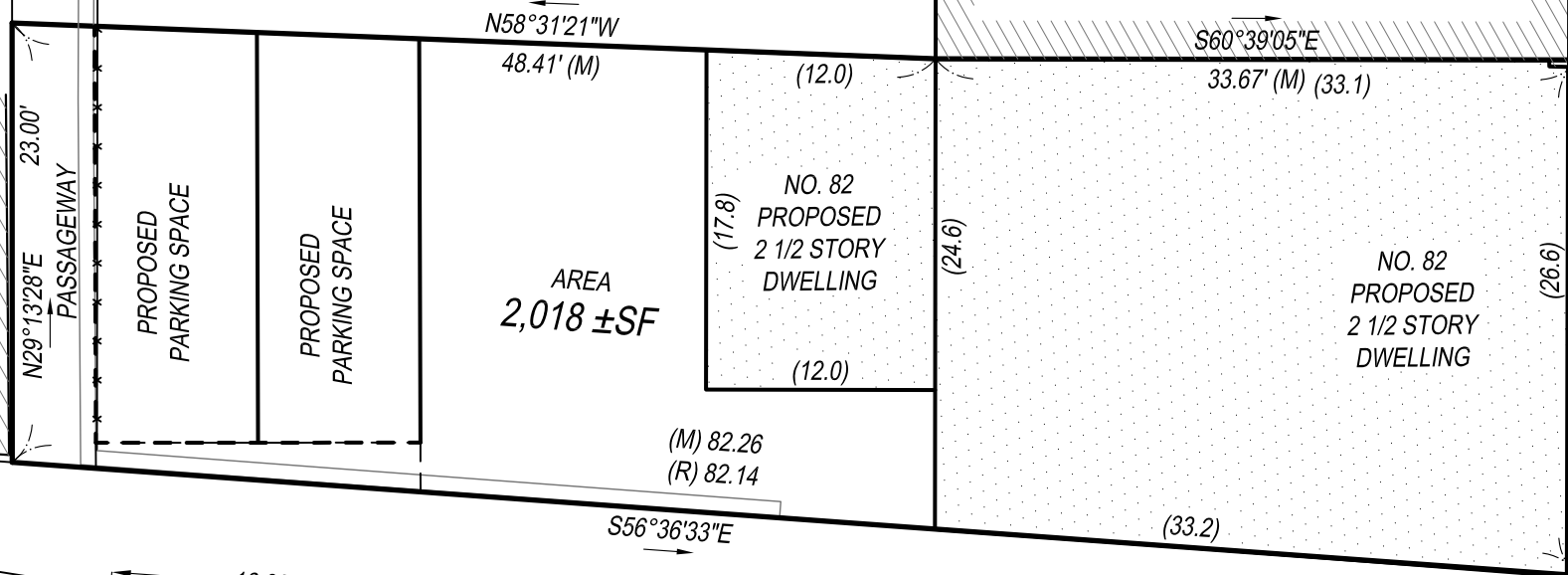


NO. 86 BALDWIN ST.  
N/F  
MICHAEL & MARIA  
DONOVAN  
BK: 8844; PG: 700

NO. 84 BALDWIN STREET  
N/F  
WALTER L. CARNEY &  
MARGARET T. CARNEY  
DEED: BK 7819; PG 219

NO. 411 BUNKER HILL ST.  
N/F  
411 BUNKER HILL ST.  
CONDOMINIUM  
BK: 24966; PG: 75



**REFERENCES:**  
DEED: BK 7819; PG 219  
PLAN: PL BK 1; PL 63 (S.M.)  
BK 8660; PG 54  
BK 24966; PG 75  
YUNITS: BRA SHEET S-1 OF 22

FIELD BOOK	PAGE	INSP. BY	DRAFT. BY	CHECKED BY
		JJH	JJH	GCC

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF SEPTEMBER 28, 2016 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS ZONE "X" (AREA DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN).  
COMMUNITY-PANEL # 2025C  
EFFECTIVE DATE: 09/25/2009

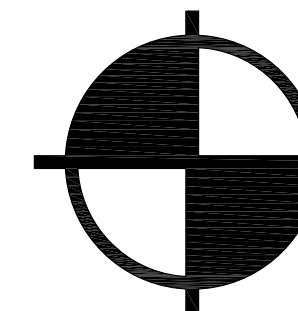
**PREPARED FOR:**  
WALTER L. CARNEY &  
MARGARET T. CARNEY  
82-84 BALDWIN STREET  
CHARLESTOWN, MA 02129



**CERTIFIED PLOT PLAN**

LOCATED AT  
**82 BALDWIN STREET**  
**CHARLESTOWN, MA**

SCALE: 1 INCH = 10 FEET DATE: FEBRUARY 24, 2016



**BOSTON**  
**SURVEY, INC.**  
UNIT C-4 SHIPWAY PLACE  
CHARLESTOWN, MA 02129  
(617)242-1313

# NEW SINGLE FAMILY RESIDENCE

82 BALDWIN STREET  
CHARLESTOWN, MA.



NOTE: ADDRESS IS ASSUMED TO BE #82 BALDWIN STREET  
(STREET NUMBERS T.B.D. BY I.S.D.)

## GENERAL NOTES:

### I. GENERAL REQUIREMENTS

- All work shall conform to the IBC 2009, IRC 2009, Massachusetts amendments to IBC /IRC , the City of Boston bylaws and all applicable OSHA standards.
- Utilities may be in the vicinity of the excavations. prior to excavating the excavation contractor shall comply with the local "dig-safe" requirements and obtain all existing utility information from the owner.
- The Contractor shall verify all dimensions and conditions at the site and report any discrepancy to the Architect before ordering material and proceeding with the work.
- The Contractor shall provide temporary bracing and shoring to support existing surrounding structures and against wind forces and all construction loads throughout the work.
- The contractor shall coordinate all work with the drawings of other disciplines for the location and dimensions of all related items.
- The contractor shall coordinate all framing dimensions with the approved drawings of all purchased window and door dimensions.

### iii. Concrete:

- All concrete shall have a minimum 28-day compressive strength; it shall be normal weight concrete; the design mix and quality control shall meet all standards of the American Concrete Institute for reinforced and unreinforced concrete, as follows:
  - foundation walls, footings & interior basement slabs: 3,500 psi, air-entrained - 5-7% by volume.
- All reinforcing steel shall be astm A-615.

### v. Lumber:

- All framing lumber shall comply with the national design specifications for stress graded lumber and its fastenings, latest edition; and as indicated in the contract documents.
- All framing lumber shall be protected from exposure to the weather.
- Framing lumber shall be used with a maximum 19% moisture content and with minimum design values as indicated:
  - Framing lumber:
    - studs: fb = 1000 psi; all others: fb = 1200 psi.
    - all components: e = 1400000 psi.
- "PT" where indicated on the drawings stands for pressure treated lumber.

- Timber connectors shall be by "simpson" or equal, as follows: the contractor shall note that not every single connection condition and detail will be shown on the drawings; the following schedule is issued as a guide to cover most of the conditions encountered. Some field modifications may be required when the geometry of various members framing into each other is fully dimensioned and laid out.
  - All joist hangers shall be "full-depth" of the member being connected.
  - All wood post caps shall be "simpson" type 'cc" or similar.
- All double joists shall be nailed together with two rows of 20d spikes @ 16" o.c. triple joists shall be bolted together with 1/2"Ø thru-bolts @18" o.c., staggered (@9" o.c.).
- Plywood shall conform to the American plywood association plywood design specification. Thickness shall be as indicated. All plywood used as sub-flooring shall be glued and nailed to the floor joists.
- The nailing schedule for all dimensional lumber shall be per the IBC / IRC 2009
- Lap all joists not flush framed at beams and/or bearing walls 18", connect laps with 8-16d nails.
- Headers over openings shall be as scheduled below, unless specifically indicated otherwise on the drawings.
  - openings size -at bear'g walls -at non-bear'g walls
  - less than 5 ft. (2) 2x8's w/2 1/2" cdx ply layers (2) 2x6's betw. 5 & 9 ft. (2) 2x12'sw/2 1/2" cdx ply layers (2) 2x8's
- All headers shall have (2) jacks and (1) king stud each
- All posts shall be (3) 2x4's unless indicated otherwise.
- Furring wall studs shall be capped with a double top plate installed to provide overlapping at corner and intersections with bearing partitions. end joints in top plates shall be offset at least 48".
- All joists shall be stacked and aligned directly over wall studs below.
- All non-bearing partition walls running parallel with the floor framing for more than 1/2 the span of the joist, shall have a minimum of a doubled-up floor joist.
- Diagonal bridging shall be installed in all floors and ceilings at 8 ft. o.c., with one row or bridging minimum at all spans greater than 8 ft. located in the center of the span. bridging shall be 1x3 min.
- Roof sheathing to be 3/4" plywood, APA rated.

### Q&A FOR MA STRETCH ENERGY CODE APPENDIX 780CMR 120.AA

#### 7. WHAT BUILDING TYPES DOES THE STRETCH CODE APPLY TO?

THE STRETCH CODE APPLIES TO BOTH RESIDENTIAL AND COMMERCIAL BUILDINGS:  
A) RESIDENTIAL BUILDINGS FROM SINGLE FAMILY HOMES UP TO AND INCLUDING BUILDINGS 3 STORIES OR LESS OF ANY SIZE. IT APPLIES TO NEW CONSTRUCTION, ADDITIONS, AND MAJOR RENOVATIONS. HISTORIC BUILDINGS ARE EXEMPT FROM BOTH THE STRETCH CODE AND THE BASE CODE.  
B) NEW COMMERCIAL BUILDINGS OVER 5,000 SQUARE FEET IN SIZE, INCLUDING MULTI-FAMILY RESIDENTIAL BUILDINGS OVER 3 STORIES., SUPERMARKETS, LABORATORIES, AND WAREHOUSES ARE EXEMPT IF THEY ARE BELOW 40,000 SQUARE FEET. OTHER BUILDING TYPES WITH UNUSUAL ENERGY USAGE PROFILES CAN ALSO APPLY FOR A WAIVER FROM THE STRETCH CODE FROM THE BBRS.

#### 8. DOES THE STRETCH CODE APPLY TO MAJOR RENOVATION PROJECTS AS WELL AS NEW CONSTRUCTION?

FOR COMMERCIAL BUILDINGS: NO, FOR RESIDENTIAL BUILDINGS: YES. THE STRETCH CODE HAS LESS STRINGENT ENERGY PERFORMANCE REQUIREMENTS FOR RENOVATIONS THAN FOR NEW BUILDINGS. IN ADDITION, THOSE DOING ADDITIONS AND RENOVATIONS HAVE THE OPTION OF USING A SIMPLE 'PRESCRIPTIVE' PATH TO CODE COMPLIANCE. THE PRESCRIPTIVE PATH SPECIFIES A SET OF MINIMUM ENERGY EFFICIENCY REQUIREMENTS FOR DIFFERENT BUILDING MATERIALS AND SYSTEMS, INSTEAD OF REQUIRING ENERGY PERFORMANCE MODELING AND TESTING. THIS FLEXIBILITY IS AVAILABLE DUE TO THE GREATER DESIGN CONSTRAINTS INVOLVED IN WORKING WITH AN EXISTING BUILDING. DUE TO THE WIDE VARIETY IN TYPES AND CONDITIONS OF COMMERCIAL BUILDINGS, AT THIS TIME THERE ARE NO WIDELY-ACCEPTED STANDARDS FOR RENOVATING SUCH BUILDINGS. SO ONLY NEW COMMERCIAL BUILDINGS ARE COVERED BY THE STRETCH CODE REQUIREMENTS.

**CONCLUSION:**  
SINCE THIS IS NEW CONSTRUCTION, WE WILL MEET THE FULL REQUIREMENTS OF THE 'STRETCH' ENERGY CODE. PLEASE SEE ATTACHED HERS DOCUMENTATION.

## ZONING INFORMATION

**RH-2000 ZONE (ATTACHED)**  
20' WIDTH / FRONTAGE - **O.K.**  
2,000 S.F. FOR (1) UNIT - **O.K.**  
F.A.R. MAX 2.0 - **O.K.**  
3 / 35' STORIES - **O.K.** (SEE STORY BELOW GRADE CALCULATIONS UNDER ELEVATIONS)  
OPEN SPACE MIN. 250 S.F. PER UNIT - **O.K.**  
F.Y.S. STREET AVG. - **O.K.**  
S.Y.S. NONE - **O.K.**  
R.Y.S. 30' - **O.K.**

**NOTE:** (2) PARKING SPACES WILL BE PROVIDED SEE SITE PLAN

**CONCLUSION:** PROJECT IS 'BY RIGHT'. ZBA APPROVAL WILL NOT BE REQUIRED.

### HVAC general notes

- Install sheet metal ductwork and equipment for new hvac system and new bathroom exhaust fans as required by the Massachusetts Mechanical Code.

### Plumbing General notes:

- Install all plumbing and equipment to meet the requirements of the Mass. State Plumbing code.
- Install all new fixtures complete with all req required copper water supply lines & pvc waste & vents. connect to existing or new waste & vent stacks.

### Electrical Notes:

- Install all new fixtures and devices to meet the requirements of the Mass Electrical Code.
- The Electrical Subcontractor shall provide and submit drawings to Boston Inspectional Services if required for approval.

**All drawings by all Subcontractors shall be submitted to the Contractor & Architect for coordination with the work of other trades.**

**All Subcontractors to submit stamped drawings as req'd by Authority having jurisdiction.**

**NOTE:** THIS WILL BE A ONE FAMILY RESIDENCE ON AN INDIVIDUAL PARCEL. IT IS 26,900 CU. FT. AND WILL NOT REQUIRE AN ARCHITECTURAL SEAL BECAUSE IT IS UNDER 35,000 CU. FT. STAMPED / SEALED STRUCTURAL DRAWINGS ARE ATTACHED.

### NOTE:

BUILDING SHALL BE PROVIDED THROUGHOUT WITH A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM.

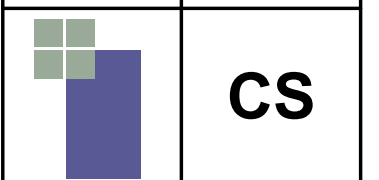
G/F = 1,044 G.S.F.  
1st = 1,044 G.S.F.  
2nd = 960 G.S.F.  
3rd = 816 G.S.F.  
**TOTAL = 3,864 G.S.F.**

COVER SHEET

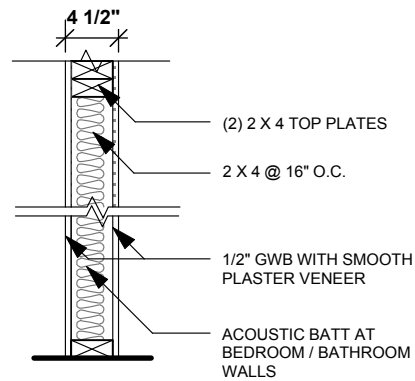
SINGLE FAMILY RESIDENCE  
82 BALDWIN STREET  
CHARLESTOWN, MA.

TIMOTHY SHEEHAN DESIGN  
9 WALL STREET  
CHARLESTOWN, MA. 02129

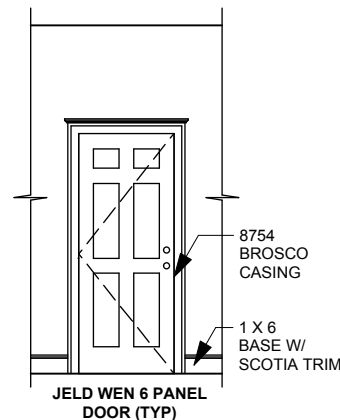
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	DRAWN BY: TS
	SCALE: 3/16" = 1'-0"
	PROJECT #: 2015-22



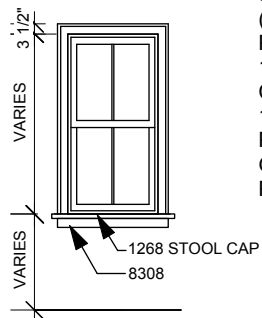
PERMIT SET 2-15-16



**TYPICAL INTERIOR WALL**  
N.T.S.



**DOOR / WINDOW TRIM (TYP)**  
3/16" = 1'-0"



**AREAWAY NOTES:**

8" C.M.U. STRUCTURE (EXPOSED SURFACES PARGED)  
1 1/2" BLUESTONE TREADS/CAPSTONES  
12" X 12" X 1 1/2" BLUESTONE PAVERS ON 4" CRUSHED GRAVEL AT LOWER LANDING  
PROVIDE DRAIN AT LANDING

**DECK / STAIR NOTES:**

1 X 4 SYNTHETIC DECKING W/ S.S. BLIND FASTENERS  
IRON STRUCTURE W/ SUPPORT BRACKETS. SEE DRAWINGS BY SUBCONTRACTOR OR STRUCTURAL ENGINEER (FINISHED BLACK).  
**ALT:** 1 X 4 IPE DECKING.

**NEW STAIR: (TYP)**

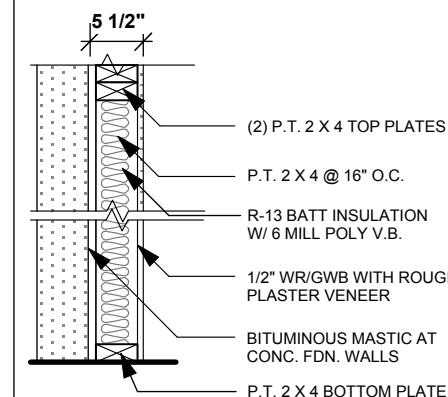
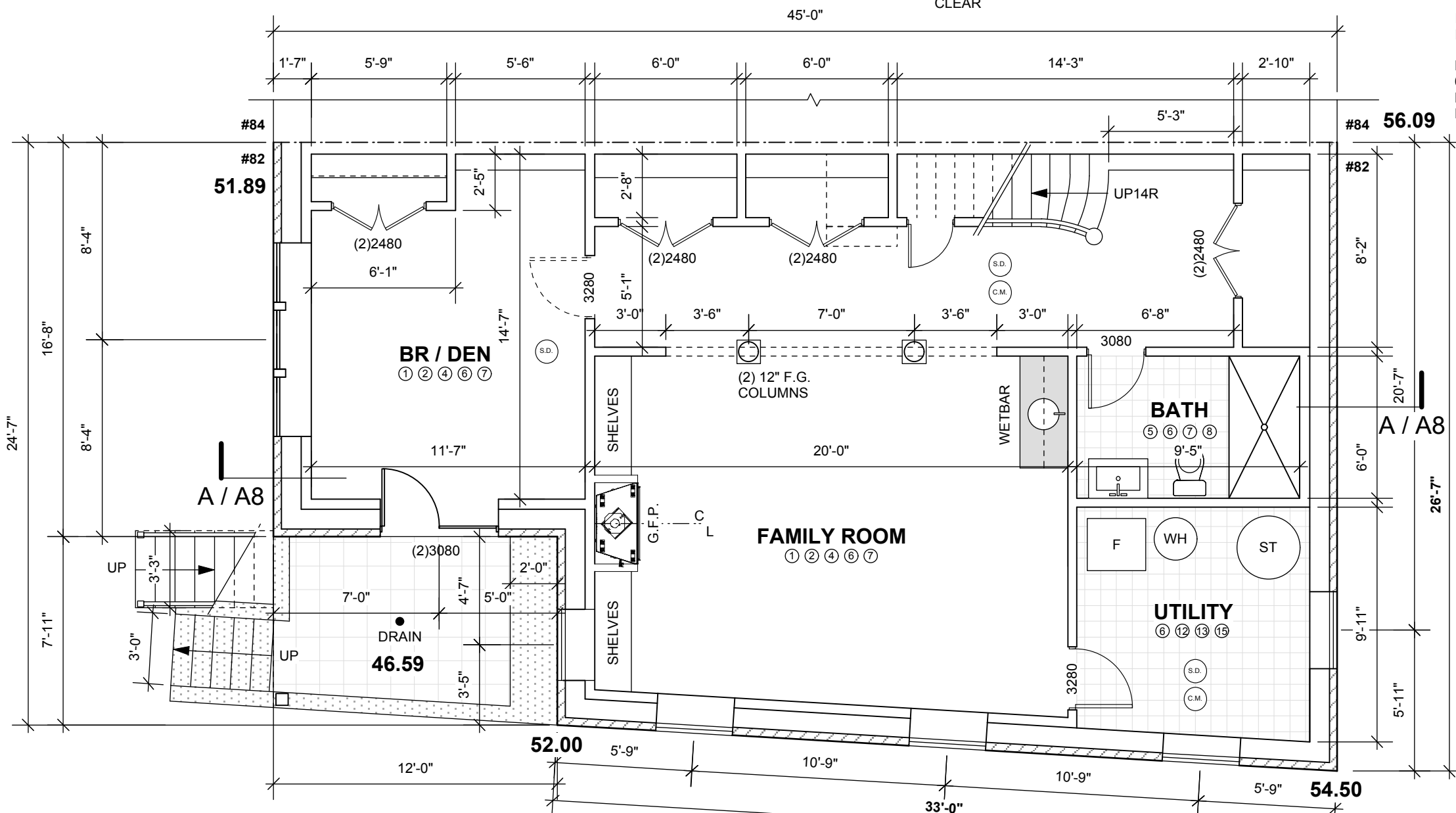
3'-0" WIDE W/ 9 1/2" TREADS  
8" RISERS  
POPLAR RISERS & OAK TREADS  
WOOD BALLUSTRADE MAX 4" CLEAR

**INTERIOR FINISH SCHEDULE**

- ① 3/4" STRIP OAK FLOORS (W/ WATER BASED POLYURETHANE)
- ② 1 X 6 BASEBOARD W/ 3/4" SCOTIA TRIM
- ③ 1 X 8 BASEBOARD W/ 3/4" SCOTIA TRIM
- ④ 3" P.V.C. CROWN MOLDING
- ⑤ 12" X 12" CERAMIC TILE ON 5/8" "DUROCK" BASE
- ⑥ JELD WEN 6 PANEL DOOR
- ⑦ 4" WINDOW TRIM (SEE ADJ. DETAIL THIS PAGE)
- ⑧ NOT USED
- ⑨ NEW DOOR / WINDOW TRIM
- ⑩ FINISH STAIRS / TREADS (PAINT)
- ⑪ GWB CLG. W/ ROUGH PLASTER VENEER
- ⑫ PAINT CLG. WHITE (SPRAY)
- ⑬ PAINT EXST'G MASONRY WALLS W/ BITUMINOUS MASTIC (WHITE)
- ⑭ VINYL COMPOSITION TILE ON NEW 4" CONC. SLAB
- ⑮ NEW 4" CONC. SLAB

**NOTE:**  
INSTALL ACOUSTIWOOL SOUND DEADENING MATERIAL AT ALL FLOORS. MANUFACTURED BY ACOUSTBLOK.

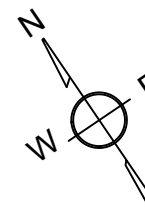
**LANDSCAPING NOTES:**  
6' WOOD / CEDAR FENCE / DESIGN T.B.D.  
BRICK PAVERS @ DRIVEWAY  
PERIMETER PLANTING / NEW TOP SOIL



**BASEMENT FURRING WALL**

N.T.S. @ FINISHED BASEMENT

**NOTE:**  
BUILDING SHALL BE PROVIDED THROUGHOUT WITH A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM.



**NOTE:**  
SEE STRUCTURAL DRAWINGS.

**LEGEND:**

- (S.D.) = SMOKE DETECTOR
- (C.M.) = CARBON MONOXIDE DETECTOR
- 3080 = DOOR SIZE W/H - INCHES

FLOOR PLANS

SINGLE FAMILY RESIDENCE  
82 BALDWIN STREET  
CHARLESTOWN, MA.

TIMOTHY SHEEHAN DESIGN  
9 WALL STREET  
CHARLESTOWN, MA. 02129

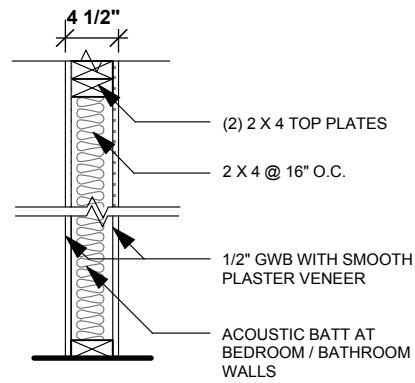
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START DATE: 8/19/15  
DRAWN BY: TS  
SCALE: 3/16" = 1'-0"  
PROJECT #: 2015-22



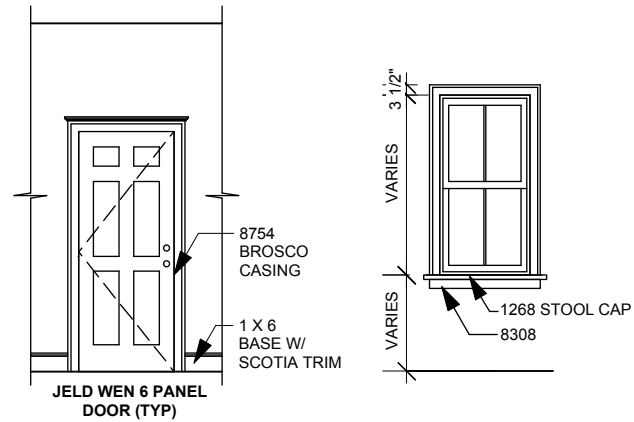
**GROUND FLOOR PLAN**

3/16" = 1'-0"

**PERMIT SET 2-15-16**



**TYPICAL INTERIOR WALL**  
N.T.S.



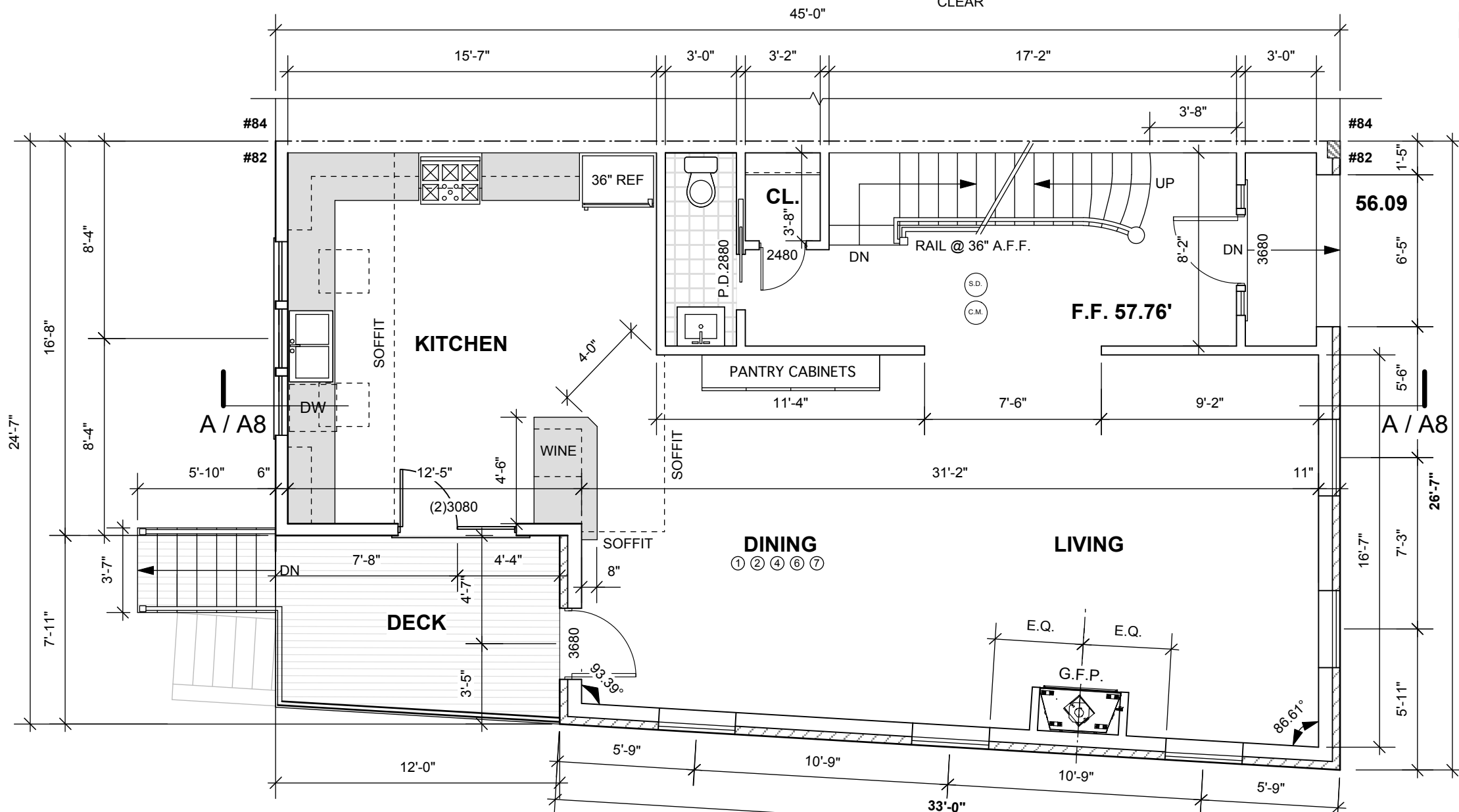
**DOOR / WINDOW TRIM (TYP)**  
3/16" = 1'-0"

**NEW STAIR: (TYP)**  
3'-0" WIDE W/ 9 1/2" TREADS  
8" RISERS  
POPLAR RISERS & OAK  
TREADS  
WOOD BALLUSTRADE MAX 4"  
CLEAR

**INTERIOR FINISH SCHEDULE**

- ① 3/4" STRIP OAK FLOORS (W/ WATER BASED POLYURETHANE)
- ② 1 X 6 BASEBOARD W/ 3/4" SCOTIA TRIM
- ③ 1 X 8 BASEBOARD W/ 3/4" SCOTIA TRIM
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- ⑦ 4" WINDOW TRIM (SEE ADJ. DETAIL THIS PAGE)
- ⑧ NOT USED
- ⑨ NEW DOOR / WINDOW TRIM
- ⑩ FINISH STAIRS / TREADS (PAINT)
- ⑪ GWB CLG. W/ ROUGH PLASTER VENEER
- ⑫ PAINT CLG. WHITE (SPRAY)
- ⑬ PAINT EXST'G MASONRY WALLS W/ BITUMINOUS MASTIC (WHITE)
- ⑭ VINYL COMPOSITION TILE ON NEW 4" CONC. SLAB
- ⑮ NEW 4" CONC. SLAB

**NOTE:**  
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DEADENING MATERIAL AT ALL FLOORS.  
MANUFACTURED BY ACOUSTBLOK.

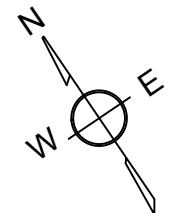


**NOTE:**  
BUILDING SHALL BE PROVIDED  
THROUGHOUT WITH A FULLY  
AUTOMATIC FIRE SPRINKLER  
SYSTEM.

**NOTE:**  
SEE STRUCTURAL  
DRAWINGS.

**LEGEND:**

(S.D.)	= SMOKE DETECTOR
(C.M.)	= CARBON MONOXIDE DETECTOR
3080	= DOOR SIZE W/H - INCHES



**FIRST FLOOR PLAN**

3/16" = 1'-0"

**PERMIT SET 2-15-16**

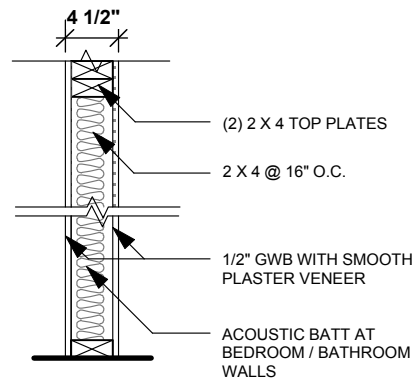
**FLOOR PLANS**

**SINGLE FAMILY RESIDENCE**  
**82 BALDWIN STREET**  
**CHARLESTOWN, MA.**

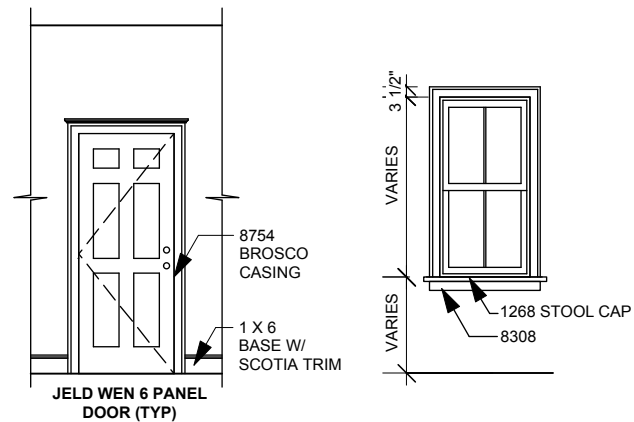
**TIMOTHY SHEEHAN DESIGN**  
**9 WALL STREET**  
**CHARLESTOWN, MA. 02129**

REV: \_\_\_\_\_  
START DATE: 8/19/15  
DRAWN BY: TS  
SCALE: 3/16" = 1'-0"  
PROJECT #: 2015-22





**TYPICAL INTERIOR WALL**  
N.T.S.



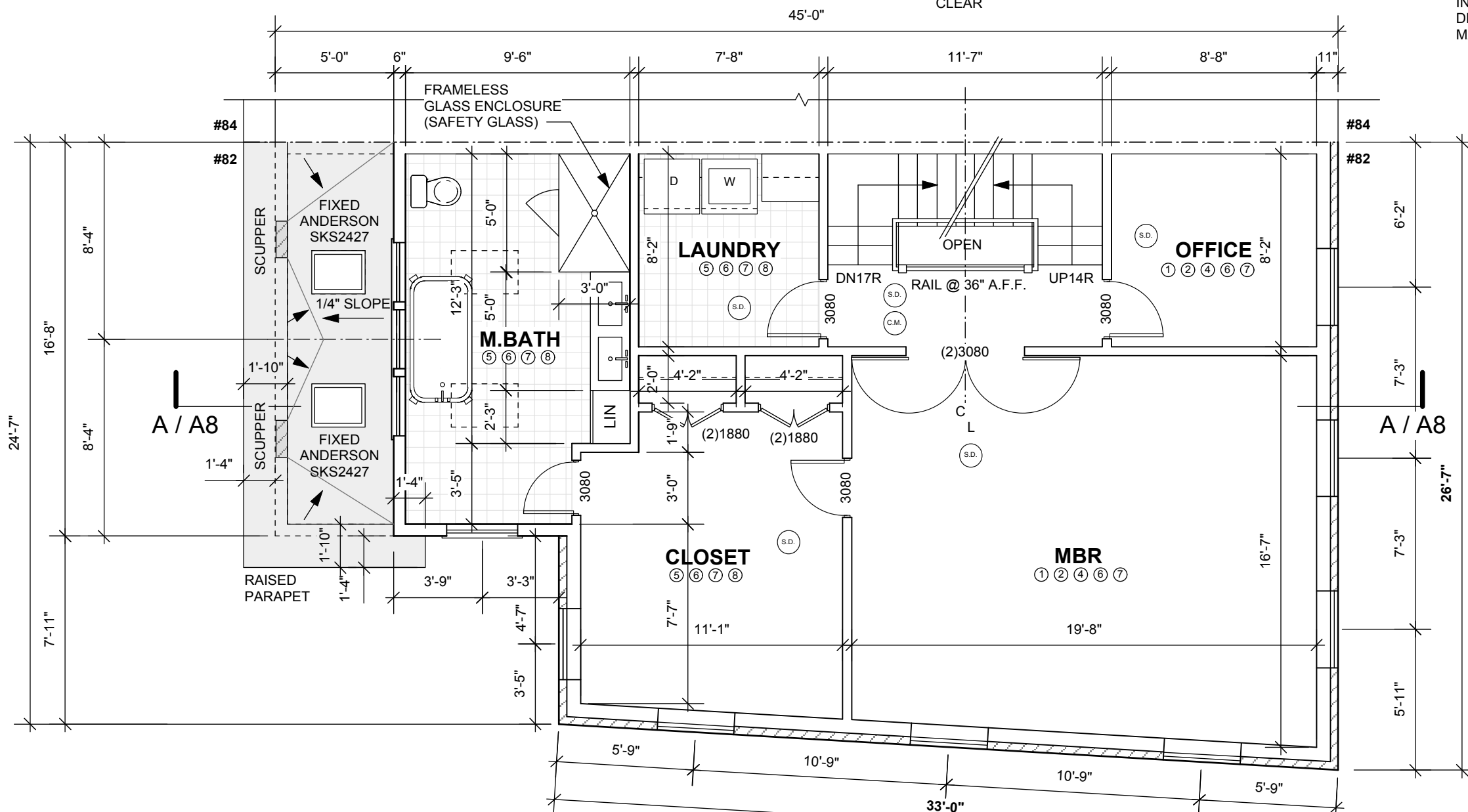
**DOOR / WINDOW TRIM (TYP)**  
3/16" = 1'-0"

**NEW STAIR: (TYP)**  
3'-0" WIDE W/ 9 1/2" TREADS  
8" RISERS  
POPLAR RISERS & OAK  
TREADS  
WOOD BALLUSTRADE MAX 4"  
CLEAR

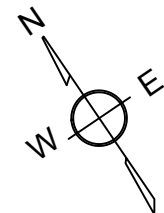
**INTERIOR FINISH SCHEDULE**

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- ② 1 X 6 BASEBOARD W/ 3/4" SCOTIA TRIM
- ③ 1 X 8 BASEBOARD W/ 3/4" SCOTIA TRIM
- ④ 3" P.V.C. CROWN MOLDING
- ⑤ 12" X 12" CERAMIC TILE ON 5/8" 'DUROCK' BASE
- ⑥ JELD WEN 6 PANEL DOOR
- ⑦ 4" WINDOW TRIM (SEE ADJ. DETAIL THIS PAGE)
- ⑧ NOT USED
- ⑨ NEW DOOR / WINDOW TRIM
- ⑩ FINISH STAIRS / TREADS (PAINT)
- ⑪ GWB CLG. W/ ROUGH PLASTER VENEER
- ⑫ PAINT CLG. WHITE (SPRAY)
- ⑬ PAINT EXST'G MASONRY WALLS W/ BITUMINOUS MASTIC (WHITE)
- ⑭ VINYL COMPOSITION TILE ON NEW 4" CONC. SLAB
- ⑮ NEW 4" CONC. SLAB

**NOTE:**  
INSTALL ACOUSTIWOOL SOUND  
DEADENING MATERIAL AT ALL FLOORS.  
MANUFACTURED BY ACOUSTBLOK.



**NOTE:**  
BUILDING SHALL BE PROVIDED  
THROUGHOUT WITH A FULLY  
AUTOMATIC FIRE SPRINKLER  
SYSTEM.



**NOTE:**  
SEE STRUCTURAL  
DRAWINGS.

**LEGEND:**

(S.D.)	= SMOKE DETECTOR
(C.M.)	= CARBON MONOXIDE DETECTOR
3080	= DOOR SIZE W/H - INCHES

**FLOOR PLANS**

**SINGLE FAMILY RESIDENCE  
82 BALDWIN STREET  
CHARLESTOWN, MA.**

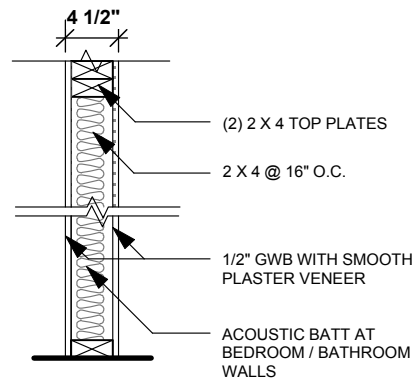
**TIMOTHY SHEEHAN DESIGN  
9 WALL STREET  
CHARLESTOWN, MA. 02129**

REV:	START DATE: 8/19/15
	DRAWN BY: TS
	SCALE: 3/16" = 1'-0"
	PROJECT #: 2015-22

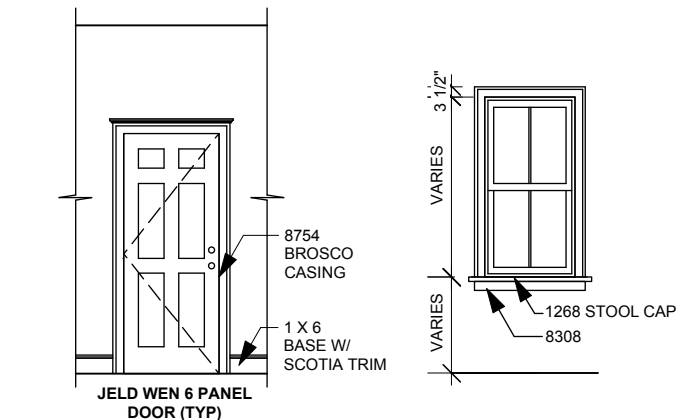
A3

**SECOND FLOOR PLAN**  
3/16" = 1'-0"

**PERMIT SET 2-15-16**



**TYPICAL INTERIOR WALL**  
N.T.S.



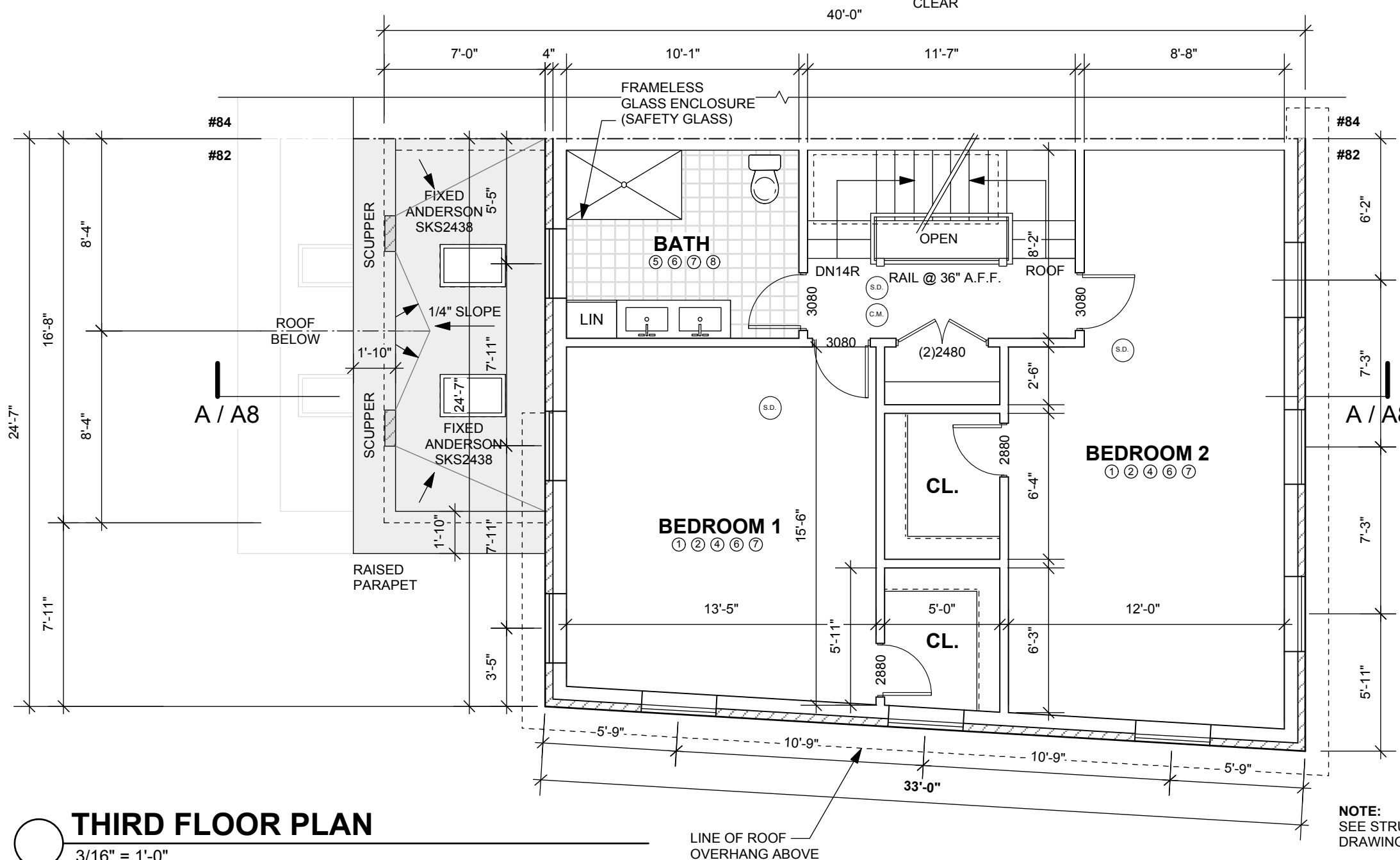
**DOOR / WINDOW TRIM (TYP)**  
3/16" = 1'-0"

**NEW STAIR: (TYP)**  
3'-0" WIDE W/ 9 1/2" TREADS  
8" RISERS  
POPLAR RISERS & OAK  
TREADS  
WOOD BALLUSTRADE MAX 4"  
CLEAR

**INTERIOR FINISH SCHEDULE**

- ① 3/4" STRIP OAK FLOORS (W/ WATER BASED POLYURETHANE)
- ② 1 X 6 BASEBOARD W/ 3/4" SCOTIA TRIM
- ③ 1 X 8 BASEBOARD W/ 3/4" SCOTIA TRIM
- ④ 3" P.V.C. CROWN MOLDING
- ⑤ 12" X 12" CERAMIC TILE ON 5/8" 'DUROCK' BASE
- ⑥ JELD WEN 6 PANEL DOOR
- ⑦ 4" WINDOW TRIM (SEE ADJ. DETAIL THIS PAGE)
- ⑧ NOT USED
- ⑨ NEW DOOR / WINDOW TRIM
- ⑩ FINISH STAIRS / TREADS (PAINT)
- ⑪ GWB CLG. W/ ROUGH PLASTER VENEER
- ⑫ PAINT CLG. WHITE (SPRAY)
- ⑬ PAINT EXST'G MASONRY WALLS W/ BITUMINOUS MASTIC (WHITE)
- ⑭ VINYL COMPOSITION TILE ON NEW 4" CONC. SLAB
- ⑮ NEW 4" CONC. SLAB

**NOTE:**  
INSTALL ACOUSTIWOOL SOUND  
DEADENING MATERIAL AT ALL FLOORS.  
MANUFACTURED BY ACOUSTBLOK.



**THIRD FLOOR PLAN**

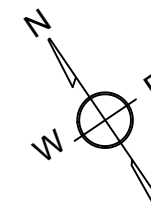
3/16" = 1'-0"

LINE OF ROOF  
OVERHANG ABOVE

**NOTE:**  
SEE STRUCTURAL  
DRAWINGS.

**LEGEND:**

- (S.D.) = SMOKE DETECTOR
- (C.M.) = CARBON MONOXIDE DETECTOR
- 3080 = DOOR SIZE W/H - INCHES



**FLOOR PLANS**

**SINGLE FAMILY RESIDENCE**  
82 BALDWIN STREET  
CHARLESTOWN, MA.

**TIMOTHY SHEEHAN DESIGN**  
9 WALL STREET  
CHARLESTOWN, MA. 02129

REV: \_\_\_\_\_  
START DATE: 8/19/15  
DRAWN BY: TS  
SCALE: 3/16" = 1'-0"  
PROJECT #: 2015-22



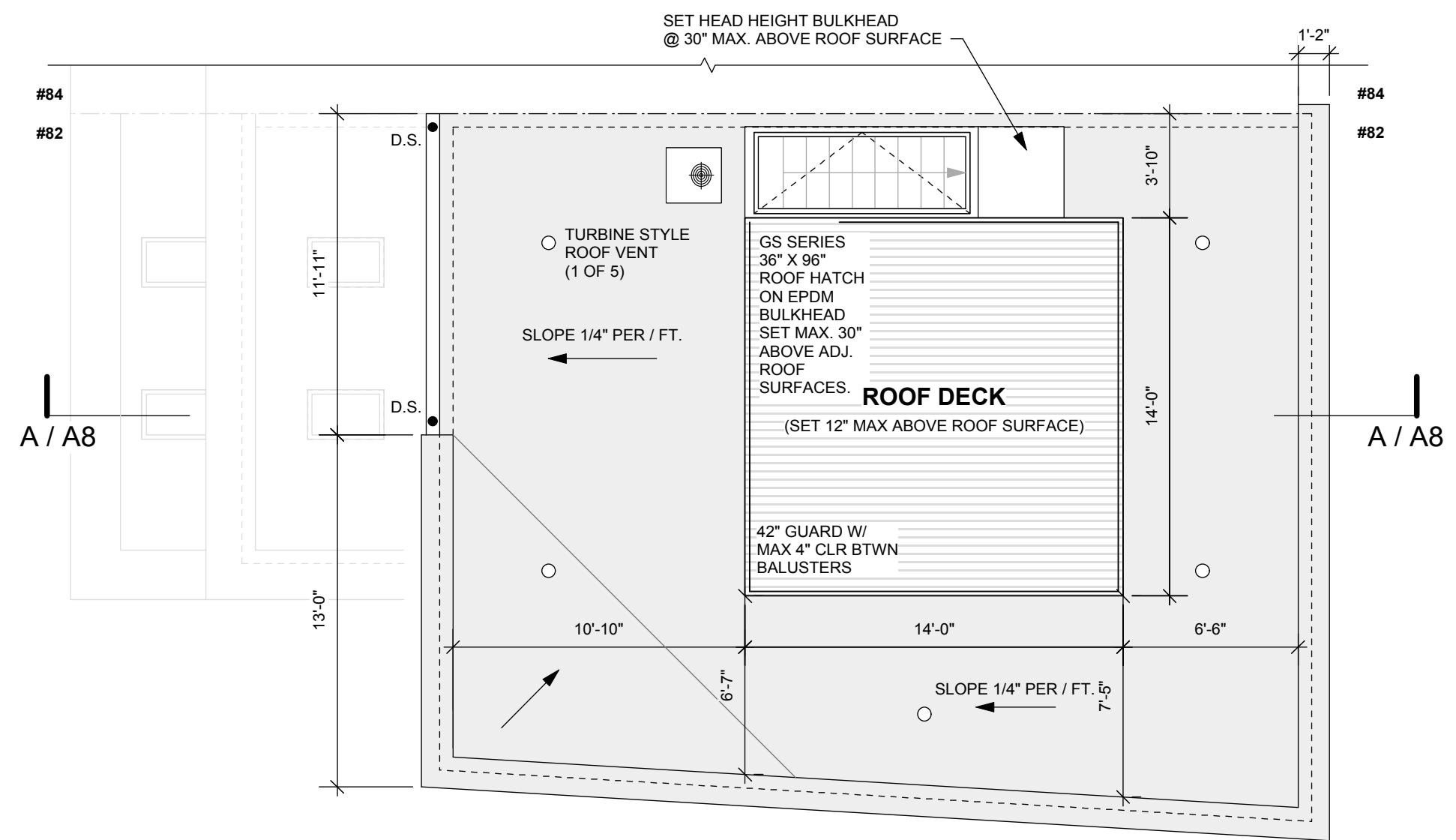
ROOF PLAN

SINGLE FAMILY RESIDENCE  
82 BALDWIN STREET  
CHARLESTOWN, MA.

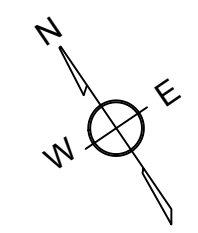
TIMOTHY SHEEHAN DESIGN  
9 WALL STREET  
CHARLESTOWN, MA. 02129

**FROM BOSTON ZONING CODE:**

AN OPEN ROOF DECK MAY BE ERRECTED ON THE MAIN ROOF OF A BUILDING WITH A FLAT ROOF OR A ROOF WITH A SLOPE OF LESS THAN FIVE (5) DEGREES, PROVIDED THAT (A) SUCH DECK IS LESS THAN ONE (1) FOOT ABOVE THE HIGHEST POINT OF SUCH ROOF; (B) THE TOTAL HEIGHT OF THE BUILDING, INCLUDING SUCH DECK, DOES NOT EXCEED THE MAXIMUM BUILDING HEIGHT ALLOWED BY THIS ARTICLE FOR THE LOCATION OF THE BUILDING; AND (C) ACCESS IS BY ROOF HATCH OR BULKHEAD NO MORE THAN THIRTY (30) INCHES IN HEIGHT ABOVE SUCH DECK, UNLESS AFTER PUBLIC NOTICE AND HEARING AND SUBJECT TO SECTIONS 6-2, 6-3, AND 6-4, THE BOARD OF APPEAL GRANTS PERMISSION FOR A STAIRWAY HEADHOUSE; AND (D) AN APPURTENANT HAND RAIL, BALUSTRADE, HATCH, OR BULKHEAD IS SET BACK HORIZONTALLY, TWO (2) FEET FOR EACH FOOT OF HEIGHT OF SUCH APPURTENANT STRUCTURE, FROM A ROOF EDGE THAT FACES A STREET MORE THAN TWENTY (20) FEET WIDE.



**NOTE:**  
BUILDING SHALL BE PROVIDED THROUGHOUT WITH A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM.





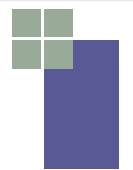
**ROOF PLAN**  
3/16" = 1'-0"

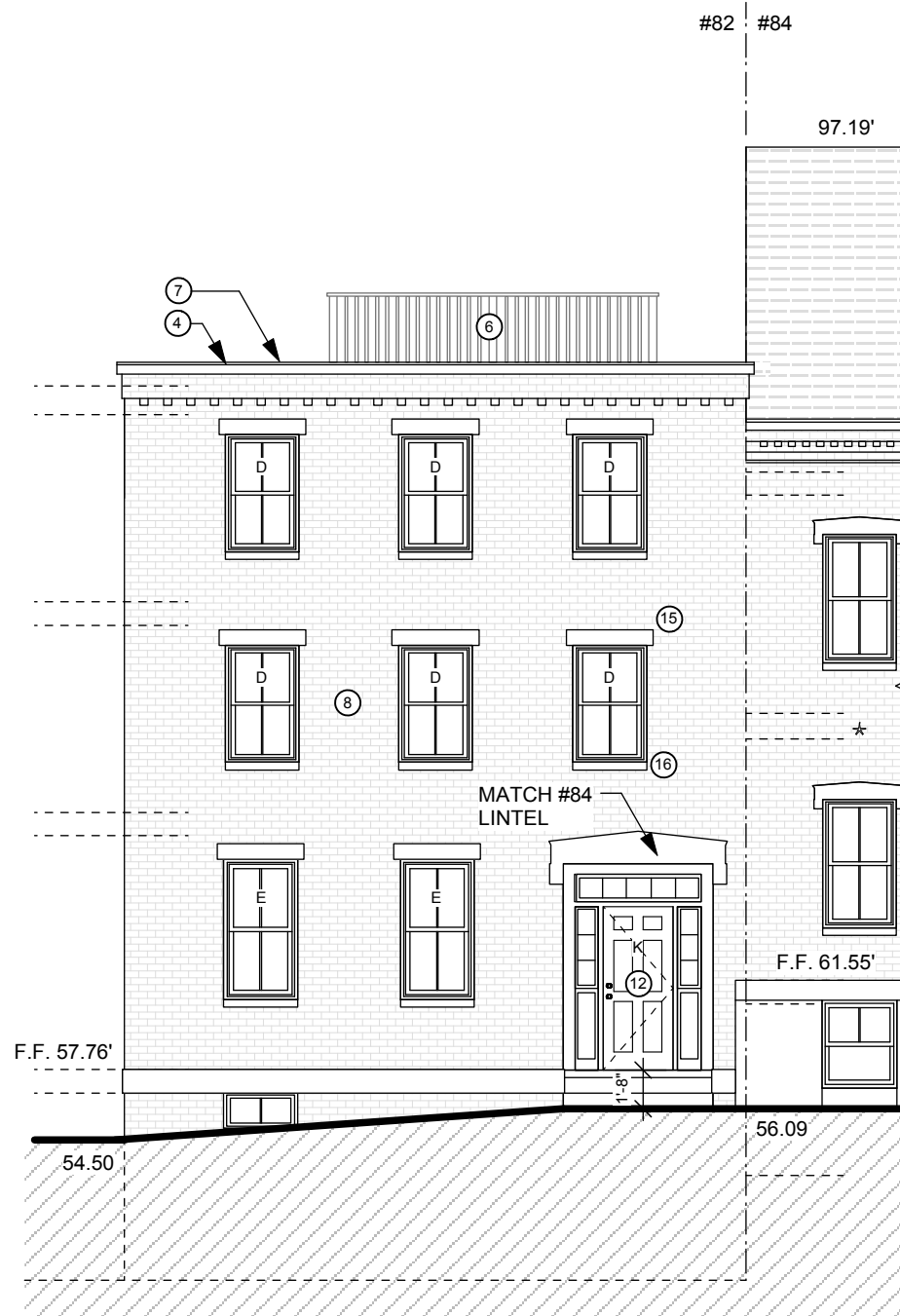
**NOTE:**  
SEE STRUCTURAL DRAWINGS.

**PERMIT SET 2-15-16**

**LEGEND:**

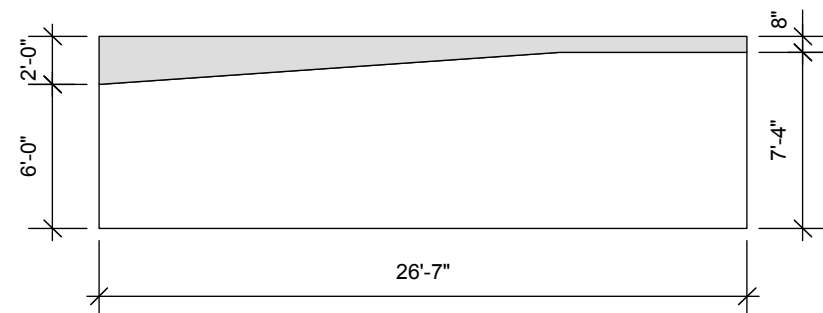
	= SMOKE DETECTOR
	= CARBON MONOXIDE DETECTOR
3080	= DOOR SIZE W/H - INCHES

REV:	START DATE: 8/19/15 DRAWN BY: TS SCALE: 3/16" = 1'-0" PROJECT #: 2015-22
	<b>A5</b>



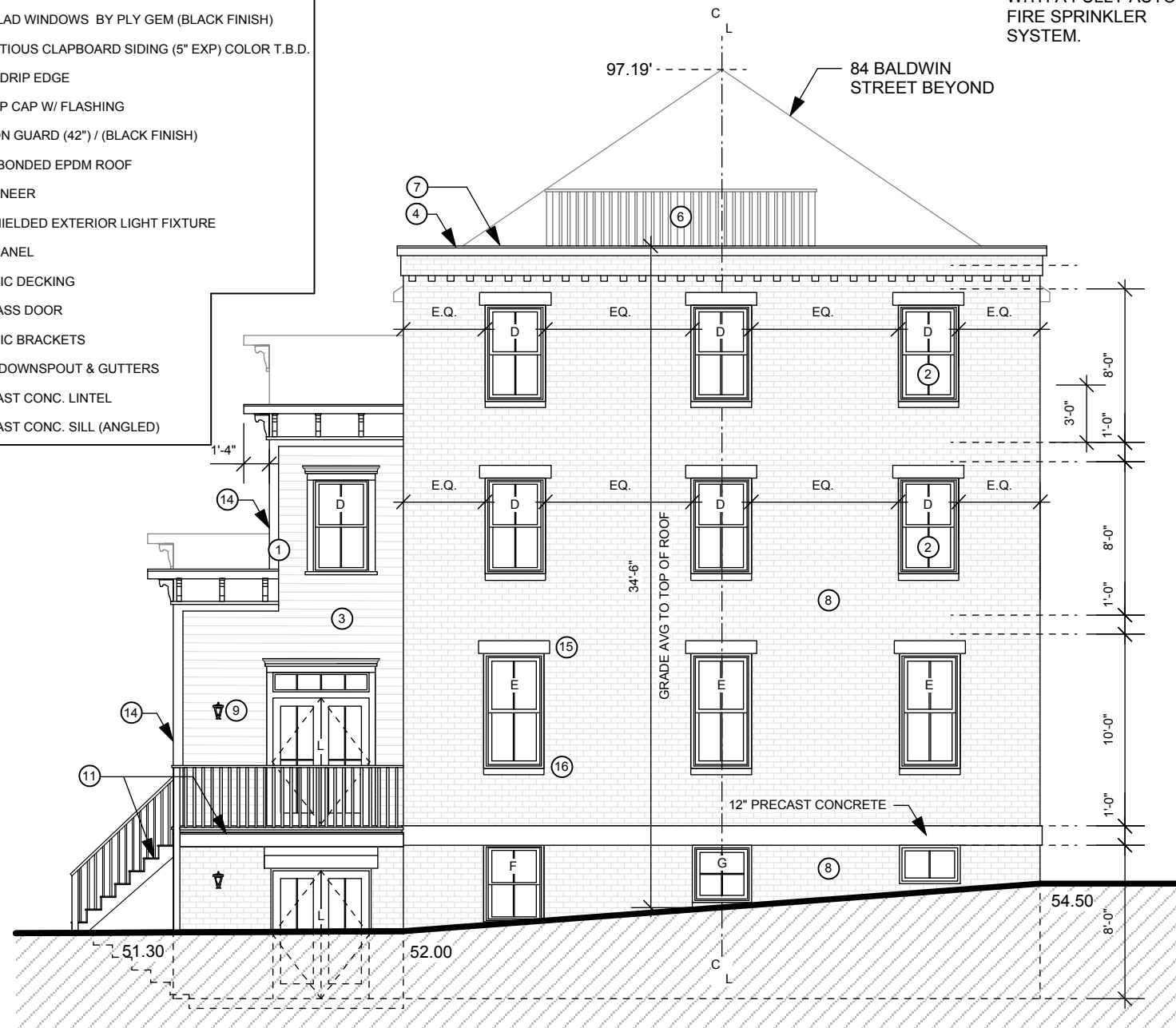
**BALDWIN STREET ELEVATION**

1/8" = 1'-0"



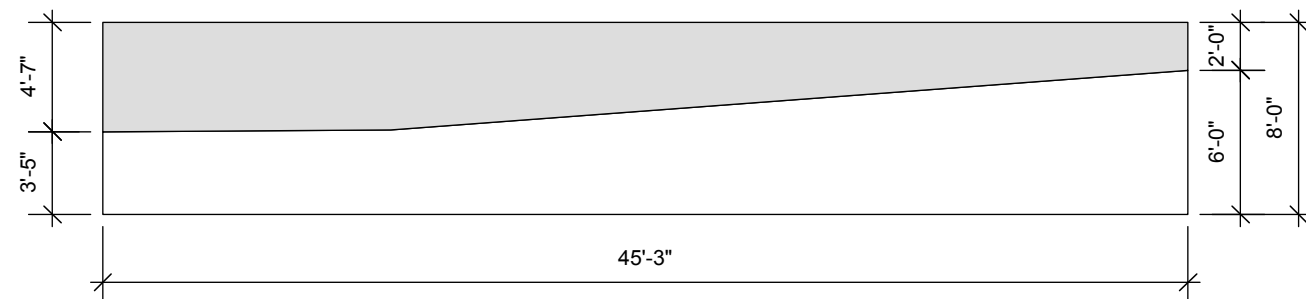
STORY BELOW GRADE DIAGRAM

- EXTERIOR MATERIALS:**
- ① SYNTHETIC TRIM (AZEK OR SIMILAR)
  - ② WOOD CLAD WINDOWS BY PLY GEM (BLACK FINISH)
  - ③ CEMENTITIOUS CLAPBOARD SIDING (5" EXP) COLOR T.B.D.
  - ④ COPPER DRIP EDGE
  - ⑤ AZEK DRIP CAP W/ FLASHING
  - ⑥ CAST IRON GUARD (42") / (BLACK FINISH)
  - ⑦ 30 YEAR BONDED EPDM ROOF
  - ⑧ BRICK VENEER
  - ⑨ FULLY SHIELDED EXTERIOR LIGHT FIXTURE
  - ⑩ HARDIE PANEL
  - ⑪ SYNTHETIC DECKING
  - ⑫ FIBERGLASS DOOR
  - ⑬ SYNTHETIC BRACKETS
  - ⑭ COPPER DOWNSPOUT & GUTTERS
  - ⑮ 8" PRE-CAST CONC. LINTEL
  - ⑯ 3" PRE-CAST CONC. SILL (ANGLED)



**BUNKER HILL STREET ELEVATION**

1/8" = 1'-0"



STORY BELOW GRADE DIAGRAM

**BASEMENT CALCULATIONS:**

TOTAL WALL AREA: 777.30 S.F.  
 ABOVE GRADE: 306.74 S.F. = 39.46%  
 BELOW GRADE: 470.56 = 60.54%

**NOTE:**  
 BUILDING SHALL BE PROVIDED THROUGHOUT WITH A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM.

**ELEVATIONS**

**SINGLE FAMILY RESIDENCE  
 82 BALDWIN STREET  
 CHARLESTOWN, MA.**

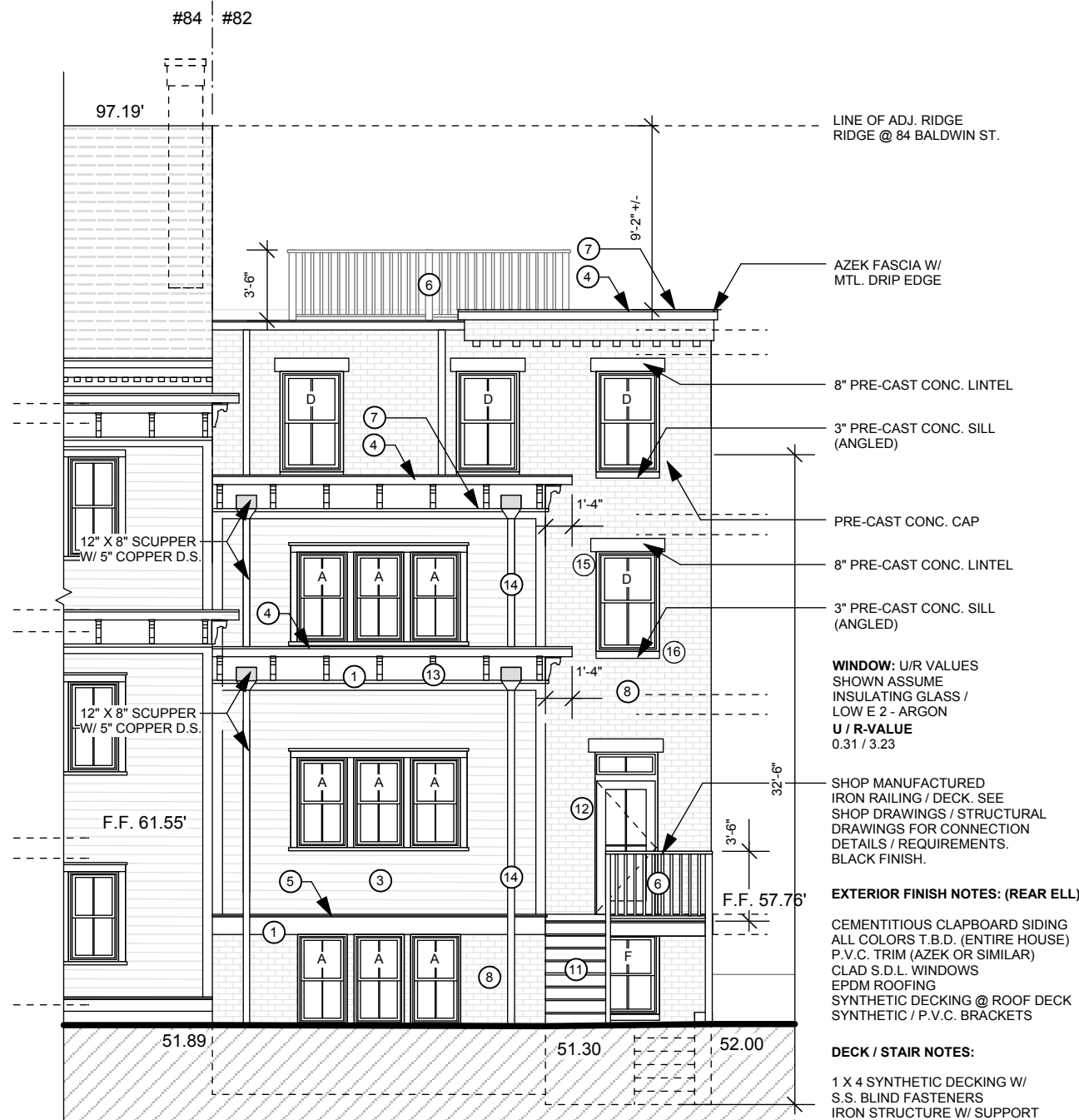
**TIMOTHY SHEEHAN DESIGN  
 9 WALL STREET  
 CHARLESTOWN, MA. 02129**

REV:	START DATE: 8/19/15
	DRAWN BY: TS
	SCALE: 1/8" = 1'-0"
	PROJECT #: 2015-22

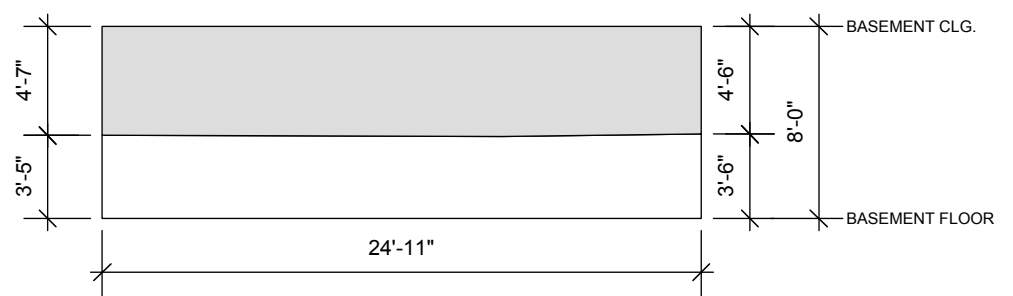


**A6**





**REAR ELEVATION**  
1/8" = 1'-0"



**STORY BELOW GRADE DIAGRAM**

**AREAWAY NOTES:**  
8" C.M.U. STRUCTURE (EXPOSED SURFACES PARGED)  
1 1/2" BLUESTONE TREADS/ CAPSTONES  
12" X 12" X 1 1/2" BLUESTONE PAVERS ON 4" CRUSHED GRAVEL AT LOWER LANDING  
PROVIDE DRAIN AT LANDING

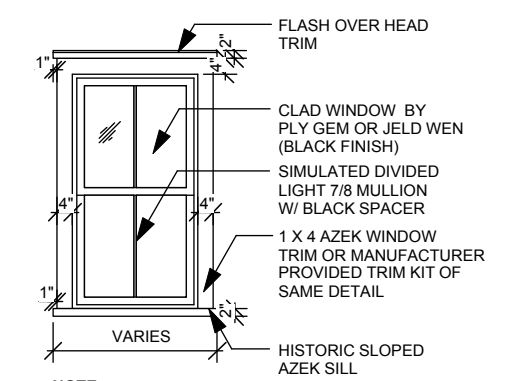
**WINDOW SCHEDULE** JELD WEN SITE LINE ALUMINUM CLAD (BLACK FINISH)

#	TYPE	#	CALL #	R.O.	REMARKS
A	D.H.	11	3356	34 1/8" X 56 3/4"	
B					
C					
D	D.H.	17	3760	38 1/8" X 60 3/4"	MEETS 5.7 S.F. - EGRESS
E	D.H.	5	3760	38 1/8" X 72 3/4"	MEETS 5.7 S.F. - EGRESS
F	D.H.	2	3748	38 1/8" X 48 3/4"	
G	D.H.	1	3736	38 1/8" X 36 3/4"	
H	AWN	1	A3620	36 3/4" X 20 3/4"	
J	AWN	1	A3617	36 3/4" X 17 3/4"	

**EXT. DOOR SCHEDULE** JELD WEN FRENCH VIEW CLAD INSWING PATIO DOOR (BLACK FINISH)

#	TYPE	#	CALL #	REMARKS
K	DOOR	1	36 X 80	W/ 12" SIDE LIGHT @ 12" TRANSOM OVER / S.G.
L	DOOR	2	60 X 80	12" TRANSOM OVER / S.G. (TRANS. @ KITCHEN ONLY)
M	DOOR	1	36 X 80	12" TRANSOM OVER / SAFETY GLASS

- EXTERIOR MATERIALS:**
- 1 SYNTHETIC TRIM (AZEK OR SIMILAR)
  - 2 WOOD CLAD WINDOWS BY PLY GEM (BLACK FINISH)
  - 3 CEMENTITIOUS CLAPBOARD SIDING (5" EXP) COLOR T.B.D.
  - 4 COPPER DRIP EDGE
  - 5 AZEK DRIP CAP W/ FLASHING
  - 6 CAST IRON GUARD (42") / (BLACK FINISH)
  - 7 30 YEAR BONDED EPDM ROOF
  - 8 BRICK VENEER
  - 9 FULLY SHIELDED EXTERIOR LIGHT FIXTURE
  - 10 HARDIE PANEL
  - 11 SYNTHETIC DECKING
  - 12 FIBERGLASS DOOR
  - 13 SYNTHETIC BRACKETS
  - 14 COPPER DOWNSPOUT & GUTTERS
  - 15 8" PRE-CAST CONC. LINTEL
  - 16 3" PRE-CAST CONC. SILL (ANGLED)



**NOTE:**  
INSTALL ICE AND WATER SHIELD @ ALL (4) SIDES. LAP OVER FACE OF SHEATHING 6" MIN.

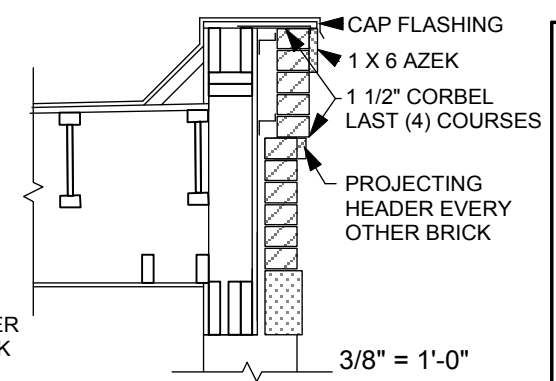
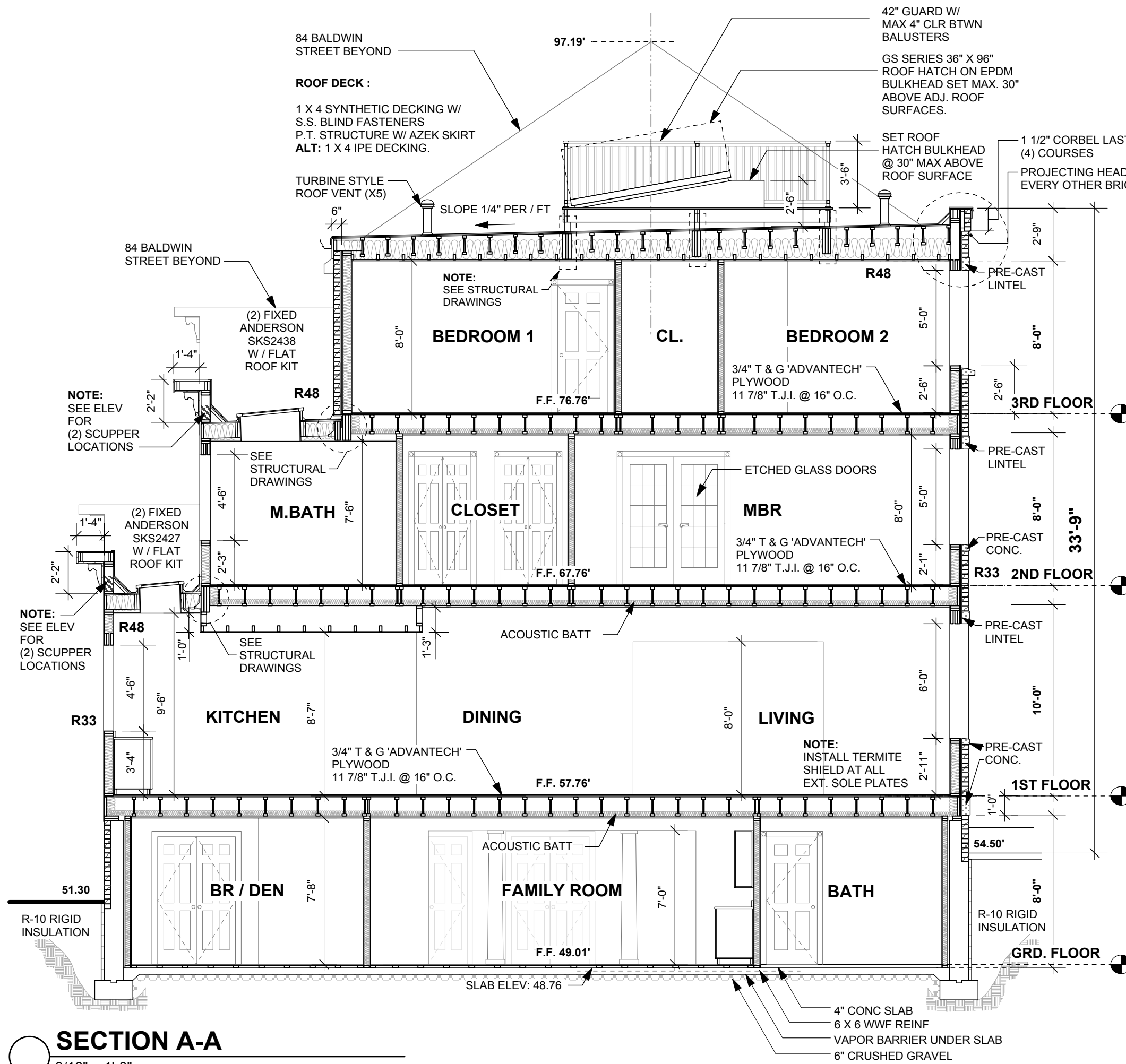
**TYPICAL WINDOW (REAR ELL)**

**ELEVATIONS**

**SINGLE FAMILY RESIDENCE  
82 BALDWIN STREET  
CHARLESTOWN, MA.**

**TIMOTHY SHEEHAN DESIGN  
9 WALL STREET  
CHARLESTOWN, MA. 02129**

REV:	START DATE: 8/19/15 DRAWN BY: TS SCALE: 1/8" = 1'-0" PROJECT #: 2015-22
	<b>A7</b>



**ROOF CONSTRUCTION:**

EPDM (1/4" / FT. SLOPE MIN.)  
3/4" T & G PLYWOOD  
ICE & WATER SHIELD  
11 7/8" T.J.I. @ 16" O.C.  
8" C.C. ICYNENE (R48)  
WOOD STRAPPING @ 16" O.C.  
1/2" GWB W/ SMOOTH PLASTER VENEER

**EXTERIOR WALL CONSTRUCTION:**  
(WOOD FRAME W/ BRICK VENEER)

4" BRICK VENEER (MATCH #84)  
PROVIDE WEEP HOLES AT FIRST COURSE (TYP)  
METAL TIES @ 6 COURSE INTV.  
FLASH ALL HEADS / PENETRATIONS  
1" AIRSPACE MIN  
TYVEK AIR / MOISTURE BARRIER  
5/8" CDX PLYWOOD  
2 X 6 @ 16" O.C.  
5 1/2" C.C. ICYNENE INSULATION (R33)  
6 MILL POLY V.B.  
1/2" GYP. BD. W/ PLASTER VENEER

**FLOOR CONSTRUCTION**

3/4" OAK FLOORING  
3/4" T & G PLYWOOD  
11 7/8" T.J.I. @ 16" O.C.  
RC-2 RESILIENT CHANNEL @ 16" O.C.  
(1) LAYER 1/2" G.W.B. W/ SMOOTH PLASTER VENEER  
3" ACQUSTIC BATT

**INTERIOR WALL CONSTRUCTION:**

1/2" GWB W/ SMOOTH PLASTER VENEER (BOTH SIDES)  
2 X 4 @ 16" O.C.  
3" ACQUSTIC BATT @ ALL BATHROOMS / BEDROOM WALLS

**FOUNDATION CONSTRUCTION:**

12" CONCRETE FOUNDATION WALLS  
1/2" ANCHOR BOLTS  
6'-0" O.C. MAX (MIN. 12" EMBED).  
WATERPROOFING @ ALL BELOW GRADE EXTERIOR FOUNDATION SURFACES  
24" X 12" CONCRETE FOOTING W/ KEYWAY #3,500 LB CONCRETE MIN.  
(3) # 5 BARS (BOTTOM)  
4'-0" STRIP @ PERIMETER SLAB OF 2" RIGID INSULATION (R10) BELOW GRADE  
POLY VAPOR BARRIER UNDER SLAB  
6" CRUSHED GRAVEL  
SOIL COMPACTED TO 95 PERCENT

**NOTE:**  
SEE STRUCTURAL PLANS FOR FOUNDATION DETAILS, REBAR, SIZES, ETC.

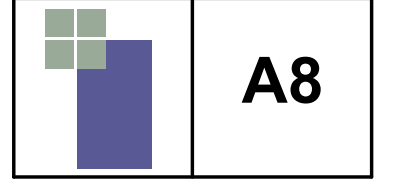
**PERMIT SET 2-15-16**

**SECTIONS**

**SINGLE FAMILY RESIDENCE**  
**82 BALDWIN STREET**  
**CHARLESTOWN, MA.**

**TIMOTHY SHEEHAN DESIGN**  
**9 WALL STREET**  
**CHARLESTOWN, MA. 02129**

REV:	START DATE: 8/19/15
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**SECTION A-A**

3/16" = 1'-0"