

# 8 Lawrence Street

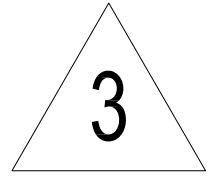
Charlestown, Boston, Massachusetts

Owner: 8 Lawrence St LLC, Issued for Permit Set: 05/07/2020

Issued for BPDA Review: 09/23/2022

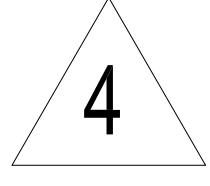
Modifications from the original set dated 05/07/2020 included in this drawing set:

1. Extensive refinement of exterior materials and window configurations.
2. Refinement of interior level 1 layout and staircase



Modifications from the revision set dated 08/19/2020 included in this drawing set:

1. Extensive refinement of exterior materials and window configurations.



Modifications from the revision set dated 10/05/2020 included in this drawing set:

1. Increase of level 1 height and alignment of north facade perpendicular to street.

ELEVATION TARGET



INTERIOR ELEVATION TARGET



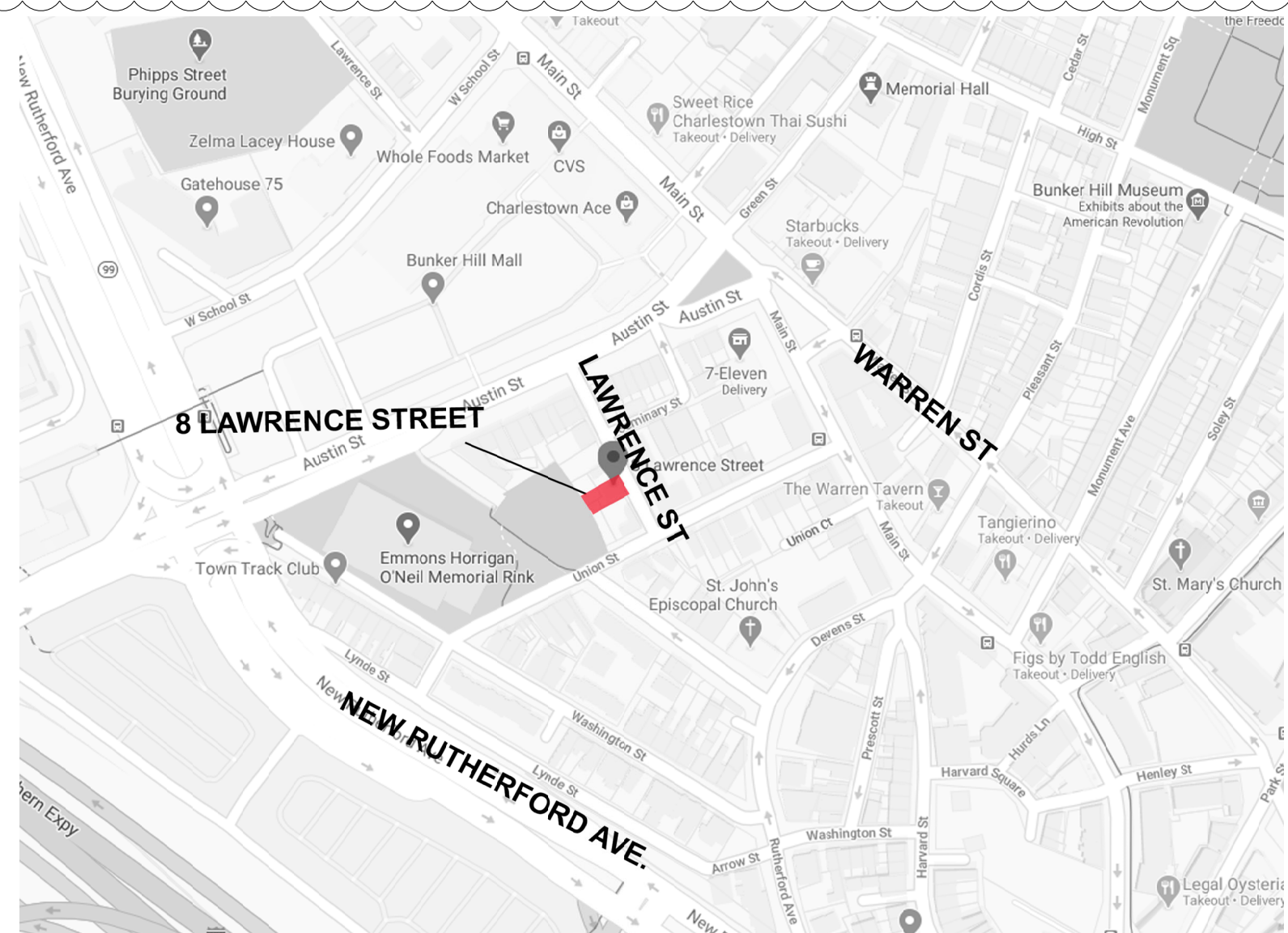
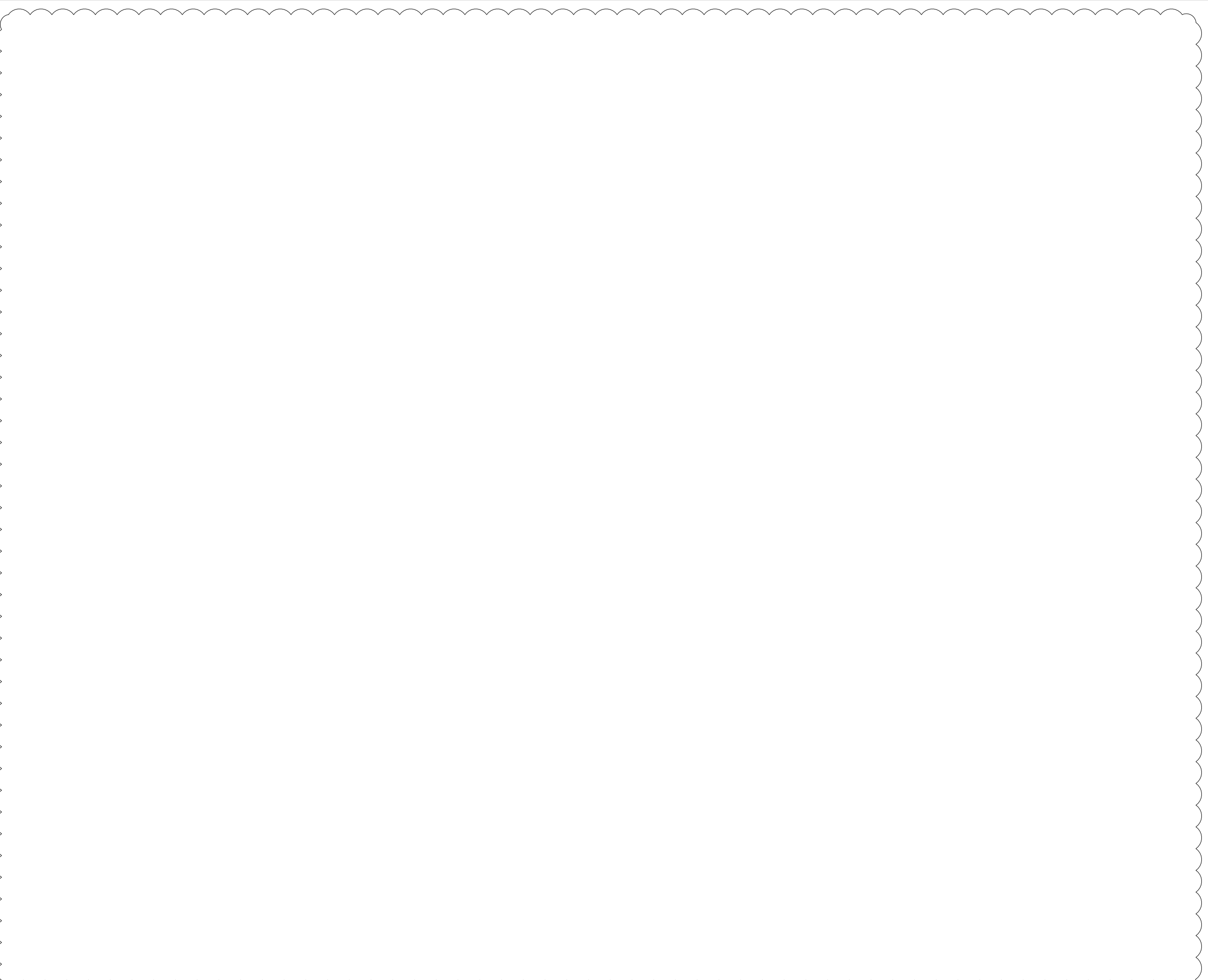
DETAIL TARGET



WINDOW TARGET



- GENERAL NOTES:**
1. ALL WORK SHALL COMPLY WITH STATE, NATIONAL CODES, REGULATIONS AND RESTRICTIONS WHICH APPLY TO THIS PROJECT.
  2. THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
  3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND POSTING ALL NECESSARY VALID CONSTRUCTION PERMITS FROM ALL LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION PRIOR TO THE START OF ON-SITE CONSTRUCTION.
  4. THE CONTRACTOR SHALL KEEP ALL BUILDING MEANS OF EGRESS CLEAR OF ANY OBSTRUCTIONS AT ALL TIMES.
  5. THE GENERAL CONTRACTOR MUST COORDINATE WITH THE BUILDING FACILITIES MANAGER ALL ACTIVITIES INCLUDING, BUT NOT LIMITED TO WORK WHICH WILL GENERATE EXCESSIVE NOISE AND MODIFICATION TO UTILITIES. WORK MUST NOT INTERFERE WITH EXISTING SMOKE DETECTORS, ALARMS OR BUILDING SYSTEM MANAGEMENT
  - 5.1. THE GENERAL CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH ANY TENANT DESIGN AND CONSTRUCTION MANUAL AND ANY OTHER BUILDING OWNER OR BUILDING STANDARDS.
  6. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION ACTIVITIES, MATERIALS, MEANS AND METHODS. THE CONTRACTOR IS TO COORDINATE ALL SUBCONTRACTORS TO COMPLETE THE FULL SCOPE OF WORK AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
    - 6.1. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROPERLY LAYING OUT THE WORK AND FOR ALL LINES AND MEASUREMENTS FOR THE WORK.
    - 6.2. BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED OR DAMAGED BY THE WORK SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR, OR AS APPROVED BY THE OWNER.
    - 6.3. WHERE THE DESIGN INTENT CANNOT BE DETERMINED FROM THE DRAWINGS, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. (312) 780-9456
  7. THE CONTRACTOR SHALL VERIFY THE DIMENSIONS SHOWN ON THE DRAWINGS BEFORE LAYING OUT THE WORK, AND SHALL BE HELD RESPONSIBLE FOR ANY ERRORS OR INACCURACIES RESULTING FROM FAILURE TO DO SO.
    - 7.1. DETAILS SHOWN ARE INDICATIVE OF THE CHARACTER, PROFILES, MATERIALS AND SYSTEMS REQUIRED FOR THE WORK INCLUDING THOSE CONDITIONS NOT COVERED BY SPECIFIC DETAILS.
    - 7.2. DIMENSIONS SHALL GOVERN, DO NOT SCALE THE DRAWINGS. WHERE THERE APPEARS TO BE A CONFLICT OR WHERE DIMENSIONS CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
    - 7.3. ALL DIMENSIONS ARE TO INSIDE FACE OF WALLS.
    - 7.4. UNLESS SHOWN OTHERWISE, ALL DOORS SHALL BE LOCATED SUCH THAT THERE IS A 2 INCH WALL RETURN BETWEEN THE JAMB FRAME AND THE ADJACENT PERPENDICULAR WALL.
  8. CONSULT WITH THE ARCHITECT OR ENGINEER BEFORE PENETRATING ANY JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS
  9. ALL CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE STORED NEATLY WITHIN THE SCOPE OF WORK AREA ONLY.
  10. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS
    - 10.1. SUBMIT SHOP DRAWINGS AND SAMPLES FOR ALL STEEL, MILLWORK, SIGNAGE, HARDWARE AND INTERIOR FINISHES
    - 10.2. SUBMIT PRODUCT DATA FOR FIXTURES AND HARDWARE
    - 10.3. ALL INTERIOR AND EXTERIOR FINISHES, COLORS AND MATERIALS ARE TO BE SELECTED AND APPROVED BY THE OWNER PRIOR TO CONSTRUCTION
    - 10.4. ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'A' FIRE RATED AND ARE TO COMPLY WITH MASSACHUSETTS BUILDING CODE AND THE BOSTON FIRE CODE
    - 10.5. ALL WOOD COMPONENTS SHALL BE FIRE TREATED
    - 10.6. CONFIRM THAT ALL MATERIALS AND FINISHES, INCLUDING THEIR FABRICATION AND INSTALLATION WILL NOT RELEASE FUMES OR AROMAS WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL
  11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PANEL CONTROL AND CIRCUIT DESIGN AND FOR COMPLIANCE WITH ALL BUILDING, LIFE SAFETY, AND STATE AND NATIONAL ELECTRICAL CODES WHICH MAY APPLY
    - 11.1. ALL EXPOSED UTILITY WIRES AND PIPES SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS AND CEILINGS; THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF OF FLOORS AND 1" OFF OF WALLS, CEILINGS OR ADJACENT PIPES OR WIRES
  12. WHERE APPROPRIATE, EXISTING SPRINKLER HEADS ALARM SYSTEM AND DETECTORS ARE TO REMAIN. MODIFY LOCATIONS ONLY WHERE CEILING IS ALTERED OR AS INDICATED ON FIRE PROTECTION DRAWINGS.
  13. EQUIPMENT INFORMATION AND SPECIFICATIONS, INCLUDING EQUIPMENT SUPPLIED BY THE OWNER, ARE TO BE THE MOST CURRENT AT THE TIME OF DOCUMENTATION PREPARATION.
    - 13.1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS.
    - 13.2. MAKE ALL FINAL CONNECTIONS, INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOTE VOID WARRANTIES.
    - 13.3. COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL EQUIPMENT, INCLUDING THAT SUPPLIED BY THE OWNER.
  14. PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF THE WORK
  15. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME FOR A CERTAIN ITEM
  16. SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS OR RODENTS
  17. EMPLOY EXPERIENCED WORKERS FOR FINAL CLEANING. CLEAN TO COMMERCIAL BUILDING PROGRAM STANDARDS
    - 17.1. DISPOSE OF ALL WASTE AND DEBRIS OFF THE PREMISES



**2** LOCATION PLAN  
SCALE: NOT TO SCALE

- APPLICABLE CODES:**
1. BUILDING CODE: CMR 780 MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION (AMENDED INTERNATIONAL BUILDING CODE 2015, INTERNATIONAL RESIDENTIAL CODE 2015 AND THE 2015 INTERNATIONAL EXISTING BUILDING CODE W/ MASSACHUSETTS AMENDMENTS)
  2. ACCESSIBILITY: MASSACHUSETTS ARCHITECTURAL ACCESS BOARD CMR 521 AND UNIFORM FEDERAL ACCESSIBILITY STANDARDS
  3. FIRE PROTECTION: MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE CMR 527 1.00 - 2012 NFPA 1: FIRE CODE WITH AMENDMENTS
  4. ELECTRICAL: 527 CMR 12.00 MASSACHUSETTS ELECTRICAL CODE - 2014 NFPA 70 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
  5. MECHANICAL: INTERNATIONAL MECHANICAL CODE 2015 W/ AMENDMENTS
  6. PLUMBING: 248 CMR BOARD OF STATE EXAMINERS OF PLUMBERS AND GAS FITTERS - UNIFORM STATE PLUMBING CODE
  7. ENERGY: INTERNATIONAL ENERGY CONSERVATION CODE 2015 (IECC)
  8. AMERICANS WITH DISABILITIES ACT
  9. BOSTON ZONING CODE
  10. MGL CH. 148 SECTION 26G
- BUILDING DESCRIPTION:**  
THIS NEW SINGLE-FAMILY HOME IS STORIES TALL WITH A A GARAGE SPACE FOR 1 CAR AND A FINISHED BASEMENT AREA.

- CODE SUMMARY:**
1. PROPOSED USE OR OCCUPANCY: RESIDENTIAL - R-3
    - 1.1 OCCUPANT LOAD: (200 GROSS SF/PERSON PER 1004.1.1) APPROX. 4253 SF = 21 PERSONS
  2. CONSTRUCTION TYPE: V.A. - TABLE 504.4
    - 2.1 PER TABLE 601: STRUCTURAL FRAME, BEARING WALLS, FLOORS AND ROOF ARE TO BE 1 HOUR RATED.
    - 2.2 MAX. AREA PER FLOOR IS 12,000 SF PER TABLE 506 AND MAXIMUM HEIGHT IS 4 STORIES ABOVE GRADE - 504.4
  3. PER TABLE 1006.3.2(1) FOR USE GROUP R-2 - TWO EXITS ARE REQUIRED WHEN THERE ARE FOUR STORIES OR MORE AND TRAVEL DISTANCE IS LIMITED TO 125'
    4. MINIMUM WIDTH OF EGRESS STAIR: 36 INCHES PER SECTION 1011.2
    5. MAXIMUM LENGTH OF EXIT TRAVEL: 250 FEET PER 1017.2
  6. FIRE RATED CONSTRUCTION:
    - 6.1 PER TABLE 602, EXTERIOR WALLS MORE THAN 30' FROM PROPERTY LINE ARE NOT REQUIRED TO BE RATED, 30' OR LESS MUST BE 1 HOUR RATED.
    - 6.2 DEMISING PARTITIONS/CORRIDORS MUST BE 1 HOUR RATED IN A SPRINKLERED TYPE V.A. BUILDING 420.1, 708.3.
    - 6.3 HORIZONTAL SEPARATION BETWEEN DWELLING UNITS: 1 HOUR IN A SPRINKLERED TYPE V.A. BUILDING PER 420 AND 711.2.4.3 - REFER TO DETAIL ON A-20
    - 6.4 STAIRWAYS CONNECTING 4 OR MORE STORIES ARE TO BE 2 HOUR RATED, STAIRS CONNECTING LESS THAN 4 STORIES ARE TO BE 1 HOUR RATED PER 1023.2
    - 6.5 PER TABLE 716.5: 1 HOUR ENCLOSURES AND EXIT ACCESS SHALL HAVE 1 HOUR DOORS. 1 HOUR AND ½ HOUR CORRIDORS SHALL HAVE A MINIMUM 20 MIN. RATED DOOR. 2 HOUR ENCLOSURES AND EXIT ACCESS SHALL HAVE 90 MIN. DOORS.
  7. DEMISING PARTITION MINIMUM: STC 50 PER SECTION 1207.2
  8. ACCESSIBILITY REQUIREMENTS:
    - 8.1 CMR 521 9.3 - BUILDING DOES NOT CONTAIN AN ELEVATOR BETWEEN GROUND AND FIRST LEVEL - UNITS ON FIRST LEVEL MUST BE CONSTRUCTED AS GROUP 1 DWELLING UNITS, COMPLY WITH 9.5, 42.00, 43.00 AND 46.00
    - 8.2 CMR 521 9.4 BUILDING DOES NOT CONTAIN 20 OR MORE UNITS

- ENERGY REQUIREMENTS:**  
MASSACHUSETTS ENERGY STRETCH CODE, CHAPTER 4 - RESIDENTIAL ENERGY EFFICIENCY - RESIDENTIAL BUILDINGS, INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2015
1. CLIMATE ZONE 5H PER TABLE 301.1
  2. EXISTING WALLS AND CEILINGS: FILL EXISTING WALL AND CEILING CAVITIES WITH INSULATION PER IECC 101.4.3.3.
  3. PER IECC TABLES 402.1.2 AND R402.1.4, PENETRATION SHALL HAVE A U-FACTOR OF 0.30 OR BETTER.
  4. SKYLIGHTS SHALL HAVE A U-FACTOR OF 0.55 OR BETTER PER 402.1.2 AND 402.1.4.
  5. VAPOR RETARDER IS REQUIRED TO COMPLY WITH R402.1.1 OF THE IECC AND R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE. VAPOR RETARDER IS NOT REQUIRED IN BASEMENT OR BELOW GRADE WALLS.
  6. R402.1.2 - CEILING: R=49; WOOD FRAME WALL: R=20 OR 13(CAVITY)+5(CONTINUOUS); FLOOR R=30; BASEMENT WALLS AND CRAWL SPACES: R=15 CONTINUOUS OR R=19 IN CAVITY OR R=13 IN CAVITY WITH R=5 CONTINUOUS; SLAB R=10

ZONING ANALYSIS:	3F-2000	PROPOSED	COMMENTS
LOT AREA MIN.	2,000 SF	2412 SF	*2 LOTS COMBINED
MIN. LOT WIDTH	25'	43'-0"	
MIN. LOT FRONTAGE	25'	43'-0"	
MAX. BUILDING HEIGHT (STORIES/HEIGHT)	3 / 35'	3 / 35'-0"	
MAX. FLOOR AREA RATIO	2.0	4389 / 2412 = 1.82	
MIN. FRONT YARD SETBACK	EXIST. ALIGN	0'-3"	*CONFORMS W/ EXISTING ALIGNMENT
MIN. SIDE YARD SETBACK	2'-6"	3'-0"	
MIN. REAR YARD SETBACK	20'	20'-3"	
OPEN SPACE REQUIREMENT	350 SF	830 SF	
PARKING REQUIREMENT	1/UNIT	1 SPACE	

- LIST OF DRAWINGS**
- A-01 ANALYSIS, DRAWING LIST AND NOTES
  - A-02 PROPOSED SITE PLAN
  - A-10 PROPOSED PLANS
  - A-30 PROPOSED ELEVATIONS
  - A-40 DETAILS
  - A-41 DETAILS
  - A-42 DETAILS



*Eric Johnson*

**8 Lawrence St**  
*8 Lawrence St LLC*

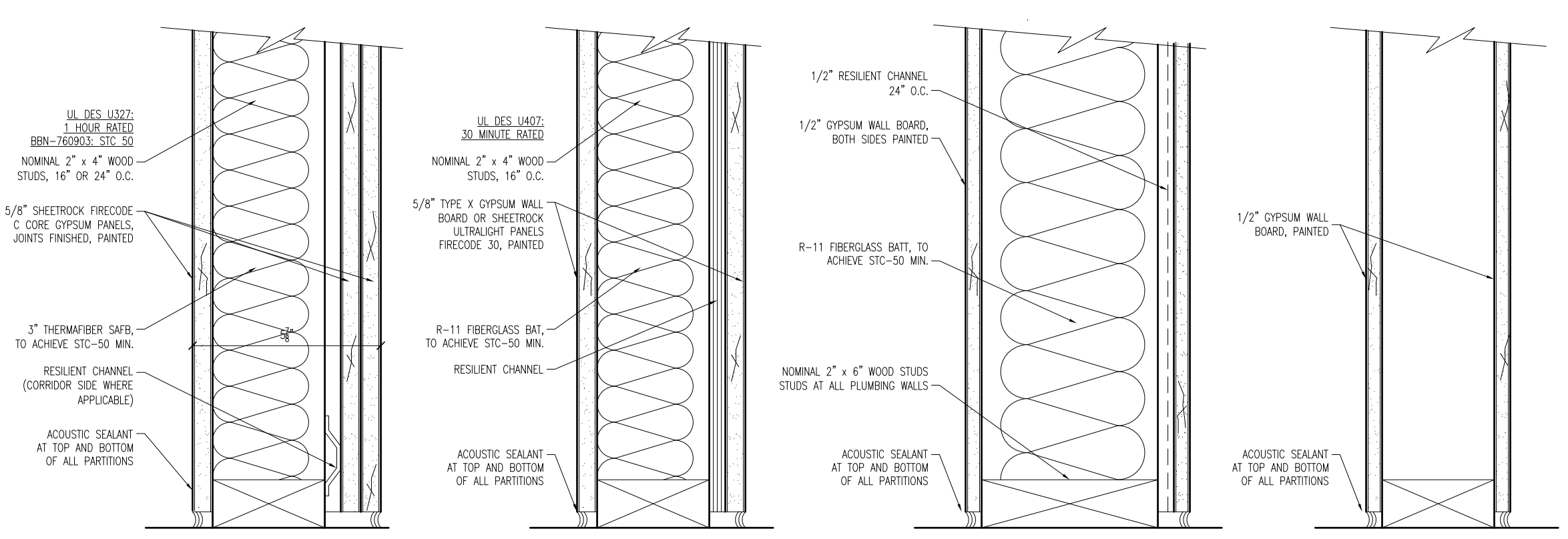
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Charlestown, Massachusetts

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No.	Description	Date
<b>Drawing Title: ANALYSIS, DWG LIST, NOTES</b>		
<b>Project No.: 0256</b>	<b>Checked by: EZ</b>	

**A-01**



**D** WALL TYPE D  
1 HOUR RATED  
SCALE: 3" = 1'-0"

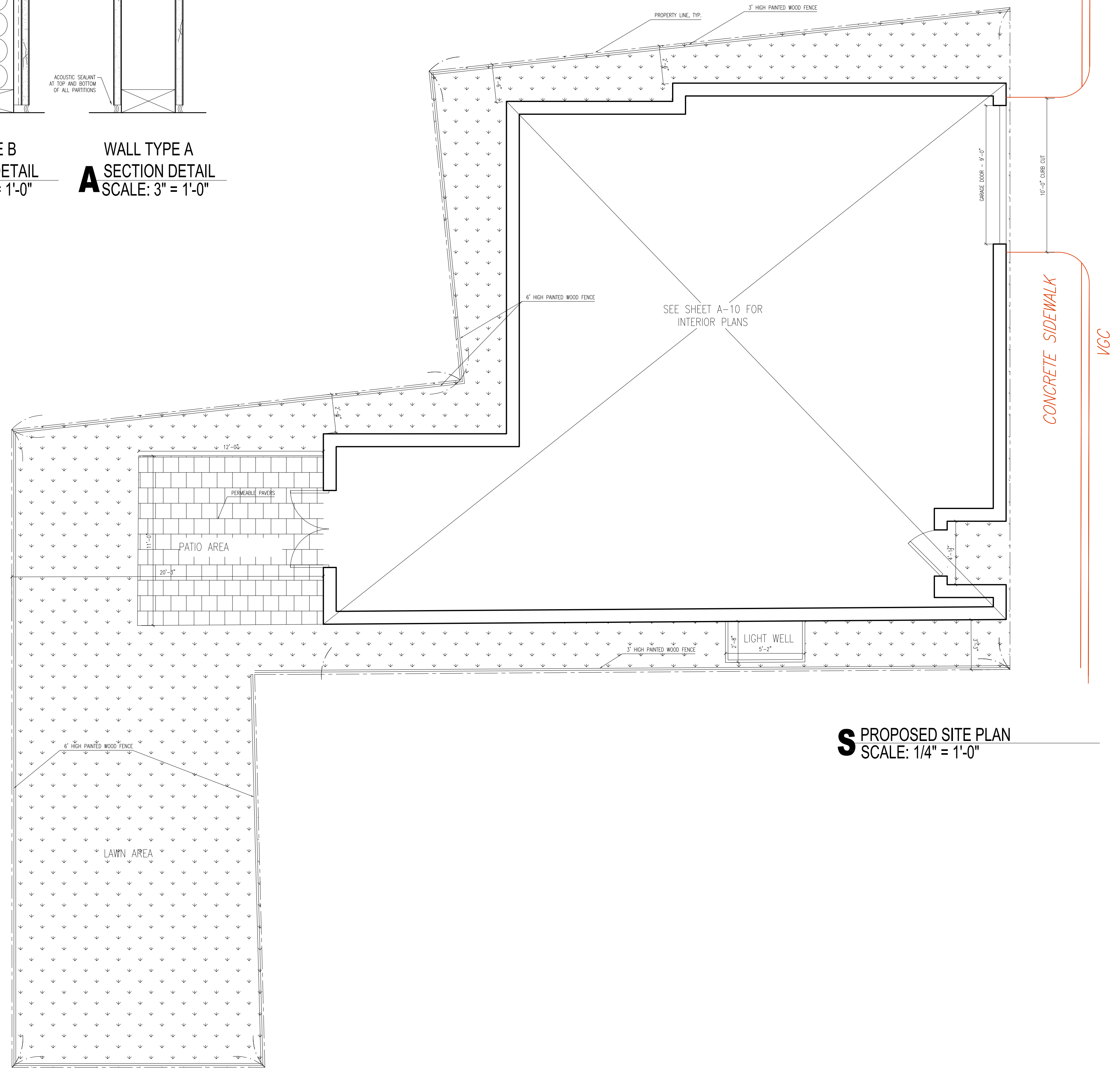
**C** WALL TYPE C  
30 MINUTE RATED  
SCALE: 3" = 1'-0"

**B** WALL TYPE B  
SECTION DETAIL  
SCALE: 3" = 1'-0"

**A** WALL TYPE A  
SECTION DETAIL  
SCALE: 3" = 1'-0"

APPROVED  
DESIGN REVIEW  
BOSTON REDEVELOPMENT AUTHORITY

SIGNATURE *M. Cannizzo*



**S** PROPOSED SITE PLAN  
SCALE: 1/4" = 1'-0"

**NDOD**  
BPDA Design Review Provisos

**General**

- All changes to the exterior and/or site plans shall be submitted to the Boston Planning & Development Agency ("BPDA") for review and approval.
- All building improvements shall be completed prior to issuance of occupancy permit by ISD unless prior approval is granted by the BPDA.
- All site improvements, including but not limited to hardscape and plantings, must be completed prior to issuance of occupancy permit by ISD unless prior approval is granted by the BPDA for a delay in completing the site improvements.

**Landscape**

- All new trees shall have a minimum caliper of 3-inch caliper.
- Fences shall be of high quality material; wood or metal is preferred. Chain link fencing is not preferred, especially in front yards; if chain-link is used, it must be vinyl-coated chain link in combination with landscaping. Fences shall not be higher than 6'-0" without ZBA approval. Fences of 6'-0" height are only allowed for rear yards. Front yard fences should not be taller than 42" (3'-6").
- Screening and buffering shall be provided along the side yards to ensure privacy for you and your neighbors. The planting buffer should contain a mix of deciduous and evergreen trees and shrubs. The use of bulbs, perennials, and annuals are encouraged. A minimum five (5) foot wide buffer is encouraged.
- Curb-cuts should be limited to 10ft wide for residential projects. The pedestrian sidewalk must be continuous over the access driveway.
- Driveway widths should be limited to 10ft wide. If necessary, driveways may taper from curb-cut dimension to the width of the garage opening.
- Permeable surfaces are encouraged on site; use permeable paving for any necessary paved surfaces and increase the vegetative cover as much as possible through the inclusion of ground-level plantings, green roofs, and porous surfaces.

**Building**

- No more than 12" of the foundation shall be exposed.
- Masonry: Brick veneer must be at least one full wythe of brick deep. Thin brick will not be allowed.
- Siding: No vinyl or aluminum siding will be allowed. Clapboards shall be wood or fiber-cement. All trim (corner boards, door/window casings, soffit/fascia trim, skirt boards, frieze boards, etc.) shall be wood or fiber cement with a painted finish.
- Doors: All doors including garage doors should be wood. Metal or vinyl doors will not be allowed. Fiberglass doors may be considered as long as the detailing and finish matches wood doors and has a painted finish. All doors facing the street including garage doors shall have translucent panels.
- Windows: Windows should be wood or wood clad in another material, such as aluminum or fiberglass. All vinyl windows will not be allowed. All windows shall have exterior muntins and half screens.
- Window and door trim shall have the following minimum dimensions: 4" casings with 5" or 6" trim at head. Cornerboards shall be 8" wide at minimum.
- All front porches and the rear porches shall have wood (fir, mahogany, redwood, etc.) square edge decking, select painted pine trim at exposed stringers, skirt boards, platform trim, stair risers, column trim, painted fir top and bottom rails and balusters. All lattice shall have a painted finish. Composite materials can be considered for porches.
- Pressure treated lumber will not be allowed as an externally visible material for exterior decking. All pressure treated wood exposed to public views on the site shall be covered and shielded from view. Use of composite, and/or natural wood materials is acceptable.

**Mechanical**

- The final location of the HVAC compressors, gas meters, electric meters, generators, switchgear, and transformers shall be adequately screened from public view and will not be allowed in the front yard.
- All mechanical vents shall be through the roof or rear wall and shall not be visible from the public street. Vents located on elevations that do not directly face a public way should be composed on the facade so as to minimize their appearance.



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No. Description Date

Drawing Title: Proposed Site Plan

Project No.: 0256 Checked by: EZ

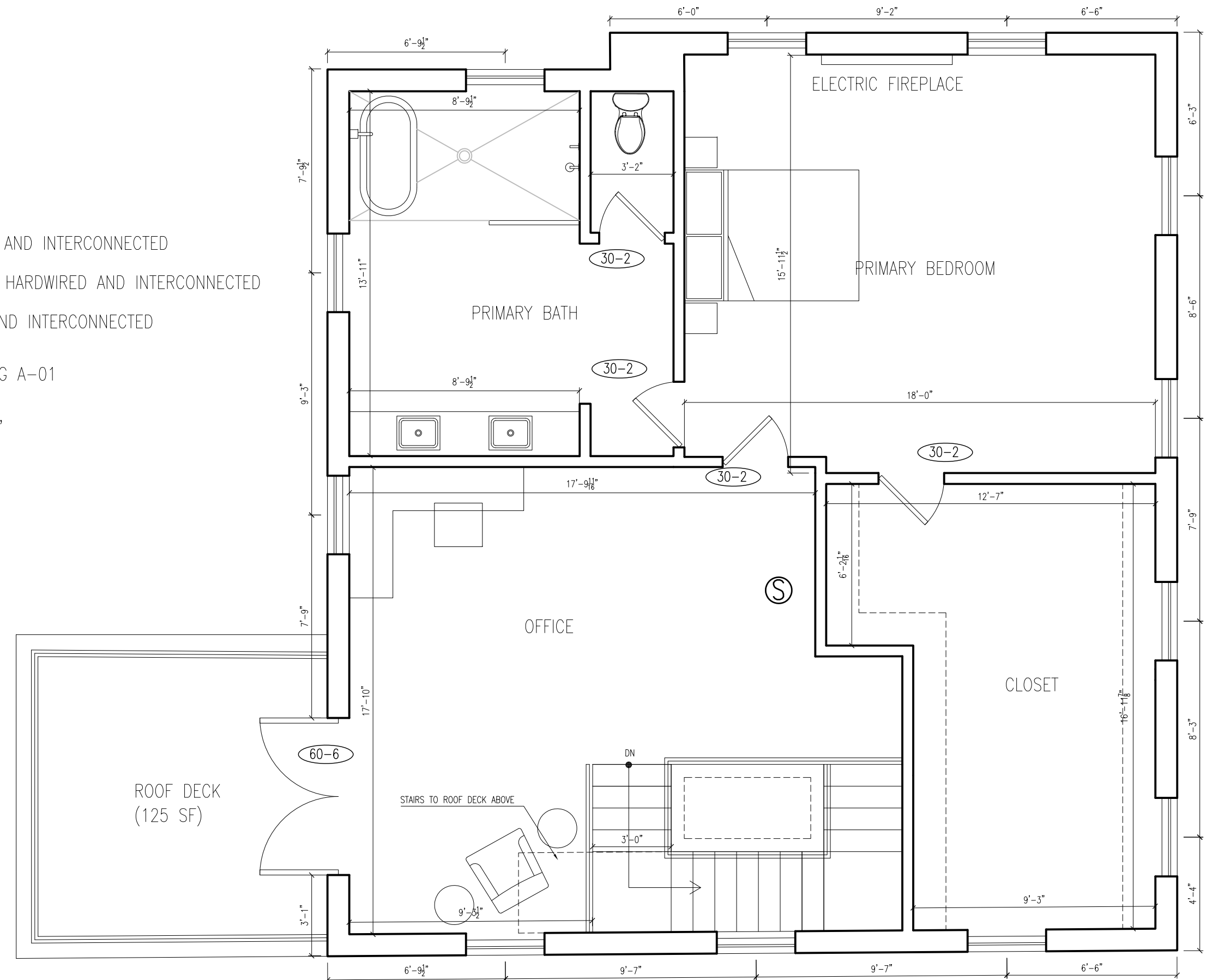
**A-02**

9/23/2022

**LEGEND**

- NEW PARTITION
- RATED PARTITION
- NEW DOOR
- 
- SMOKE DETECTOR, HARDWIRED AND INTERCONNECTED
- CARBON MONOXIDE DETECTOR, HARDWIRED AND INTERCONNECTED
- HEAT DETECTOR, HARDWIRED AND INTERCONNECTED
- WALL TYPE, REFER TO DRAWING A-01

0 1' 2' 5' 10'

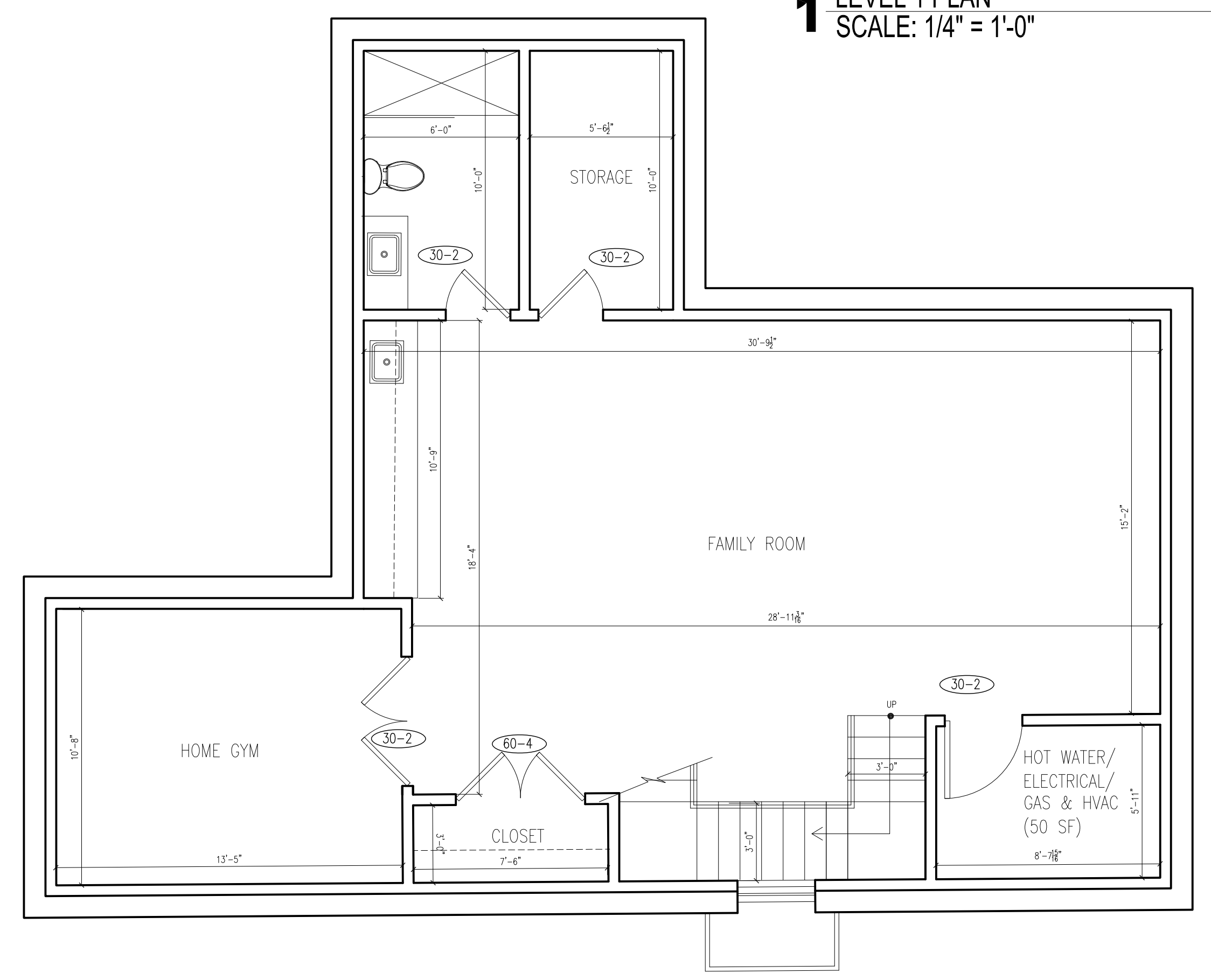
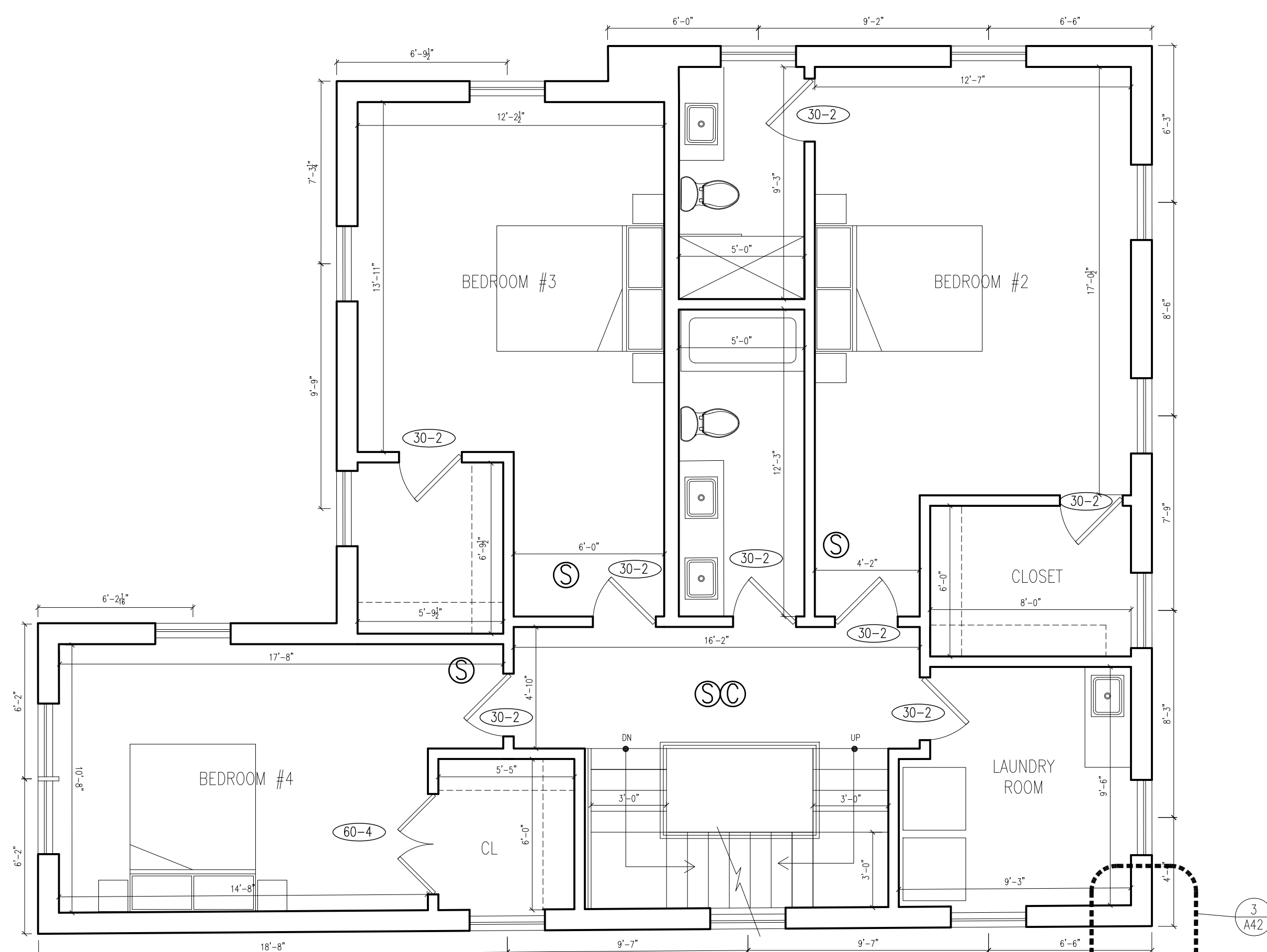
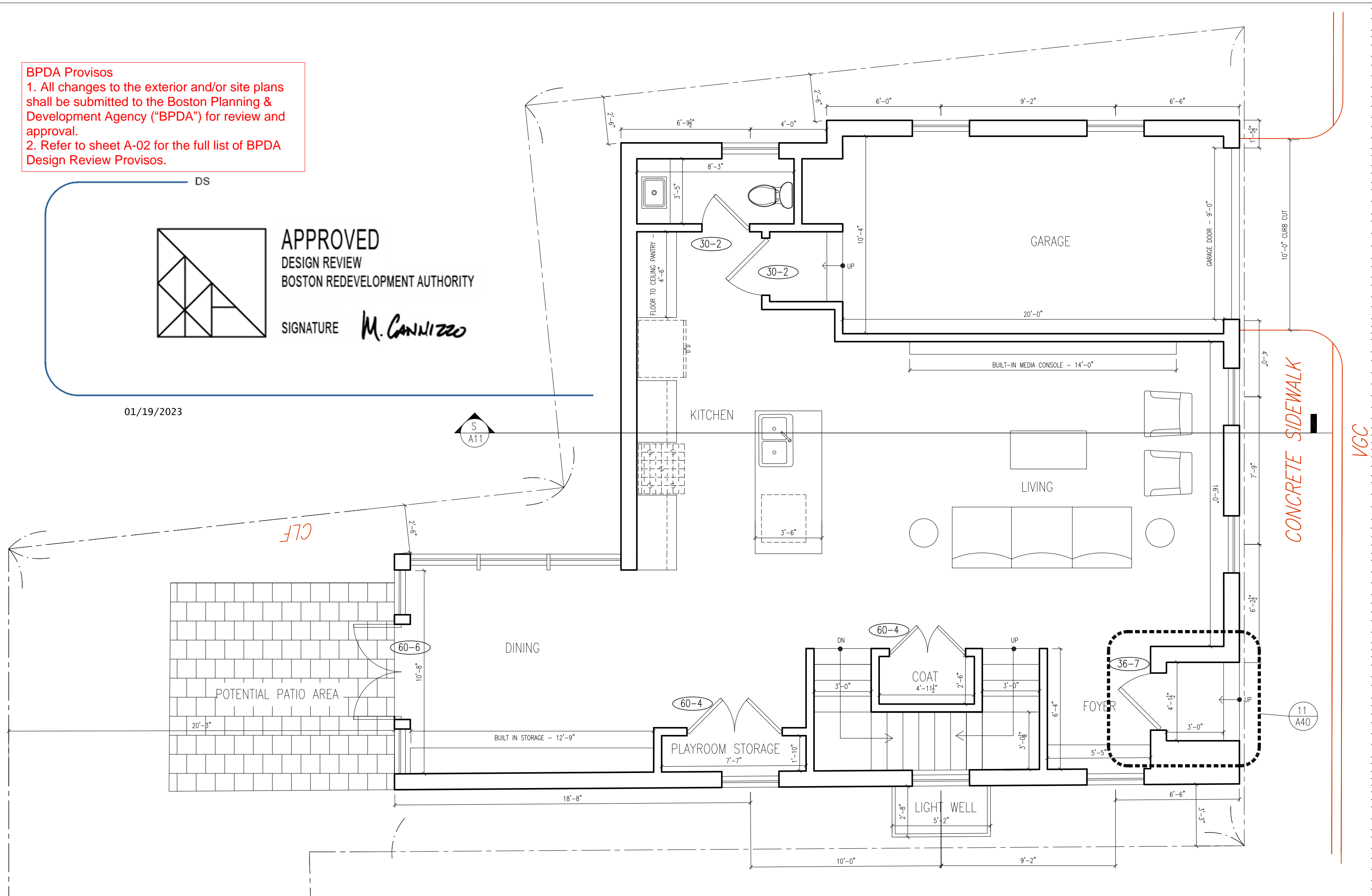


**BPDA Provisos**  
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 2. Refer to sheet A-02 for the full list of BPDA Design Review Provisos.

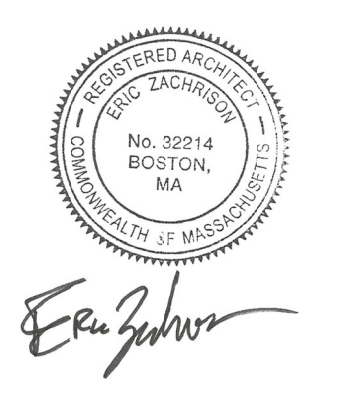
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DESIGN REVIEW  
BOSTON REDEVELOPMENT AUTHORITY

SIGNATURE *M. Cannizzo*

01/19/2023



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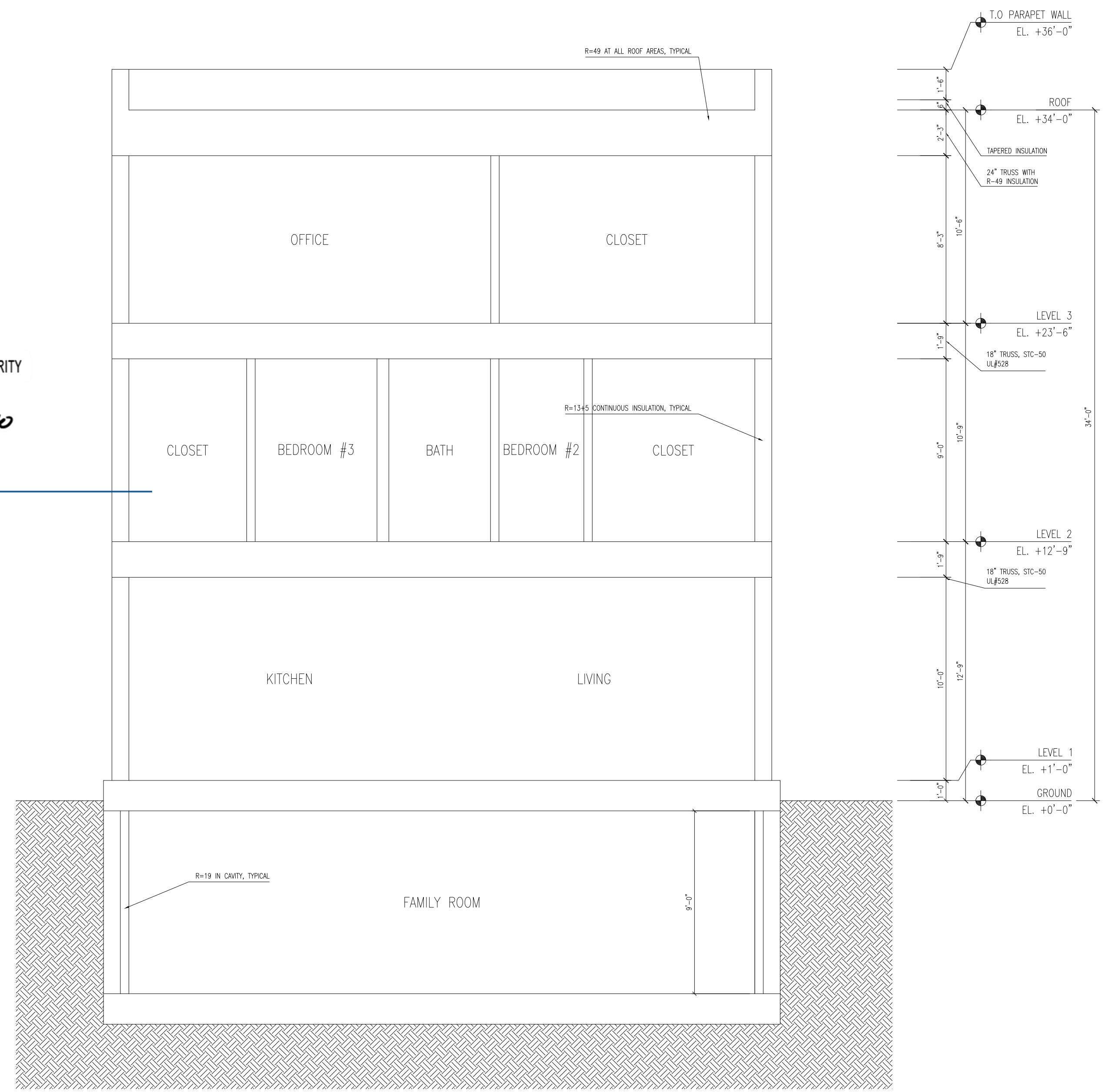
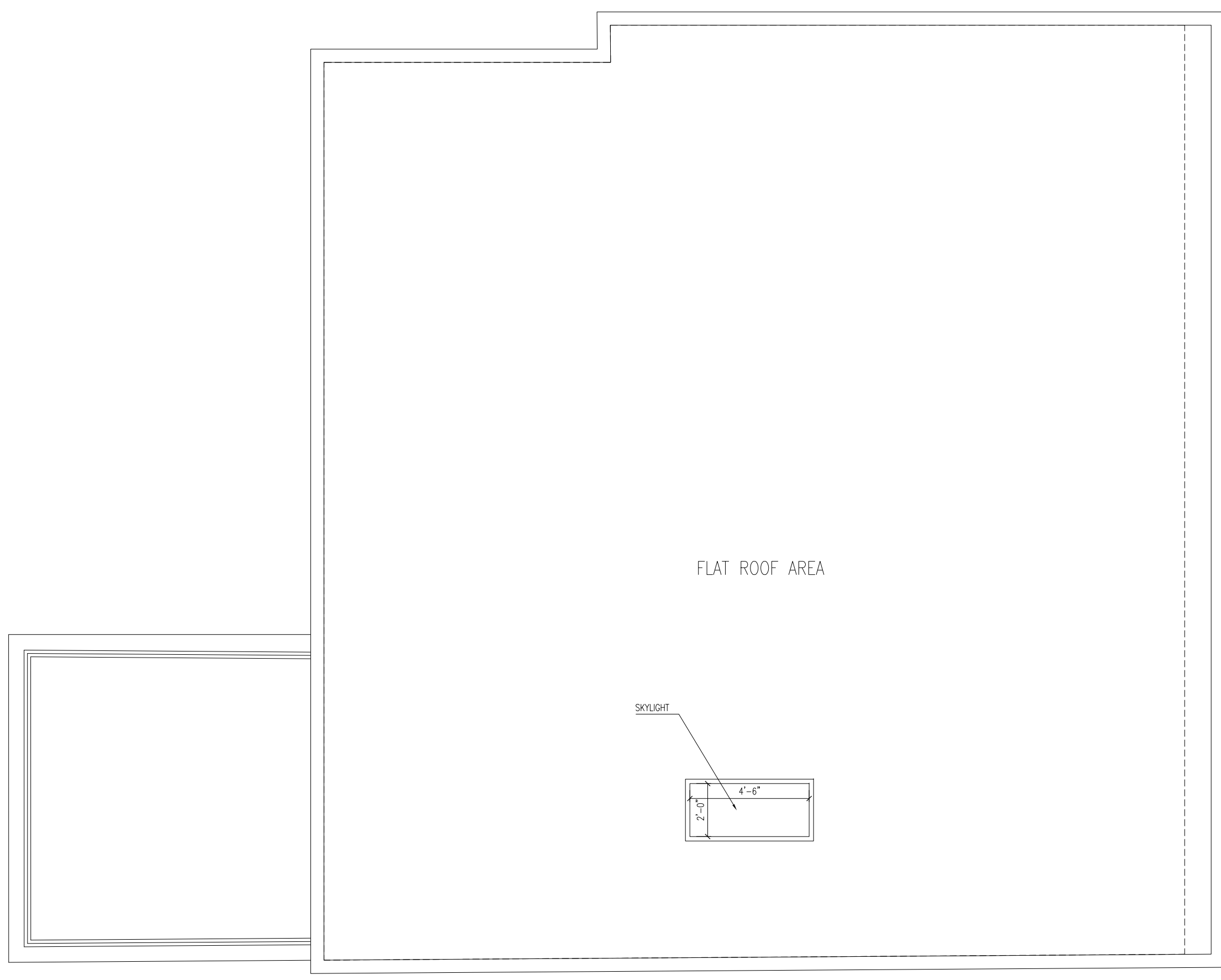
**A-10**

9/23/2022

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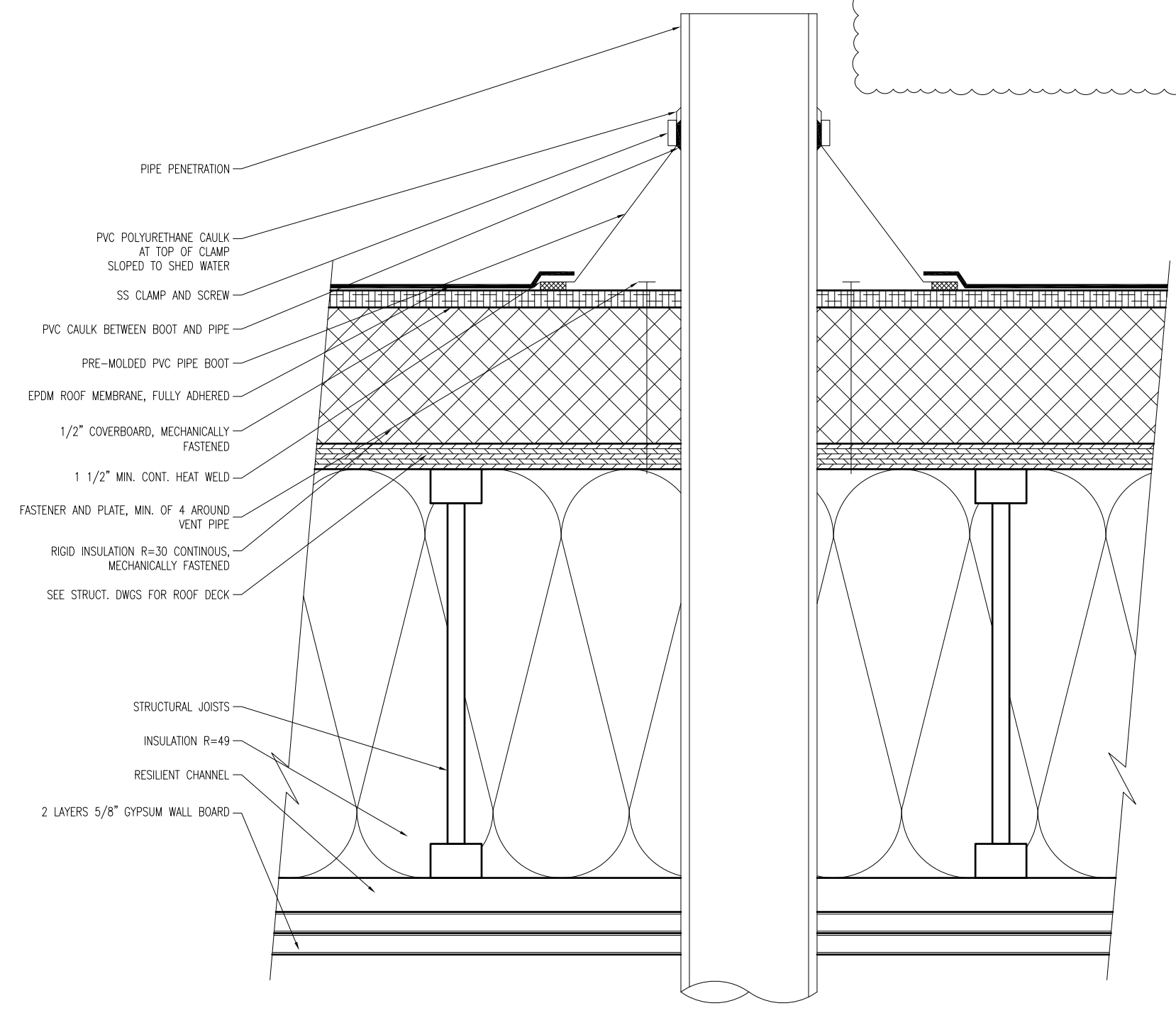
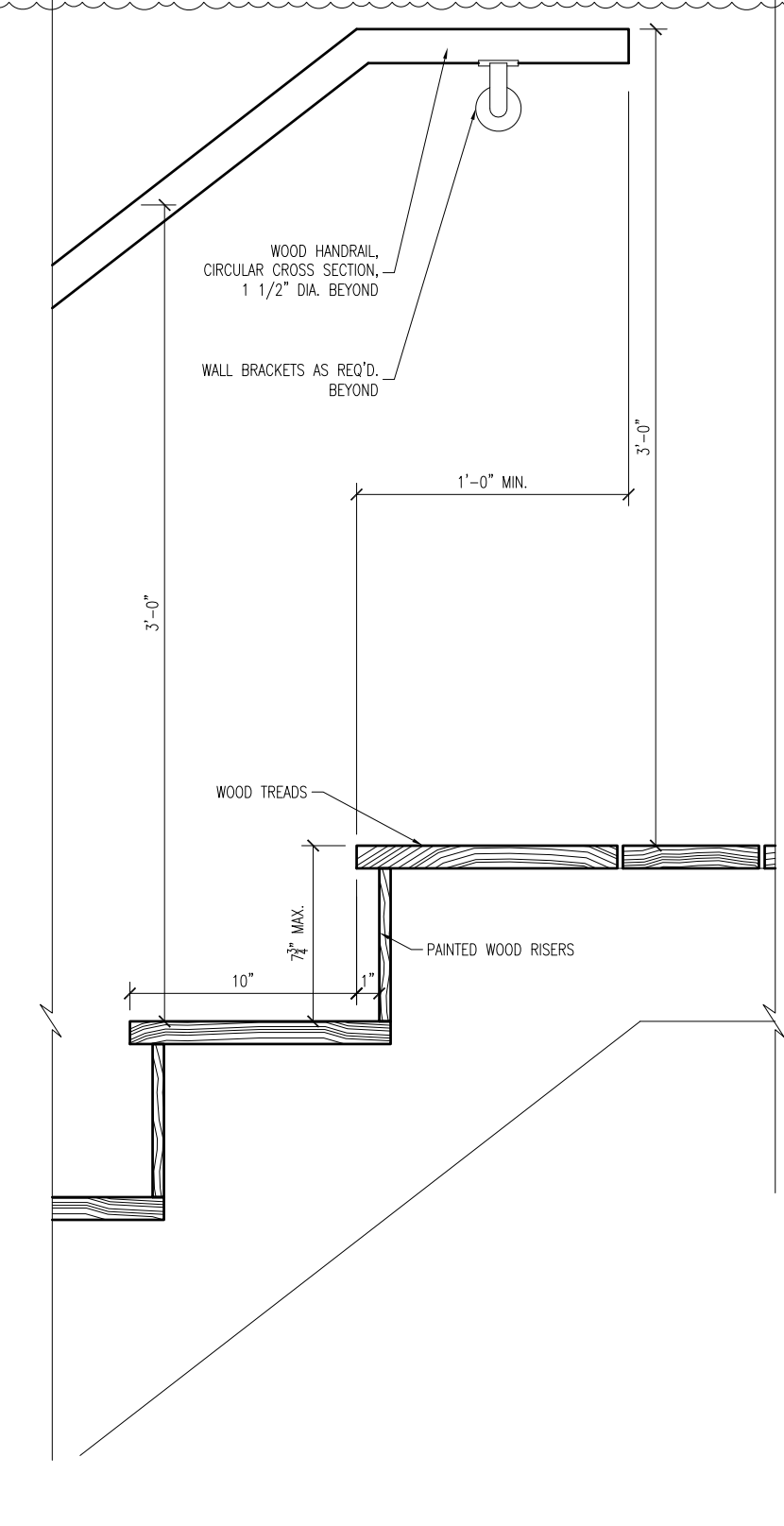
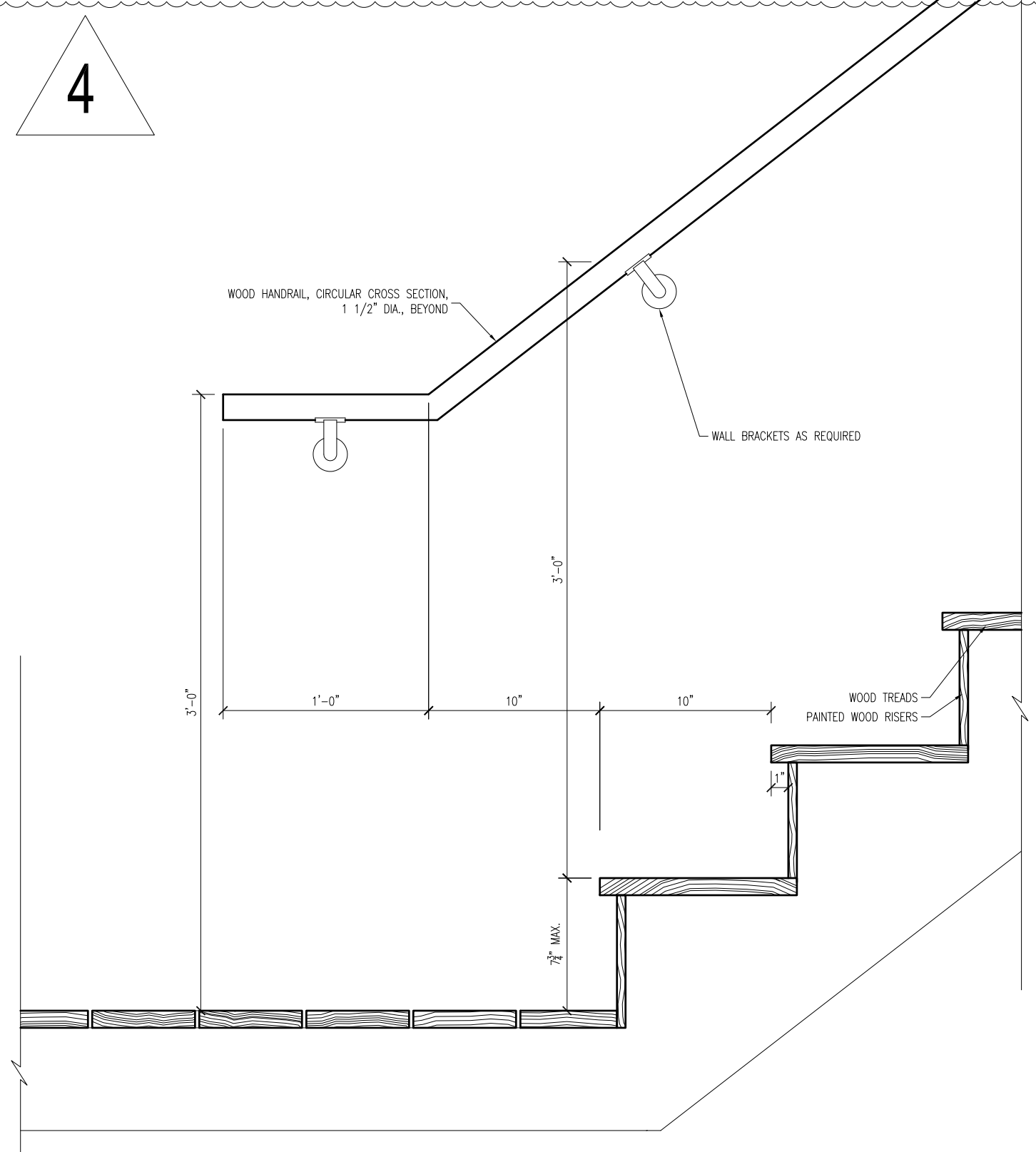
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01/19/2023



**R ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

**S PROPOSED SECTION**  
 SCALE: 1/4" = 1'-0"



**5 PROPOSED SECTION AT BASE OF STAIR**  
 SCALE: 1 1/2" = 1'-0"

**6 PROPOSED SECTION AT TOP OF STAIR**  
 SCALE: 1 1/2" = 1'-0"

**4 ROOF PENETRATION SECTION DETAIL**  
 SCALE: 3" = 1'-0"



**8 Lawrence St**  
**8 Lawrence St LLC**

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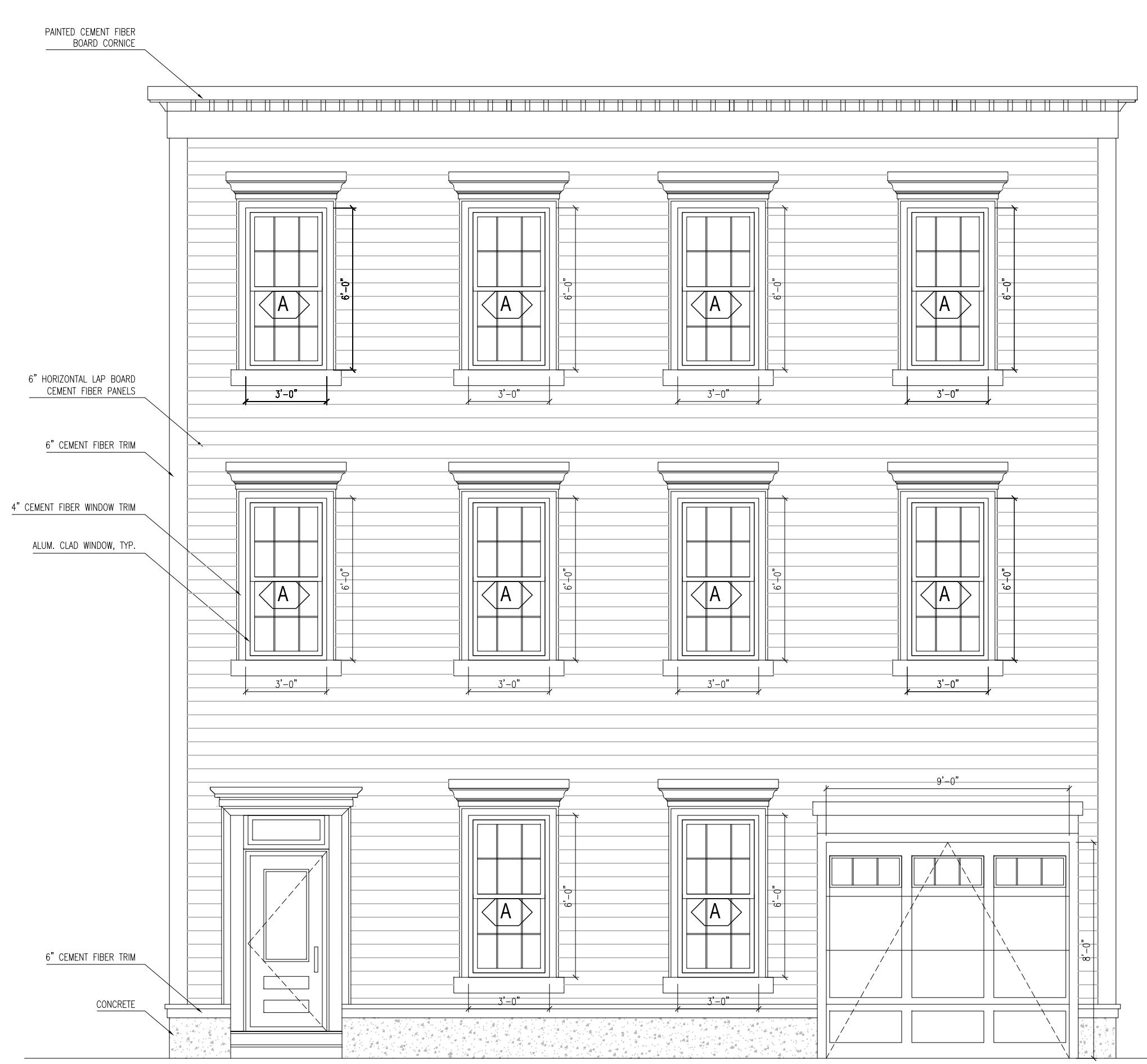
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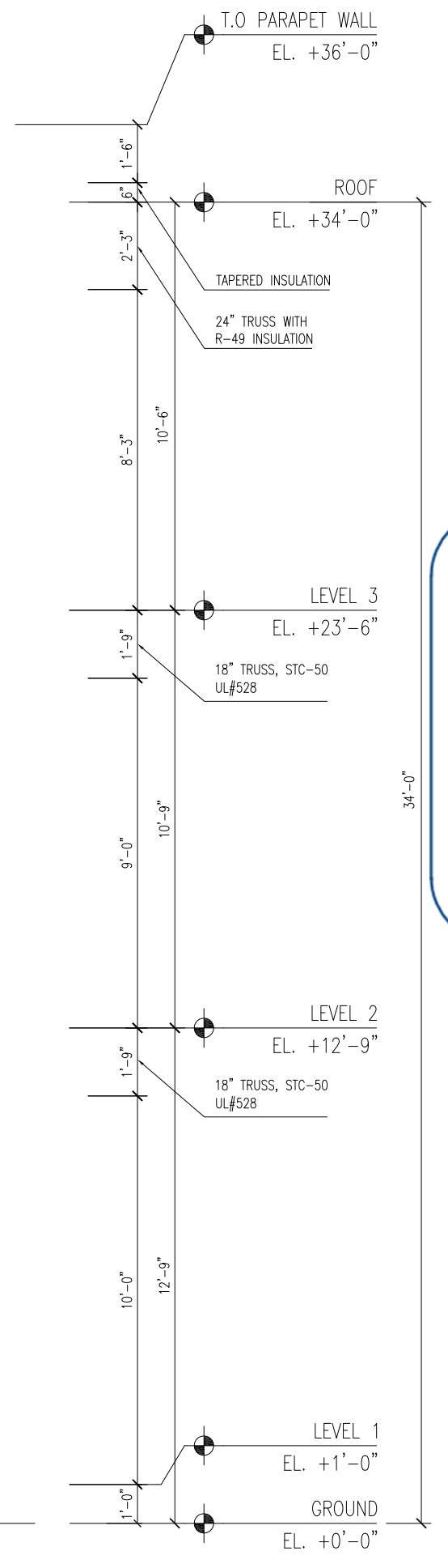
Drawing Title: Proposed Plans & Section  
 Project No.: 0256  
 Checked by: EZ

12/21/2022

A-11



**1 LAWRENCE STREET ELEVATION**  
SCALE: 1/4" = 1'-0"



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01/19/2023

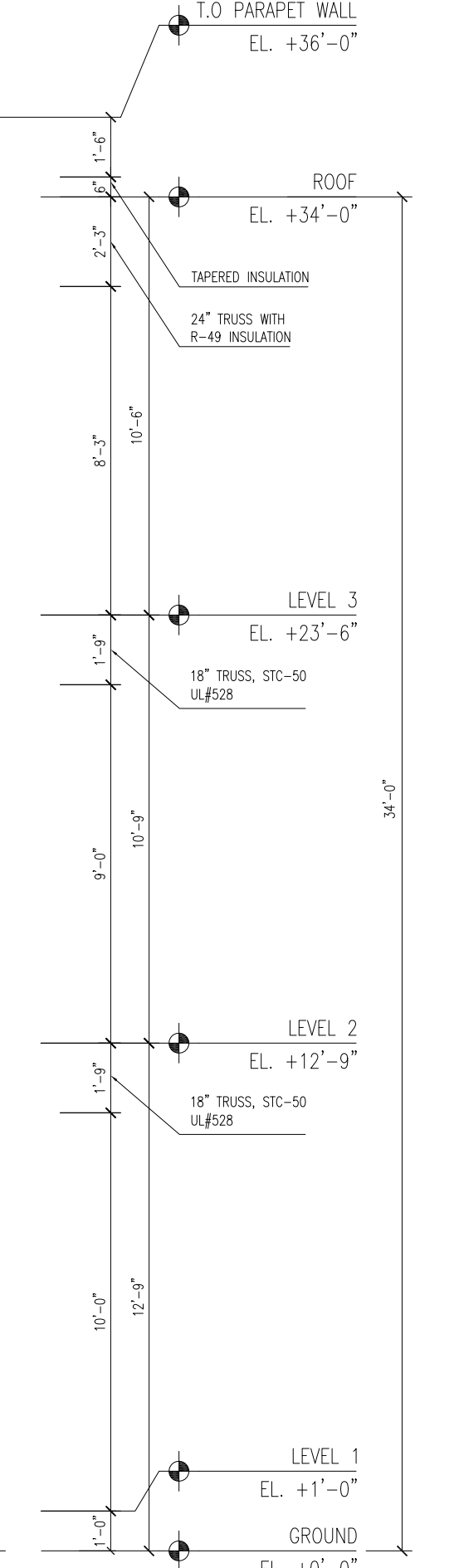


**2 SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

**APPROVED**  
DESIGN REVIEW  
BOSTON REDEVELOPMENT AUTHORITY  
SIGNATURE *M. Cannizzo*



**3 SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



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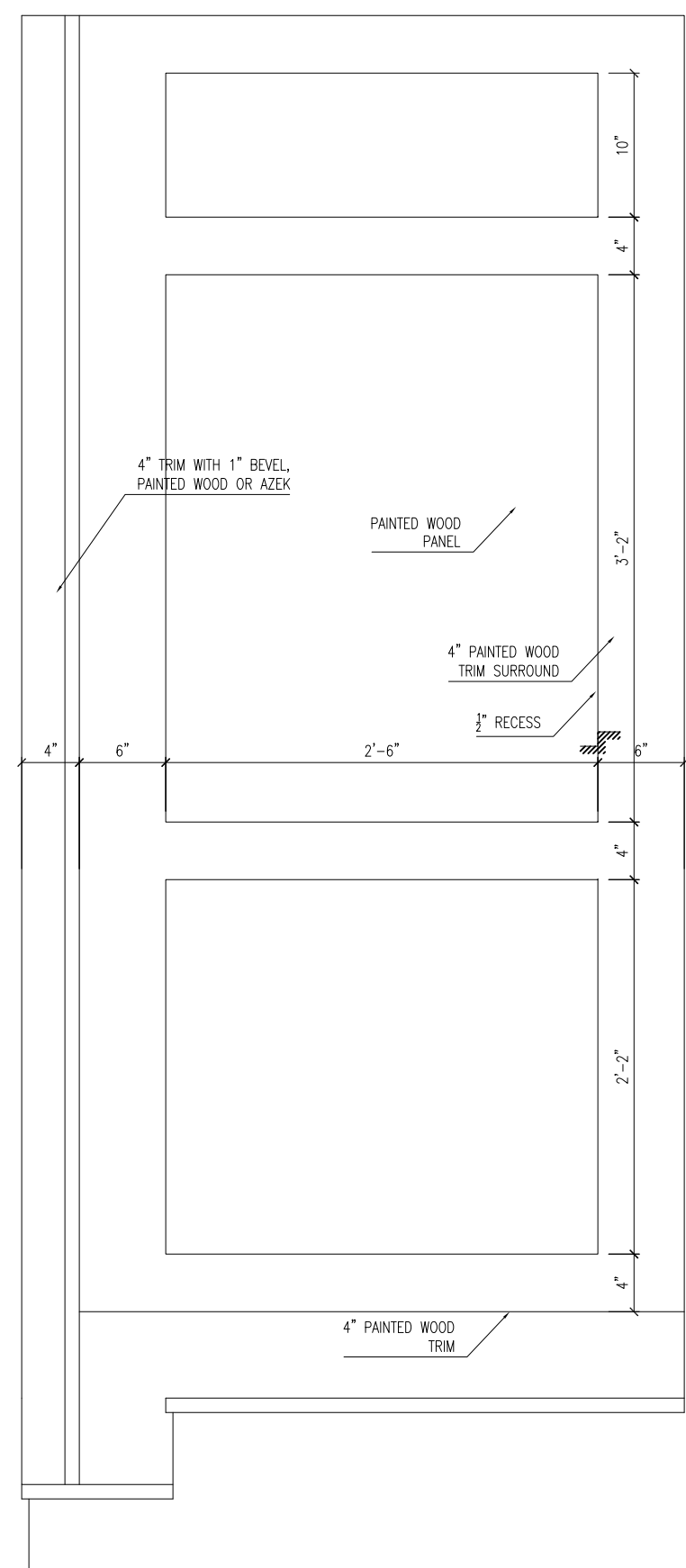
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Drawing Title: Proposed Elevations  
Project No.: 0256  
Checked by: EZ

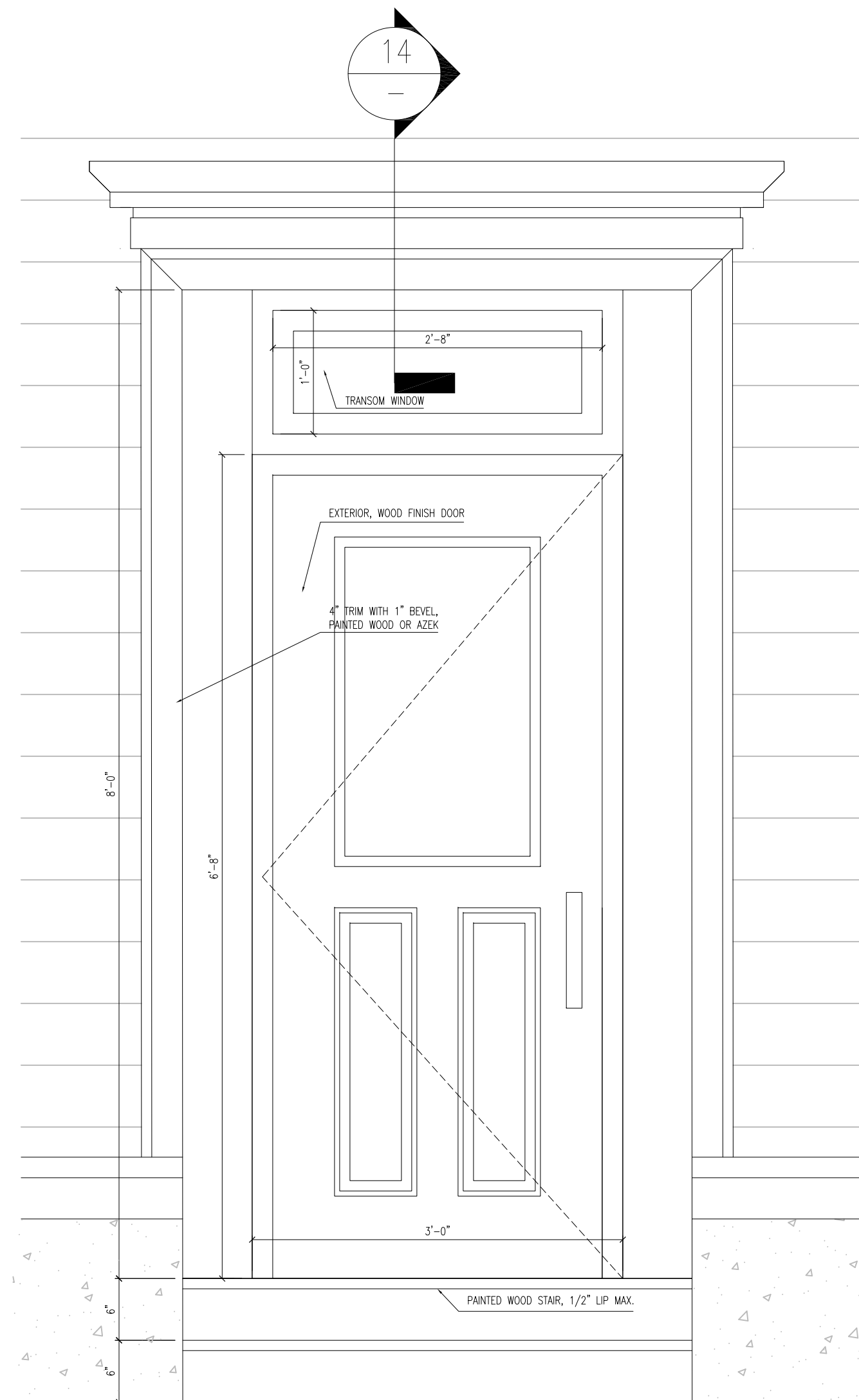
4 11/21/2022

**A-30**

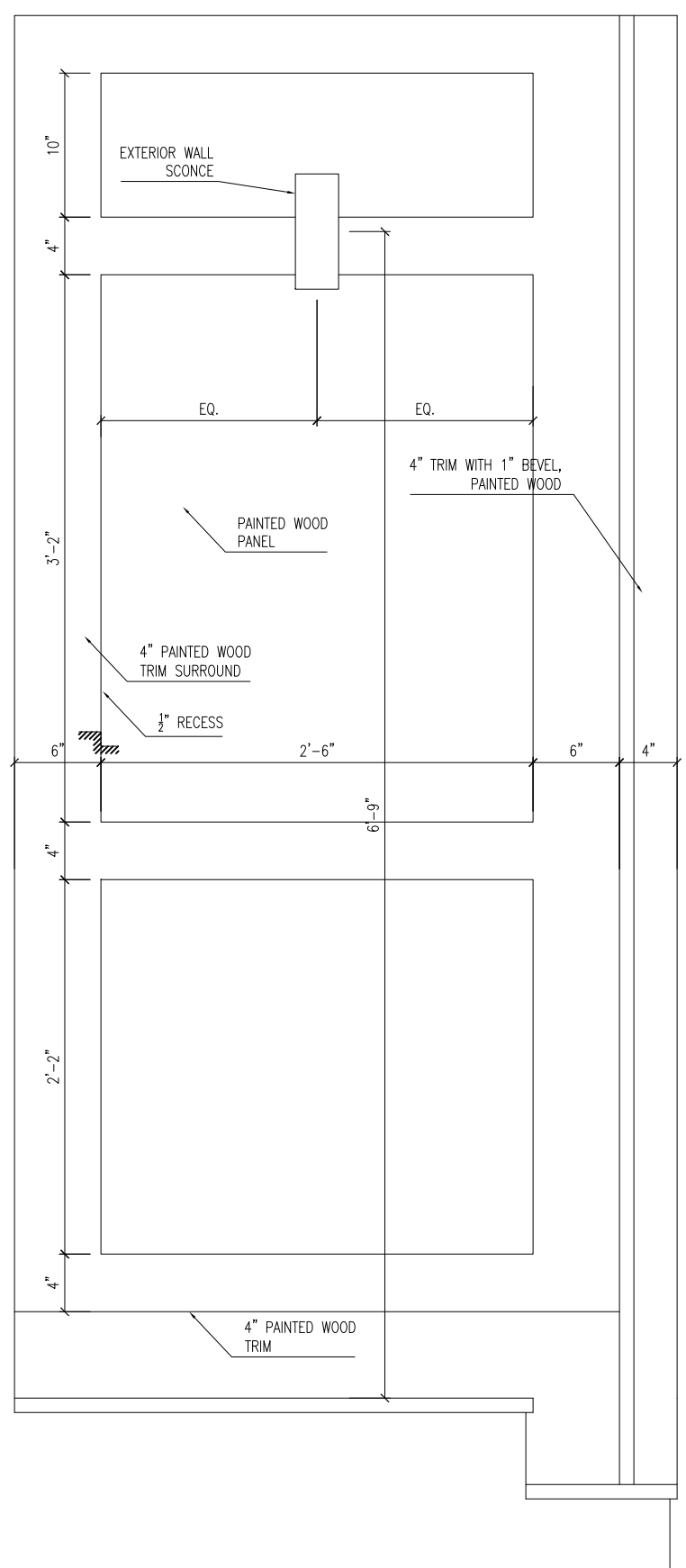
FINISH NOTES:  
ALL WOOD FINISH IN ENTRYWAY TO BE PAINTED ONE COLOR



**13** ELEVATION DETAIL  
SCALE: 1" = 1'-0"

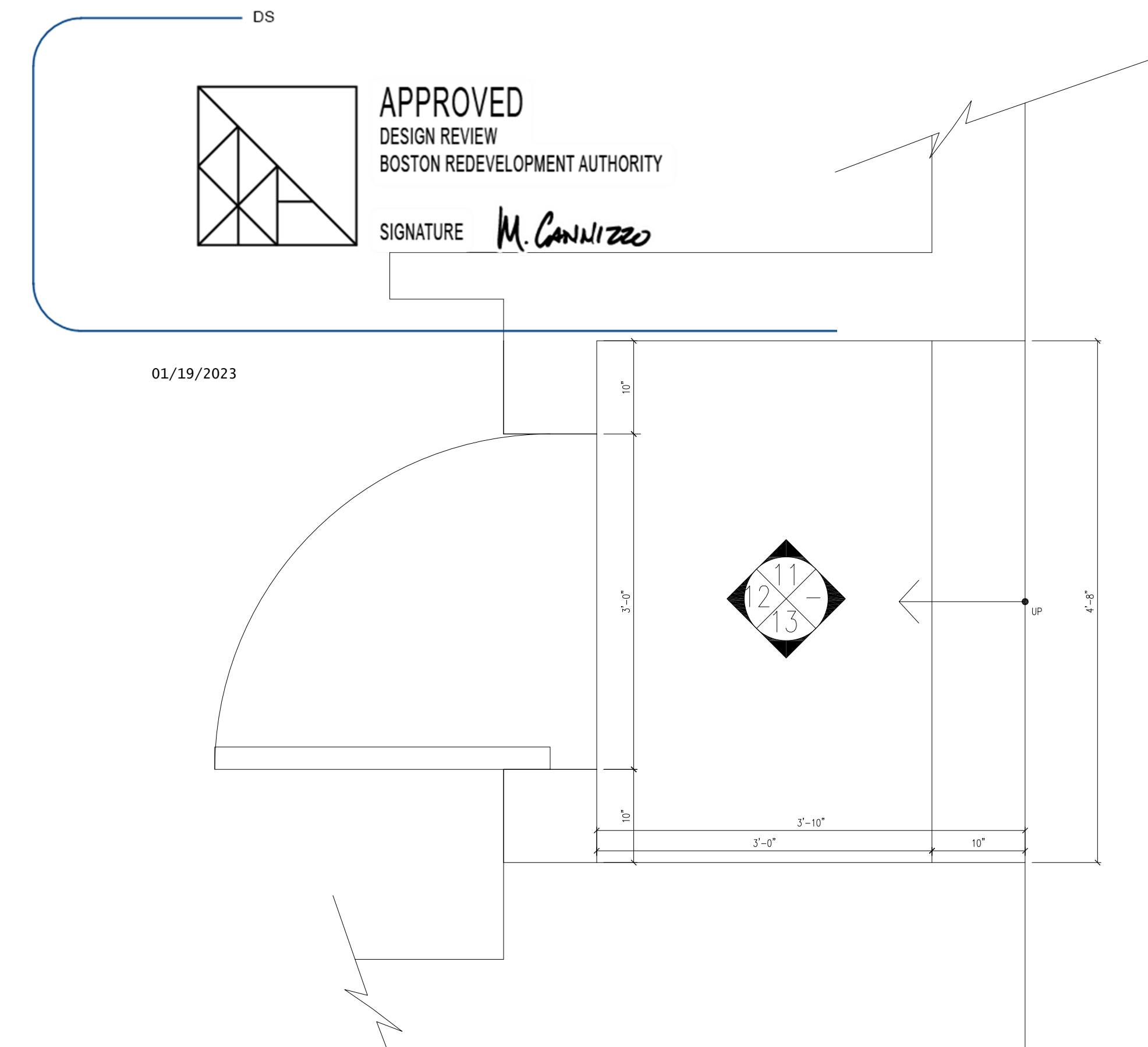


**12** PARTIAL ELEVATION DETAIL  
SCALE: 1" = 1'-0"



**11** ELEVATION DETAIL  
SCALE: 1" = 1'-0"

BPDA Provisos  
1. All changes to the exterior and/or site plans shall be submitted to the Boston Planning & Development Agency ("BPDA") for review and approval.  
2. Refer to sheet A-02 for the full list of BPDA Design Review Provisos.



**10** PARTIAL PLAN DETAIL  
SCALE: 1" = 1'-0"

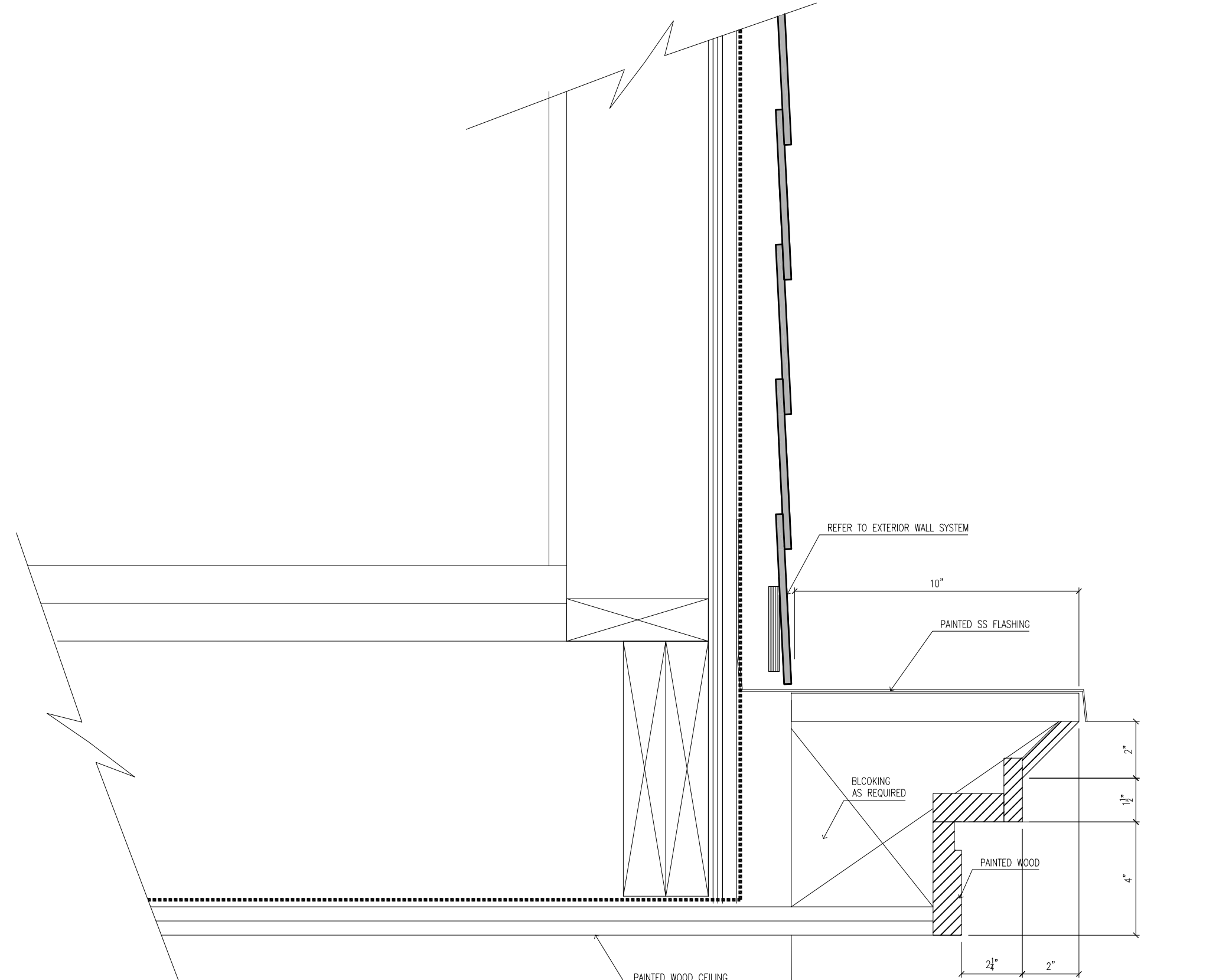
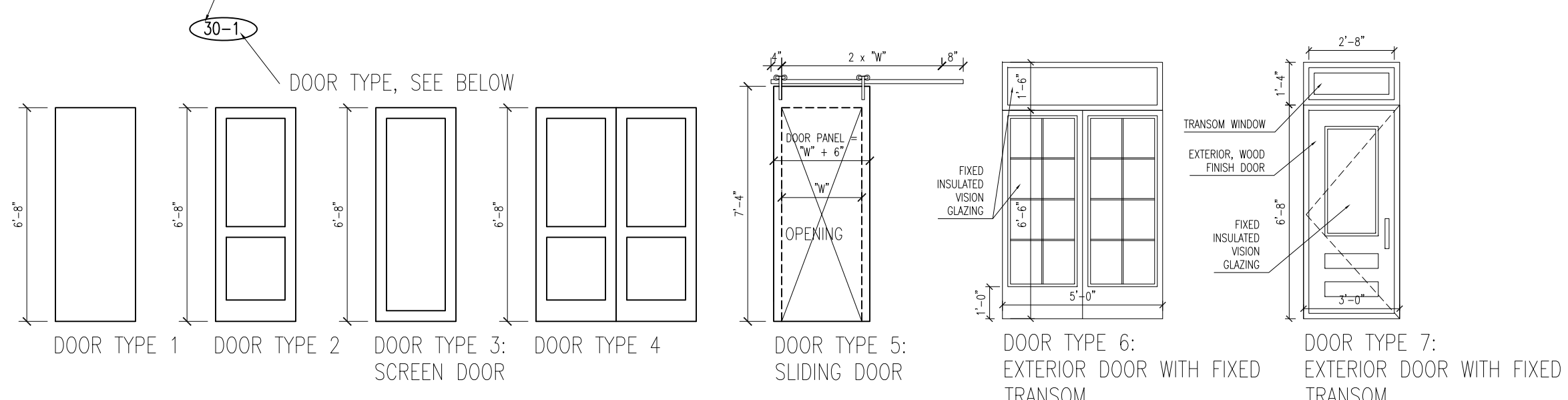
WINDOW SCHEDULE

	HEIGHT	WIDTH	MATERIAL	COMMENTS
A	6'-0"	3'-0"	ALUM CLAD, WOOD	DOUBLE HUNG
B	4'-10"	3'-0"	ALUM CLAD, WOOD	FIXED
C	6'-0"	3'-0"	ALUM CLAD, WOOD	FIXED
D	6'-0"	3'-0"	ALUM CLAD, WOOD	FIXED

\*\*ALL WINDOWS TO BE U=0.30 OR BETTER  
\*\*\*ALL WINDOWS TO BE OUTFITTED WITH HALF-SIZE SCREENS AND EXTERIOR MUNTINS

FINISH NOTES:  
1. ALL WALLS TO BE PAINTED GWB, (WHITE TO MATCH ARCHITECT'S SAMPLE)  
2. FLOORS TO BE HARDWOOD UNLESS NOTED OTHERWISE.

DOOR NOTES:  
1. ALL NEW DOORS TO BE 6'-8" HIGH, 1 3/4" THICK SOLID CORE WOOD DOORS WITH WOOD FRAMES.  
2. INTERIOR DOORS ARE TO BE PAINTED WHITE, CONFIRM EXTERIOR DOOR COLOR AND FINISH WITH OWNER AND ARCHITECT  
3. DOOR TARGETS:



**14** PARTIAL PLAN DETAIL  
SCALE: 1 1/2" = 1'-0"

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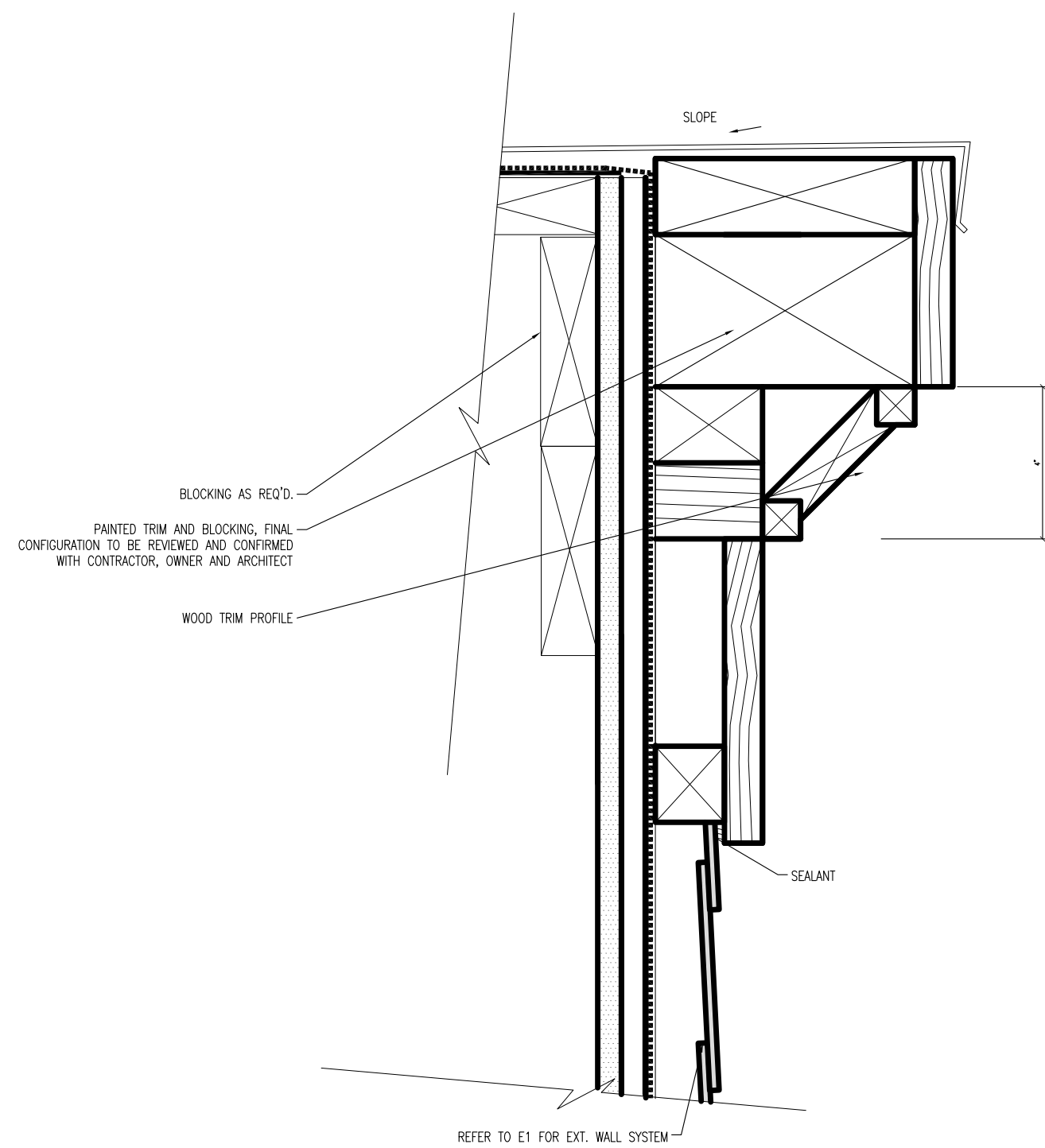
04	Issued for BPDA Revision	09/23/2022
03	Issued for BPDA Revision	10/05/2020
02	Issued for Revision	08/19/2020
01	Issued for Permit Set	05/07/2020

No. Description Date

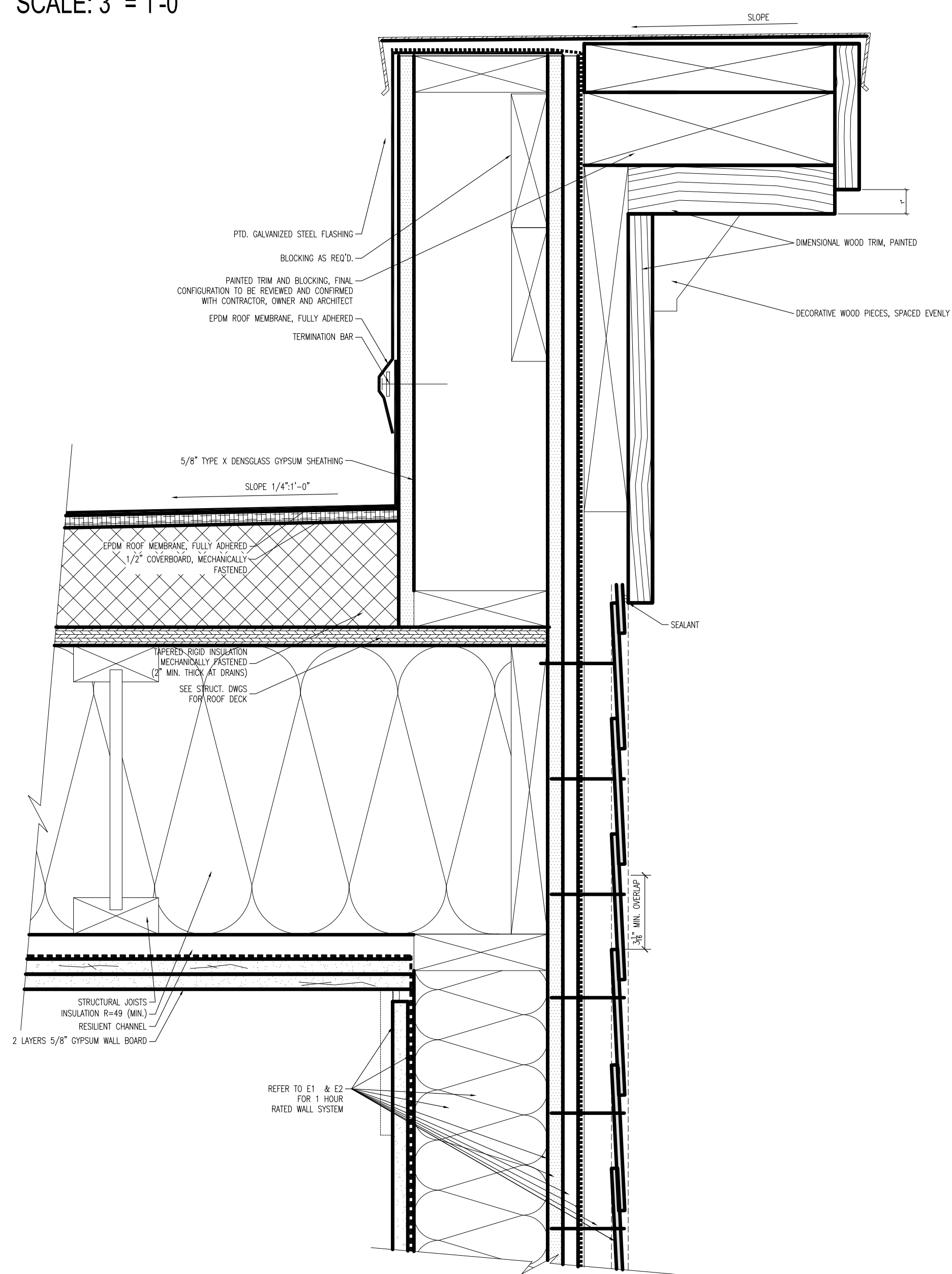
Drawing Title: DETAILS

Project No.: 0256 Checked by: EZ

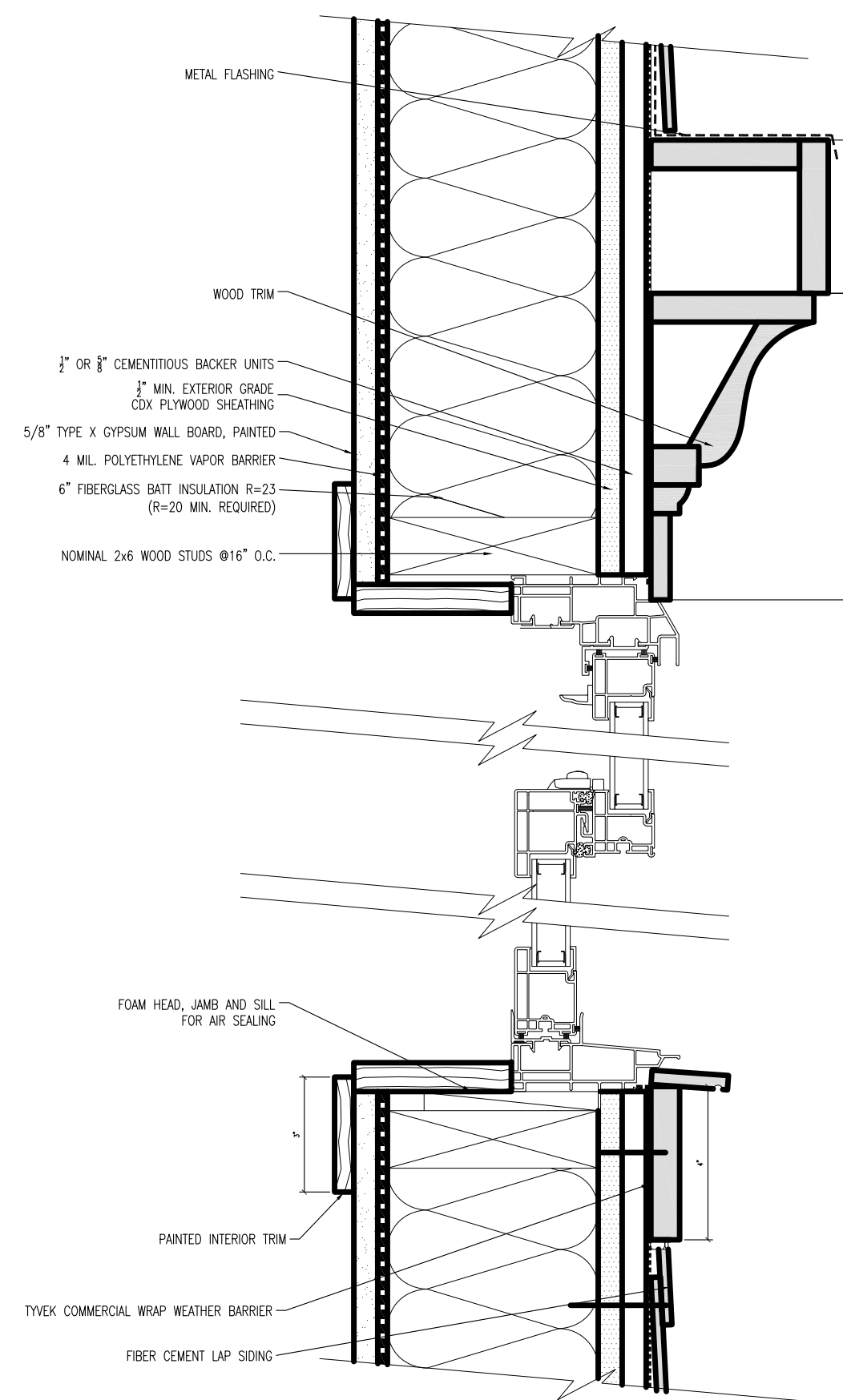
**A-40**



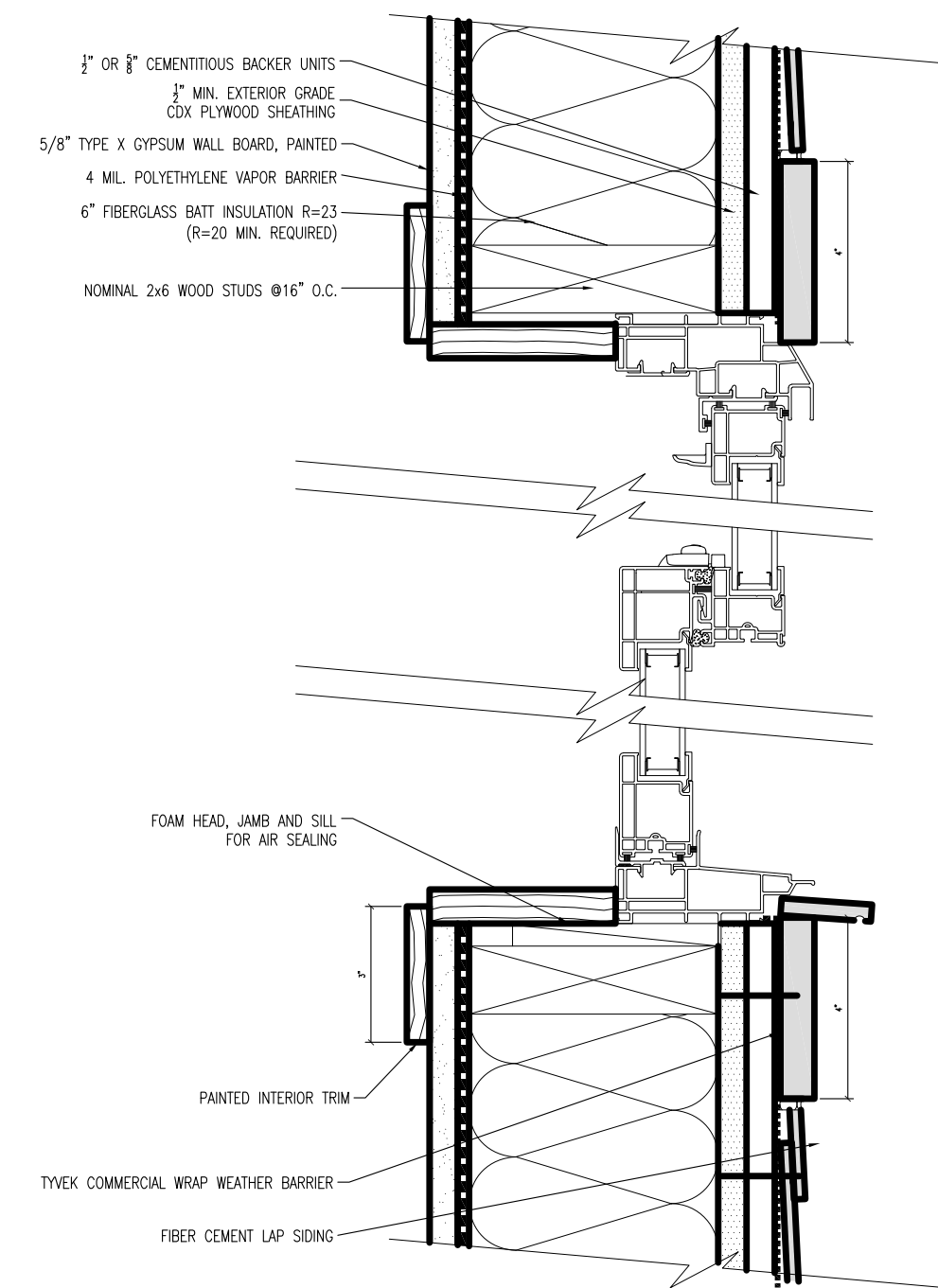
**1** COPING DETAIL  
SCALE: 3" = 1'-0"



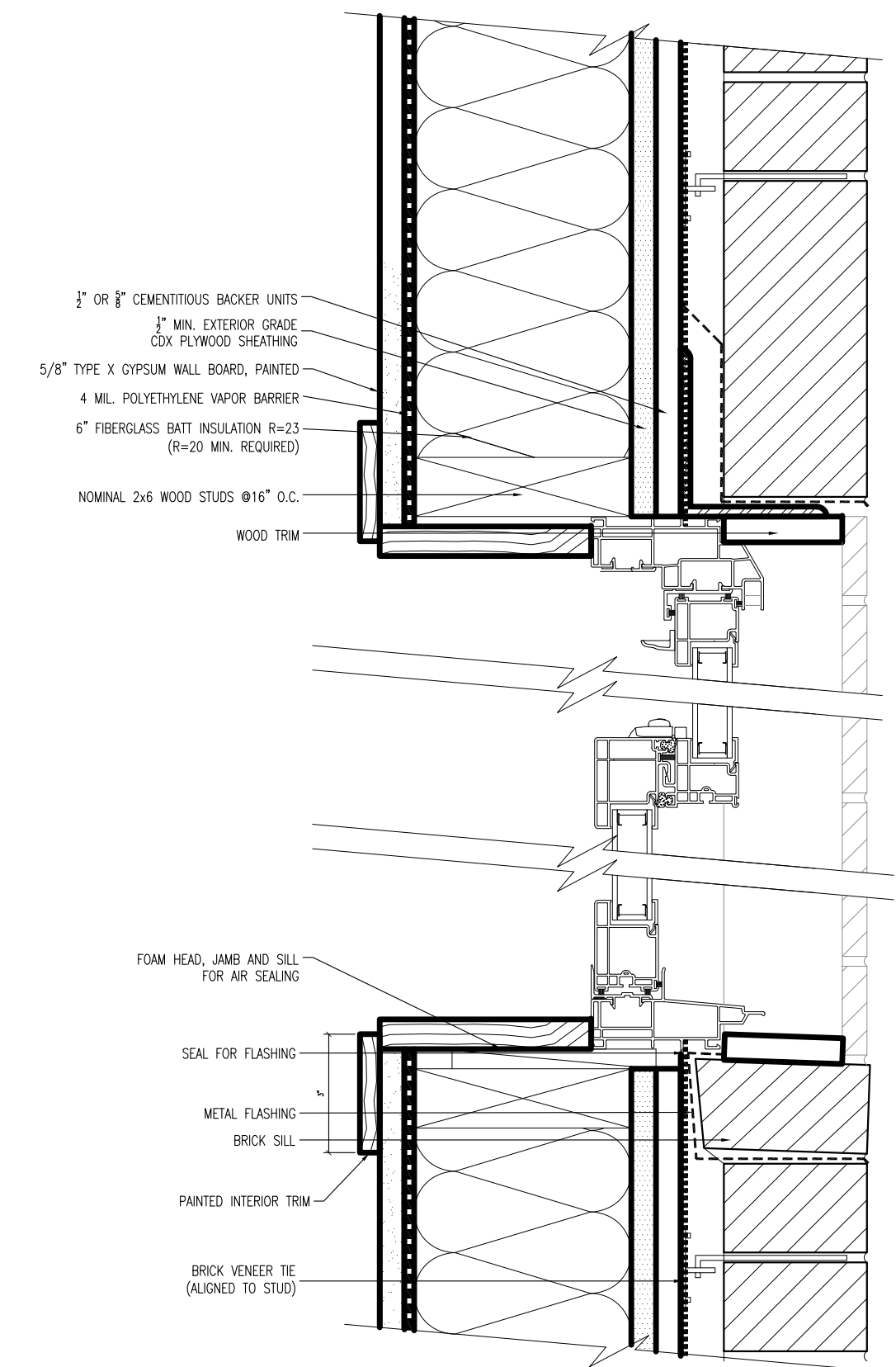
**2** COPING DETAIL  
SCALE: 3" = 1'-0"



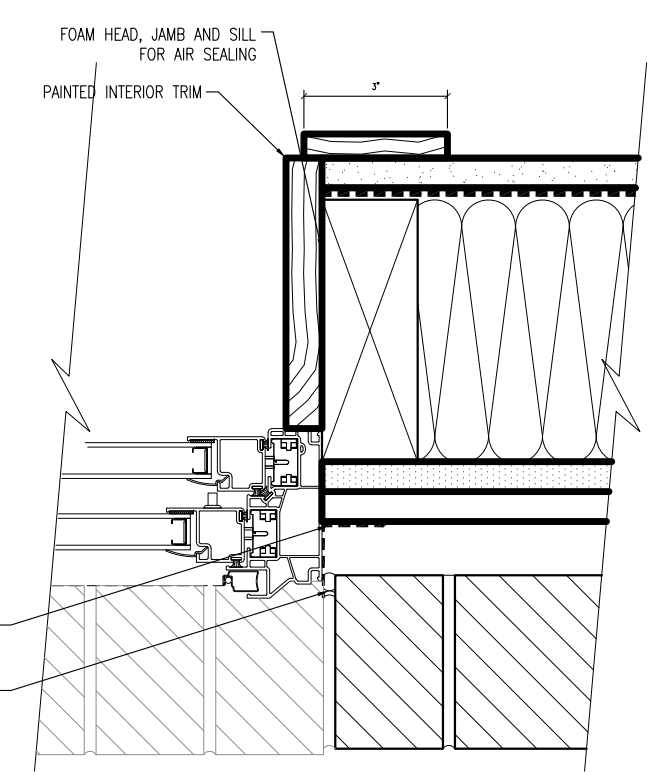
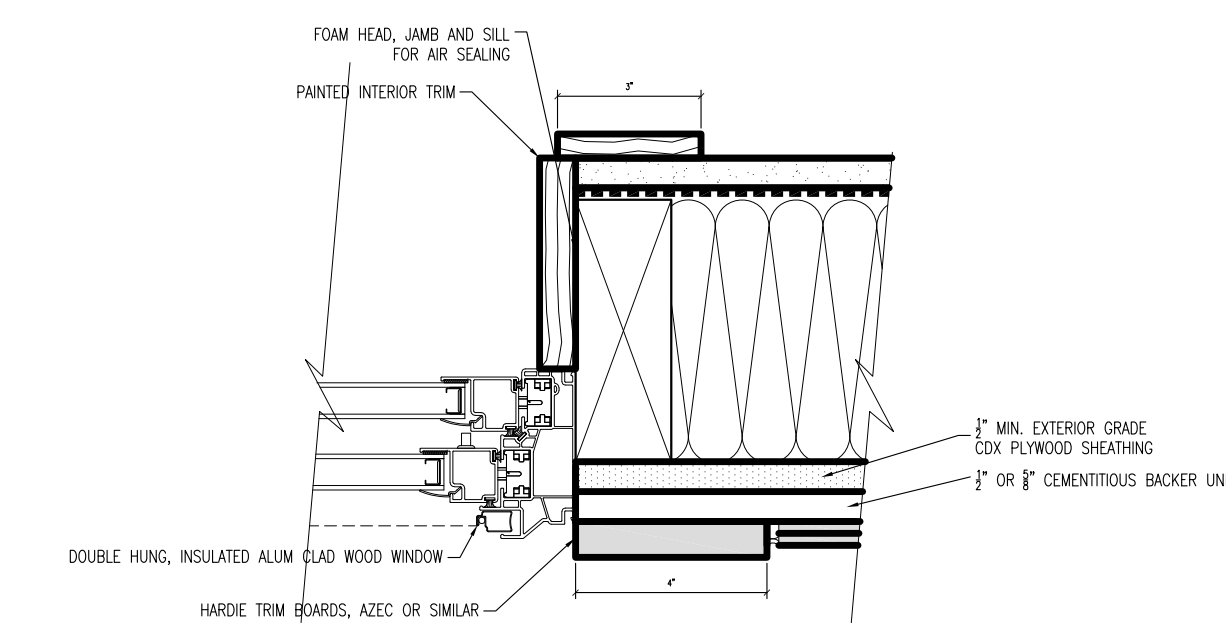
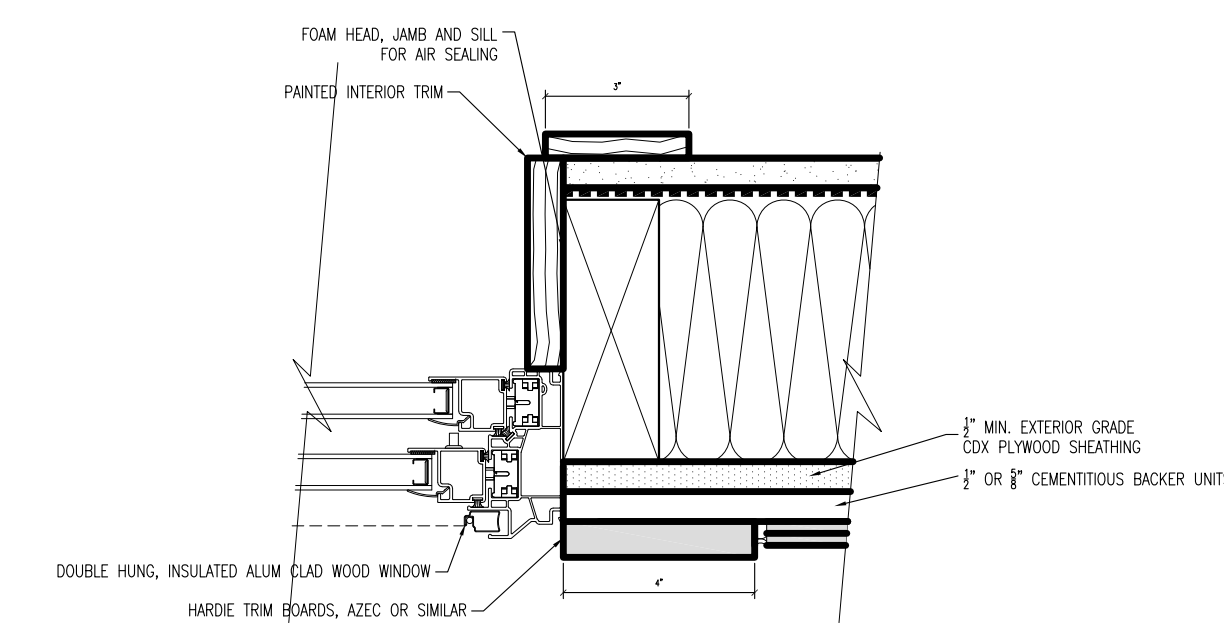
**3** LAWRENCE FACADE WOOD HEAD, SILL, AND JAMB DETAIL  
SCALE: 3" = 1'-0"



**4** TYP WOOD HEAD, SILL, AND JAMB DETAIL  
SCALE: 3" = 1'-0"



**5** BRICK HEAD, SILL, AND JAMB DETAIL  
SCALE: 3" = 1'-0"



**BPDA Provisos**  
 1. All changes to the exterior and/or site plans shall be submitted to the Boston Planning & Development Agency ("BPDA") for review and approval.  
 2. Refer to sheet A-02 for the full list of BPDA Design Review Provisos.

DS  
 APPROVED  
 DESIGN REVIEW  
 BOSTON REDEVELOPMENT AUTHORITY  
 SIGNATURE *M. Canizero*

1/19/2023

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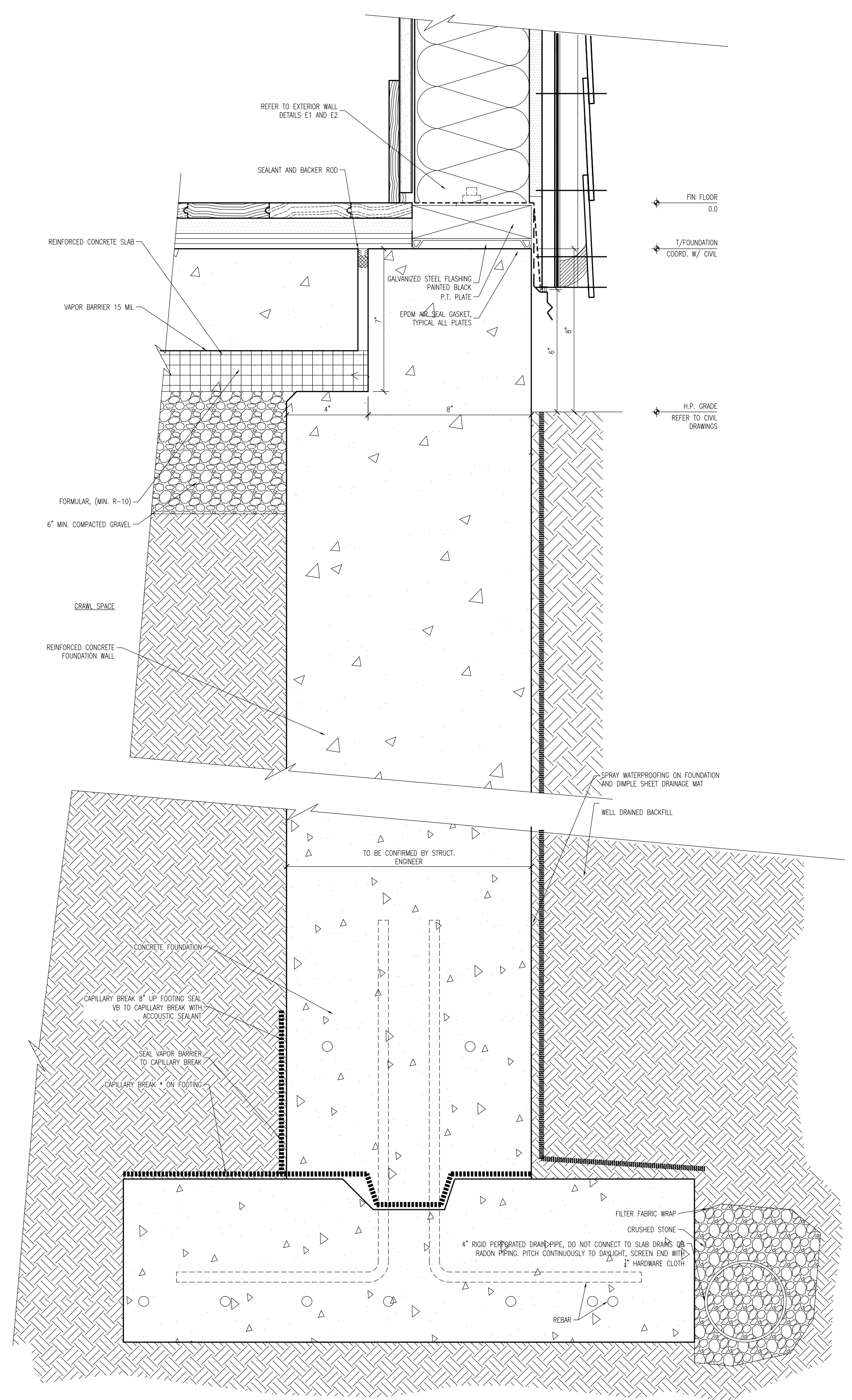
04	Issued for BPDA Revision	09/23/2022
03	Issued for BPDA Revision	10/05/2020
02	Issued for Revision	08/19/2020
01	Issued for Permit Set	05/07/2020

No.	Description	Date
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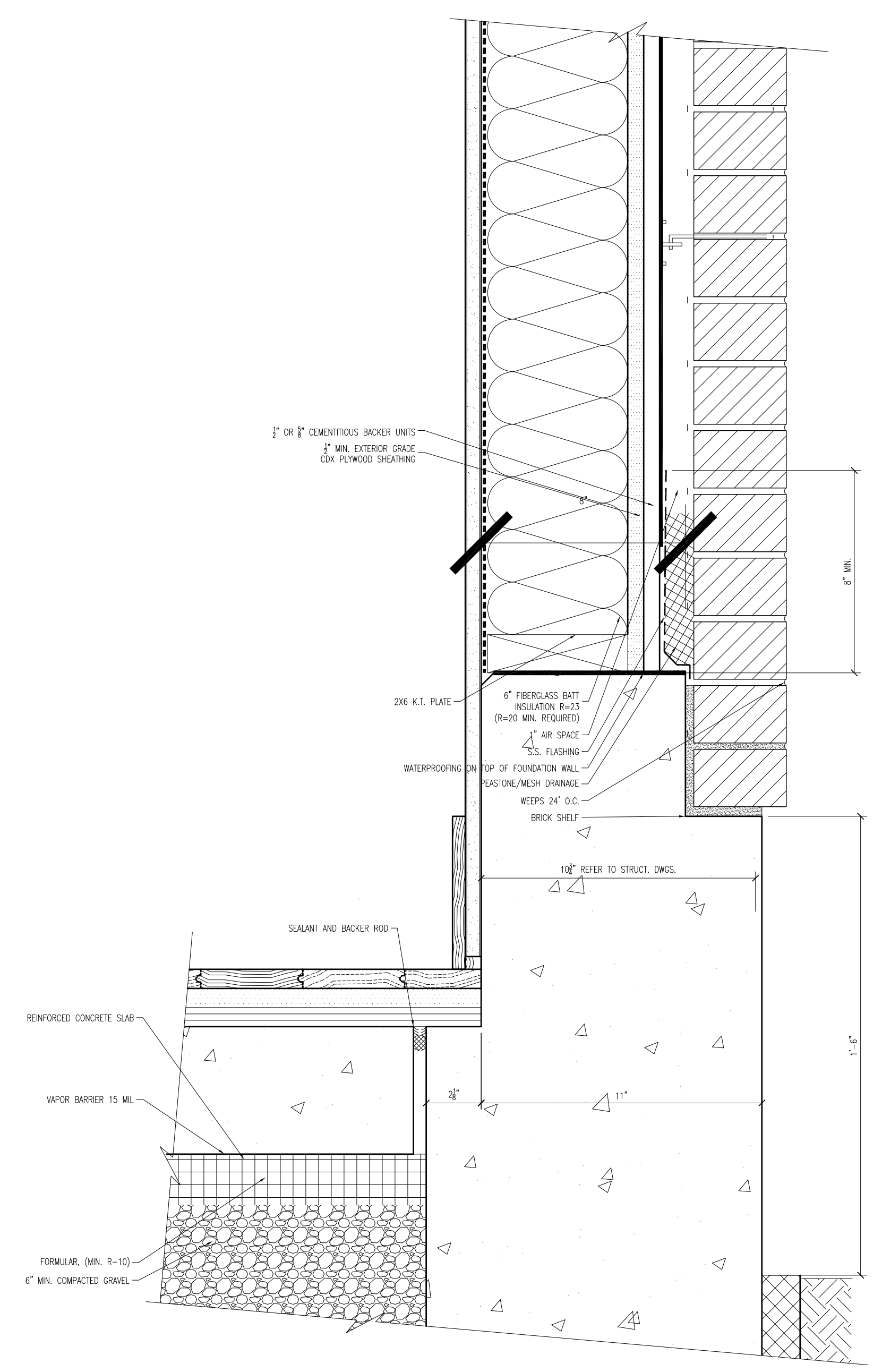
Drawing Title: DETAILS

Project No.: 0256 Checked by: EZ

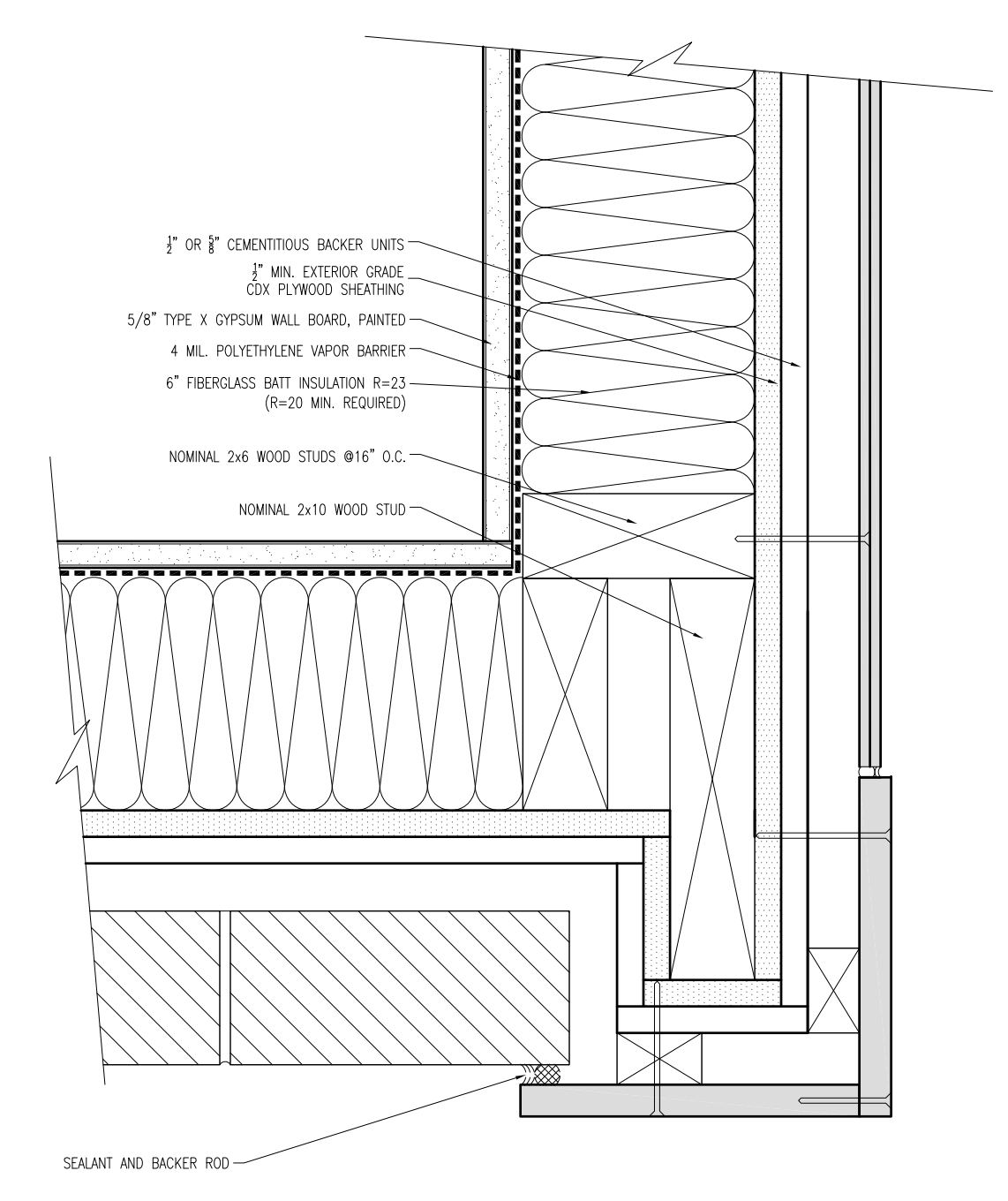
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**1** FOUNDATION DETAIL  
SCALE: 3" = 1'-0"



**2** BRICK BASE DETAIL  
SCALE: 3" = 1'-0"



**3** CORNER TRANSITION DETAIL  
SCALE: 3" = 1'-0"

10/21/2022

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Massachusetts

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01	Issued for Permit Set	05/07/2020

No.	Description	Date
Drawing Title: DETAILS		
Project No.: 0256		
		Checked by: EZ

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