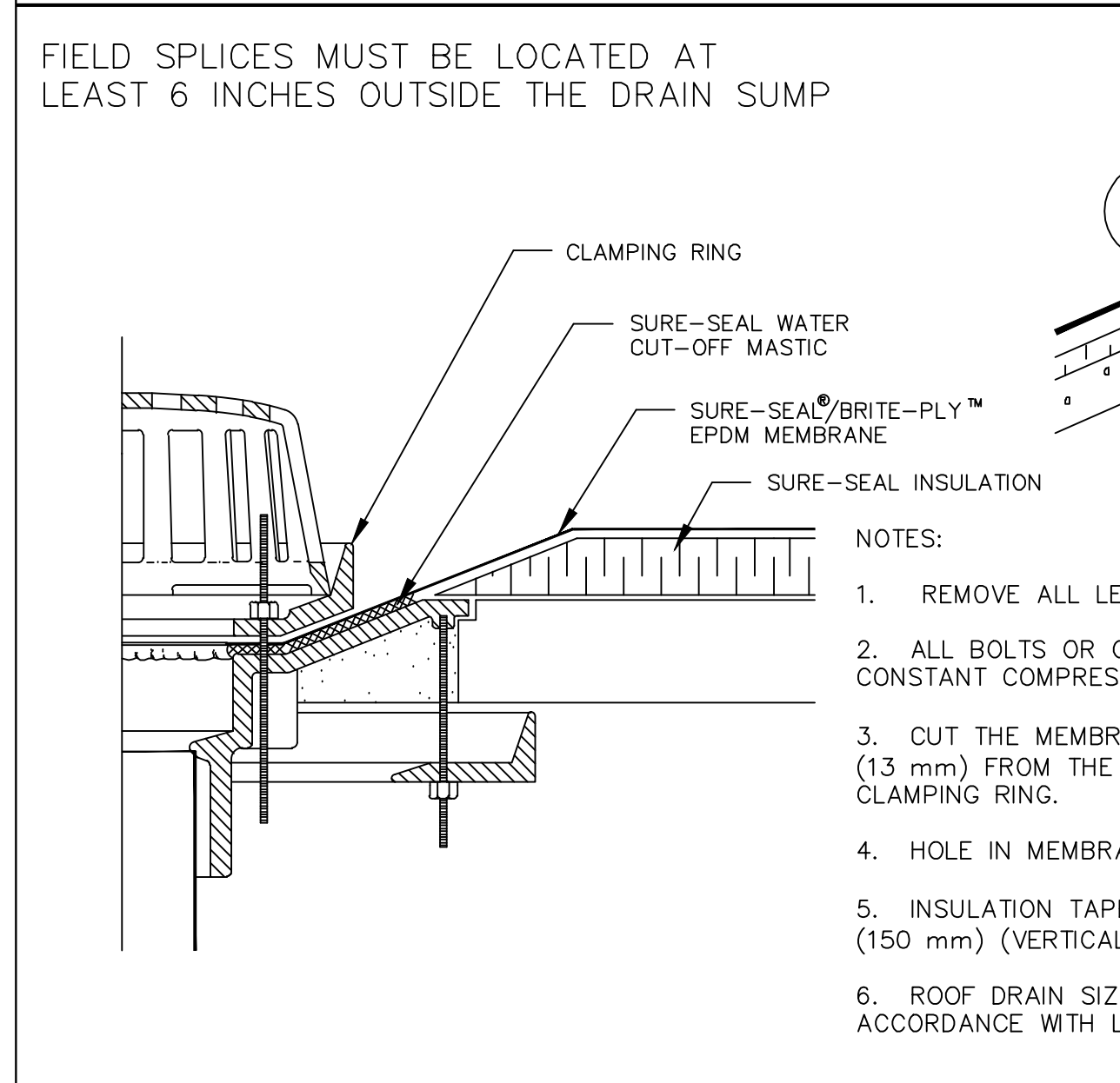
FIELD FABRICATED PIPE SEAL

MEMBRANE SPLICE WITH SPLICING CEMENT

INSIDE CORNER CONTINUOUS EPDM WALL FLASHING

FIELD SPLICES MUST BE LOCATED AT LEAST 6 INCHES OUTSIDE THE DRAIN SUMP

METAL BAR TERMINATION



**ROOF DETAILS**

Sheet No.

ROOF DRAIN

METAL BAR TERMINATION

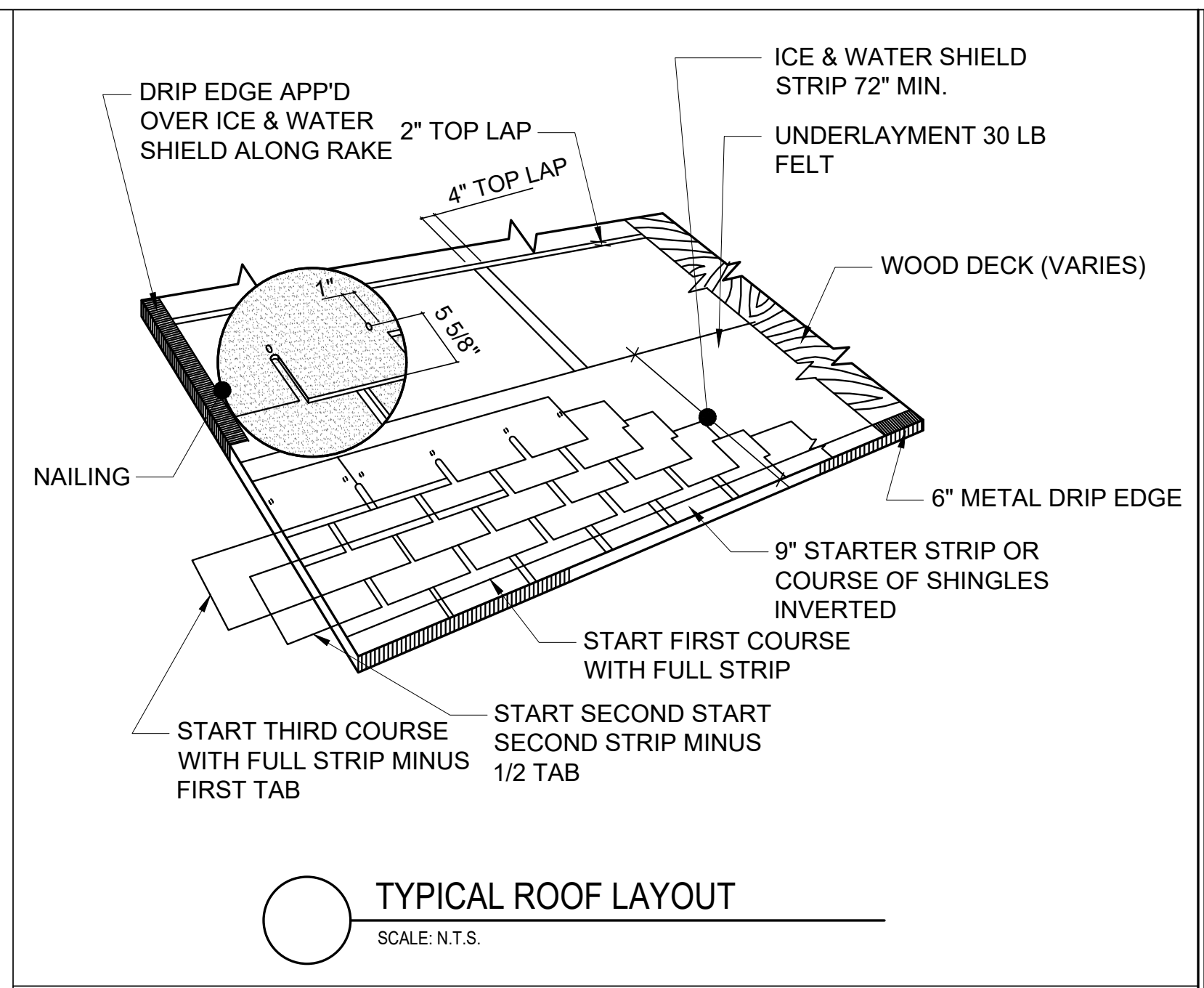
CURB FLASHING

FIELD SPLICES MUST BE LOCATED AT LEAST 6 INCHES OUTSIDE THE DRAIN SUMP

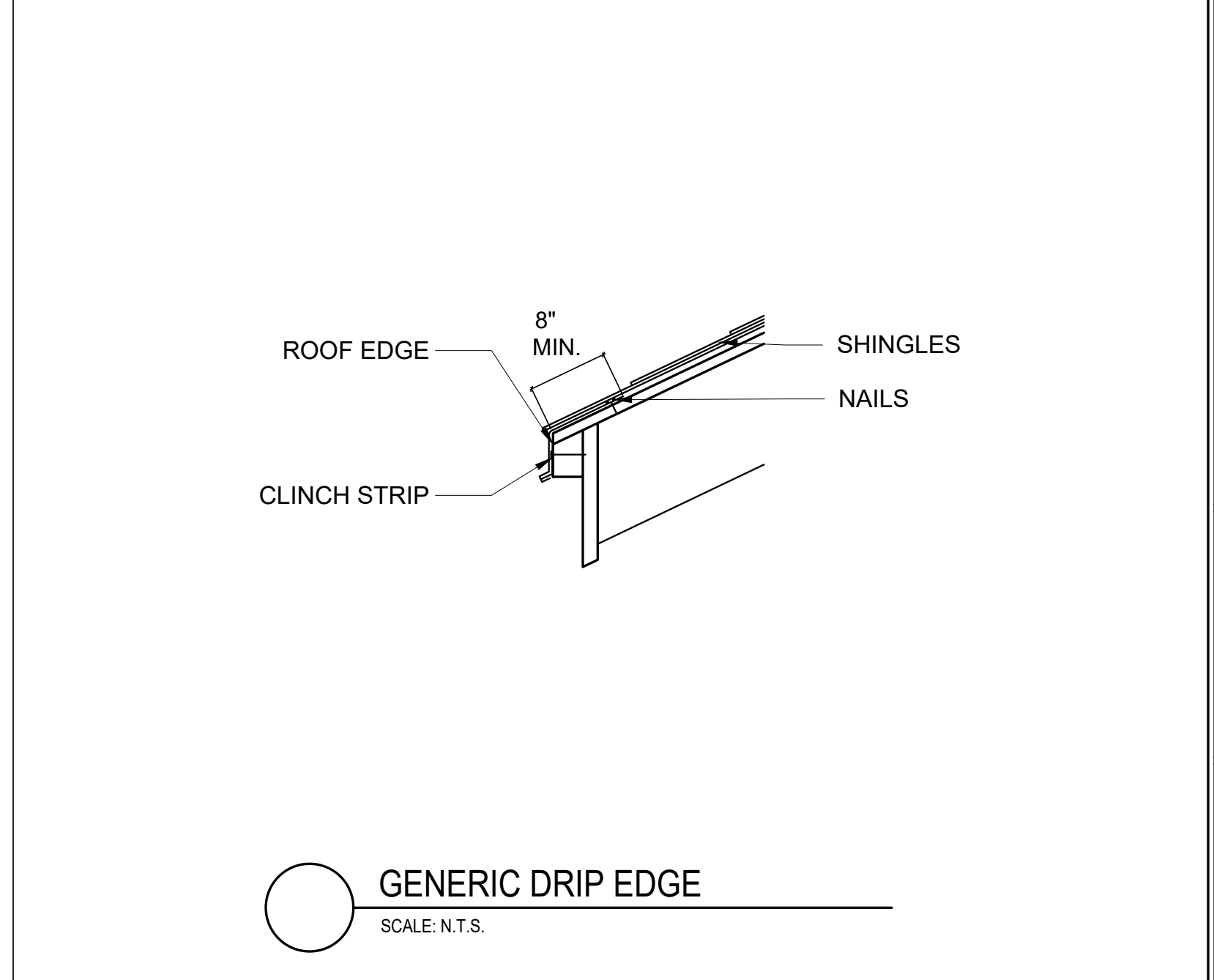
METAL BAR TERMINATION

**A-5.13**

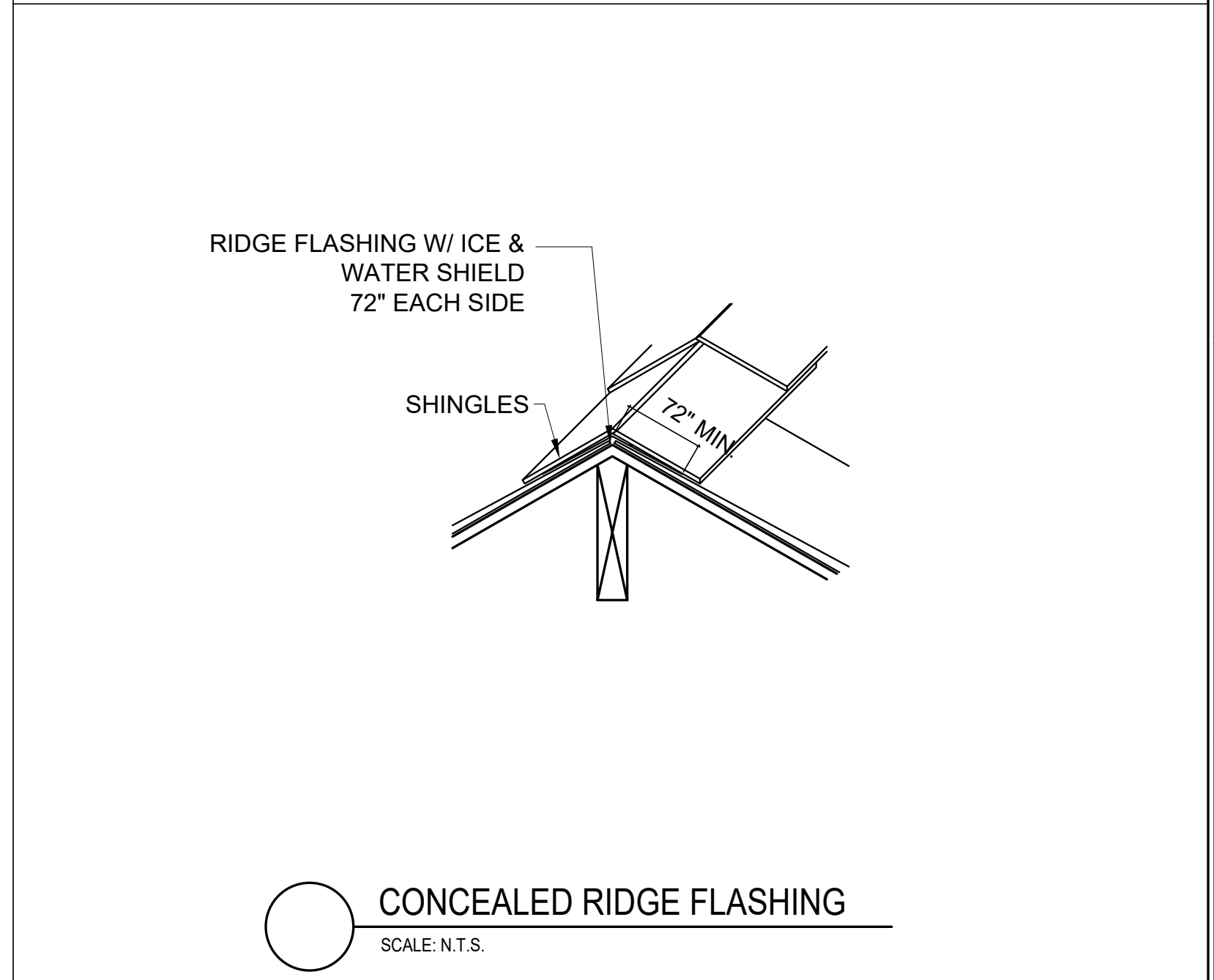




**TYPICAL ROOF LAYOUT**  
SCALE: N.T.S.



**GENERIC DRIP EDGE**  
SCALE: N.T.S.



**CONCEALED RIDGE FLASHING**  
SCALE: N.T.S.

Location  
**PROPOSED RENOVATION & SEMI-ATTACHED ADDITION  
6-8 NEAREN ROW,  
CHARLESTOWN, MA 02129**

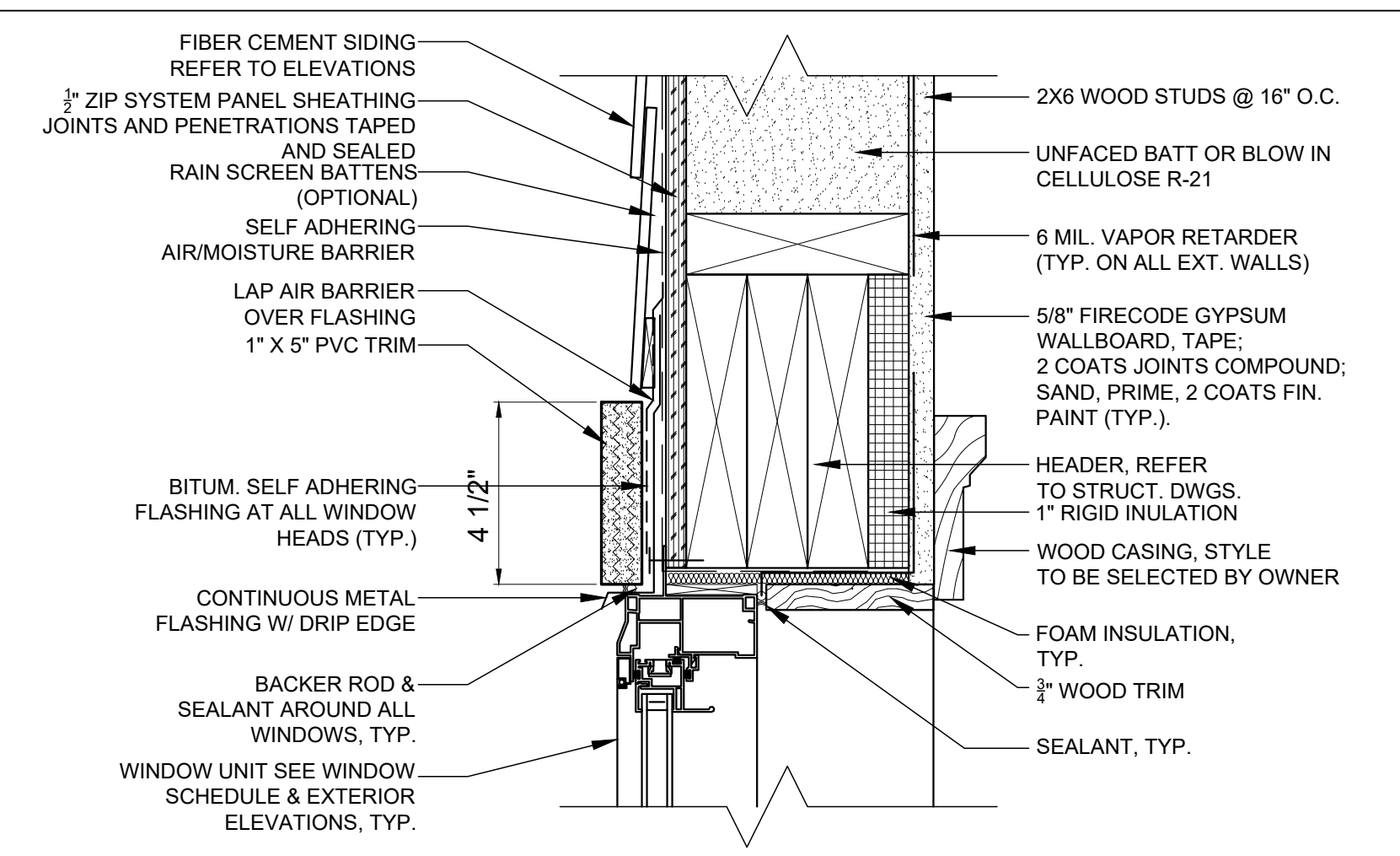
**Choo & Company, Inc.**  
One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

No.	Description	Date
3	BPDA	01-11-2024

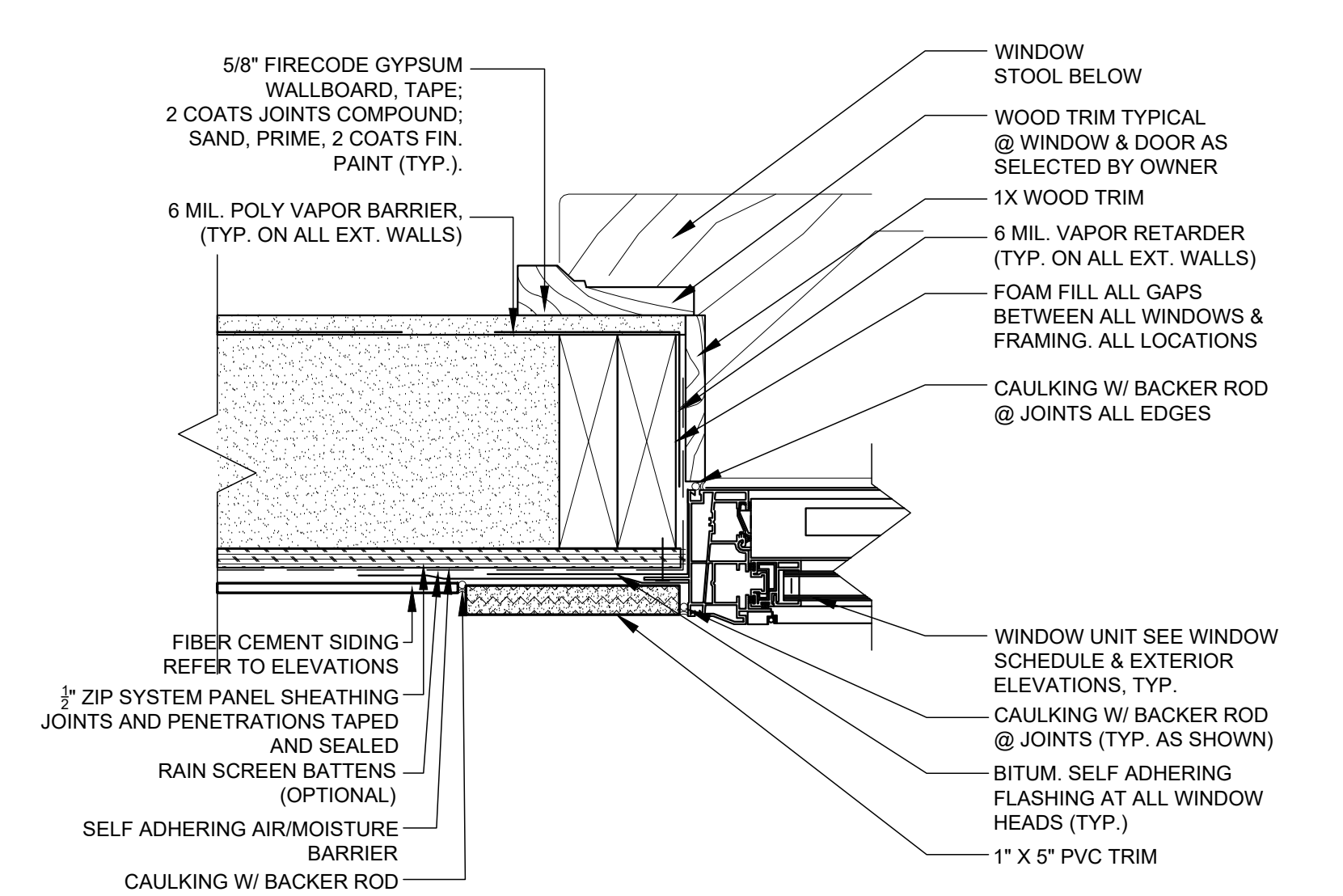
Project No: 2023112  
Scale: AS NOTED  
Date: 09-06-2023  
Drawn By: AMF

Drawing Name  
**ROOF DETAILS**

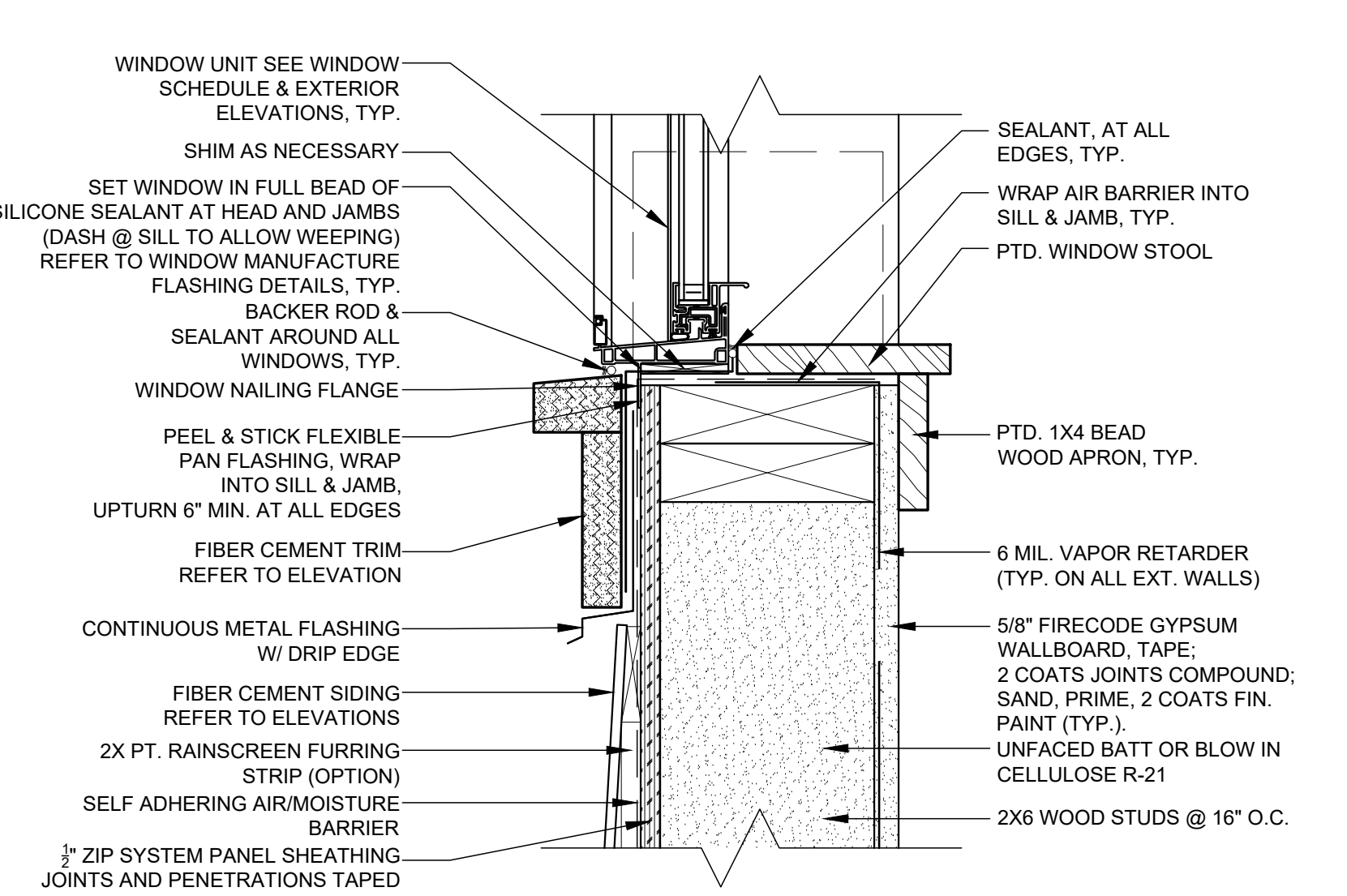
Sheet No.  
**A-5.14**



**3 WINDOW HEAD DETAIL**  
3" = 1'-0"



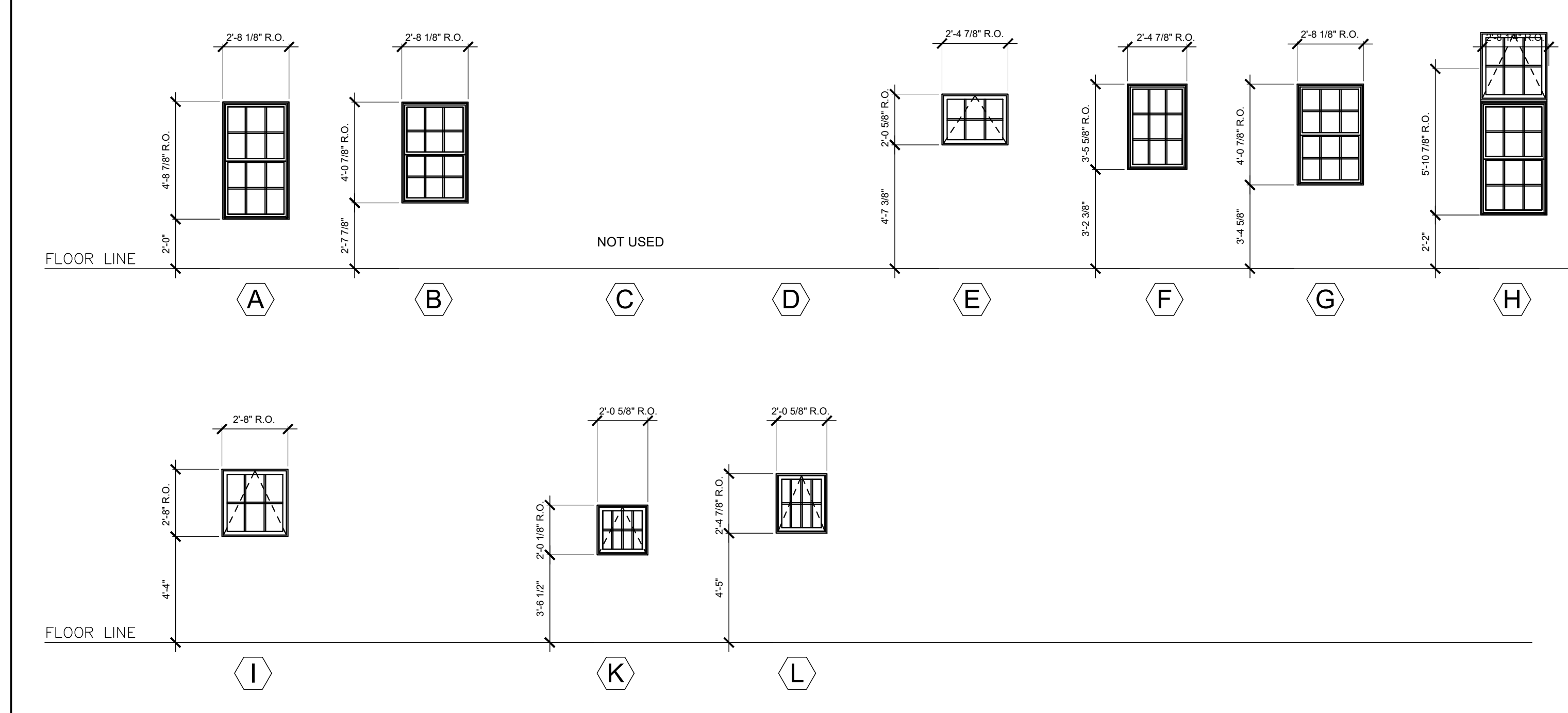
**2 WINDOW JAMB DETAIL**  
3" = 1'-0"



**1 WINDOW SILL DETAIL**  
3" = 1'-0"

WINDOW SCHEDULE						
NOTE: G.C. IS RESPONSIBLE TO VERIFY ALL DIMENSIONS AND UNIT QUANTITIES PRIOR TO ORDERING						
NO.	MANUFACTURER	MODEL	QUAN.	WINDOW DIM.	MATERIAL	REMARKS
A	ANDERSON 400 SERIES	TW2646	27	RO 2'-8 1/8" x 4'-8 7/8"	WOOD / FIBERGLASS	DOUBLE-HUNG, PRIMED INTERIOR, SIMULATED DIVIDED LITES, 6 OVER 6 LITES
A*	ANDERSON 400 SERIES	TW2646	2	RO 2'-8 1/8" x 4'-8 7/8"	WOOD / FIBERGLASS	DOUBLE-HUNG, TEMPERED GLASS, PRIMED INTERIOR, SIMULATED DIVIDED LITES, 6 OVER 6 LITES
B	ANDERSON 400 SERIES	TW26310	3	RO 2'-8 1/8" x 4'-0 7/8"	WOOD / FIBERGLASS	DOUBLE-HUNG, PRIMED INTERIOR, SIMULATED DIVIDED LITES, 6 OVER 6 LITES
*B	ANDERSON 400 SERIES	TW26310	4	RO 2'-8 1/8" x 4'-0 7/8"	WOOD / FIBERGLASS	DOUBLE-HUNG, TEMPERED GLASS, PRIMED INTERIOR, SIMULATED DIVIDED LITES, 6 OVER 6 LITES
E	ANDERSON 400 SERIES	A251	2	RO 2'-4 1/2" x 2'-0 1/2"	WOOD / FIBERGLASS	AWNING, PRIMED INTERIOR, 6 LITES
F	ANDERSON 400 SERIES	CW135	2	RO 2'-4 1/2" x 3'-5 1/2"	WOOD / FIBERGLASS	CASEMENT, PRIMED INTERIOR, SIMULATED DIVIDED LITES, 9 LITES, L & R SWING
G	ANDERSON 400 SERIES	AXW281	3	RO 2'-8" x 3'-0 1/2"	WOOD / FIBERGLASS	AWNING, PRIMED INTERIOR, SIMULATED DIVIDED LITES, 6 OVER 6 LITES
H	ANDERSON 400 SERIES	TW2642 + AW281	10	RO 2'-8 1/8" x 7'-1 7/8"	WOOD / FIBERGLASS	FACTORY MULLED DOUBLE-HUNG W/ AWNING TRANSOM, PRIMED INTERIOR, SIMULATED DIVIDED LITES, 6 OVER 6 LITES & 6 LITES
I	ANDERSON 400 SERIES	AX281	2	RO 2'-8" x 2'-8"	WOOD / FIBERGLASS	AWNING, PRIMED INTERIOR, SIMULATED DIVIDED LITES, 6 LITES
K	ANDERSON 400 SERIES	A21	1	RO 2'-0 5/8" x 2'-0 1/8"	WOOD / FIBERGLASS	AWNING, PRIMED INTERIOR.
L	ANDERSON 400 SERIES	AW21	2	RO 2'-0 5/8" x 2'-4 7/8"	WOOD / FIBERGLASS	AWNING, PRIMED INTERIOR.

(\* ) INDICATES TEMPERED GLASS



- WINDOW NOTES:**
- G.C. IS RESPONSIBLE TO VERIFY ALL DIMENSIONS AND UNIT QUANTITIES PRIOR TO ORDERING
  - GLAZING TO BE LOW-E TYPE
  - ALL WINDOWS TO INCLUDE INSECT SCREENING PER MANUFACTURER
  - DIMENSIONS SHOWN ARE BASED ROUGH OPENINGS.
  - PROVIDE WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH ASTM F2090 ON ALL OPERABLE WINDOW WITH SILLS LESS THEN 36" A.F.F.
  - BLACK EXTERIOR COLOR, INTERIOR WINDOW COLOR AND HARDWARE FINISH TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED.

Location

**PROPOSED RENOVATION & SEMI-ATTACHED ADDITION**  
**6-8 NEAREN ROW,**  
**CHARLESTOWN, MA 02129**

**Choo & Company, Inc.**

One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

No.	Description	Date
1	ISD	10-06-2023
3	BPDA	01-11-2024

Project No: 2023112  
Scale: AS NOTED  
Date: 09-06-2023  
Drawn By: AMF

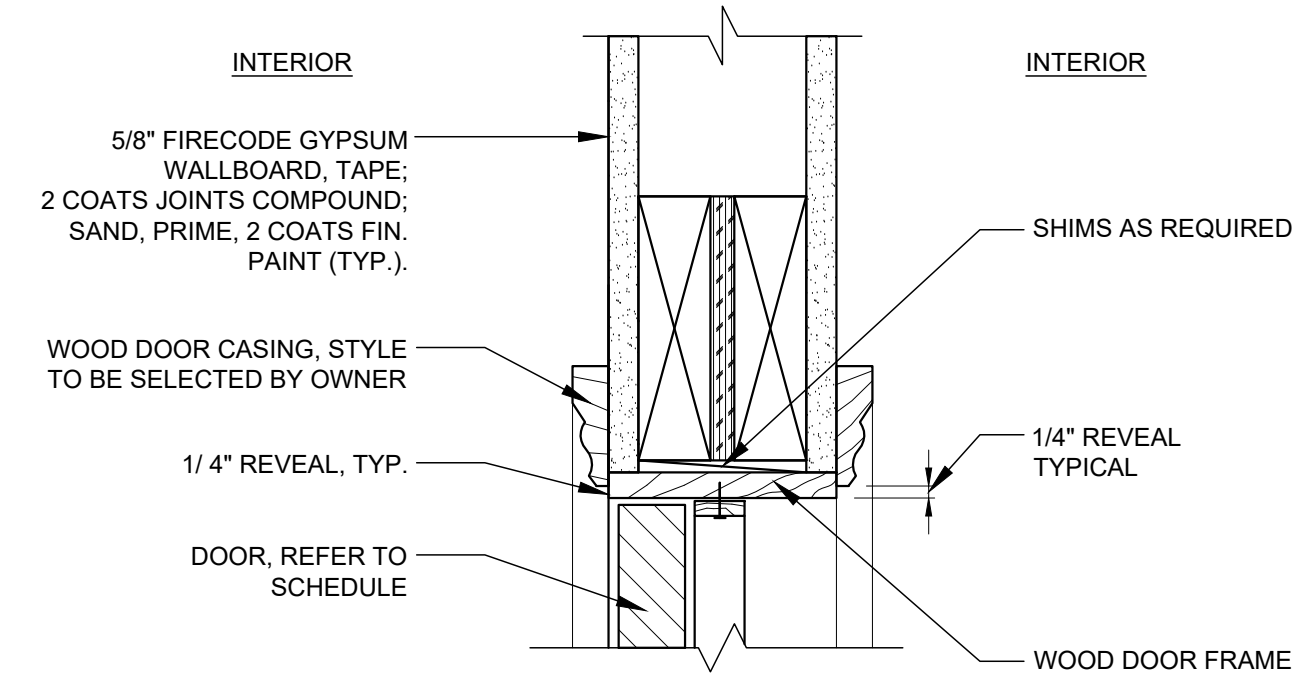
Drawing Name

**WINDOW SCHEDULE AND ELEVATIONS**

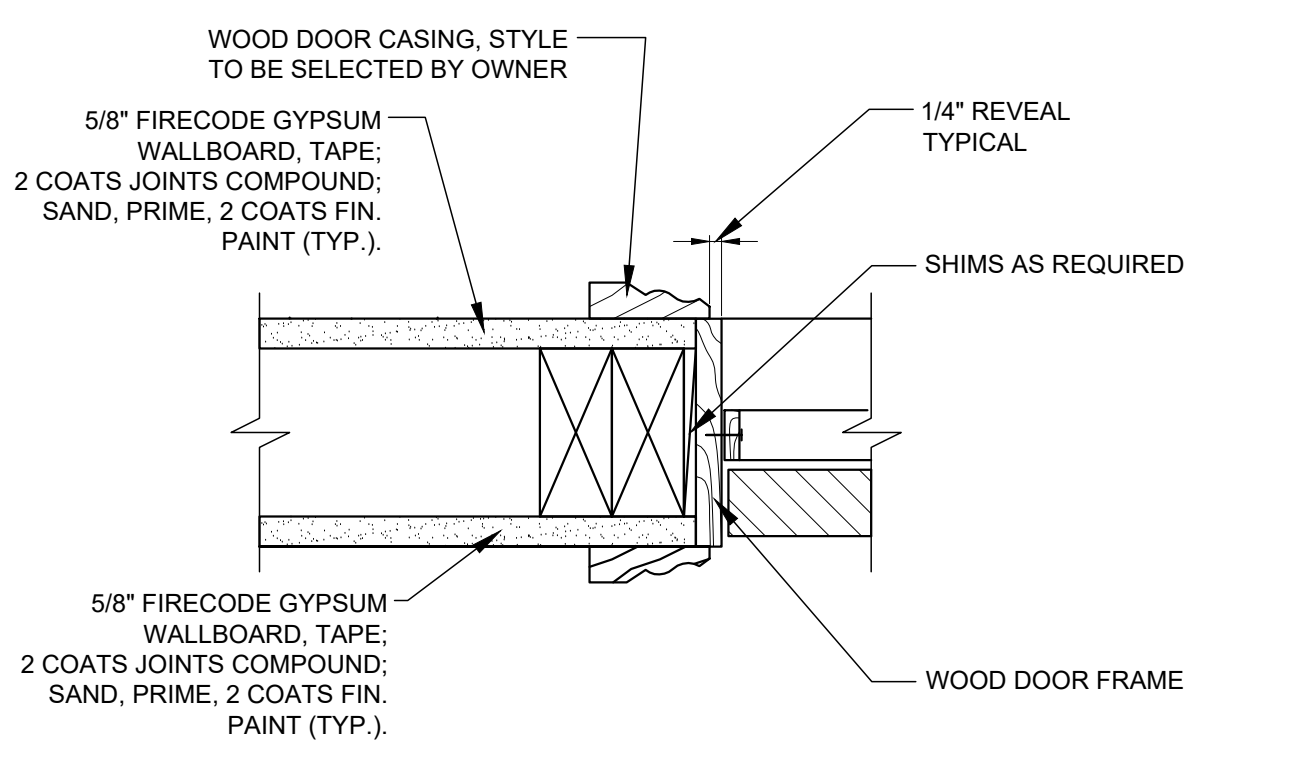
Sheet No.

**A-6.01**

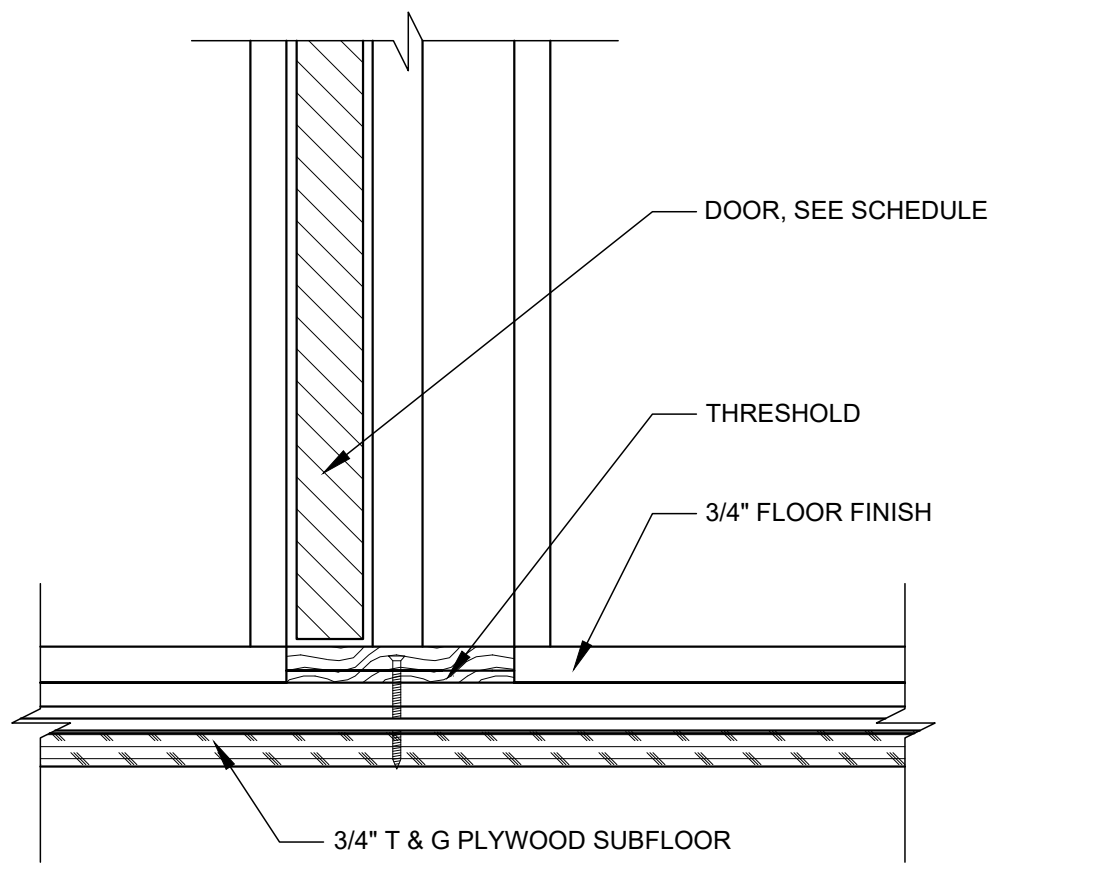




3 INTERIOR WOOD FRAME - DOOR HEAD DETAIL  
3" = 1'-0"



2 INTERIOR WOOD FRAME - DOOR JAMB DETAIL  
3" = 1'-0"



1 INTERIOR WOOD FRAME - DOOR THRESHOLD  
3" = 1'-0"

### DOOR SCHEDULE

\* GC IS RESPONSIBLE FOR VERIFYING SIZES & QUANTITIES IN THE FIELD PRIOR TO ORDERING  
 \* NOTE THIS SCHEDULE IS BASED ON STANDARD SIZES WHEN AVAILABLE.  
 \* NOTE DOOR STYLE, COLOR & HARDWARE FINISH TO BE SELECTED BY OWNER, ALL HARDWARE TO MATCH

NO.	LOCATION	SIZE	TYPE	MATERIAL	RATING	FRAME	# NEEDED	HARDWARE	REMARKS
001	ENTRANCE LOBBY	3'-0" x 7'-0" x 1 3/4"	A	WOOD/GLASS	-	WM1	-	ENTRY SET	EXTERIOR DOOR, INSULATED, TEMPERED GLASS
002	GARAGE PARKING	3'-0" x 6'-8" x 1 3/4"	D	HM/GLASS	-	HM1	-	ENTRY SET	EXTERIOR DOOR, TEMPERED GLASS
003	UTILITY	2'-8" x 6'-8" x 1 3/4"	B	COMP. OR WOOD	-	WM1	-	STORE ROOM	PANEL DOOR, INSULATED
004	CLOSET	2'-6" x 6'-8" x 1 3/8"	B	COMP. OR WOOD	-	WM1	-	STORE ROOM	PANEL DOOR,
005	MUD ROOM	(2) 2'-6" x 6'-8" x 1 3/4"	E	HM/GLASS	-	HM2	-	ENTRANCE	EXTERIOR DOOR, INSULATED, TEMPERED GLASS
006	GARAGE DOOR	7'-0" x 8'-0"	F	WOOD/GLASS	-	WOOD	-	GARAGE	STYLE/HARDWARE SELECTED BY OWNER

#### FIRST FLOOR

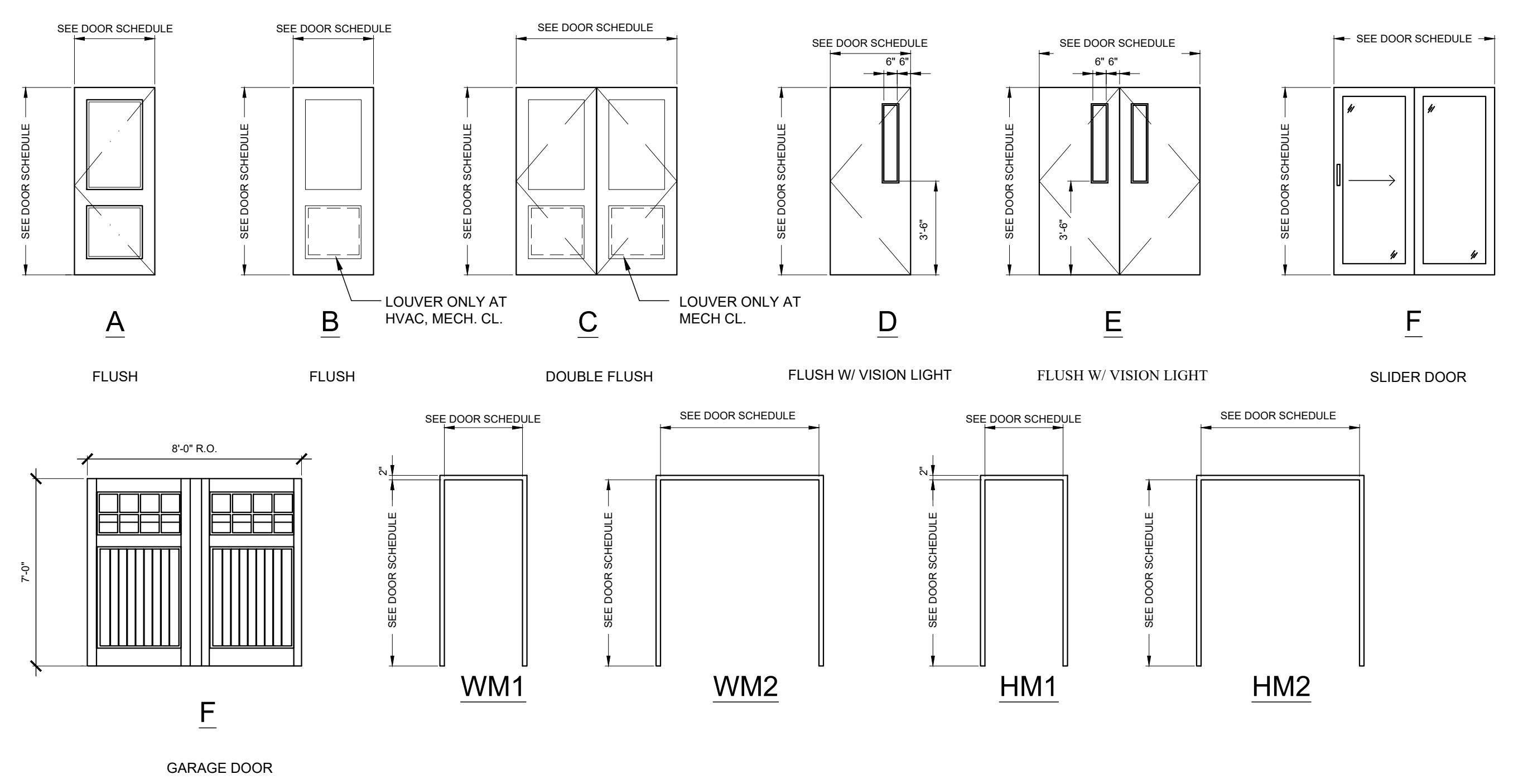
101	ENTRANCE LOBBY	3'-0" x 7'-0" x 1 3/4"	A	WOOD/GLASS	-	WM1	-	ENTRY SET	EXTERIOR DOOR, INSULATED, TEMPERED GLASS
102	UNIT ENTRY	3'-0" x 7'-0" x 1 3/4"	A	WOOD/GLASS	-	WM1	-	ENTRY SET	EXTERIOR DOOR, INSULATED, TEMPERED GLASS

#### TYPICAL UNIT DOOR

1	VESTIBULE	3'-0" x 7'-0" x 1 3/4"	A	COMP. OR WOOD	-	HM1	-	ENTRANCE SET	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
2	BATHROOM	2'-4" x 6'-8" x 1 3/8"	A	COMP. OR WOOD	-	WM1	-	PRIVACY	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
3	BEDROOM	2'-6" x 6'-8" x 1 3/8"	A	COMP. OR WOOD	-	WM1	-	PRIVACY	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
4	CLOSET	2'-6" x 6'-8" x 1 3/8"	A	COMP. OR WOOD	-	WM1	-	PASSAGE	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
5	W/D	2'-6" x 6'-8" x 1 3/8"	B	COMP. OR WOOD	-	WM1	-	PASSAGE	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
6	W/D	(2) 2'-6" x 6'-8" x 1 3/8"	C	COMP. OR WOOD	-	WM2	-	PASSAGE	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
7	DECK	5'-0" x 7'-0" x 1 3/4"	F	COMP. OR WOOD	-	WM2	-	ENTRANCE SET	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
8	CLOSET	(2) 2'-0" x 6'-8" x 1 3/8"	C	COMP. OR WOOD	-	WM2	-	SINGLE DUMMY	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
9	BATHROOM	2'-4" x 6'-8" x 1 3/8"	A	COMP. OR WOOD	-	WM1	-	POCKET DOOR	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
10	CLOSET	1'-8" x 6'-8" x 1 3/8"	A	COMP. OR WOOD	-	WM1	-	SINGLE DUMMY	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER

#### DOOR NOTES:

1. PROVIDED DRIP CAP FLASHING OVER HEAD
2. BITUM. SELF ADHERING SHEET OVER HEAD FLASHING TYPICAL



Location  
**PROPOSED RENOVATION & SEMI-ATTACHED ADDITION**  
**6-8 NEAREN ROW,**  
**CHARLESTOWN, MA 02129**

**Choo & Company, Inc.**  
 One Billings Road Quincy, MA 02171  
 617-786-7727 fax 617-786-7715

No.	Description	Date
3	BPDA	01-11-2024

Project No: 2023112  
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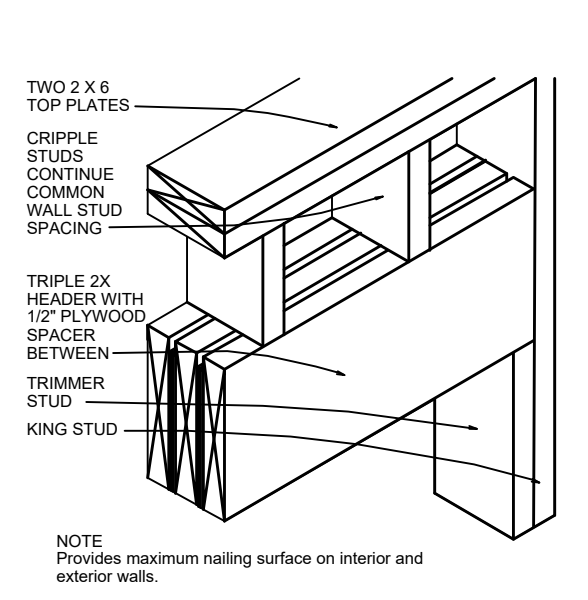
Drawing Name  
**DOOR SCHEDULE AND ELEVATIONS**

Sheet No.  
**A-6.02**

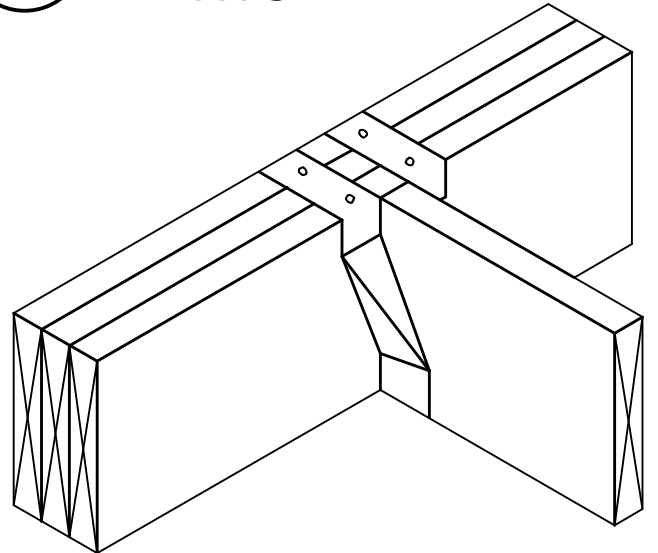
# RECOMMENDED FASTENING SCHEDULE

BUILDING ELEMENT	NAIL SIZE AND TYPE	NUMBER AND LOCATION
STUD TO SOLE PLATE	8D COMMON 16D COMMON	4 TOE-NAIL OR 2 DIRECT-NAIL
STUD TO CAP PLATE	16D COMMON	2 TOE-NAIL OR 2 DIRECT-NAIL
DOUBLE STUDS	10D COMMON	12" O.C. DIRECT
CORNER STUDS	16D COMMON	24" O.C. DIRECT
SOLE PLATE TO JOIST OR BLOCKING	16D COMMON	16" O.C.
DOUBLE CAP PLATE	10D COMMON	16" O.C. DIRECT
CAP PLATE LAPS	10D COMMON	2 DIRECT-NAIL
RIBBON STRIP, 6" OR LESS	10D COMMON	2 EACH DIRECT BEARING
RIBBON STRIP, 6" OR MORE	10D COMMON	3 EACH DIRECT BEARING
ROOF RAFTER TO PLATE	8D COMMON	3 TOE-NAIL
JACK RAFTER TO RIDGE	16D COMMON	2 TOE-NAIL OR DIRECT-NAIL
JACK RAFTER TO HIP	10D COMMON 16D COMMON	3 TOE-NAIL OR 2 DIRECT-NAIL
FLOOR JOISTS TO STUDS (NO CEILING JOISTS)	10D COMMON 10D COMMON	5 DIRECT OR 3 DIRECT
FLOOR JOISTS TO STUDS (WITH CEILING JOISTS)	10D COMMON	2 DIRECT
FLOOR JOISTS TO SILL OR GIRDER	3D COMMON	3 TOE-NAIL
LEDGER STRIP	16D COMMON	3 EACH DIRECT
CEILING JOISTS TO PLATE	16D COMMON	3 TOE-NAIL
CEILING JOISTS (LAPS OVER PARTITION)	10D COMMON	3 DIRECT-NAIL
CEILING JOISTS (PARALLEL TO RAFTER)	10D COMMON	3 DIRECT
COLLAR BEAM	10D COMMON	3 DIRECT
BRIDGING TO JOISTS	8D COMMON	2 EACH DIRECT END
DIAGONAL BRACE (TO STUD AND PLATE)	8D COMMON	2 EACH DIRECT BEARING
TAIL BEAMS TO HEADERS (WHEN NAILING PERMITTED)	20D COMMON	1 EACH END 4 SQ. FT. FLOOR AREA
HEADER BEAMS TO TRIMMERS	20D COMMON	1 EACH END 8 SQ. FT. FLOOR AREA
1" ROOF DECKING (OVER 6" IN WIDTH)	8D COMMON 8D COMMON	2 EACH DIRECT RAFTER 3 EACH DIRECT RAFTER
1" SUBFLOORING (6" OR LESS)	8D COMMON	2 EACH DIRECT JOIST
1" SUBFLOORING (8" OR MORE)	8D COMMON	3 EACH DIRECT JOIST
2" SUBFLOORING	16D COMMON	2 EACH DIRECT JOIST
1" WALL SHEATHING (8" OR LESS IN WIDTH)	8D COMMON	2 EACH DIRECT STUD
1" WALL SHEATHING (OVER 8" IN WIDTH)	8D COMMON	3 EACH DIRECT STUD
PLYWOOD ROOF & WALL SHEATHING (1/2" OR LESS) (5/8" OR GREATER) (5/16", 3/8", OR 1/2") (OVER 6" IN WIDTH)	6D COMMON 8D COMMON 16 GAUGE GALVANIZED WIRE STAPLES, 3/8" MINIMUM CROWN; LENGTH OF 1" PLUS PLYWOOD THICKNESS SAME AS IMMEDIATELY ABOVE	6" O.C. DIRECT EDGES & 12" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 12" O.C. INTERMEDIATE 4" O.C. EDGES & 8" O.C. INTERMEDIATE 2 1/2" O.C. EDGES & 5" O.C. INTERMEDIATE
PLYWOOD SUBFLOORING (1/2") (3/8", 3/4") (1", 1 1/8") (1/2") (3/8")	6D COMMON OR 6D ANNULAR OR SPIRAL THREAD 8D COMMON OR 8D ANNULAR OR SPIRAL THREAD 10D COMMON OR 8D RING SHANK OR 8D ANNULAR OR SPIRAL THREAD 16D GALVANIZED WIRE STAPLES 3/8" MINIMUM CROWN; 1 3/8" LENGTH	6" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 6" O.C. INTERMEDIATE 4" O.C. EDGES & 7" O.C. INTERMEDIATE 2 1/2" O.C. EDGES & 4" O.C. INTERMEDIATE
BUILT-UP GIRDERS AND BEAMS	20D COMMON	32" O.C. DIRECT
CONTINUOUS HEADER TO STUD	8D COMMON	4 TOE-NAIL
CONTINUOUS HEADER, TWO PIECES	16D COMMON	16" O.C. DIRECT
1/2" FIBER BOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL OR 16 GAUGE STAPLE, 1 1/2" LONG WITH MIN. CROWN OF 7/16"	3" O.C. EXTERIOR EDGE 6" O.C. INTERMEDIATE
25/32" FIBER BOARD SHEATHING	1 3/4" GALVANIZED ROOFING NAIL OR 8D COMMON NAIL OR 16 GAUGE STAPLE, 1 1/2" LONG WITH MIN. CROWN OF 7/16"	3" O.C. EXTERIOR EDGE 6" O.C. INTERMEDIATE
GYPSON SHEATHING	12 GAUGE 1 3/4" LARGE HEAD CORROSION-RESISTANT	4" O.C. EDGE 8" O.C. INTERMEDIATE
PARTICLE BOARD UNDERLAYMENT (1/4"-3/4")	6D ANNULAR THREADED	6" O.C. DIRECT EDGES 10" O.C. INTERMEDIATE
PARTICLE BOARD ROOF AND WALL SHEATHING 1/2" OR LESS	6D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
5/8" OR GREATER	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
PARTICLE BOARD SUBFLOORING (5/8" OR GREATER)	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
SHINGLES, WOOD*	NO. 14 B&S GAGE CORROSION RESISTIVE	2 EACH BEARING
WEATHER BOARDING	8D CORROSION	2 EACH BEARING

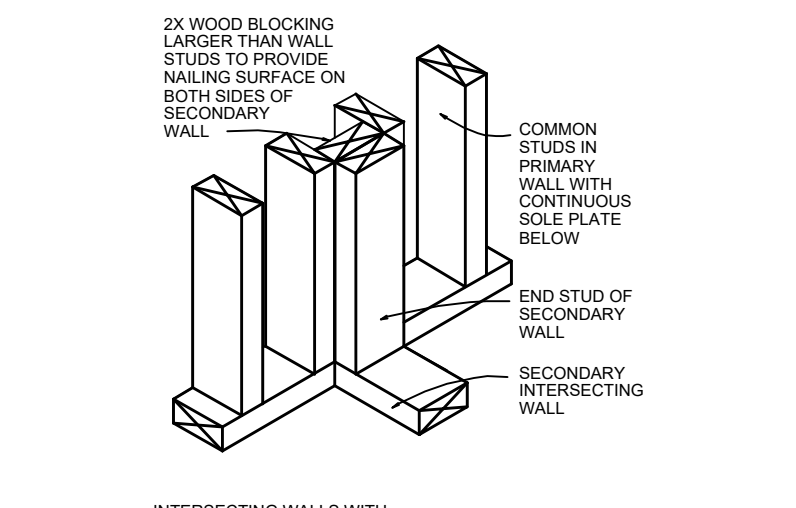
NOTE \* SHINGLE NAILS SHALL PENETRATE NOT LESS THAN 3/4" INTO NAILING STRIPS, SHEATHING OR SUPPORTING CONSTRUCTION EXCEPT AS OTHERWISE PROVIDED IN 780 CMR 1225.4.4.



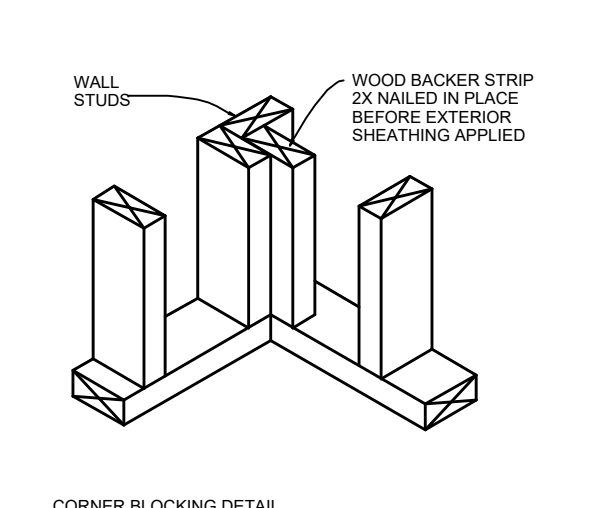
### # 2X6 BEARING HEADER DETAIL NTS



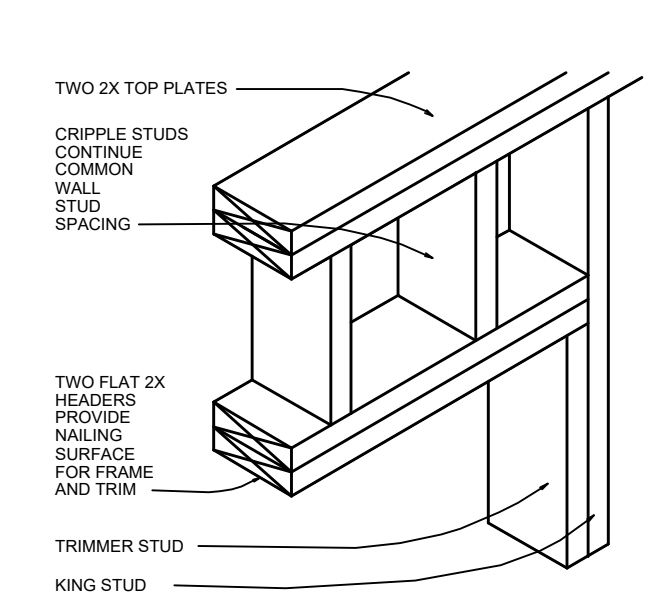
### # WOOD JOISTS SUPPORTED ON WOOD GIRDERS 1"=1'-0"



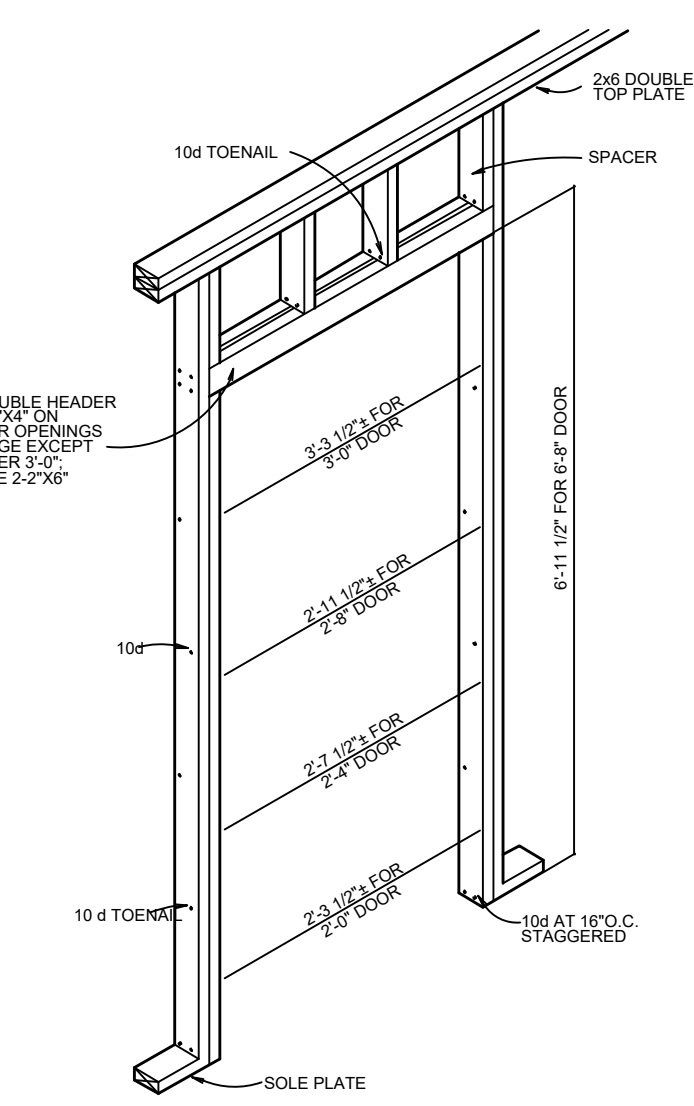
### # INSULATED WALL DETAILS 1"=1'-0"



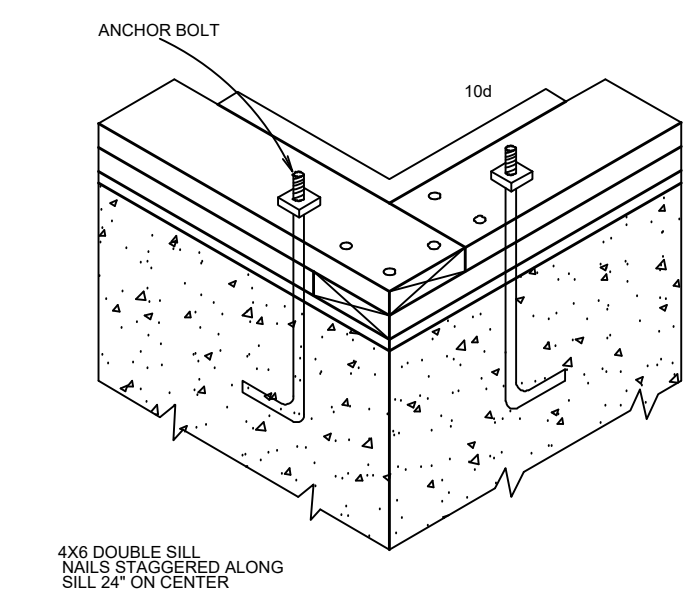
### # INSULATED WALL DETAILS 1"=1'-0"



### # 2X PARTITION WALL HEADER DETAIL NTS

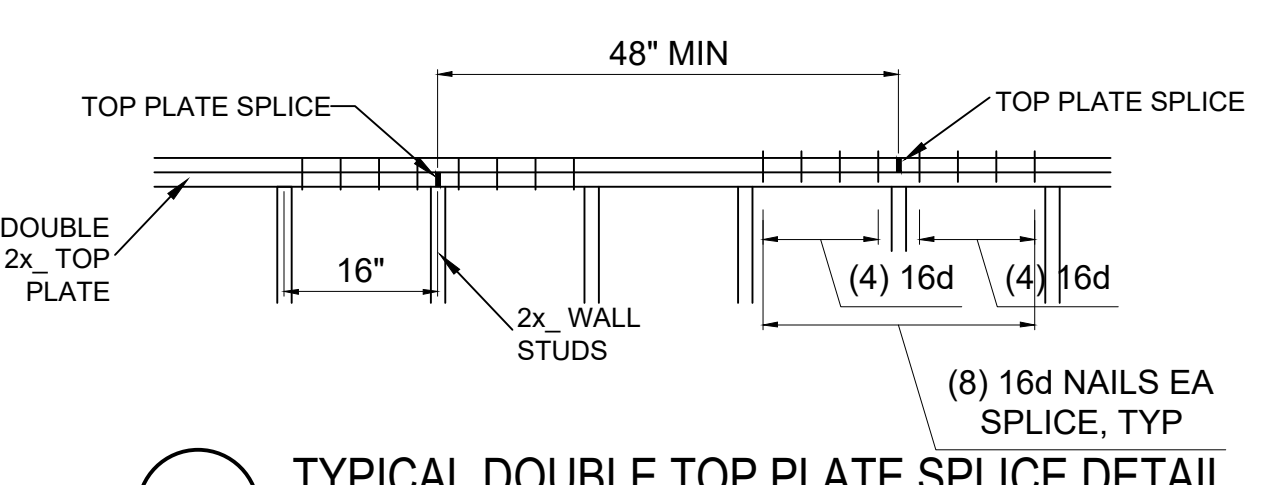


### # TOP PLATE FRAMING DETAIL NTS

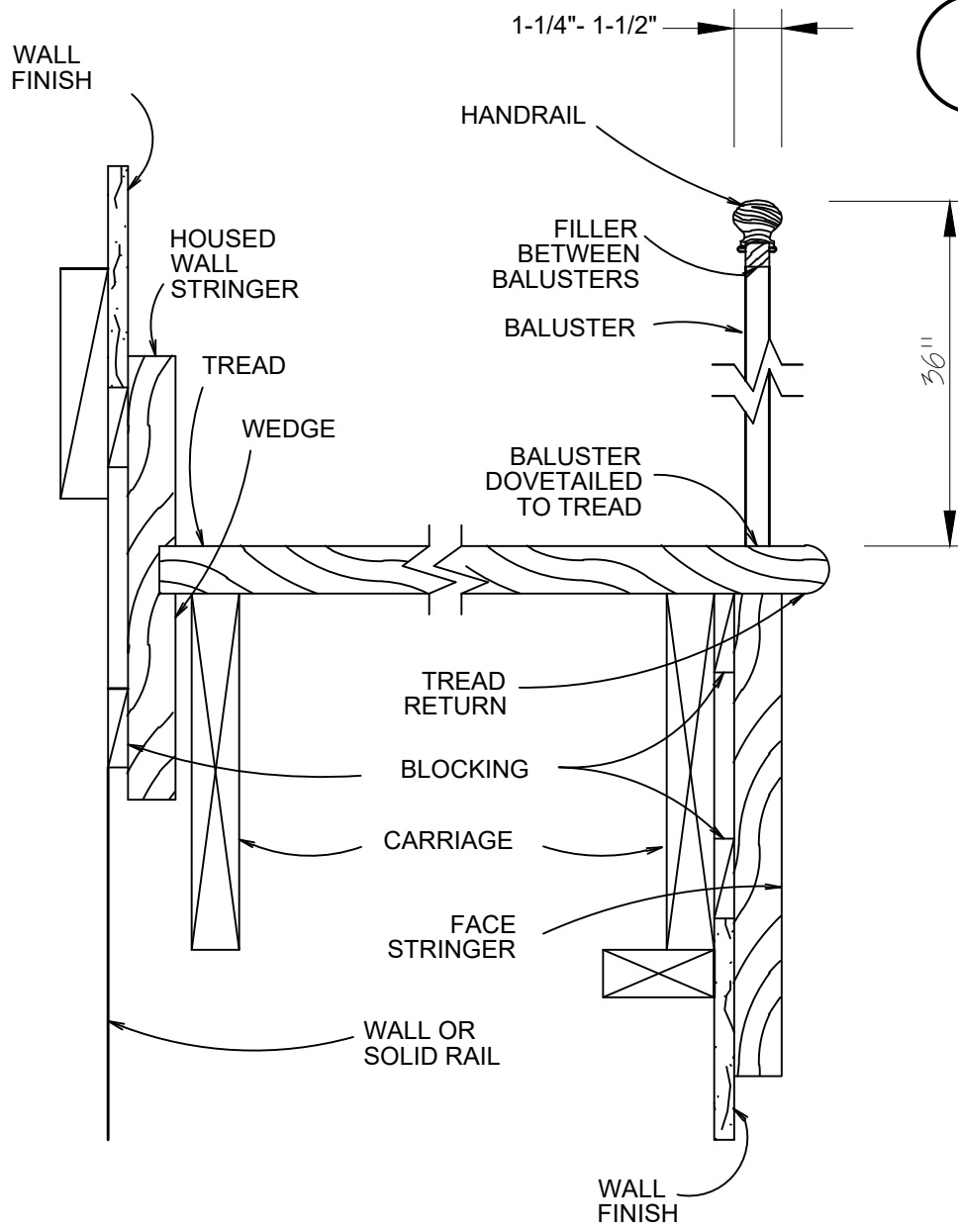


### # DOOR OPENING DETAIL 1"=1'-0"

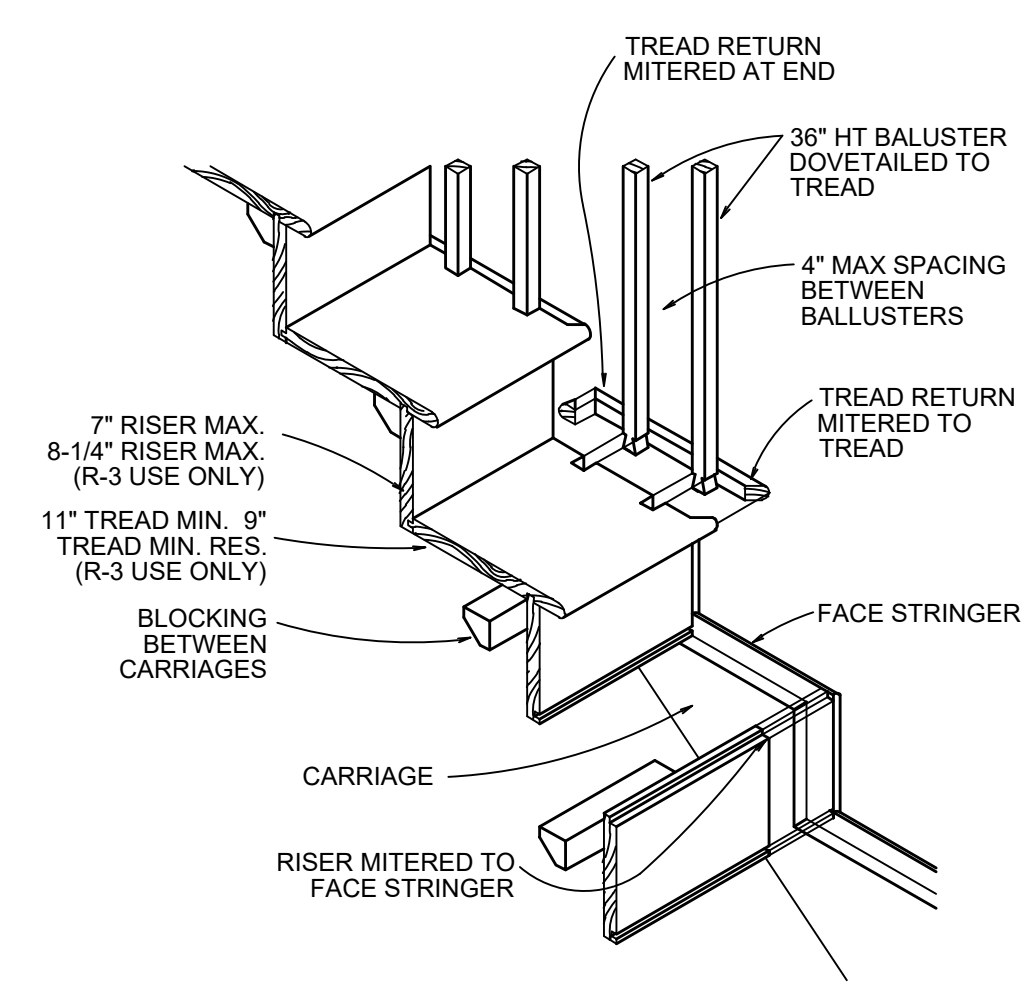
### # SILL FOR PLATFORM FRAMING DETAIL 1"=1'-0"



### # TYPICAL DOUBLE TOP PLATE SPLICE DETAIL NTS



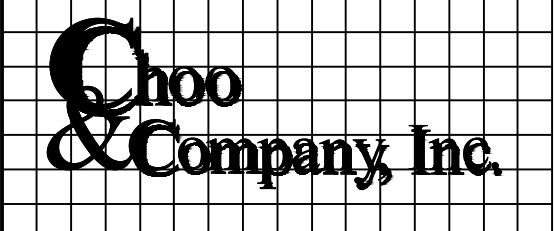
### # STAIR DETAIL NTS



### # STAIR DETAIL NTS

Location

# PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129



One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

No.	Description	Date
3	BPDA	01-11-2024

Project No: 2023112  
Scale: AS NOTED  
Date: 09-06-2023  
Drawn By: AMF

## FASTENING SCHEDULE & FRAMING DETAILS

Sheet No.  
**A-6.03**



### LATERAL SUPPORT

- BCI JOISTS MUST BE LATERALLY SUPPORTED AT THE ENDS WITH HANGERS, BCI RIM JOISTS, RIM BOARDS, BCI BLOCKING PANELS OR X-BRACING. BCI BLOCKING PANELS OR X-BRACING ARE REQUIRED AT CANTILEVER SUPPORTS.
- BLOCKING MAY BE REQUIRED AT INTERMEDIATE BEARINGS FOR FLOOR DIAPHRAGM PER IRC IN HIGH SEISMIC AREAS, CONSULT LOCAL BUILDING OFFICIAL.

### MINIMUM BEARING LENGTH FOR BCI JOISTS

- 1-3/4" INCHES IS REQUIRED AT END SUPPORTS. 3-1/2" INCHES IS REQUIRED AT CANTILEVER AND INTERMEDIATE SUPPORTS.
- LONGER BEARING LENGTHS ALLOW HIGHER REACTION VALUES. REFER TO THE BUILDING CODE EVALUATION REPORT OF THE BC CALC SOFTWARE.

### NAILING REQUIREMENTS

- BCI RIM JOIST, RIM BOARD OR CLOSURE PANEL TO BCI JOIST: RIMS OR CLOSURE PANEL 1-3/4" THICK AND LESS: 2-8d NAILS, ONE EACH ON THE TOP AND BOTTOM FLANGE
- BCI 5000S RIM JOIST: 2-10d BOX NAILS, ONE EACH IN THE TOP AND BOTTOM FLANGE.
- BCI 6000S, 60S RIM JOIST: 2-16d BOX NAILS, ONE EACH IN THE TOP AND BOTTOM FLANGE.
- BCI 6500S, 90S RIM JOIST: TOE-NAIL TOP FLANGE TO RIM JOISTS WITH 2-10d BOX NAILS, ONE EACH SIDE OF THE FLANGE.
- BCI RIM JOIST, RIM BOARD OR BCI BLOCKING PANEL TO SUPPORT: 8d NAILS AT 6 INCHES ON CENTER.
- WHEN USED FOR SHEAR TRANSFER, FOLLOW THE BUILDING DESIGNER'S SPECIFICATION.
- BCI JOIST TO SUPPORT: 2-8d NAILS, ONE ON EACH SIDE OF THE WEB, PLACED 1-1/2" INCHES MINIMUM FROM THE END OF THE BCI JOIST TO LIMIT SPLITTING.
- SHEATHING TO BCI JOIST: SEE CLOSEST ALLOWABLE NAIL SPACING CHART (ON THIS SHEET)
- BCI 6000S, 6500S, 60S, 90S JOIST: MAXIMUM NAIL SPACING IS 24 INCHES ON CENTER.
- 14 GAUGE STAPLES MAY BE SUBSTITUTED FOR 8d NAILS IF THE STAPLES PENETRATE AT LEAST 1 INCH INTO THE JOIST.
- WOOD SCREWS MAY BE ACCEPTABLE, CONTACT LOCAL BUILDING OFFICIAL AND/OR BOISE EWP ENGINEERING FOR FURTHER INFORMATION.

### PROTECT BCI JOISTS FROM THE WEATHER

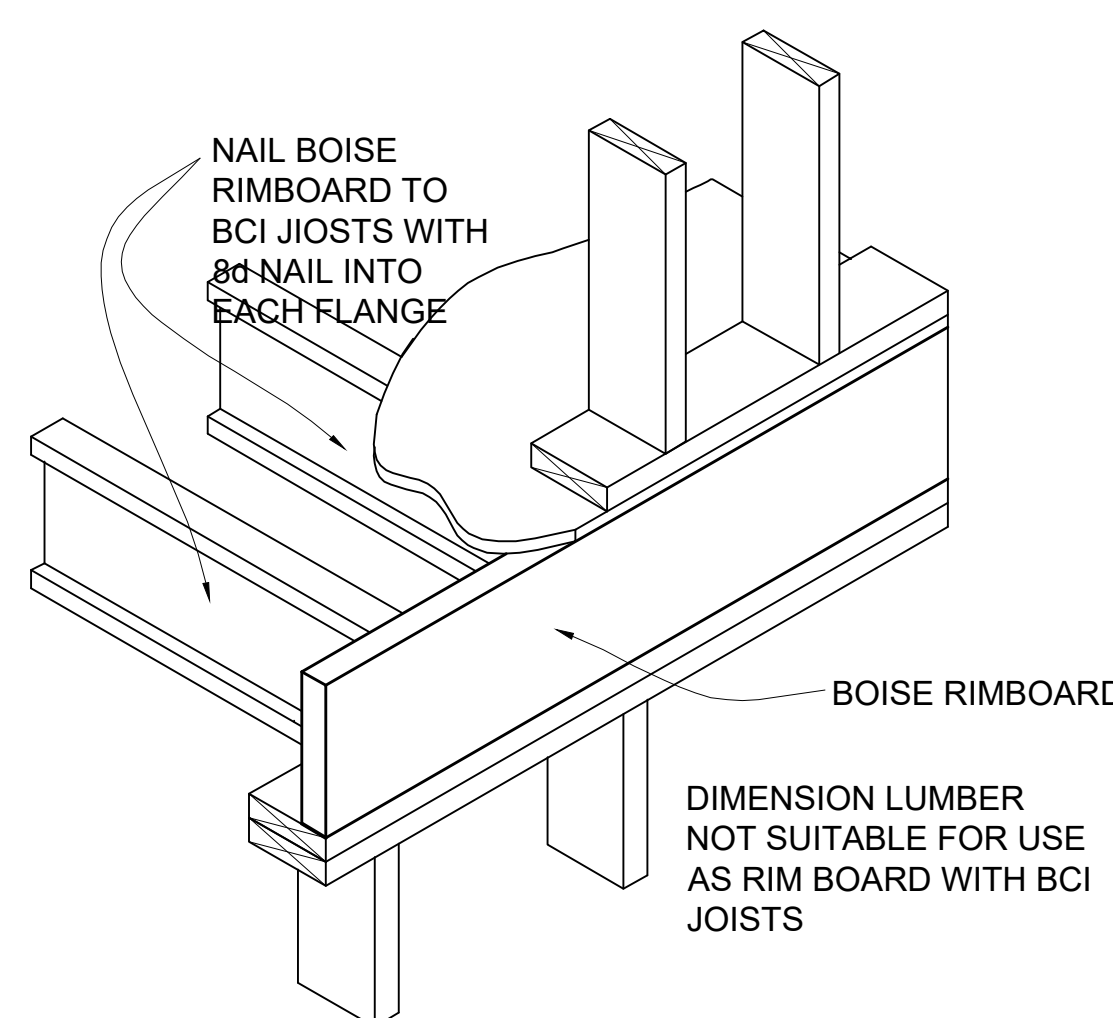
- BCI JOISTS ARE INTENDED ONLY FOR APPLICATIONS THAT PROVIDE PERMANENT PROTECTION FROM THE WEATHER. BUNDLES OF BCI JOISTS SHOULD BE COVERED AND STORED OFF THE GROUND ON STICKERS.

### WEB STIFFENER REQUIREMENTS

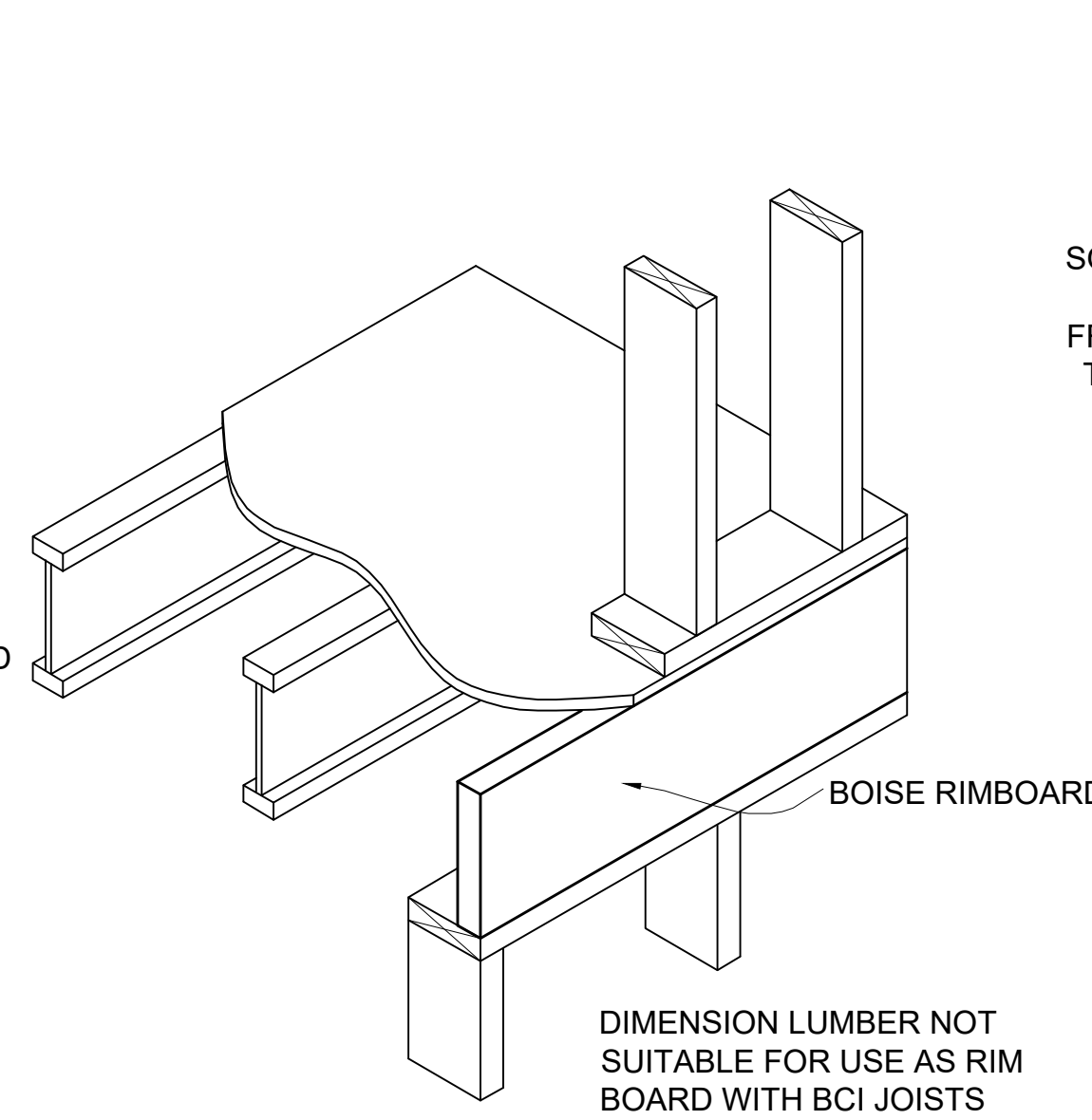
- WEB STIFFENERS ARE OPTIONAL EXCEPT AS NOTED BELOW:
- WEB STIFFENERS ARE ALWAYS REQUIRED IN HANGERS THAT DO NOT EXTEND UP TO SUPPORT THE FLANGE OF THE BCI JOIST. WEB STIFFENERS MAY BE REQUIRED WITH CERTAIN SLOPED OR SKEWED HANGERS OR TO ACHIEVE UPLIFT VALUES. REFER TO THE HANGER MANUFACTURER'S INSTALLATION REQUIREMENTS
- WEB STIFFENERS ARE ALWAYS REQUIRED IN CERTAIN ROOF APPLICATIONS (SEE ROOF FRAMING DETAILS)
- WEB STIFFENERS ARE ALWAYS REQUIRED UNDER CONCENTRATED LOADS THAT EXCEED 1,000 POUNDS. INSTALL THE WEB STIFFENERS SNUG TO THE TOP FLANGE IN THIS SITUATION. FOLLOW THE NAILING SCHEDULE FOR INTERMEDIATE BEARINGS.
- WEB STIFFENERS MAY BE USED TO INCREASE ALLOWABLE REACTION VALUES.

BACKER AND FILLER BLOCK DIMENSIONS		
SERIES	BACKER BLOCK THICKNESS	FILLER BLOCK THICKNESS
5000s 1.8	3/4" OR 7/8" WOOD PANELS	TWO 3/4" WOOD PANELS OR 2x_
6000s 1.8	1-1/8" OR TWO 1/2" WOOD PANELS	2x_ + 5/8" OR 3/4" WOOD PANEL
6500s 1.8	1-1/8" OR TWO 1/2" WOOD PANELS	2x_ + 5/8" OR 3/4" WOOD PANEL
60s 2.0	1-1/8" OR TWO 1/2" WOOD PANELS	2x_ + 5/8" OR 3/4" WOOD PANEL
90s 2.0	2x_ LUMBER	DOUBLE 2x_ LUMBER
CUT BACKER AND FILLER BLOCKS TO A MAXIMUM DEPTH EQUAL TO THE WEB DEPTH MINUS 1/4" TO AVOID A FORCED FIT		

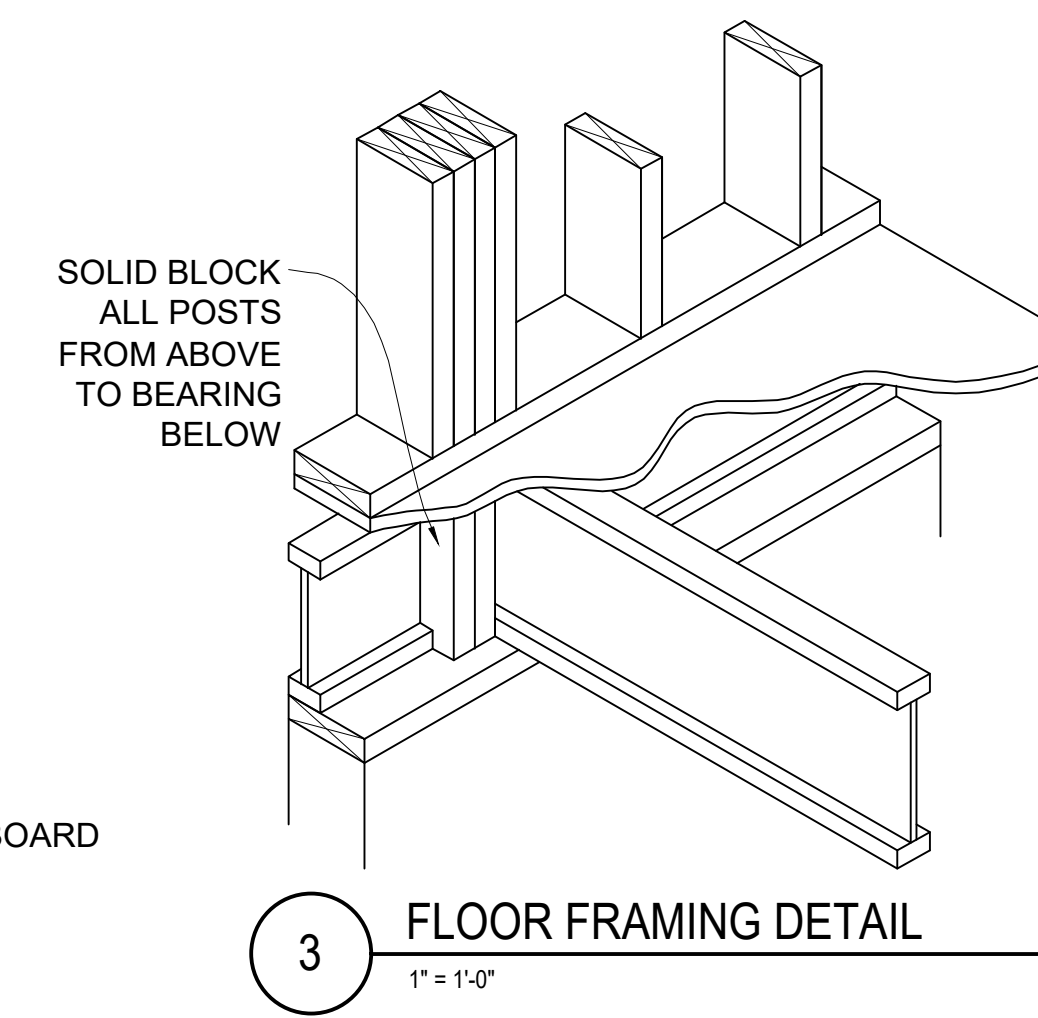
NAIL SIZE	CLOSEST ALLOWABLE NAIL SPACING			
	ALL BCI JOISTS			
	NAILING PERPENDICULAR TO GLUE LINE (WIDE FACE)		NAILING PARALLEL TO GLUE LINE (NARROW FACE)	
	O.C. SPACING	END OF JOIST	O.C. SPACING	END OF JOIST
8d BOX	2"	1-1/2"	4"	1-1/2"
8d COMMON	2"	1-1/2"	4"	3"
10d & 12d BOX	2"	1-1/2"	4"	3"
16d BOX	2"	1-1/2"	4"	3"
10d & 12d COMMON	3"	2"	6"	4"
16d SINKER	3"	2"	6"	4"
16 COMMON	3"	2"	6"	4"



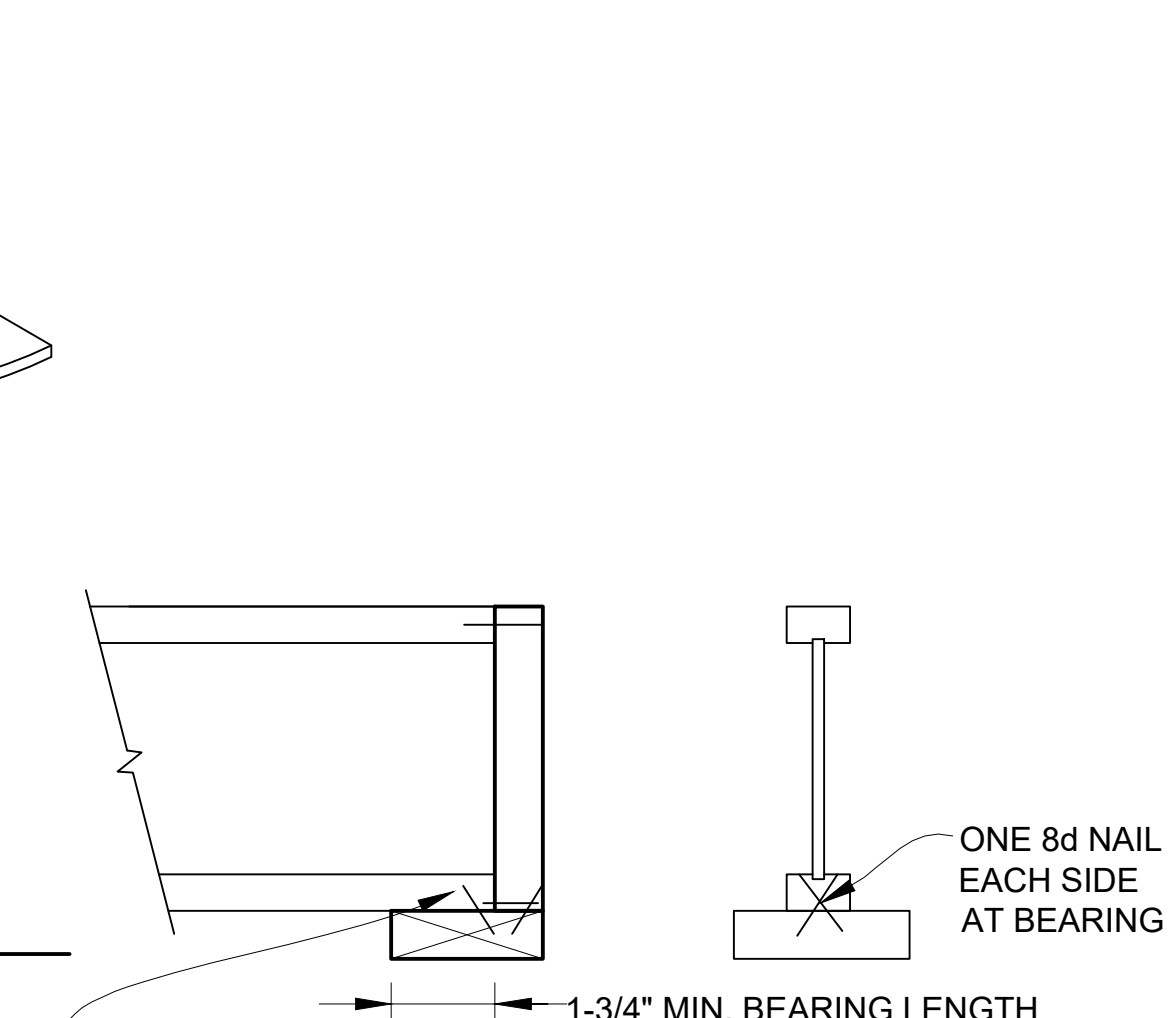
1 FLOOR FRAMING DETAIL  
1" = 1'-0"



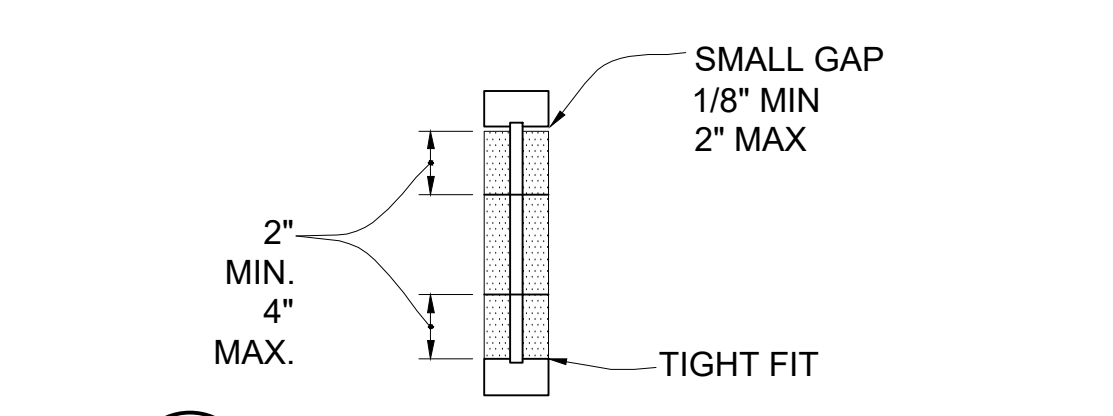
2 FLOOR FRAMING DETAIL  
1" = 1'-0"



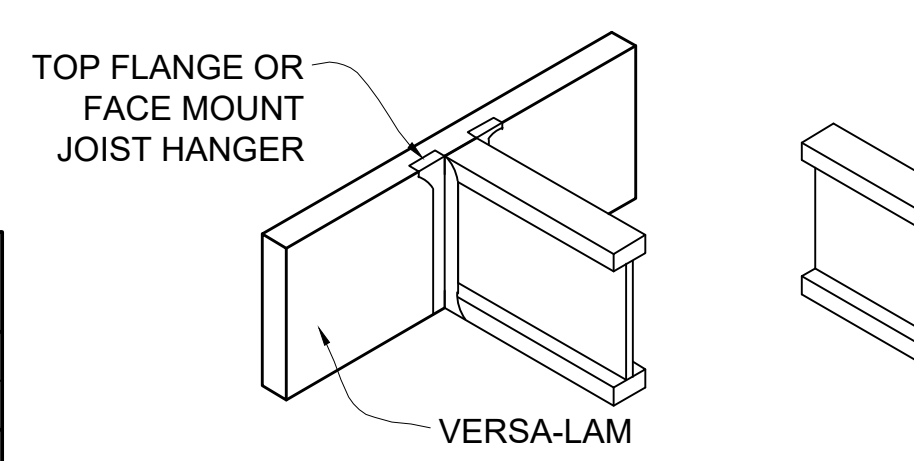
3 FLOOR FRAMING DETAIL  
1" = 1'-0"



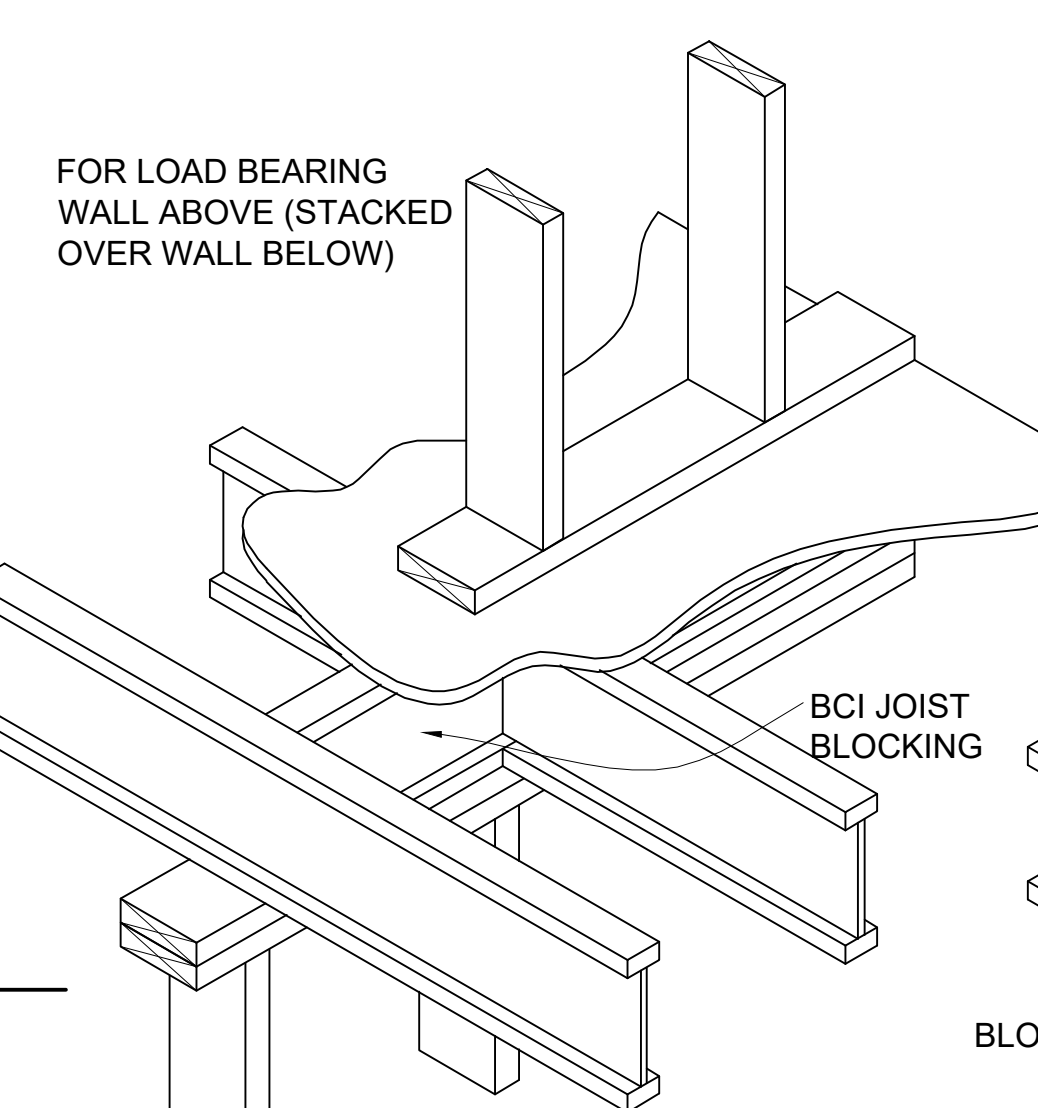
4 FLOOR FRAMING DETAIL  
1/2" = 1'-0"



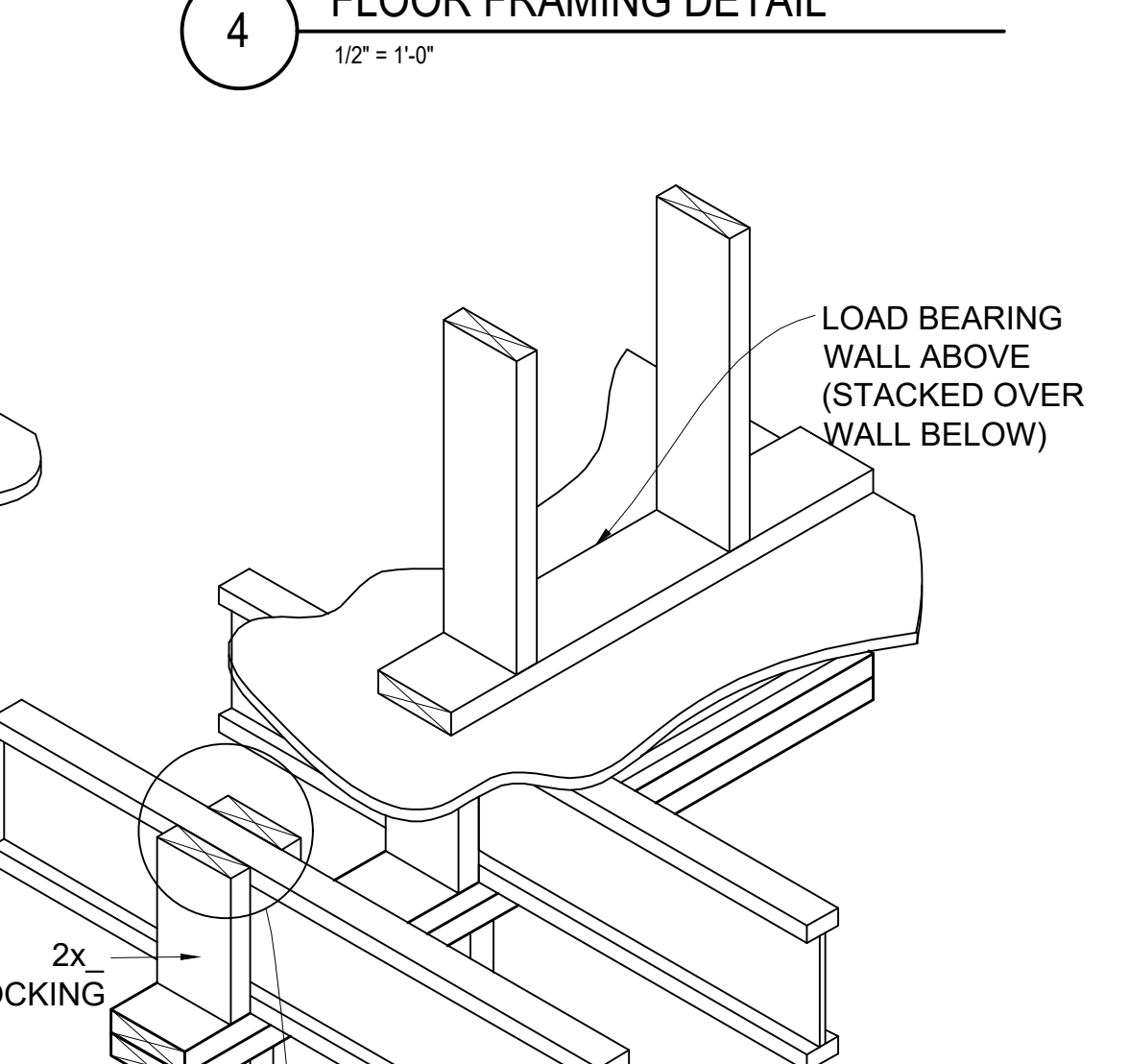
5 WEB STIFFENER DETAIL  
3" = 1'-0"



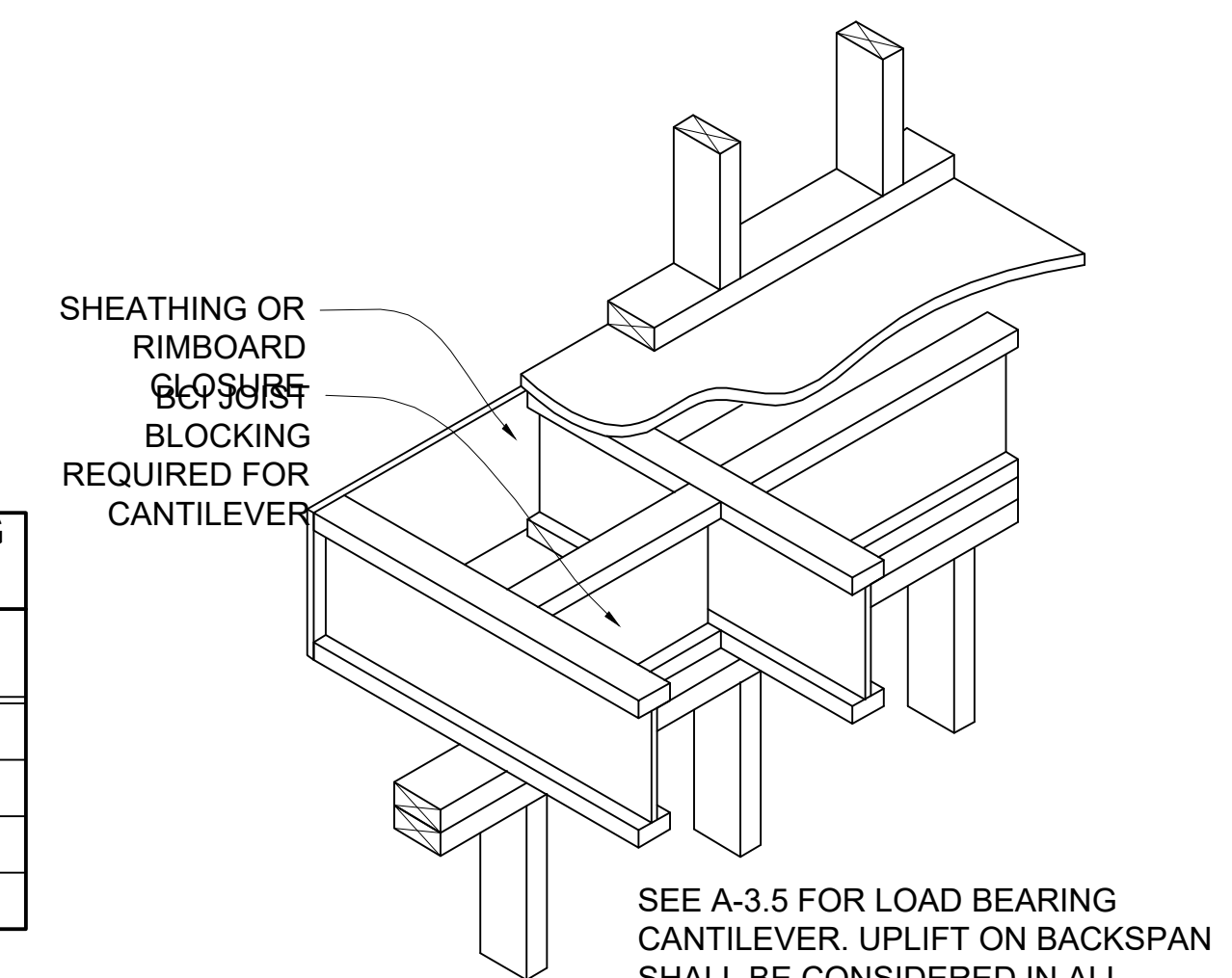
6 FLOOR FRAMING DETAIL  
1" = 1'-0"



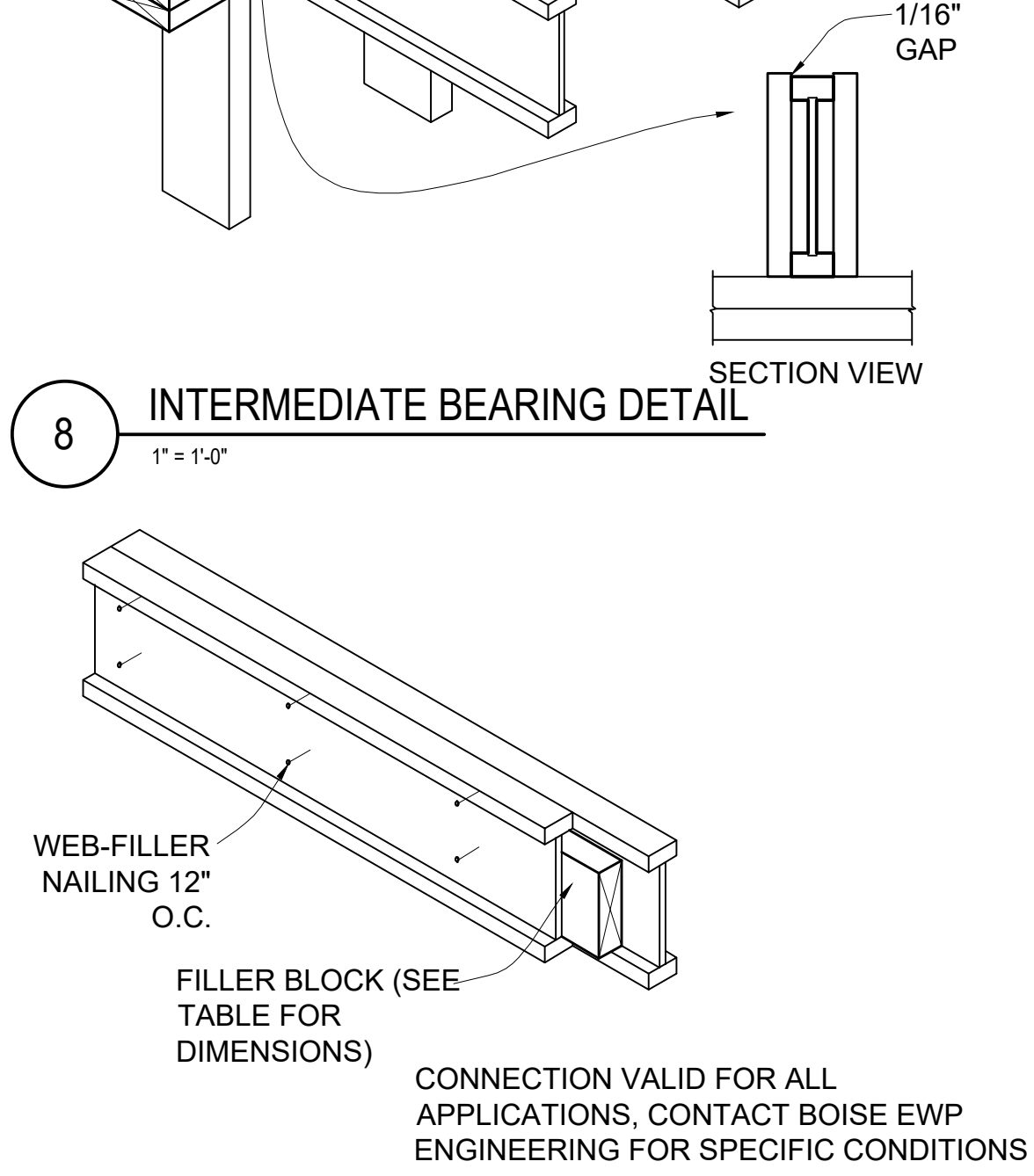
7 INTERMEDIATE BEARING DETAIL  
1" = 1'-0"



8 INTERMEDIATE BEARING DETAIL  
1" = 1'-0"



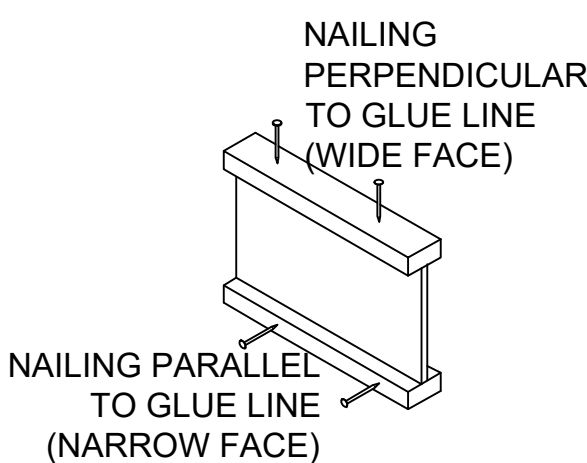
9 CANTILEVER DETAIL  
1" = 1'-0"



10 DOUBLE BCI JOIST CONNECTION  
1" = 1'-0"

WEB STIFFENER NAILING SCHEDULE			
BCI JOIST SERIES	JOIST DEPTH	BEARING LOCATION	
		END	INTERMEDIATE
5000s 1.8	9 1/2"	2-8d	2-8d
	11 7/8"	2-8d	3-8d
6000s 1.8	14"	2-8d	5-8d
	9 1/2"	2-8d	2-8d
6000s 1.8	11 7/8"	2-8d	3-8d
	14"	2-8d	5-8d
6500s 1.8	16"	2-8d	6-8d
	9 1/2"	2-8d	2-8d
6500s 1.8	11 7/8"	2-8d	3-8d
	14"	2-8d	5-8d
60s 2.0	16"	2-8d	6-8d
	11 7/8"	2-8d	3-8d
60s 2.0	14"	2-8d	5-8d
	11 7/8"	3-16d	3-16d
90s 2.0	14"	5-16d	5-16d
	16"	6-16d	6-16d

BCI RIM JOISTS AND BCI BLOCKING (ALL SERIES)	
DEPTH (IN)	VERTICAL LOAD CAPACITY (PLF)
9 1/2"	2800
11 7/8"	2775
14"	2750
16"	2450



Location

## PROPOSED RENOVATION & SEMI-ATTACHED ADDITION

### 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

No.	Description	Date
3	BPDA	01-11-2024

Project No: 2023112  
Scale: AS NOTED  
Date: 09-06-2023  
Drawn By: AMF

Drawing Name

## AJS FASTENING SCHEDULE & FRAMING DETAILS

Sheet No.

# A-6.04

## GENERAL NOTES:

### CONTRACTOR RESPONSIBILITY- CONTRACTOR IS SOLELY RESPONSIBLE FOR:

- VIEWING SITE AND INCLUDING ANY SPECIAL CONDITIONS NECESSARY TO PERFORM THE WORK AS DESCRIBED IN THE DRAWINGS.
- ESTABLISHING CONTROL OF THE SITE VIA SURVEY, AND LAYOUT.
- OBTAINING AND PAYING FOR ALL PERMITS.
- PAYING FOR ALL TEMPORARY UTILITIES AND FACILITIES.
- CHECKING AND CONFIRMING ALL DIMENSIONS, AND LAYOUTS.
- SCHEDULING AND SEQUENCING.
- CONSTRUCTION MEANS, METHODS AND TECHNIQUES
- MAINTAINING DRAWINGS AND PERMITS ON SITE.
- JOB SITE SAFETY
- COORDINATION BETWEEN TRADES, AND SUPPLIERS.
- PROVIDE SCHEDULE TO OWNER AND ARCHITECT.
- PROVIDE A SCHEDULE OF VALUES TO THE OWNER AND ARCHITECT.
- TEMPORARY HEAT, ICE AND SNOWPLOWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- SITE CLEANLINESS AND CONFORMANCE TO NFPA 241 REQUIREMENTS.
- REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
- GIVING WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

### REVIEW OF WORK BY DESIGNERS-

CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROJECT STARTS.

CONTRACTOR SHALL NOTIFY ARCHITECT, ONE WEEK PRIOR TO:

- POURING CONCRETE
- INSULATING
- INSTALLING DRYWALL
- FINAL INSPECTION

### SHOP DRAWINGS-

ALL SHOP DRAWINGS SHALL BE SUBMITTED 30 DAYS AFTER CONTRACT AWARD.

GENERAL CONTRACTOR SHALL APPROVE SHOP DRAWINGS, PRIOR TO SUBMITTING TO ARCHITECT OR ENGINEER.

NON SUBMISSION DOES NOT CONSTITUTE APPROVAL OF ANY WORK.

NO EXCEPTIONS TAKEN DOES NOT RELIEVE THE CONTRACTOR OF PERFORMING ANY OTHER WORK ON THE DRAWINGS.

CONTRACTOR SHALL EXPECT A MINIMUM OF 2 WEEKS FOR DESIGNERS' REVIEW TIME.

ANY VARIANCE FROM THE ORIGINAL DESIGN SHALL BE NOTED.

ANY SUBSTITUTION NOT INDICATED SHALL NOT CONSTITUTE APPROVAL OF A CHANGE.

SHOP DRAWINGS ARE NOT COORDINATION DRAWINGS.

DESIGNERS ARE NOT RESPONSIBLE FOR DIMENSIONS.

CONTRACTOR TO ENSURE MATERIALS AND ASSEMBLIES ARE COMPATIBLE AND ACCEPTABLE TO THE MANUFACTURER. ALL ASSEMBLY MATERIALS SHALL BE FROM A SINGLE SOURCE AS MUCH AS POSSIBLE.

### REQUEST FOR INFORMATION -

ONLY RFI'S SENT THROUGH BY THE OWNER AND AWARDDING CONTRACTOR WILL BE ANSWERED. SUBCONTRACTORS MUST SUBMIT RFI'S THROUGH THE GENERAL CONTRACTOR.

BIDDING PHASE - OWNER AND AWARDDING CONTRACTOR ARE RESPONSIBLE FOR COMPILING AND AGGREGATING RFI'S AND SUBMITTING TO THE ARCHITECT OR DESIGNER AT ONE TIME ONLY. ARCHITECT OR DESIGNER HAS ONE WEEK TO RESPOND. QUESTIONS MUST BE COMPLETE , NOT PIECEMEAL AND SHOULD BE SUBMITTED BY CSI DIVISION.

### CHANGE ORDERS-

CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.

DESIGNER SHALL BE NOTIFIED OF ANY CHANGE TO THE DRAWINGS, UNFORESEEN FIELD CONDITIONS OR DISCREPANCIES PRIOR TO PERFORMING WORK.

ANY PROPOSED CHANGES SHALL BE ACCOMPANIED WITH A WRITTEN DESCRIPTION OR A SKETCH FOR CLARIFICATION.

ALL CHANGE ORDERS SHALL BE APPROVED PRIOR TO PERFORMING WORK.

CHANGE ORDERS SHALL BE PRICED EITHER LUMP SUM OR UNIT PRICE OR TIME AND MATERIALS.

ANY SUBSTITUTION REQUEST SHALL BE MADE VIA CHANGE ORDER, AND NOT VIA SHOP DRAWINGS UNLESS AGREED TO.

ANY CHANGE SHALL STATE THE CREDIT OR COST ADD AND/OR ANY CHANGE TO THE SCHEDULE.

### REQUISITIONS-

ANY REQUISITION REQUIRED TO BE SIGNED BY THE ARCHITECT SHALL BE SUBMITTED A MINIMUM OF ONE WEEK PRIOR TO BEING SUBMITTED TO THE BANK FOR REVIEW.

CONTRACTOR SHALL PROVIDE RECEIPTS AND INSURANCE CERTIFICATES FOR ANY MATERIALS FOR PAYMENT FOR ANY UNINSTALLED MATERIALS.

## FOUNDATION NOTES:

- THE FOUNDATION HAS BEEN DESIGNED FOR 4000 PSF ALLOWABLE SOIL BEARING CAPACITY.
- ALL BACKFILL UNDER STRUCTURAL SLABS, MATS, AND FOOTINGS WILL BE ENGINEERED BACKFILL COMPACTED IN SPECIFIC LIFTS TO 95 PERCENT OF MAXIMUM DRY DENSITY, UNLESS OTHERWISE INDICATED OR SPECIFIED.
- ALL EMBANKMENTS AND BACKFILL COMPACTED IN SPECIFIED LIFTS TO 90 PERCENT OF MAXIMUM DRY DENSITY, UNLESS OTHERWISE INDICATED OR SPECIFIED.
- PROVIDE SHEETING, BRACING, AND UNDERPINNING AS REQUIRED TO PRESERVE ADJACENT STRUCTURES.
- FOUNDATIONS SHALL NOT BE POURED IN WATER OR ON FROZEN GROUND.
- VERIFY LOCATIONS AND REQUIREMENTS FOR INSERTS, SLEEVES, CONDUITS, EMBEDMENT AND PENETRATIONS WITH RESPECTIVE TRADES BEFORE PLACING CONCRETE.
- DOWELS FROM FOUNDATIONS INTO PIERS, COLUMNS, BUTTRESSES OR WALLS SHALL BE THE SAME SIZE AND NUMBER AS REINFORCEMENT IN PIERS, COLUMNS, BUTTRESSES OR WALLS ABOVE, EXCEPT AS OTHERWISE SHOWN.
- CONTRACTOR SHALL PROVIDE CONTINUOUS DRAINAGE BY MECHANICAL METHODS TO CONTROL SURFACE AND UNDERGROUND WATER, AS REQUIRED DURING CONSTRUCTION.
- CONTRACTOR SHALL ENSURE THAT GROUND WATER LEVELS UNDER ADJACENT STRUCTURES AND PROPERTIES ARE NOT ALTERED.
- ALL FOUNDATION UNITS (PIERS) SHALL BE CENTERED SUPPORT MEMBERS, UNLESS NOTED OTHERWISE ON PLANS.
- COORDINATE UNDER FLOOR AND PERIMETER DRAIN REQUIREMENTS WITH ARCHITECTURAL, CIVIL AND PLUMBING DRAWINGS AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- ALL BEARING MATERIALS SHALL BE INSPECTED BY THE INDEPENDENT TESTING AGENCY PRIOR TO CONCRETE PLACEMENT. THE INDEPENDENT TESTING AGENCY SHALL DETERMINE THE SUITABILITY OF THE BEARING MATERIAL. FOOTING ELEVATIONS SHALL BE ADJUSTED AS REQUIRED.
- BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BEAR A MINIMUM OF 4'-0" BELOW FINAL FINISHED GRADE FOR FROST PROTECTION.
- FOUNDATION WALLS THAT RETAIN EARTH SHALL BE BRACED AGAINST BACKFILLING PRESSURES UNTIL FLOOR & SLAB AT TOP AND BOTTOM ARE IN PLACE.
- WHERE FOUNDATION WALLS ARE TO HAVE EARTH PLACED ON EACH SIDE, PLACE FILL SIMULTANEOUSLY SO AS TO MAINTAIN A COMMON ELEVATION ON EACH SIDE OF THE WALL.
- ALL FOOTING EXCAVATIONS ARE TO BE FINISHED BY HAND.
- PROTECT IN-PLACE FOUNDATIONS, SLABS AND ADJACENT STRUCTURES, NEW CONSTRUCTION, STREET UTILITIES FROM FROST PENETRATION OR DAMAGE FROM CONSTRUCTION ACTIVITIES UNTIL THE PROJECT IS COMPLETED.
- SLAB ON GRADE SHALL BEAR DIRECTLY ON A MIN. 12" THICK LAYER OF COMPACTED STRUCTURAL FILL, OR MIN. 6" THICK LAYER OF CRUSHED STONE, PLACED ABOVE PROOFROLLED AND COMPACTED EXISTING FILL, OR ABOVE UNDISTURBED NATURAL TILL. SHOULD BEDROCK BE ENCOUNTERED AT OR WITHIN 12" OF BOTTOM OF SLAB, BEDROCK SHALL BE OVER EXCAVATED A MIN. OF 12" BELOW BOTTOM OF SLAB.
- WHERE BEDROCK IS ENCOUNTERED AT OR WITHIN 12" OF DESIGN FOOTING GRADE, IT SHOULD BE OVER EXCAVATED A MIN. OF 12" BELOW THE BOTTOM OF PROPOSED FOOTING. BEDROCK EXCAVATIONS SHOULD EXTEND A MIN. OF 12" BEYOND FOOTING EDGE. LOOSE ROCK PIECES SHOULD BE REMOVED WITHIN THE FOOTING BEARING ZONE, AND OPEN BEDROCK JOINTS SHOULD BE CHOKED WITH CRUSHED STONE OR FILLED WITH CONCRETE PRIOR TO PLACING THE SOIL CUSHION.

## CONCRETE NOTES:

- ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:
    - **3000 PSI** FOR BASEMENT SLABS, FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER FOR DRIVEWAYS, CURBS, WALKS, PATIOS, PORCHES, CARPORT SLAB, COMPOSITE SLAB, STEPS AND OTHER FLATWORK EXPOSED TO WEATHER AND GARAGE FLOOR SLABS
    - **3500 PSI** MAXIMUM SLUMP SHALL NOT EXCEED 4"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.
  - ALL CONCRETE SLABS ON GRADE SHALL BE POURED IN 900 SQUARE FOOT PANELS, MAXIMUM; OR, PROVIDE CONTROL JOINTS BY SAW CUTTING THE SLAB WHILE THE CONCRETE IS STILL GREEN.
- ## REINFORCING NOTES:
- ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
  - ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
  - ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
  - ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
  - THE CONTRACTOR SHALL SUBMIT FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
  - CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
 

A. FOOTINGS	3 INCHES
B. SIDES OF FOUNDATIONS WALLS. EXPOSED FACES OF FOUNDATIONS. SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE	2 INCHES
C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER	1-1/2 INCHES
D. TOP STEEL OF INTERIOR SLABS	1 INCHES
  - MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE DESIGNING ARCHITECT OR STRUCTURAL ENGINEER ACCEPTS NO RESPONSIBILITY FOR EXISTING SOIL CONDITIONS. ANY SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM IS DESIGNED BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. IT SHALL BE THE CONTRACTORS OR OWNERS' RESPONSIBILITY TO DETERMINE SUITABLE SOIL CONDITIONS AND VERIFY THE BEARING PRESSURE. IF A SUITABLE SOIL THAT CAN WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

## WOOD NOTES:

- ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
- ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM:
  - FB=875 PSI, FV=135 PSI, E=1,400,000 PSI.
- ALL L.V.L. LUMBER DENOTED ON PLANS SHALL HAVE A MINIMUM:
  - FB=2,650 PSI, FV=285 PSI, E=1,900,000 PSI - FOR STUDS COLUMNS
  - FB-3100 PSI, FV=285 PSI, E=2,000,000 PSI - FOR BEAMS
- ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
- ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
- PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
- PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
- PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
- PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
- ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

## WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows; or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x8	2 - 2x8
up to 6'-0"	3 - 2x12	2 - 2x12
up to 8'-0"	3 - 13/4"x9 1/2" LVL	2 - 13/4"x9 1/2" LVL
up to 10'-0"	3 - 13/4"x11 7/8" LVL	2 - 13/4"x11 7/8" LVL

ALL POSTS FOR LINTEL TO BE (3)2X6 JACK STUD AND (3) 2X6 KING STUD

## STRUCTURAL STEEL NOTES:

- ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A992 GRADE 50 SPECIFICATIONS, EXCEPT SQUARE STEEL TUBE COLUMNS.
- ALL SQUARE STEEL TUBE COLUMNS SHALL CONFORM TO ASTM A500, WITH A MINIMUM YIELD STRESS OF 46,000 PSI.
- ALL SHOP CONNECTIONS SHALL BE WELDED.
- FIELD CONNECTION SHALL BE MADE WITH HIGH STRENGTH FRICTION BOLTS MEETING A325-X SPECIFICATIONS.
- ALL BOLTS SHALL BE 3/4" IN DIAMETER, OR AS NOTED ON DRAWINGS. HOLES SHALL BE 1/16" LARGER.
- ALL STRUCTURAL STEEL SHALL RECEIVE ONE SHOP COAT OF RUST INHIBITIVE PAINT; SUCH AS TNEMEC-99, OR RUST INHIBITOR BY "MAINLINE". OR, PAINT, AS NOTED IN THE SPECIFICATIONS.
- AFTER STRUCTURAL STEEL ERECTION IS IN PLACE, ALL EXPOSED AREAS SHALL BE TOUCHED UP. SEE SPECIFICATIONS ON PAINTING FOR ADDITIONAL REQUIREMENTS.
- PROVIDE 3/4: GROUT, 3,000 PSI, AND 1/4" THICK LEVELING PLATES UNDER ALL COLUMN BASE PLATES, WITH FOUR (4) 3/4" DIAMETER x 16" LONG ANCHOR BOLTS; OR AS NOTED.
- PROVIDE A MINIMUM OF 8" BEARING ON EACH SIDE OF LINTELS AND HEADERS OVER DOORS, WINDOWS, LOUVERS, AND OPENINGS, ETC.
- THE CONTRACTOR SHALL SUBMIT A REPRODUCIBLE SEPIA AND FOUR PRINTS OF SHOP DRAWINGS; SHOWING ALL STRUCTURAL STEEL SIZES, CONNECTIONS AND DETAILS, TO THE ARCHITECT FOR HIS APPROVAL. FABRICATION OF STRUCTURAL STEEL MEMBERS SHALL NOT BEGIN WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT OR HIS ENGINEER.
- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST COMMONWEALTH OF MASSACHUSETTS BUILDING CODE AND THE STRUCTURAL STEEL INSTITUTE SPECIFICATIONS FOR BUILDINGS AND BRIDGES.

CONTRACTOR NOTE:  
PRIOR TO COMMENCEMENT OF WORK OR FABRICATION OF COMPONENTS, CONTRACTOR SHALL INVESTIGATE AND VERIFY IN THE FIELD ALL CONDITIONS, DIMENSIONS, AND ELEVATIONS OF THE EXISTING CONSTRUCTION. ALL DISCREPANCIES BETWEEN FIELD-VERIFIED CONDITIONS, DIMENSIONS AND ELEVATIONS AND THOSE INDICATED ON THE DRAWINGS SHALL BE IMMEDIATELY MADE KNOWN TO THE ARCHITECT IN WRITING. THE USE OF (V.I.F.) OR (+/-) OR OTHER SIMILAR NOTES AT CERTAIN LOCATIONS ON THE DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR VERIFYING ALL CONDITIONS DESCRIBED ABOVE.

CONTRACTOR TO PROVIDE TEMPORARY SHORING, BRACING, AND SUPPORT AS REQUIRED DURING CONSTRUCTION. PROVIDE NEW JOIST HANGERS AND HURRICANE TIES BY SIMPSON STRONG-TIE AT LOCATIONS WHERE MEMBERS FRAME IN TO SIDE OF EXISTING MEMBERS OR NEW

PERMIT ONLY

Location

**PROPOSED RENOVATION &  
SEMI-ATTACHED ADDITION  
6-8 NEAREN ROW,  
CHARLESTOWN, MA, 02129**

**Choo  
& Company, Inc.**

One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

No.	Revision Date
	1-11-2024

Project No: **2023112**  
Scale: **AS NOTED**  
Date: **9-6-2023**  
Drawn By: **AC**

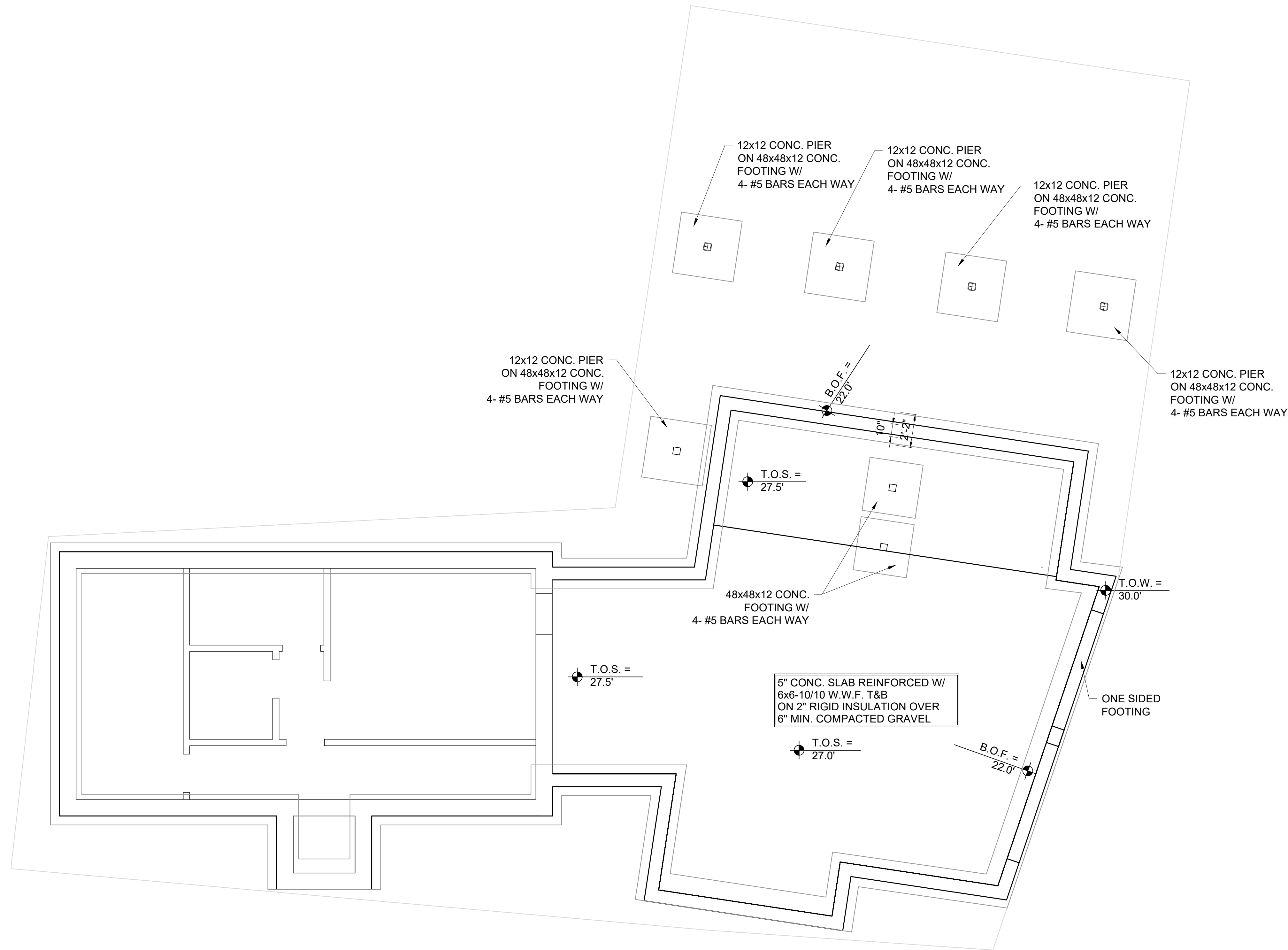
Drawing Name

## GENERAL NOTES

Sheet No.

**S-0**





1 FOUNDATION PLAN  
1/4" = 1'-0"

Location

**PROPOSED RENOVATION &  
SEMI-ATTACHED ADDITION  
6-8 NEAREN ROW,  
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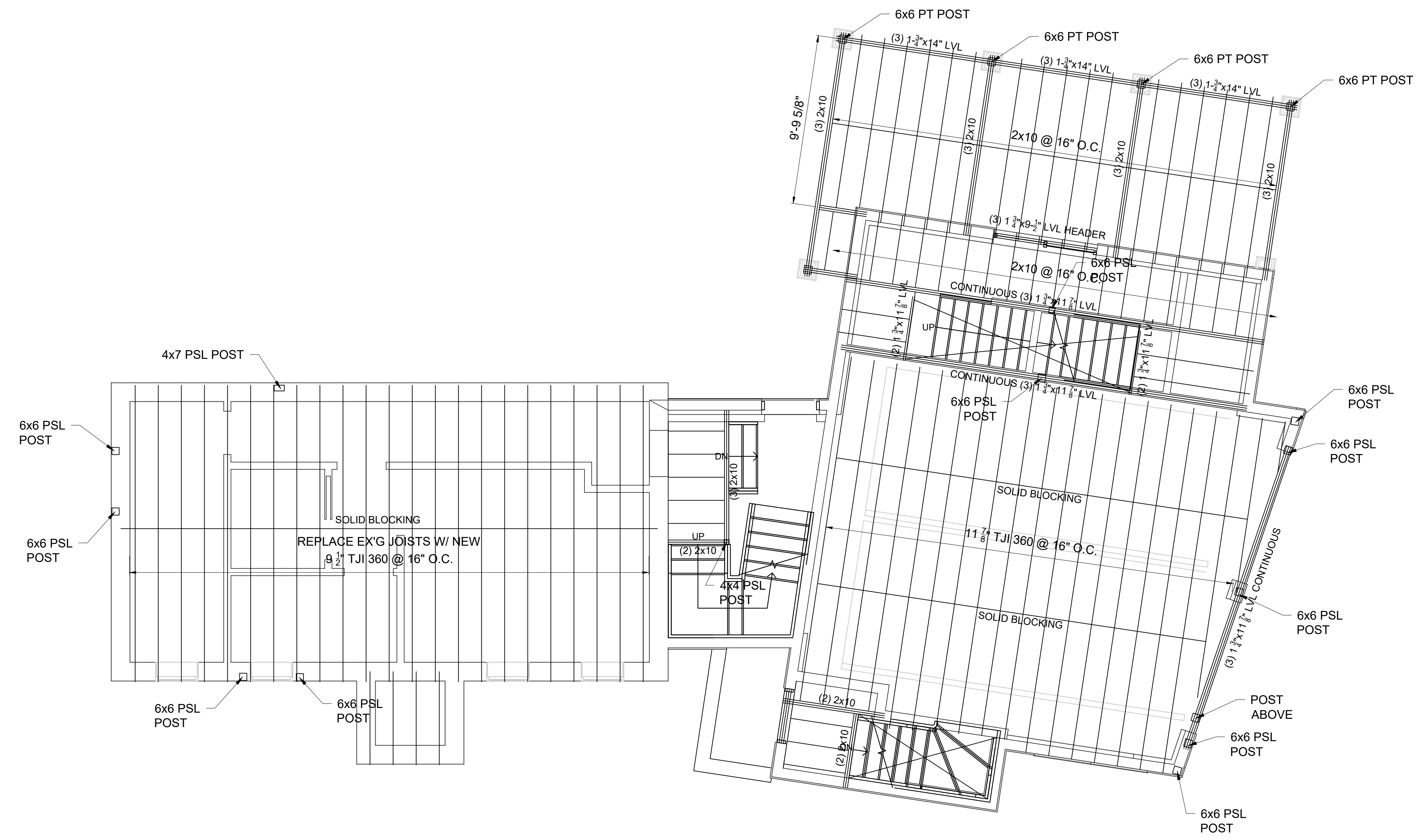
No.	Revision Date
	1-11-2024

Project No: 2023112  
Scale: AS NOTED  
Date: 9-6-2023  
Drawn By: AC

Drawing Name  
**FOUNDATION  
PLAN**

Sheet No.  
**S-1.1**

PERMIT ONLY



**1** 1ST FLOOR FRAMING PLAN  
1/4" = 1'-0"

Location

**PROPOSED RENOVATION &  
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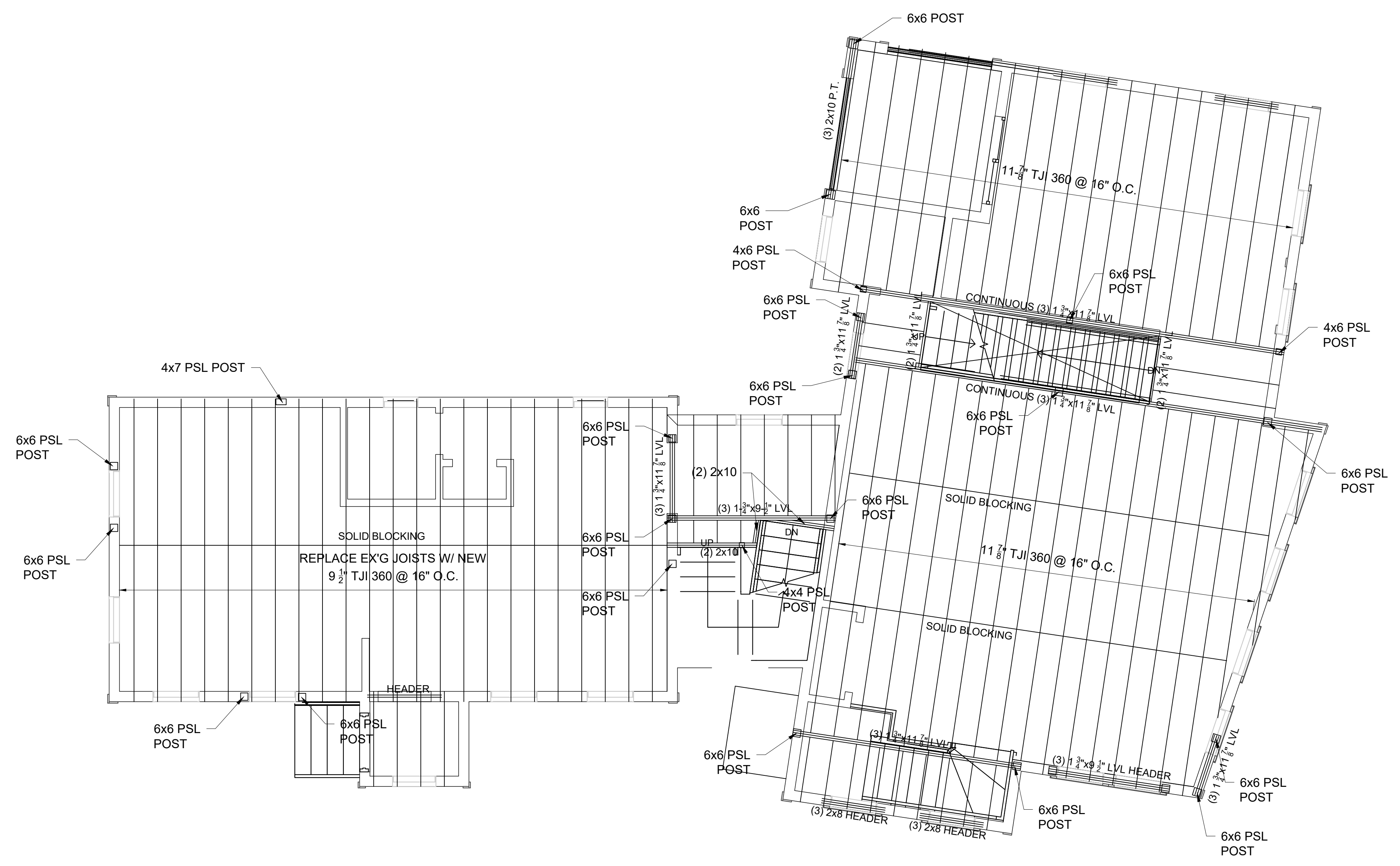
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Scale: AS NOTED  
Date: 9-6-2023  
Drawn By: AC

Drawing Name  
**FRAMING  
PLAN**

Sheet No.  
**S-1.2**

PERMIT ONLY





1 2ND FLOOR FRAMING PLAN  
1/4" = 1'-0"

Location

**PROPOSED RENOVATION & SEMI-ATTACHED ADDITION**  
**6-8 NEAREN ROW,**  
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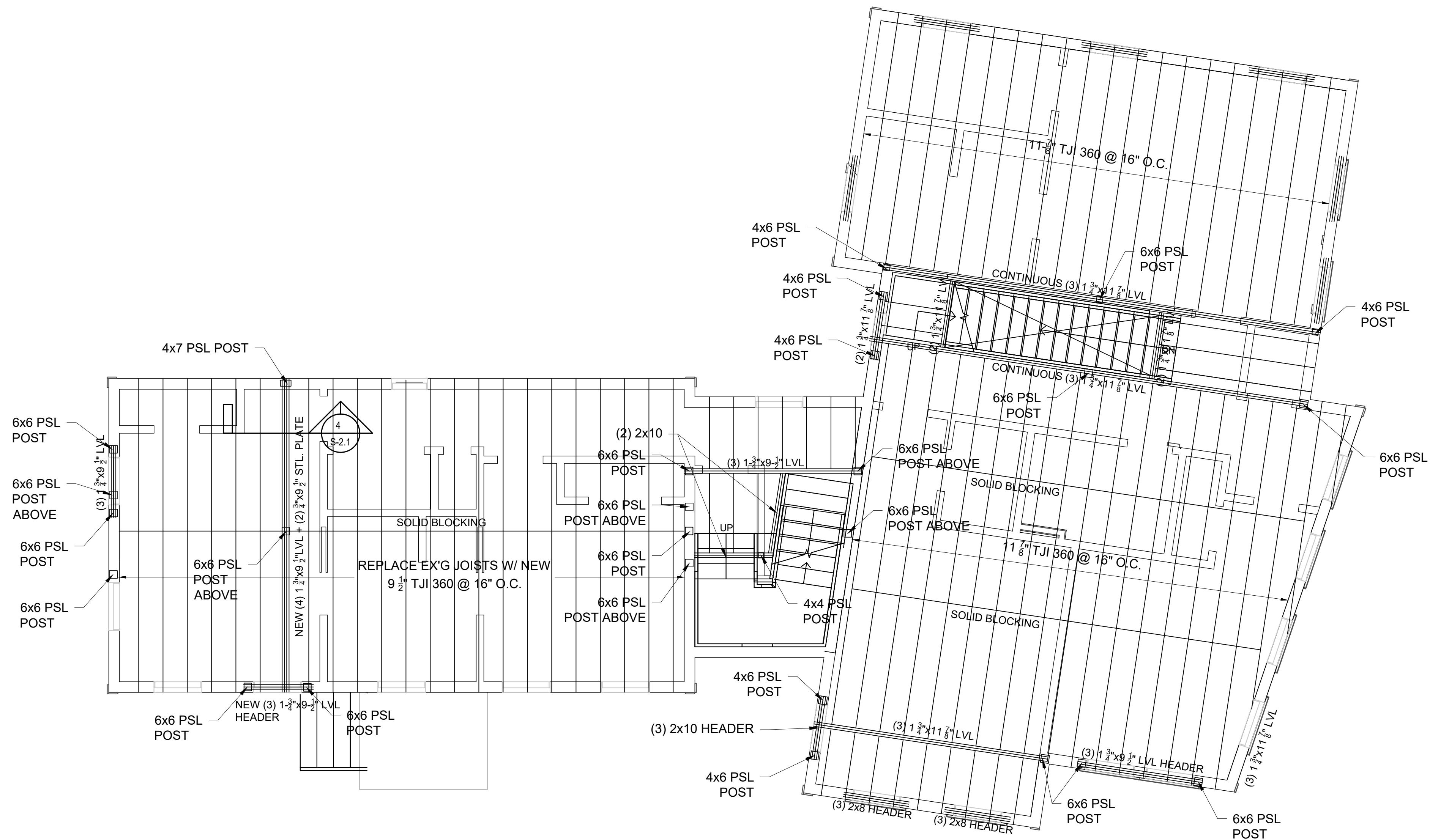
No.	Revision Date
	1-11-2024

Project No: 2023112  
 Scale: AS NOTED  
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 Drawn By: AC

Drawing Name  
**FRAMING PLAN**

Sheet No.  
**S-1.3**

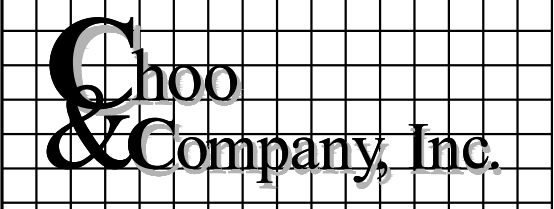
PERMIT ONLY



1 3RD FLOOR / ROOF FRAMING PLAN  
1/4" = 1'-0"

Location

**PROPOSED RENOVATION &  
SEMI-ATTACHED ADDITION  
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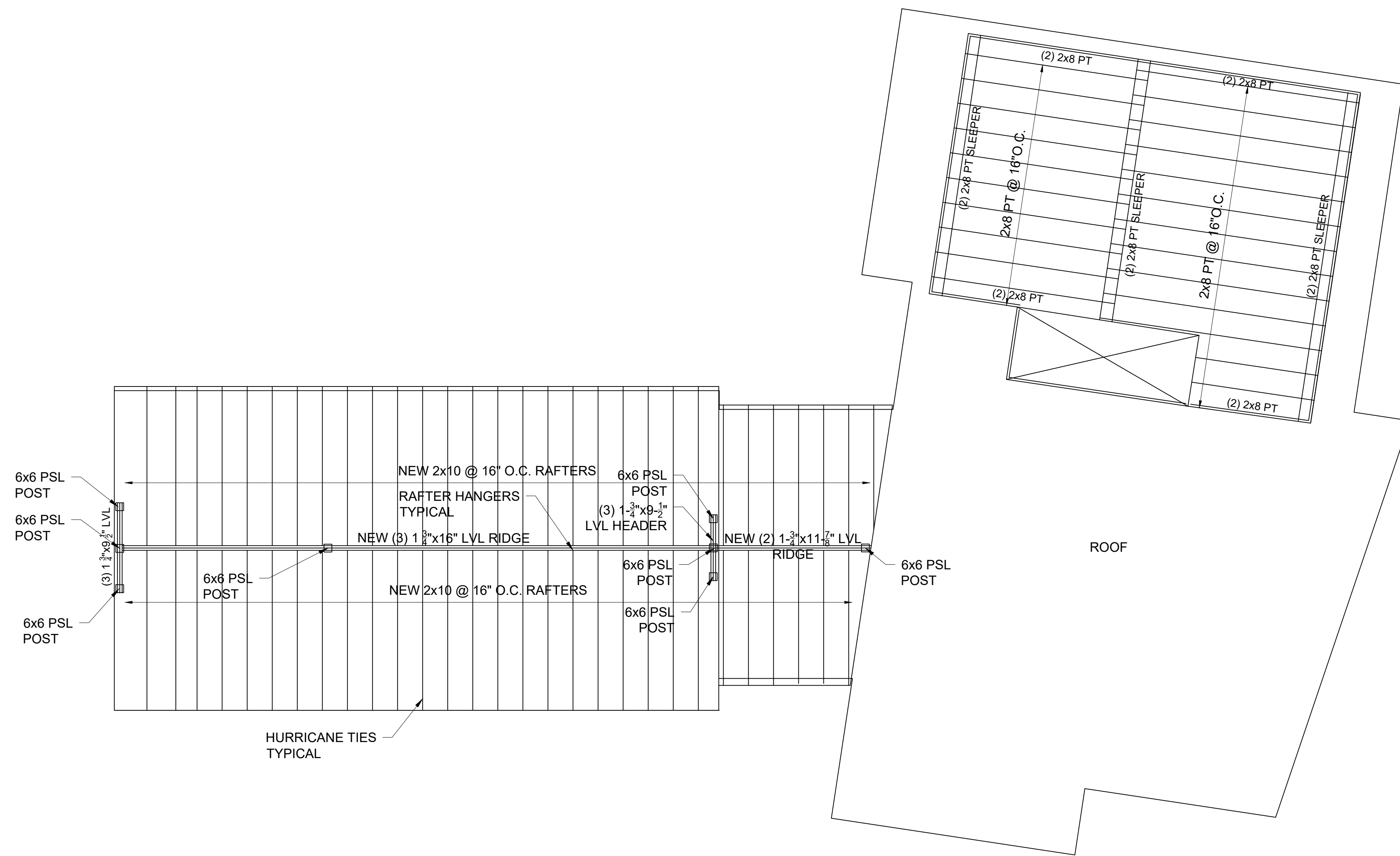
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Date: 9-6-2023  
Drawn By: AC

Drawing Name  
**FRAMING PLAN**

Sheet No.  
**S-1.4**

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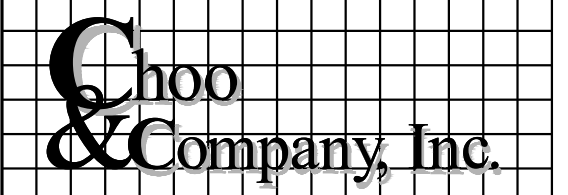




1 ROOF / ROOF DECK FRAMING PLAN  
1/4" = 1'-0"

Location

**PROPOSED RENOVATION &  
SEMI-ATTACHED ADDITION  
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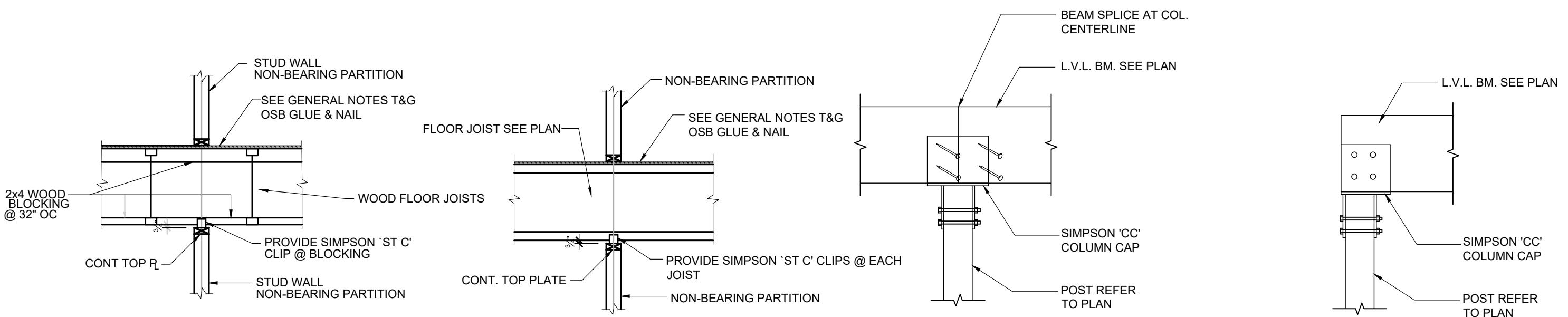
No.	Revision Date
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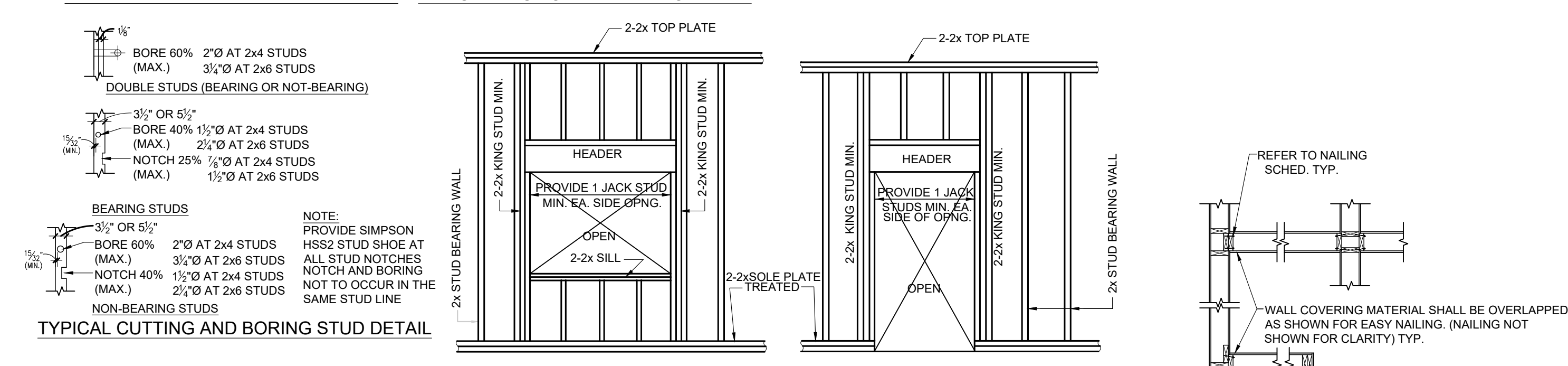
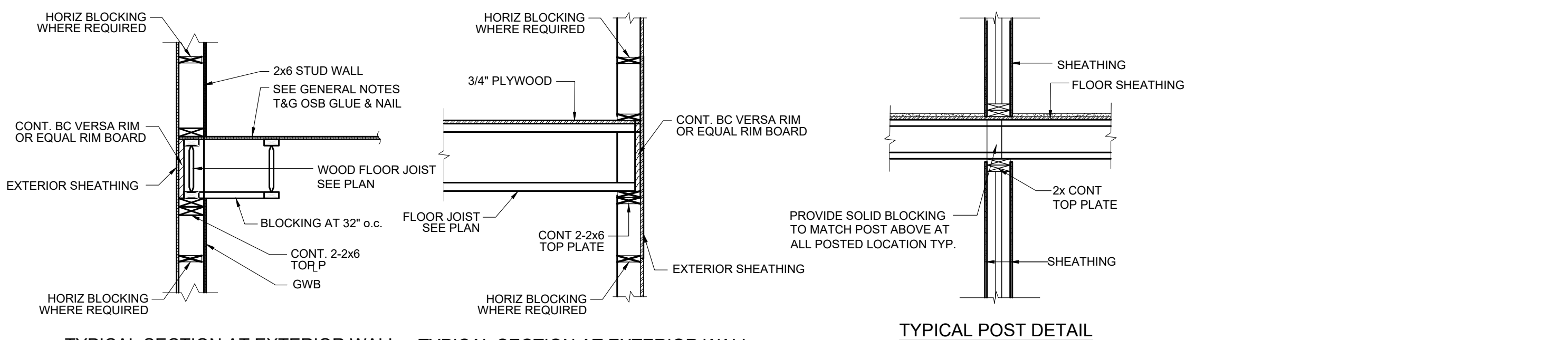
Drawing Name  
**FRAMING  
PLAN**

Sheet No.  
**S-1.5**

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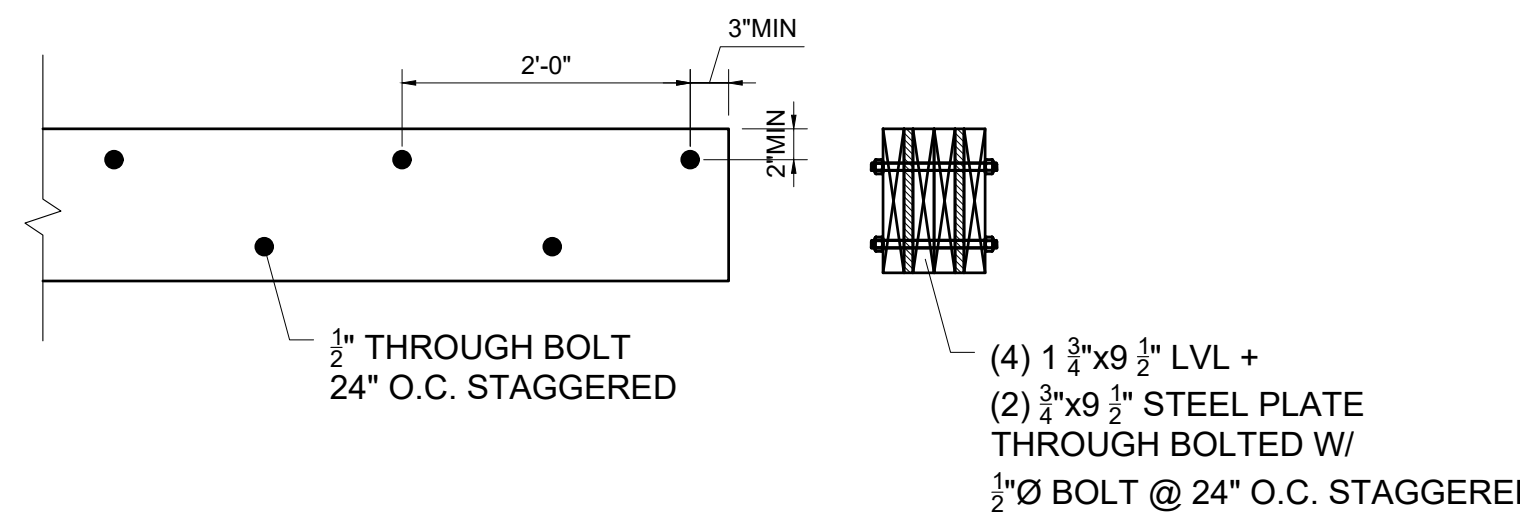


**TYPICAL FRAMING AT NON-BEARING PARTITIONS**  
 PARALLEL TO FRAMING (REFER TO ARCH DWGS FOR WALL LOCATIONS)  
**TYPICAL FRAMING AT NON-BEARING PARTITIONS**  
 PERPENDICULAR TO FRAMING (REFER TO ARCH DWGS FOR WALL LOCATIONS)

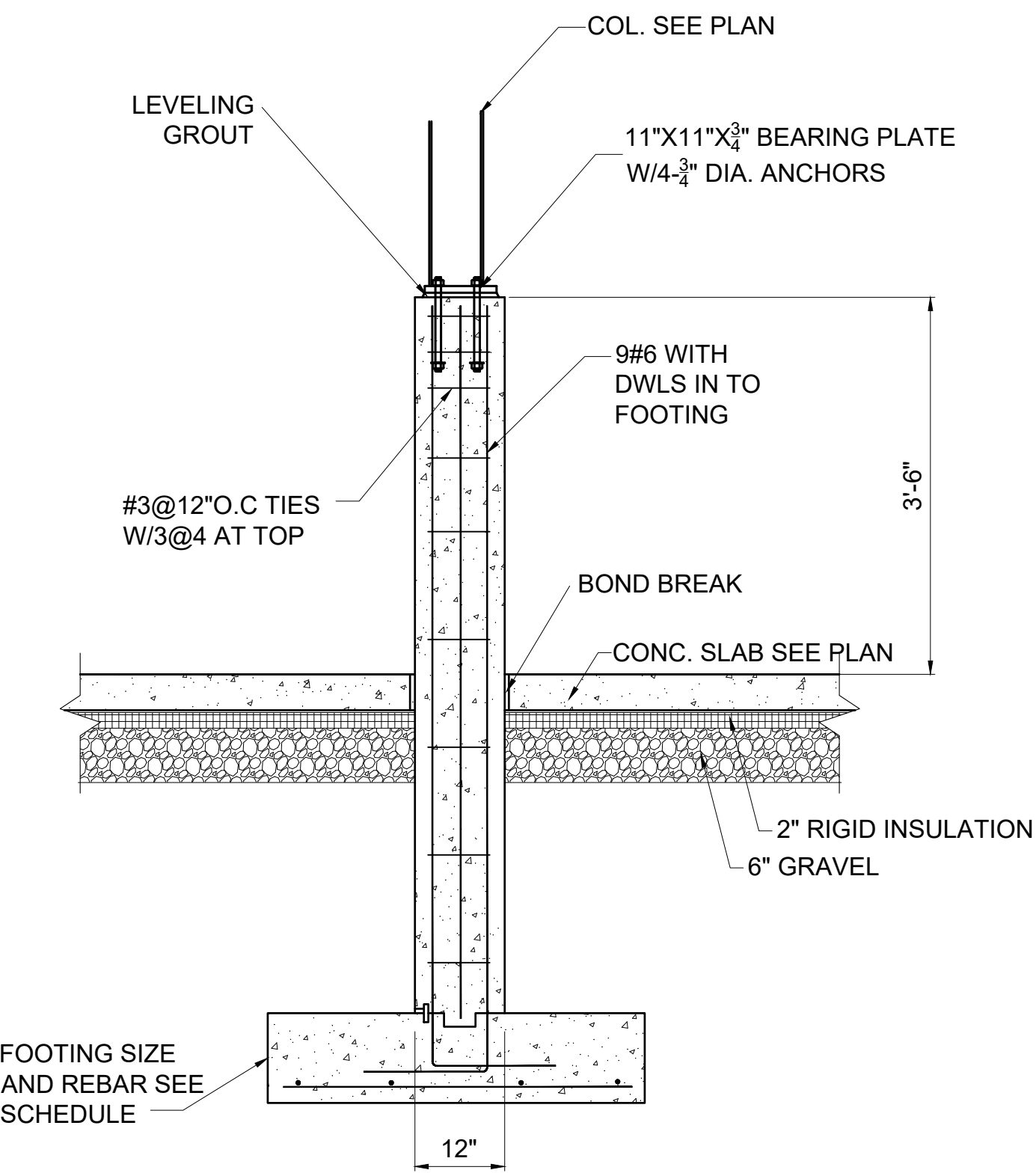


**TYPICAL CUTTING AND BORING STUD DETAIL**  
 TYP. WINDOW OPENING  
 TYP. DOOR FRAMING  
**TYPICAL PLAN DETAILS**

**1 WOOD DETAILS**  
 1/2" = 1'-0"



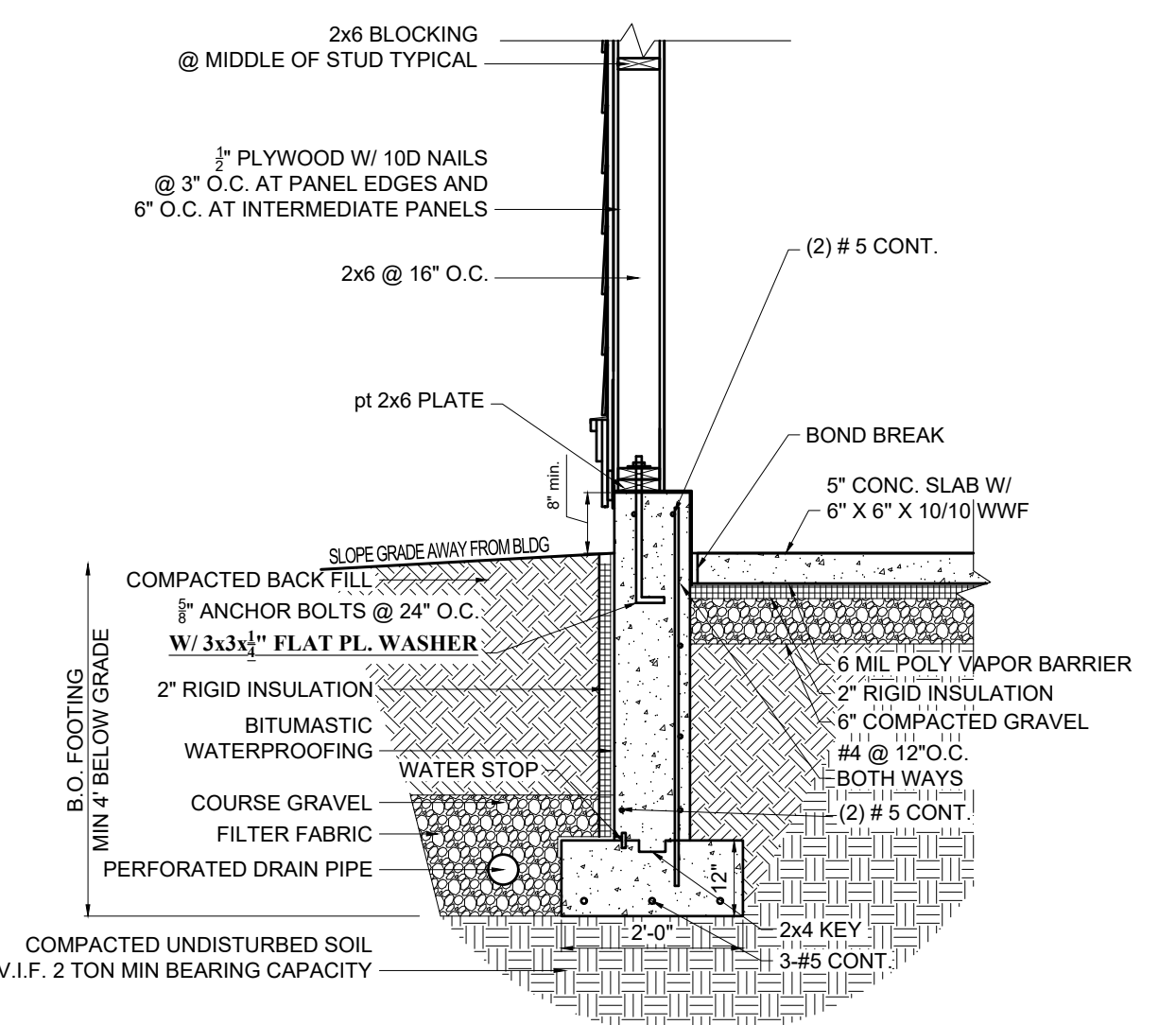
**4 FLITCH BEAM DETAIL**  
 3/4" = 1'-0"



**2 PIER FOOTING DETAIL**  
 3/4" = 1'-0"

**10" CONCRETE WALLS REINFORCING SCHEDULE**

4" WALL MAX	VERTICAL REBAR = #4 @ 18" O.C.
	HORIZONTAL REBAR = #4 @ 12" O.C.
6" WALL MAX	VERTICAL REBAR = #4 @ 18" O.C.
	HORIZONTAL REBAR = #4 @ 12" O.C.
8" WALL MAX	VERTICAL REBAR = #4 @ 8" O.C.
	HORIZONTAL REBAR = #4 @ 8" O.C.
10" WALL MAX	VERTICAL REBAR = #5 @ 7" O.C.
	HORIZONTAL REBAR = #4 @ 8" O.C.



**3 FOUNDATION WALL SECTION**  
 1/2" = 1'-0"

Location

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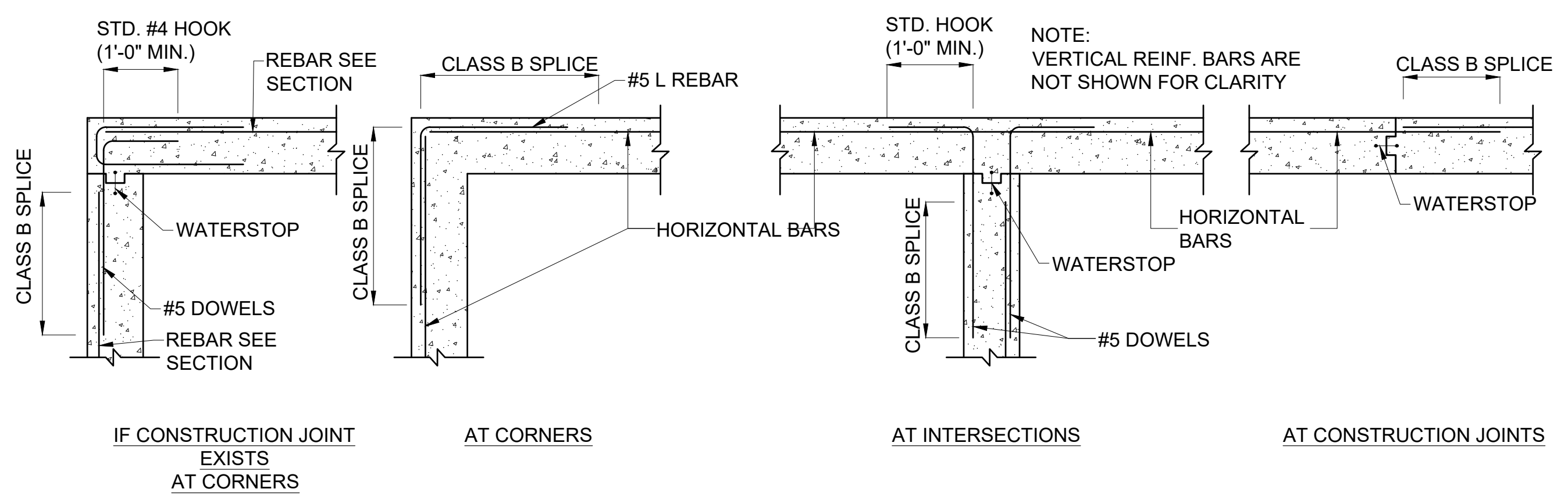
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Drawing Name  
**FRAMING DETAILS**

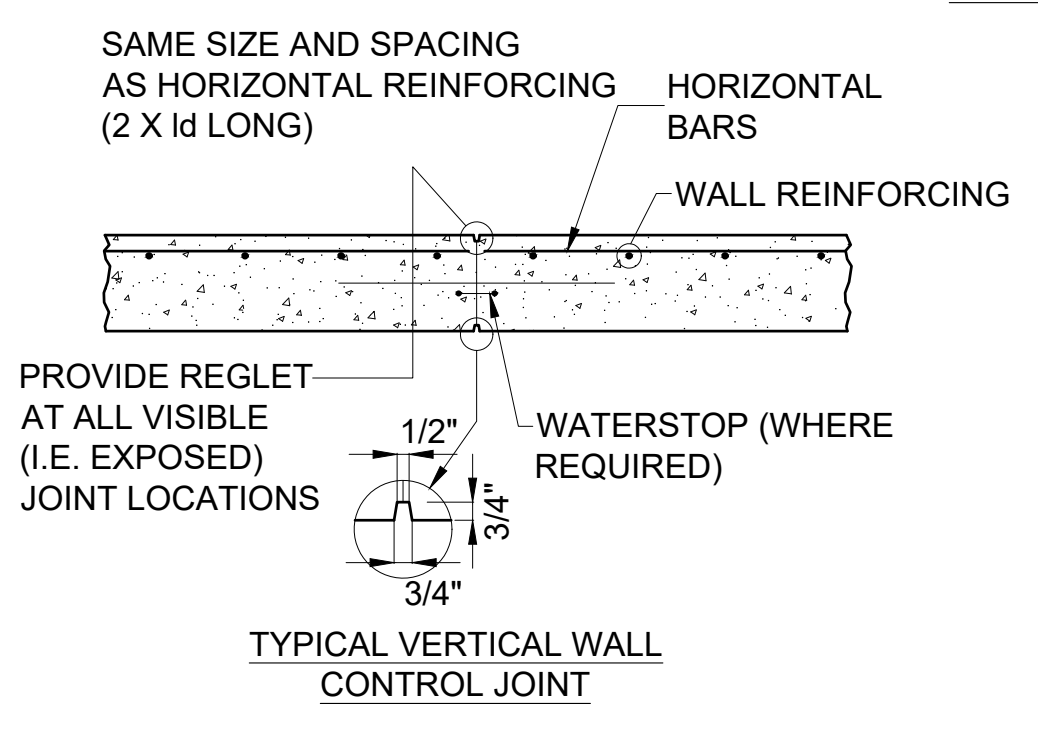
Sheet No.  
**S-2.1**

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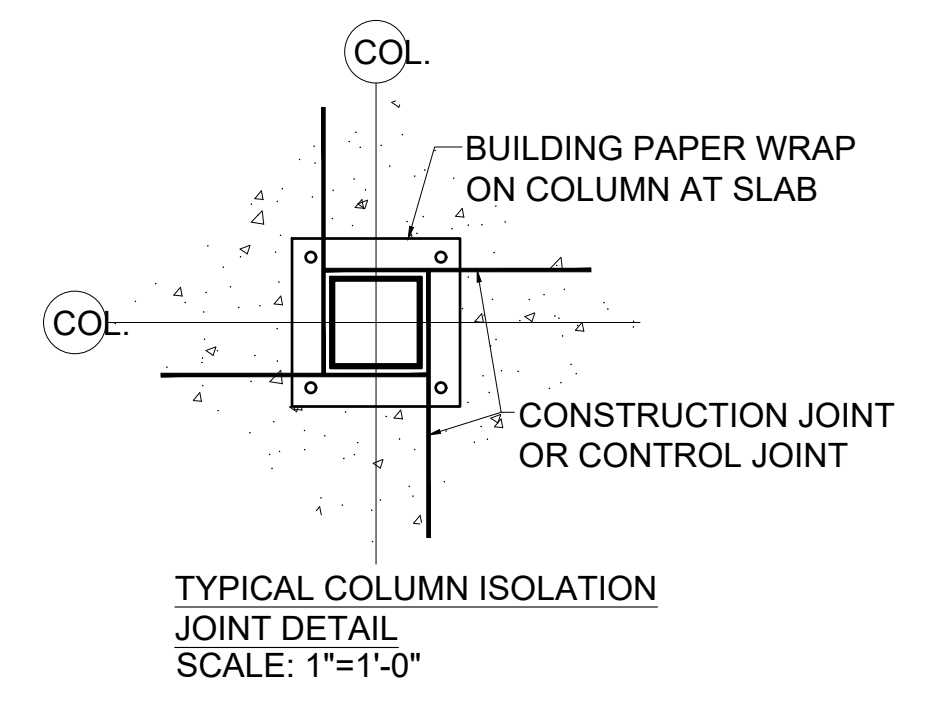




TYPICAL PLAN OF HORIZONTAL WALL REINFORCING

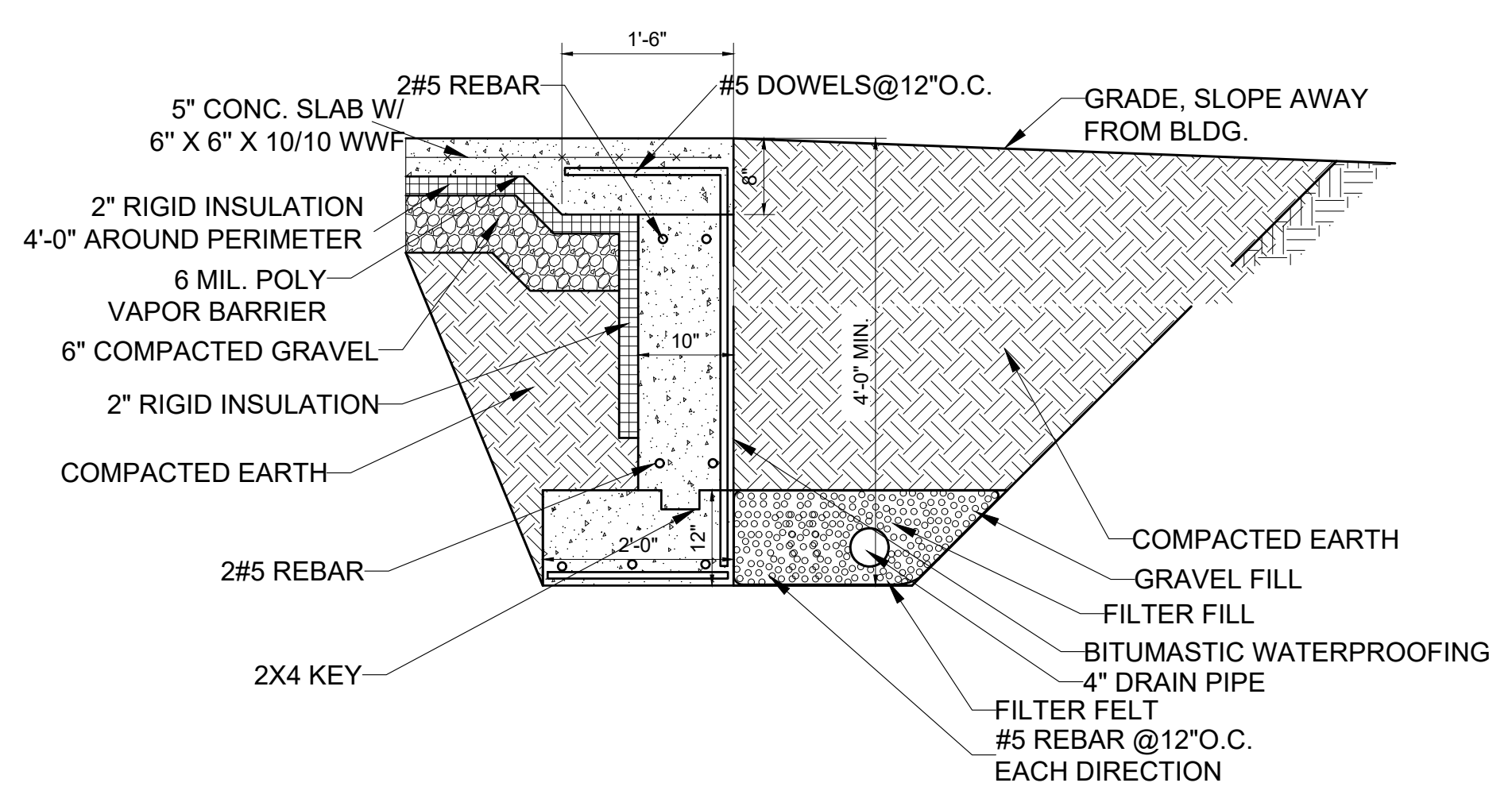


TYPICAL VERTICAL WALL CONTROL JOINT

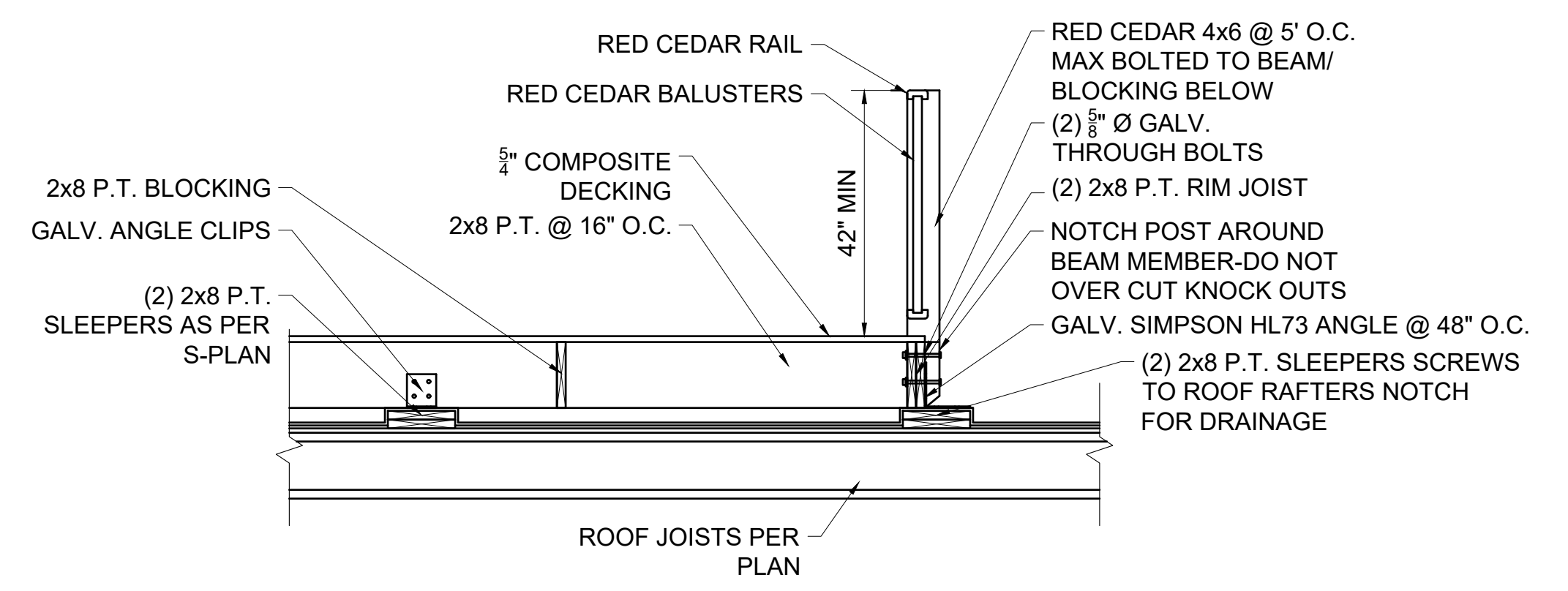


TYPICAL COLUMN ISOLATION JOINT DETAIL SCALE: 1"=1'-0"

1 FOOTING DETAILS 1/2" = 1'-0"



2 GARAGE ENTRANCE SECTION 1/2" = 1'-0"



3 ROOF DECK SECTION 1/2" = 1'-0"

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