

RENOVATIONS / ADDITION

84 BALDWIN STREET
CHARLESTOWN, MA.

ZONING INFORMATION

RH-2000 ZONE (ATTACHED)
20' WIDTH / FRONTAGE - **O.K.**
2,000 S.F. FOR (1) UNIT - **O.K.**
F.A.R. MAX 2.0 - **O.K.**
3 / 35' STORIES - **O.K.**
OPEN SPACE MIN. 250 S.F. PER UNIT - **O.K.**
F.Y.S. STREET AVG. - **O.K.**
S.Y.S. NONE - **O.K.**
R.Y.S. 30' - **O.K.**

NOTE: EXISTING DORMERS / ROOFLINE TO REMAIN (UNCHANGED)

CONCLUSION: PROJECT IS 'BY RIGHT'. ZBA APPROVAL WILL NOT BE REQUIRED.

DRAWING LIST

CS COVER SHEET

EXISTING SITE PLAN
PROPOSED SITE PLAN

A1 GROUND FLOOR PLAN
A2 FIRST FLOOR PLAN
A3 SECOND FLOOR PLAN
A4 THIRD FLOOR PLAN
A5 ELEVATIONS
A6 SECTION

X1 EXISTING FLOOR PLANS
X2 EXISTING ELEVATIONS

STRUCTURAL DRAWINGS

GENERAL NOTES:

I. GENERAL REQUIREMENTS

- All work shall conform to the IBC 2009, IRC 2009, Massachusetts amendments to IBC /IRC , the City of Boston bylaws and all applicable OSHA standards.
- Utilities may be in the vicinity of the excavations. prior to excavating the excavation contractor shall comply with the local "dig-safe" requirements and obtain all existing utility information from the owner.
- The Contractor shall verify all dimensions and conditions at the site and report any discrepancy to the Architect before ordering material and proceeding with the work.
- The Contractor shall provide temporary bracing and shoring to support existing surrounding structures and against wind forces and all construction loads throughout the work.
- The contractor shall coordinate all work with the drawings of other disciplines for the location and dimensions of all related items.
- The contractor shall coordinate all framing dimensions with the approved drawings of all purchased window and door dimensions.

iii. Concrete:

- All concrete shall have a minimum 28-day compressive strength; it shall be normal weight concrete; the design mix and quality control shall meet all standards of the American Concrete Institute for reinforced and unreinforced concrete, as follows:
 - foundation walls, footings & interior basement slabs: 3,500 psi, air-entrained - 5-7% by volume.
- All reinforcing steel shall be astm A-615.

v. Lumber:

- All framing lumber shall comply with the national design specifications for stress graded lumber and its fastenings, latest edition; and as indicated in the contract documents.
- All framing lumber shall be protected from exposure to the weather.
- Framing lumber shall be used with a maximum 19% moisture content and with minimum design values as indicated:
 - Framing lumber:
 - studs: fb = 1000 psi; all others: fb = 1200 psi.
 - all components: e = 1400000 psi.
- "PT" where indicated on the drawings stands for pressure treated lumber.

- Timber connectors shall be by "simpson" or equal, as follows: the contractor shall note that not every single connection condition and detail will be shown on the drawings; the following schedule is issued as a guide to cover most of the conditions encountered. Some field modifications may be required when the geometry of various members framing into each other is fully dimensioned and laid out.
 - All joist hangers shall be "full-depth" of the member being connected.
 - All wood post caps shall be "simpson" type "cc" or similar.
- All double joists shall be nailed together with two rows of 20d spikes @ 16" o.c. triple joists shall be bolted together with 1/2"Ø thru-bolts @18" o.c., staggered (@9" o.c.).
- Plywood shall conform to the American plywood association plywood design specification. Thickness shall be as indicated. All plywood used as sub-flooring shall be glued and nailed to the floor joists.
- The nailing schedule for all dimensional lumber shall be per the IBC / IRC 2009
- Lap all joists not flush framed at beams and/or bearing walls 18", connect laps with 8-16d nails.
- Headers over openings shall be as scheduled below, unless specifically indicated otherwise on the drawings.

-openings size	-at bear'g walls	-at non-bear'g walls
less than 5 ft.	(2) 2x8's w/2 1/2" cdx ply layers	(2) 2x6's betw. 5 & 9 ft.
(2) 2x12's w/2 1/2" cdx ply layers	(2) 2x8's	
- All headers shall have (2) jacks and (1) king stud each
- All posts shall be (3) 2x4's unless indicated otherwise.
- Furring wall studs shall be capped with a double top plate installed to provide overlapping at corner and intersections with bearing partitions. end joints in top plates shall be offset at least 48".
- All joists shall be stacked and aligned directly over wall studs below.
- All non-bearing partition walls running parallel with the floor framing for more than 1/2 the the span of the joist, shall have a minimum of a doubled-up floor joist.
- Diagonal bridging shall be installed in all floors and ceilings at 8 ft. o.c., with one row or bridging minimum at all spans greater than 8 ft. located in the center of the span. bridging shall be 1x3 min.
- Roof sheathing to be 3/4" plywood, APA rated.

Q&A FOR MA STRETCH ENERGY CODE APPENDIX 780CMR 120.AA

7. WHAT BUILDING TYPES DOES THE STRETCH CODE APPLY TO?

THE STRETCH CODE APPLIES TO BOTH RESIDENTIAL AND COMMERCIAL BUILDINGS:

- RESIDENTIAL BUILDINGS FROM SINGLE FAMILY HOMES UP TO AND INCLUDING BUILDINGS 3 STORIES OR LESS OF ANY SIZE. IT APPLIES TO NEW CONSTRUCTION, ADDITIONS, AND MAJOR RENOVATIONS. HISTORIC BUILDINGS ARE EXEMPT FROM BOTH THE STRETCH CODE AND THE BASE CODE.
- NEW COMMERCIAL BUILDINGS OVER 5,000 SQUARE FEET IN SIZE, INCLUDING MULTI-FAMILY RESIDENTIAL BUILDINGS OVER 3 STORIES., SUPERMARKETS, LABORATORIES, AND WAREHOUSES ARE EXEMPT IF THEY ARE BELOW 40,000 SQUARE FEET. OTHER BUILDING TYPES WITH UNUSUAL ENERGY USAGE PROFILES CAN ALSO APPLY FOR A WAIVER FROM THE STRETCH CODE FROM THE BBRs.

8. DOES THE STRETCH CODE APPLY TO MAJOR RENOVATION PROJECTS AS WELL AS NEW CONSTRUCTION?

FOR COMMERCIAL BUILDINGS: NO, FOR RESIDENTIAL BUILDINGS: YES. THE STRETCH CODE HAS LESS STRINGENT ENERGY PERFORMANCE REQUIREMENTS FOR RENOVATIONS THAN FOR NEW BUILDINGS. IN ADDITION, THOSE DOING ADDITIONS AND RENOVATIONS HAVE THE OPTION OF USING A SIMPLE 'PRESCRIPTIVE' PATH TO CODE COMPLIANCE. THE PRESCRIPTIVE PATH SPECIFIES A SET OF MINIMUM ENERGY EFFICIENCY REQUIREMENTS FOR DIFFERENT BUILDING MATERIALS AND SYSTEMS, INSTEAD OF REQUIRING ENERGY PERFORMANCE MODELING AND TESTING. THIS FLEXIBILITY IS AVAILABLE DUE TO THE GREATER DESIGN CONSTRAINTS INVOLVED IN WORKING WITH AN EXISTING BUILDING. DUE TO THE WIDE VARIETY IN TYPES AND CONDITIONS OF COMMERCIAL BUILDINGS, AT THIS TIME THERE ARE NO WIDELY-ACCEPTED STANDARDS FOR RENOVATING SUCH BUILDINGS, SO ONLY NEW COMMERCIAL BUILDINGS ARE COVERED BY THE STRETCH CODE REQUIREMENTS.

CONCLUSION:

SINCE THIS IS AN ADDITION, WE WILL BE UTILIZING THE PRESCRIPTIVE PATH FOR ENERGY / BUILDING ENVELOPE PERFORMANCE.

HVAC general notes

- Install sheet metal ductwork and equipment for new hvac system and new bathroom exhaust fans as required by the Massachusetts Mechanical Code.

Plumbing General notes:

- Install all plumbing and equipment to meet the requirements of the Mass. State Plumbing code.
- Install all new fixtures complete with all req required copper water supply lines & pvc waste & vents. connect to existing or new waste & vent stacks.

Electrical Notes:

- Install all new fixtures and devices to meet the requirements of the Mass Electrical Code.
- The Electrical Subcontractor shall provide and submit drawings to Boston Inspectional Services if required for approval.

All drawings by all Subcontractors shall be submitted to the Contractor & Architect for coordination with the work of other trades.

All Subcontractors to submit stamped drawings as req'd by Authority having jurisdiction.

NOTE: THIS IS A ONE FAMILY RESIDENCE ON AN INDIVIDUAL PARCEL. IT IS 26,500 CU. FT. AND WILL NOT REQUIRE AN ARCHITECTURAL SEAL BECAUSE IT IS UNDER 35,000 CU. FT. STAMPED / SEALED STRUCTURAL DRAWINGS ARE ATTACHED.

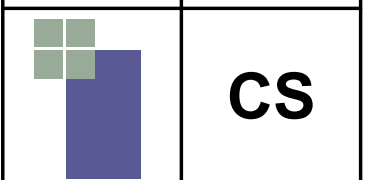
G/F = 1,038 G.S.F.
1st = 1,038 G.S.F.
2nd = 951 G.S.F.
3rd = 682 G.S.F.
TOTAL = 3,709 G.S.F.

COVER SHEET

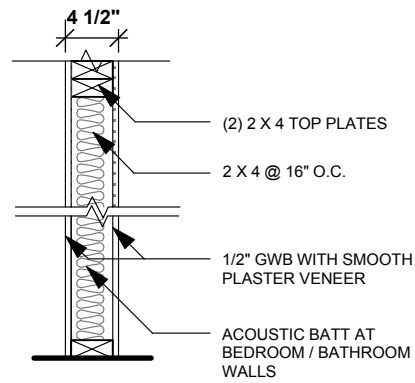
PROPOSED RENOVATIONS
84 BALDWIN STREET
CHARLESTOWN, MA.

TIMOTHY SHEEHAN DESIGN
9 WALL STREET
CHARLESTOWN, MA. 02129

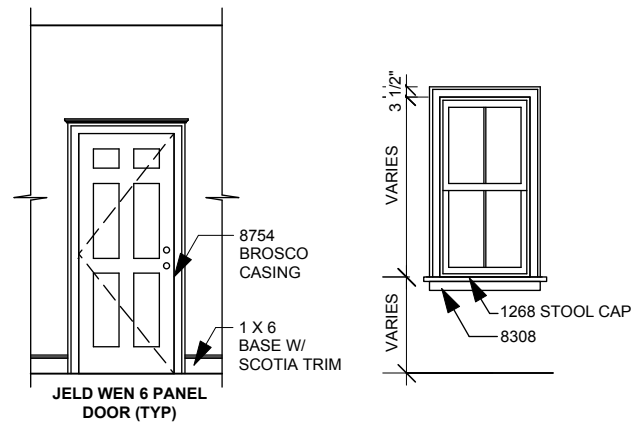
REV:	START DATE: 8/19/15
_____	DRAWN BY: TS
_____	SCALE: 3/16" = 1'-0"
_____	PROJECT #: 2015-22



PERMIT SET 10-21-15



TYPICAL INTERIOR WALL
N.T.S.



DOOR / WINDOW TRIM (TYP)
3/16" = 1'-0"

ZONING INFORMATION

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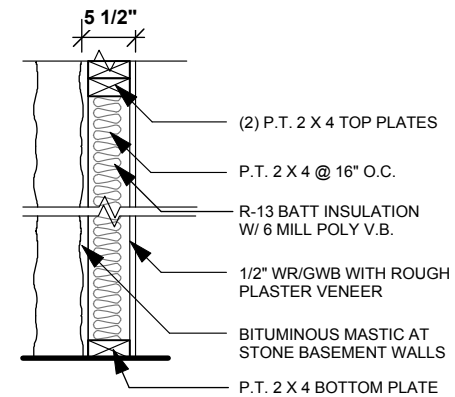
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INTERIOR FINISH SCHEDULE

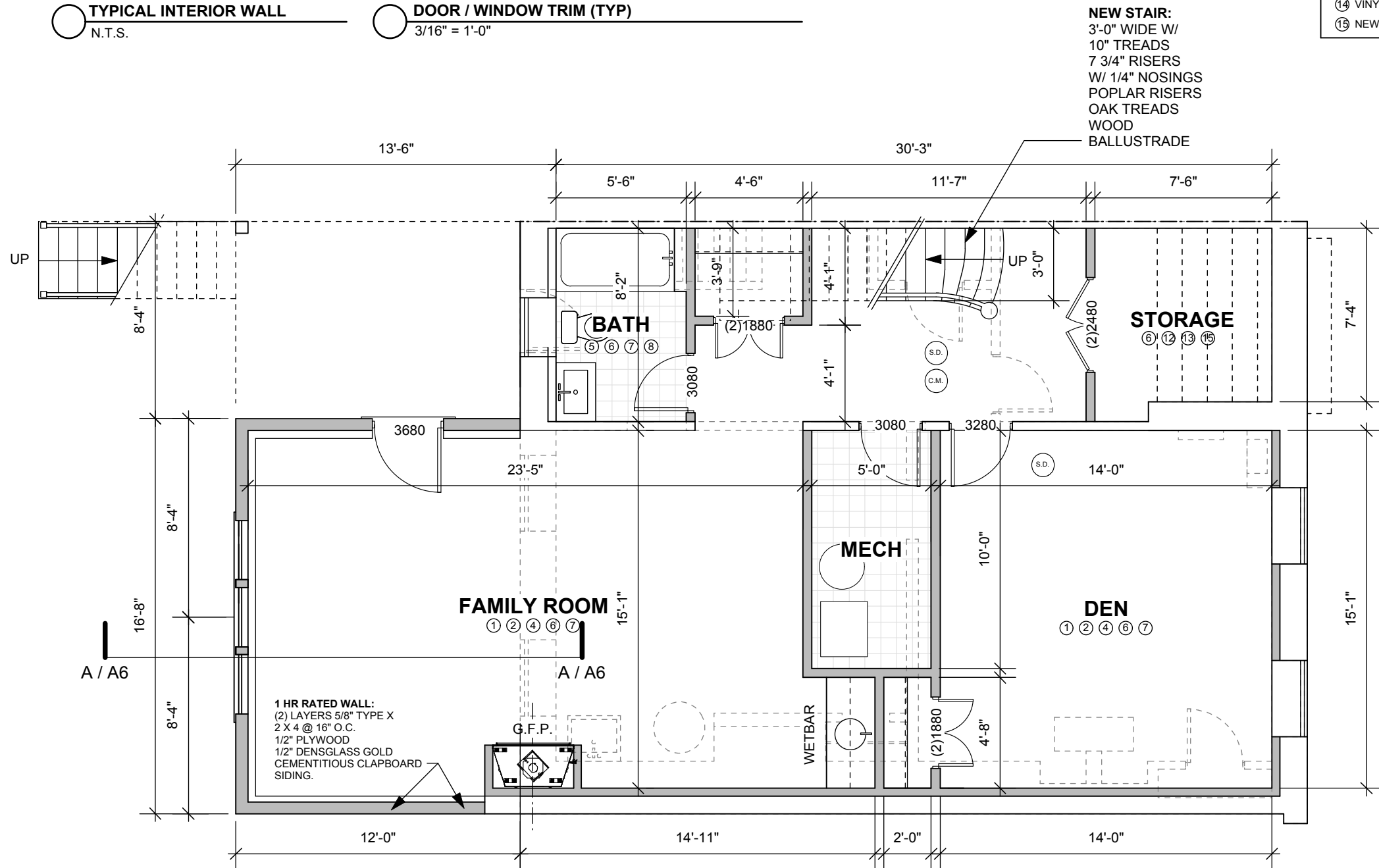
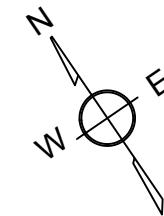
- ① NEW FINISH / REPLACE / PATCH EXST'G OAK FLOORS
- ② 1 X 6 BASEBOARD W/ 3/4" SCOTIA TRIM
- ③ 1 X 8 BASEBOARD W/ 3/4" SCOTIA TRIM
- ④ 3" P.V.C. CROWN MOLDING
- ⑤ 12" X 12" CERAMIC TILE ON 5/8" 'DUROCK' BASE
- ⑥ JELD WEN 6 PANEL DOOR
- ⑦ REPLACE DOOR / WINDOW TRIM
- ⑧ BULLNOSED TILE RETURN @ WINDOW
- ⑨ NEW DOOR / WINDOW TRIM
- ⑩ REFINISH STAIRS / TREADS (PAINT)
- ⑪ NEW GWB CLG. W/ ROUGH PLASTER VENEER
- ⑫ PAINT EXST'G CLG. WHITE (SPRAY)
- ⑬ PAINT EXST'G MASONRY WALLS W/ BITUMINOUS MASTIC (WHITE)
- ⑭ VINYL COMPOSITION TILE ON NEW 4" CONC. SLAB
- ⑮ NEW 4" CONC. SLAB

NOTE:
INSTALL ACOUSTIWOOL SOUND DEADENING MATERIAL AT ALL FLOORS. MANUFACTURED BY ACOUSTBLOK.

LANDSCAPING NOTES:
3' WOOD / CEDAR FENCE / DESIGN T.B.D.
BRICK PAVERS @ DRIVEWAY
PERIMETER PLANTING / NEW TOP SOIL @ BUILDING PERIMETER T.B.D.



BASEMENT FURRING WALL
N.T.S. @ FINISHED BASEMENT



GROUND FLOOR PLAN
3/16" = 1'-0"

NOTE:
SEE STRUCTURAL DRAWINGS.

LEGEND:	
(S.D.)	= SMOKE DETECTOR
(C.M.)	= CARBON MONOXIDE DETECTOR
X	= EXST'G DOOR / WINDOW TO REMAIN
3080	= DOOR SIZE W/H - INCHES
—	= WALL TO REMAIN
- - -	= EXST'G WALL - DEMO
▬	= NEW WALL

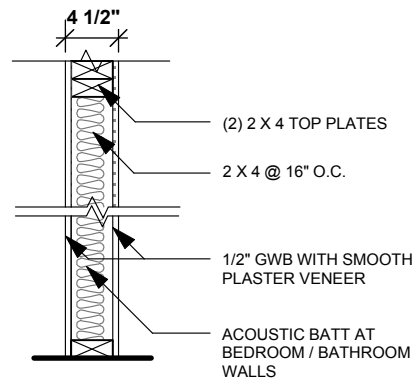
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TIMOTHY SHEEHAN DESIGN
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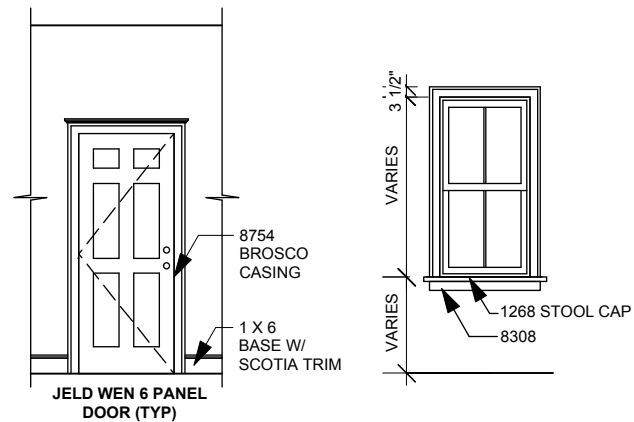
A1

FLOOR PLANS

PROPOSED RENOVATIONS
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CHARLESTOWN, MA.



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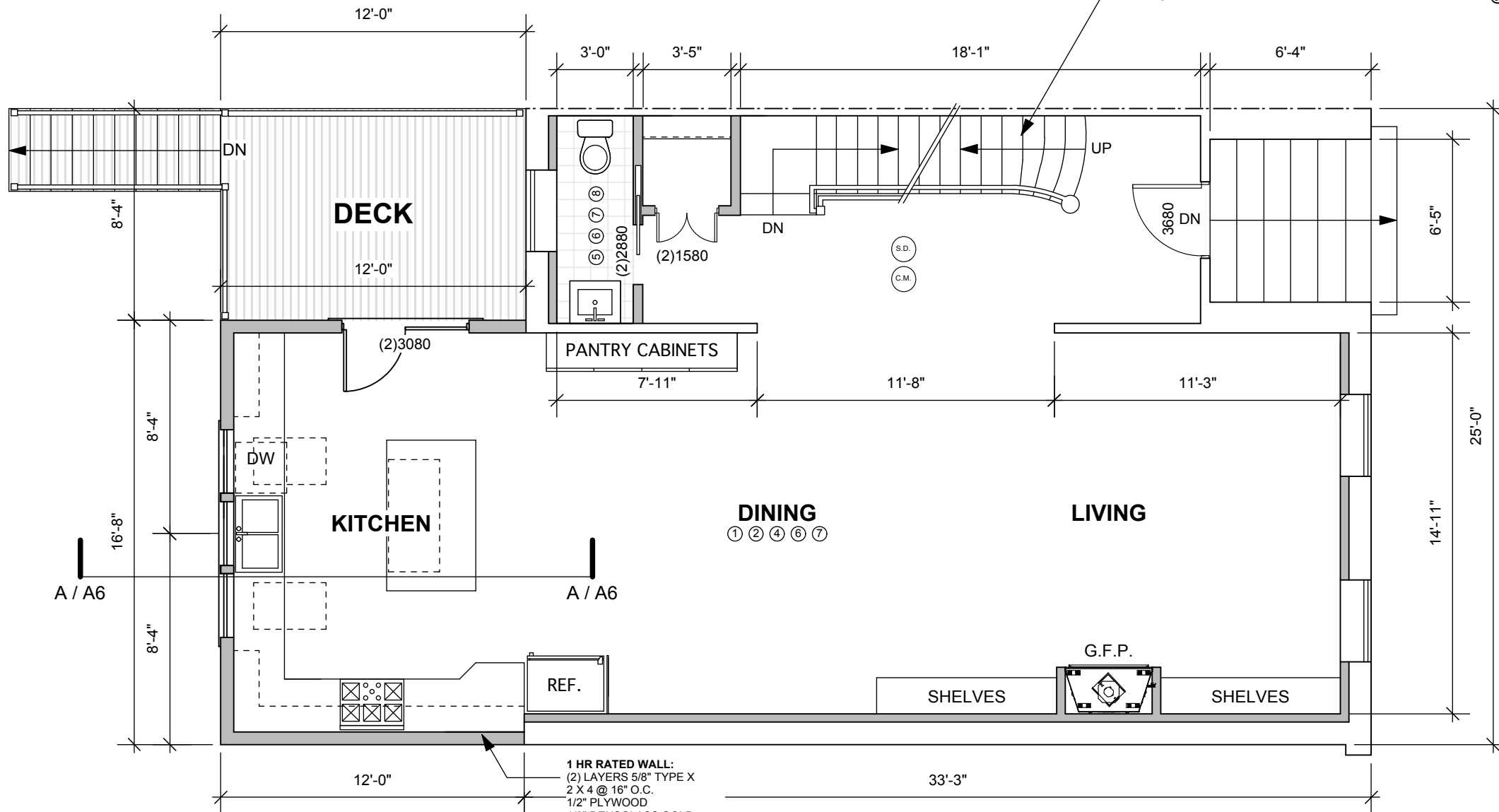
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OAK TREADS W/ 3/4" NOSINGS
REPLACE BALLUSTRADE
EXST'G TREAD / RISER DIM. TO REMAIN



FIRST FLOOR PLAN
3/16" = 1'-0"

1 HR RATED WALL:
(2) LAYERS 5/8" TYPE X
2 X 4 @ 16" O.C.
1/2" PLYWOOD
1/2" DENSGLOSS GOLD
CEMENTITIOUS CLAPBOARD
SIDING.

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NOTE:
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PERMIT SET 10-21-15

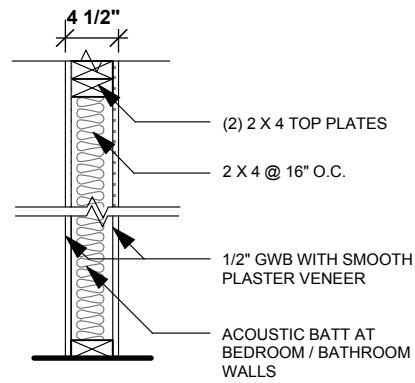
FLOOR PLANS

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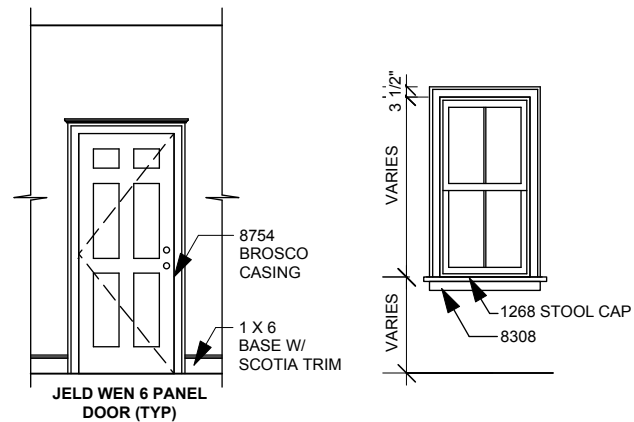
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A2



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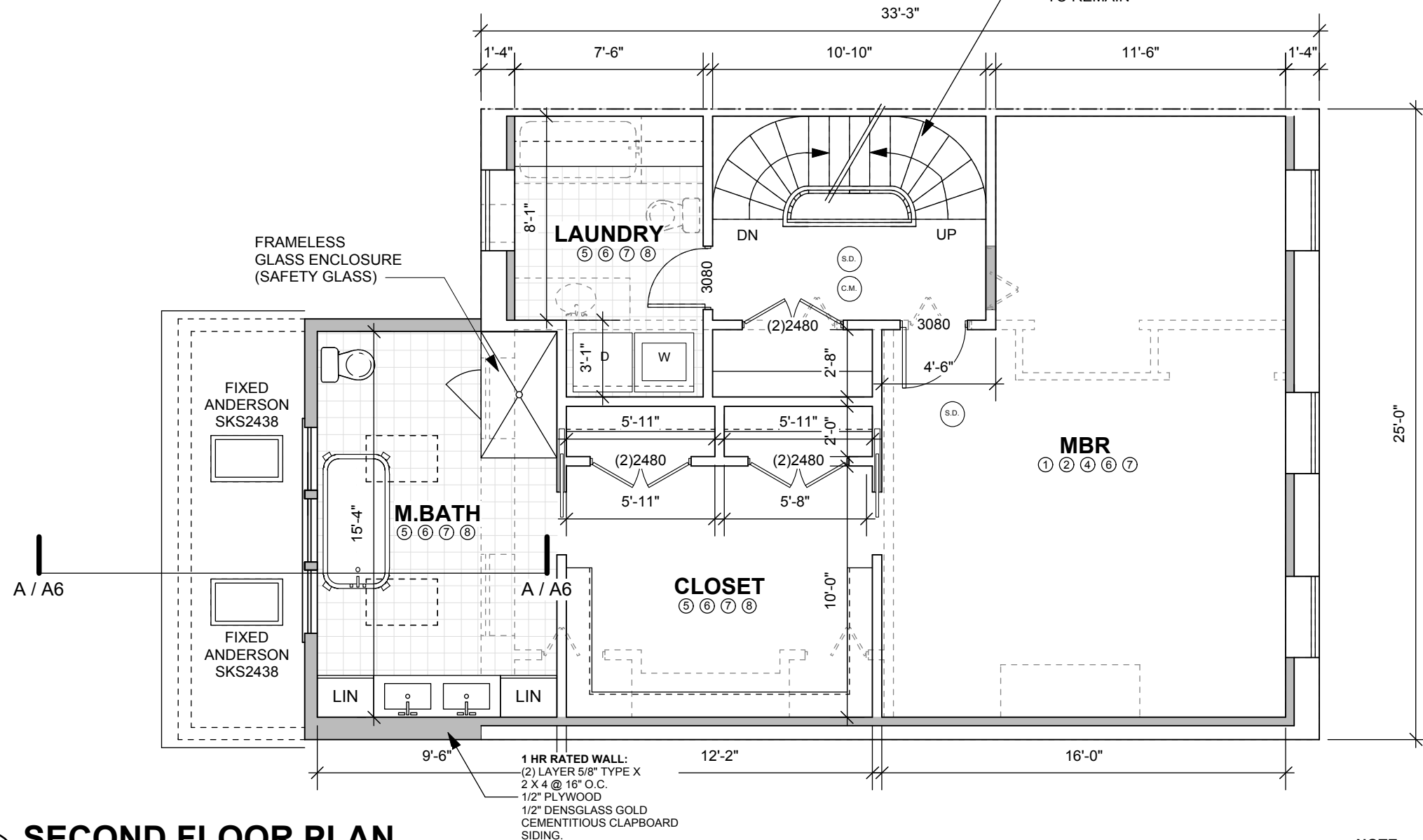
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EXST'G TREAD / RISER DIM. TO REMAIN



SECOND FLOOR PLAN
3/16" = 1'-0"

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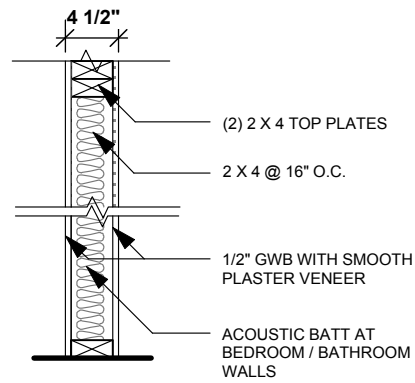
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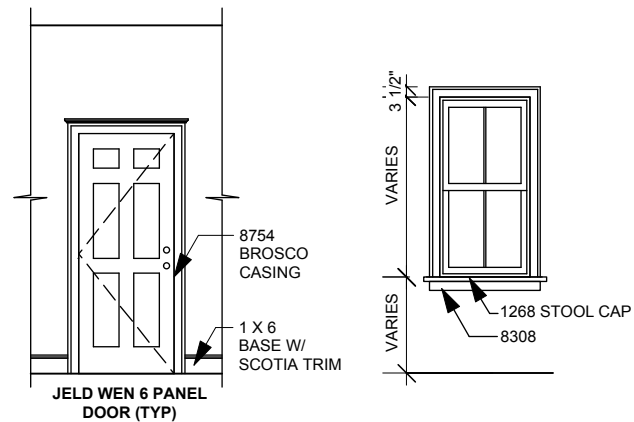
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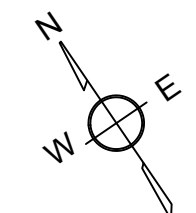
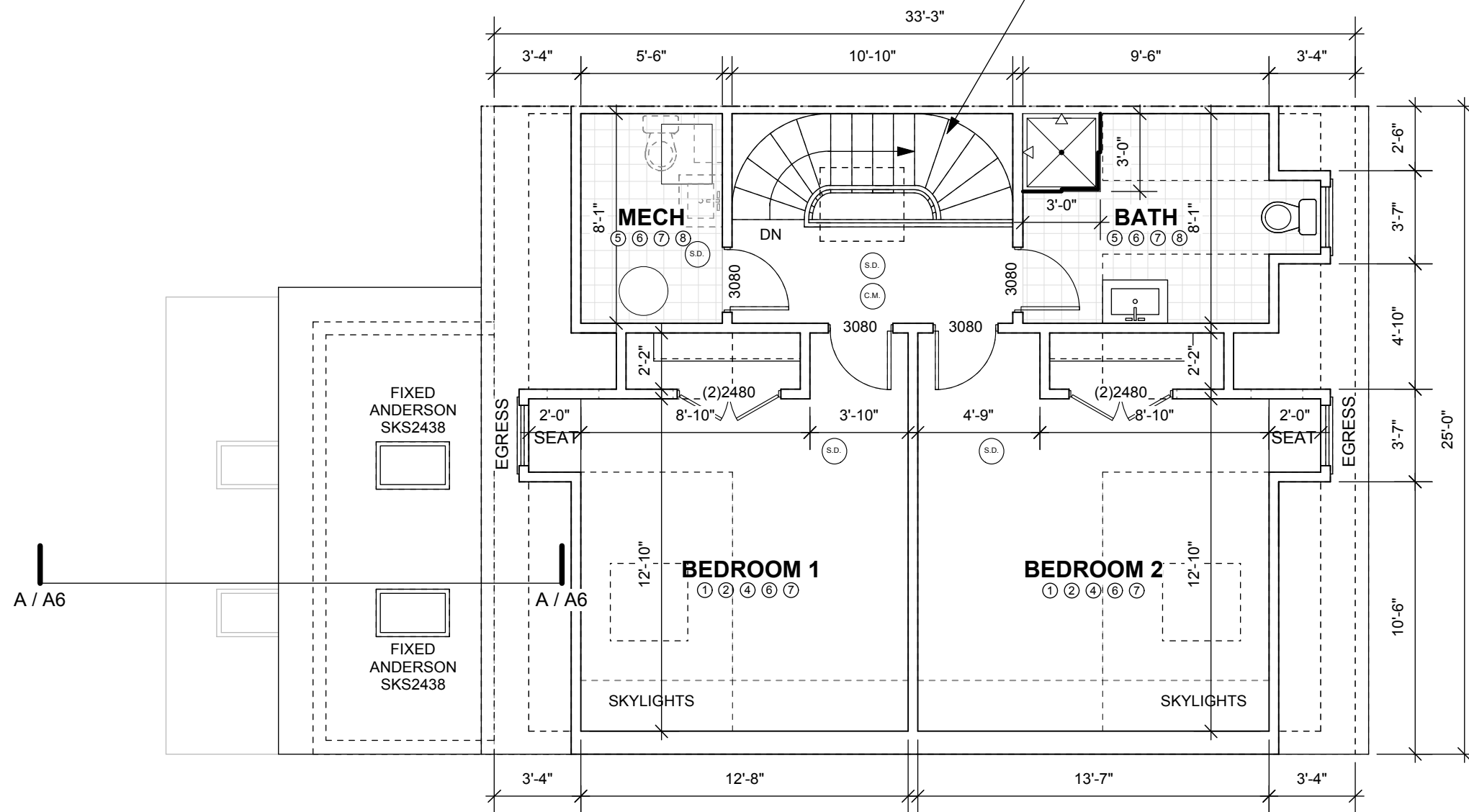
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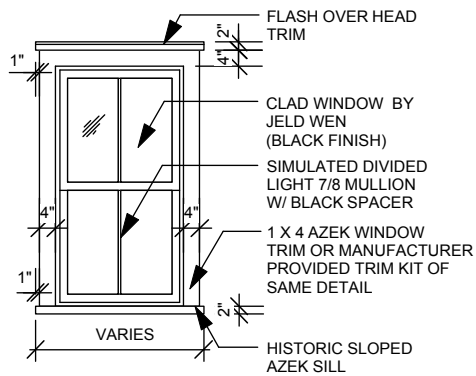
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THIRD FLOOR PLAN

3/16" = 1'-0"



NOTE:
INSTALL ICE AND WATER SHIELD
@ ALL (4) SIDES. LAP OVER FACE
OF SHEATHING 6" MIN.

EXTERIOR FINISH NOTES (ADDITION):
CEMENTITIOUS CLAPBOARD SIDING
ALL COLORS T.B.D.
P.V.C. TRIM (AZEK OR SIMILAR)
CLAD S.D.L. WINDOWS
EPDM ROOF
SYNTHETIC DECKING W/ P.V.C. SKIRT
BD. IRON RAILING 42" A.F.F. FINISHED
BLACK (BOTH DECKS).
P.V.C. BRACKETS @ CORNICE

WINDOW SCHEDULE JELD WEN SITE LINE ALUMINUM CLAD (BLACK FINISH)					
#	TYPE	#	CALL #	R.O.	REMARKS
A	D.H.	8	3356	34 1/8" X 56 3/4"	
B	D.H.	3	3360	34 1/8" X 56 3/4"	
C	CASEMENT	3	3048	30 3/4" X 48 3/4"	MEETS 5.7 S.F. - EGRESS
D	D.H.	2	3364	34 1/8" X 64 3/4"	
E	D.H.	1	3360	34 1/8" X 60 3/4"	

EXT. DOOR SCHEDULE JELD WEN FRENCH VIEW CLAD INSWING PATIO DOOR (BLACK FINISH)					
F	DOOR	1	50X68	60" X 80"	SAFETY GLASS
G	DOOR	1	30X80	37 1/4" X 80"	SAFETY GLASS

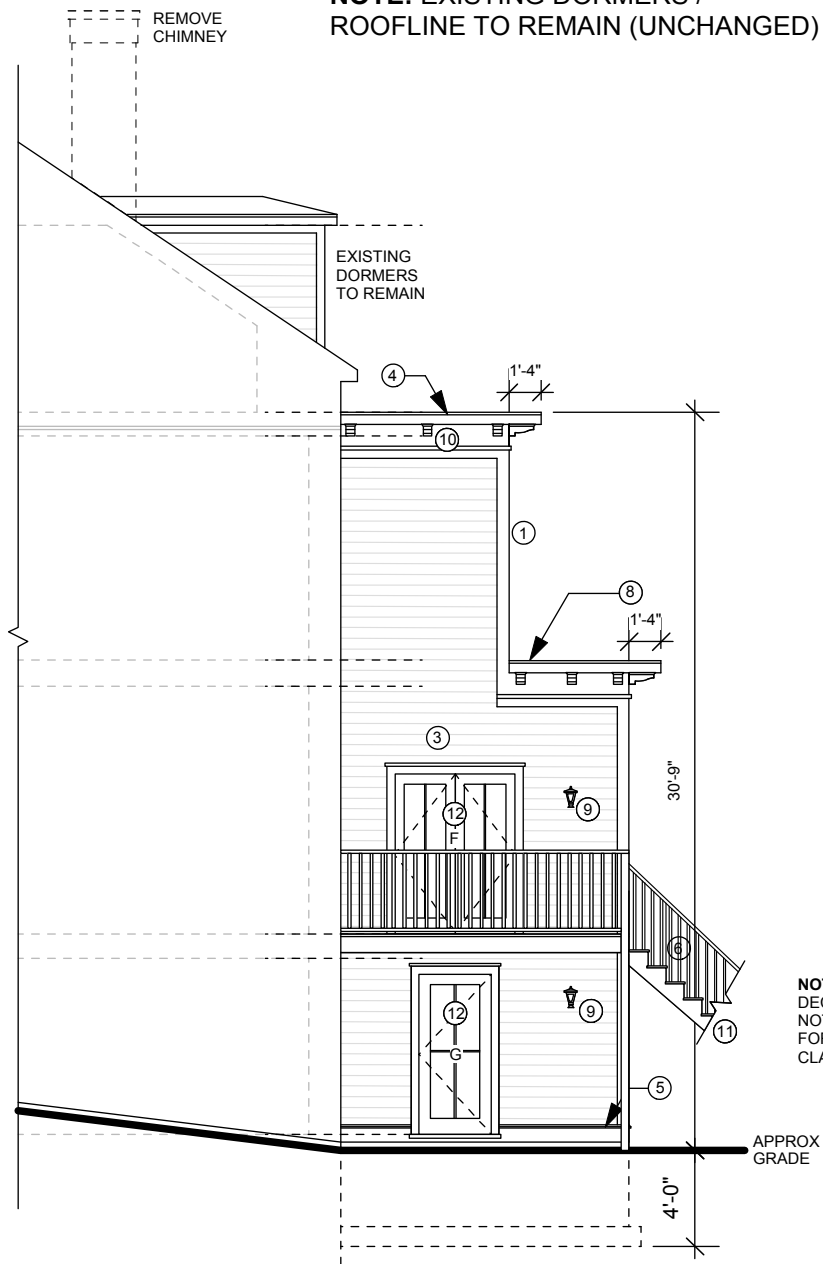
NOTE:
REPLACE WINDOWS ON FRONT FACADE (2 'C' CASEMENTS AT DORMERS AND (5) D.H. WINDOWS PLUS (2) BASEMENT WINDOWS.

EXTERIOR MATERIALS / NOTES:	
①	SYNTHETIC TRIM (AZEK OR SIMILAR)
②	PREMIUM CLAD WOOD WINDOW
③	CEMENTITIOUS CLAPBOARD SIDING (5" EXP) COLOR T.B.D.
④	COPPER DRIP EDGE
⑤	AZEK DRIP CAP W/ FLASHING
⑥	IRON RAILING (42" HIGH, BLACK FINISH)
⑦	ARCHITECTURAL GRADE 3-TAB SHINGLES
⑧	EPDM (ROOF SLOPES 1/4" PER / FT.)
⑨	FULLY SHIELDED EXTERIOR LIGHT FIXTURE
⑩	SYNTHETIC (P.V.C.) BRACKETS
⑪	SYNTHETIC TREADS / DECKING / RISERS
⑫	ALUMINUM CLAD WOOD DOOR

TYPICAL WINDOW (ADDITION)

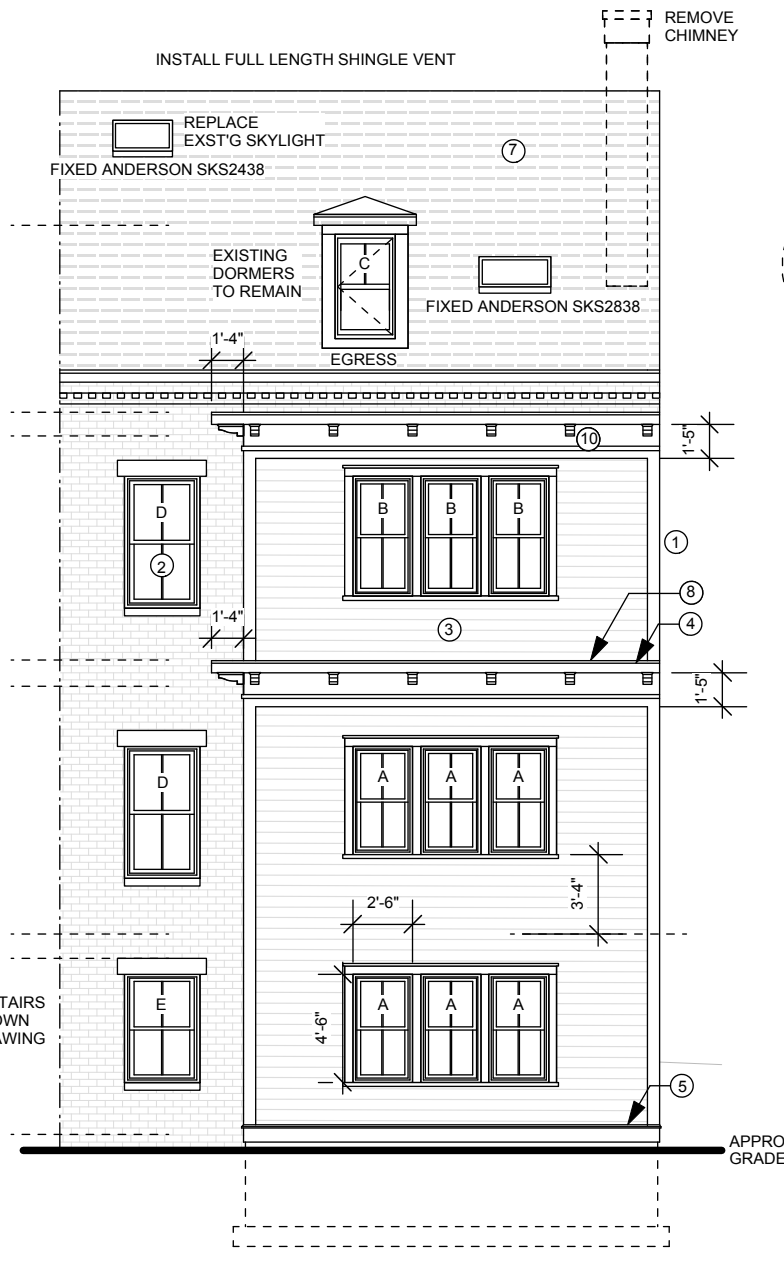
1/4" = 1'-0"

NOTE: EXISTING DORMERS / ROOFLINE TO REMAIN (UNCHANGED)



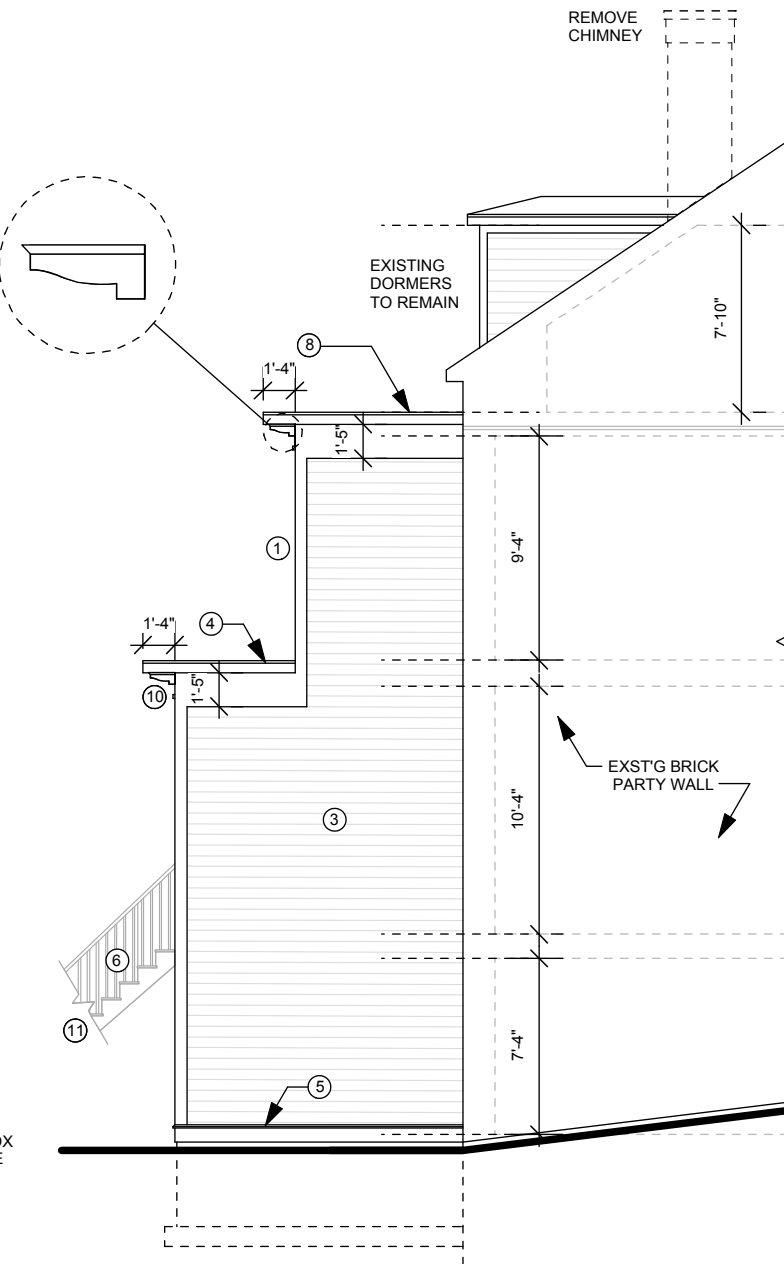
SIDE ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



SIDE ELEVATION

1/8" = 1'-0"

REAR ADDITION ELEVATIONS

**PROPOSED RENOVATIONS
84 BALDWIN STREET
CHARLESTOWN, MA.**

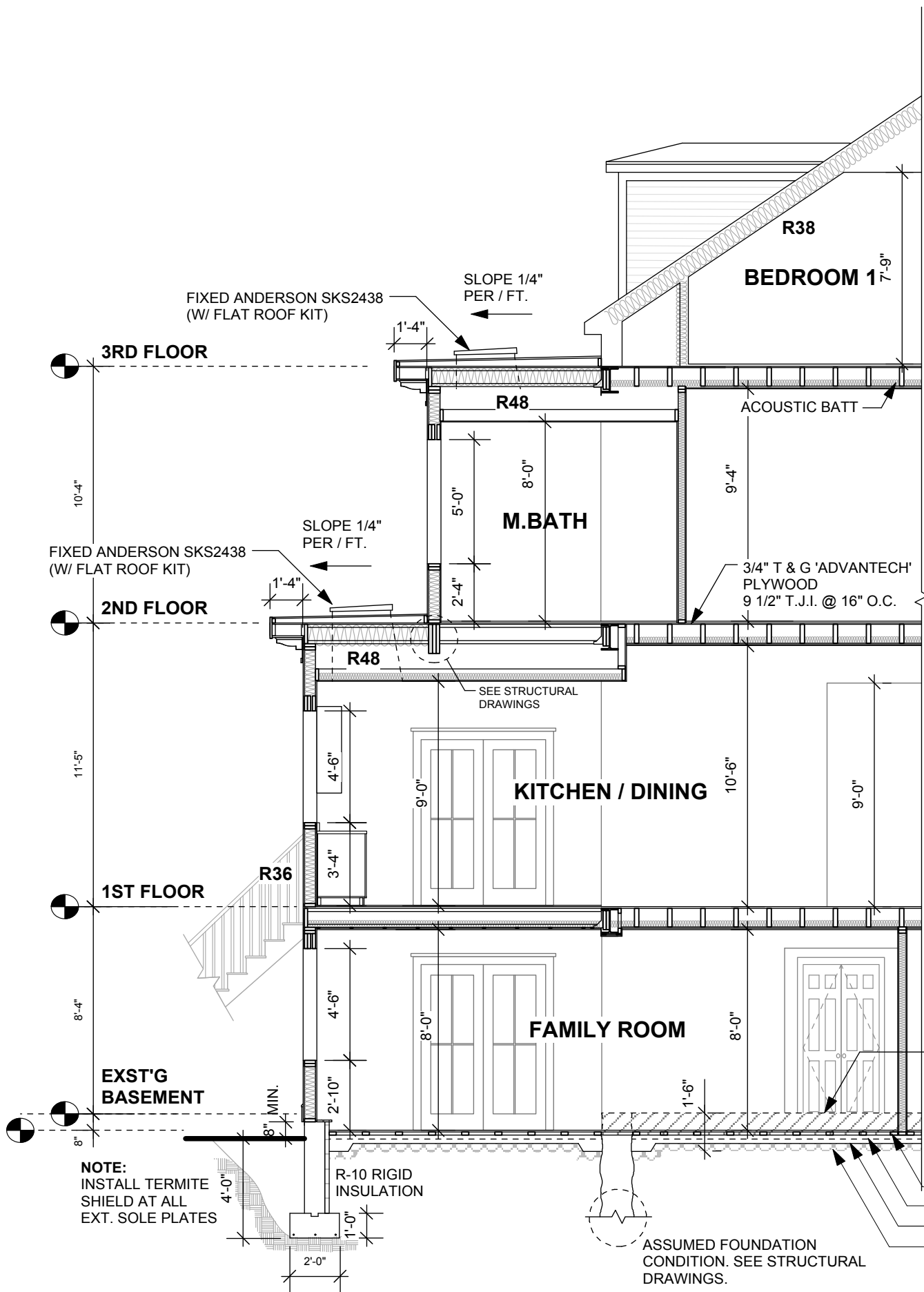
**TIMOTHY SHEEHAN DESIGN
9 WALL STREET
CHARLESTOWN, MA. 02129**

REV: _____
START DATE: 8/19/15
DRAWN BY: TS
SCALE: 1/8" = 1'-0"
PROJECT #: 2015-22



A5

PERMIT SET 10-21-15



**NOTES BY ASSEMBLY TYPE:
(EXISTING HOUSE)**

ROOF CONSTRUCTION:

ARCH GRADE F.G SHINGLES
PATCH SHEATHING AS REQ'D
ICE & WATER SHIELD
R-38 BATT INSULATION W/ PROPER VENTS
AND 6 MILL POLY V.B.
(OR) 6" C.C. ICYNENE (R38)
WOOD STRAPPING @ 16" O.C.
1/2" GWB W/ SMOOTH PLASTER VENEER

EXTERIOR WALL CONSTRUCTION:

POINT / REPAIR MASONRY AS REQ'D
2 X 4 FURRING WALLS @ 16" O.C.
R-21 BATT INSULATION W/
6 MILL POLY V.B. (OR)
6" C.C. ICYNENE (R36)
1/2" GYPSUM BASE W/ SMOOTH
PLASTER VENEER

FLOOR CONSTRUCTION

3/4" OAK FLOORING
(MATCH / RE-USE EXST'G OF POSSIBLE)
RC-2 RESILIENT CHANNEL @ 16" O.C.
(1) LAYER 1/2" G.W.B. W/ SMOOTH
PLASTER VENEER
3" ACOUSTIC BATT

**INTERIOR WALL CONSTRUCTION:
(NEW WALLS)**

1/2" GWB W/ SMOOTH PLASTER
VENEER (BOTH SIDES)
2 X 4 @ 16" O.C.
3" ACOUSTIC BATT @ ALL
BATHROOMS / BEDROOM WALLS

FOUNDATION CONSTRUCTION:

EXCAVATE EXISTING BASEMENT 12" +/-
UNDERPIN FDN AS REQ'D (SEE
STRUCTURAL PLANS)
WATERPROOFING EXISTING FIELDSTONE
/ BRICK FOUNDATION SURFACES
POLY VAPOR BARRIER UNDER NEW SLAB
6" CRUSHED GRAVEL
SOIL COMPACTED TO 95 PERCENT
INSTALL PERIMETER 'FRENCH DRAIN'
SYSTEM TO SUMP / DISCHARGE.

NOTE:
EXCAVATE EXST'G
BASEMENT. UNDERPIN
EXST'G FDN. AS REQ'D.
SEE STRUCTURAL
DRAWINGS.

NOTE:
SEE STRUCTURAL
PLANS FOR FOUNDATION
DETAILS, REBAR, SIZES, ETC.

**NOTES BY ASSEMBLY TYPE:
(ADDITION)**

ROOF CONSTRUCTION:

EPDM (1/4" / FT. SLOPE MIN.)
3/4" T & G PLYWOOD
ICE & WATER SHIELD
2 X 10 @ 16" O.C. (SEE STRUCTURAL DWGS)
R-38 BATT INSULATION W/ PROPER VENTS
AND 6 MILL POLY V.B.
(OR) 8" C.C. ICYNENE (R48)
WOOD STRAPPING @ 16" O.C.
1/2" GWB W/ SMOOTH PLASTER VENEER

EXTERIOR WALL CONSTRUCTION:

CEMENTITIOUS SHINGLE SIDING
AIR-INFILTRATION BARRIER
5/8" CDX PLYWOOD
2 X 6 @ 16" O.C.
R-21 BATT INSULATION W/
6 MILL POLY V.B. (OR)
6" C.C. ICYNENE (R36)
1/2" GYPSUM BASE W/ SMOOTH
PLASTER VENEER

FLOOR CONSTRUCTION

3/4" OAK FLOORING
(MATCH / RE-USE EXST'G)
3/4" T & G PLYWOOD
2 X 10 @ 16" O.C. (SEE STRUCTURAL
DWGS)
RC-2 RESILIENT CHANNEL @ 16" O.C.
(1) LAYER 1/2" G.W.B. W/ SMOOTH
PLASTER VENEER
3" ACOUSTIC BATT

INTERIOR WALL CONSTRUCTION:

1/2" GWB W/ SMOOTH PLASTER
VENEER (BOTH SIDES)
2 X 4 @ 16" O.C.
3" ACOUSTIC BATT @ ALL
BATHROOMS / BEDROOM WALLS

FOUNDATION CONSTRUCTION:

CONCRETE FOUNDATION WALLS
1/2" ANCHOR BOLTS
6'-0" O.C. MAX (MIN. 12" EMBED)(SEE
STRUCTURAL FDN. PLAN)
WATERPROOFING @ ALL BELOW GRADE
EXTERIOR FOUNDATION SURFACES
24" X 12" CONCRETE FOOTING W/ KEYWAY
#3,500 LB CONCRETE MIN.
(3) # 5 BARS (BOTTOM)
4'-0" STRIP @ PERIMETER SLAB OF
2" RIGID INSULATION (R10) BELOW GRADE
POLY VAPOR BARRIER UNDER SLAB
6" CRUSHED GRAVEL
SOIL COMPACTED TO 95 PERCENT


NOTE:
SEE STRUCTURAL
DRAWINGS.

SECTION

PROPOSED RENOVATIONS
84 BALDWIN STREET
CHARLESTOWN, MA.

TIMOTHY SHEEHAN DESIGN
9 WALL STREET
CHARLESTOWN, MA. 02129

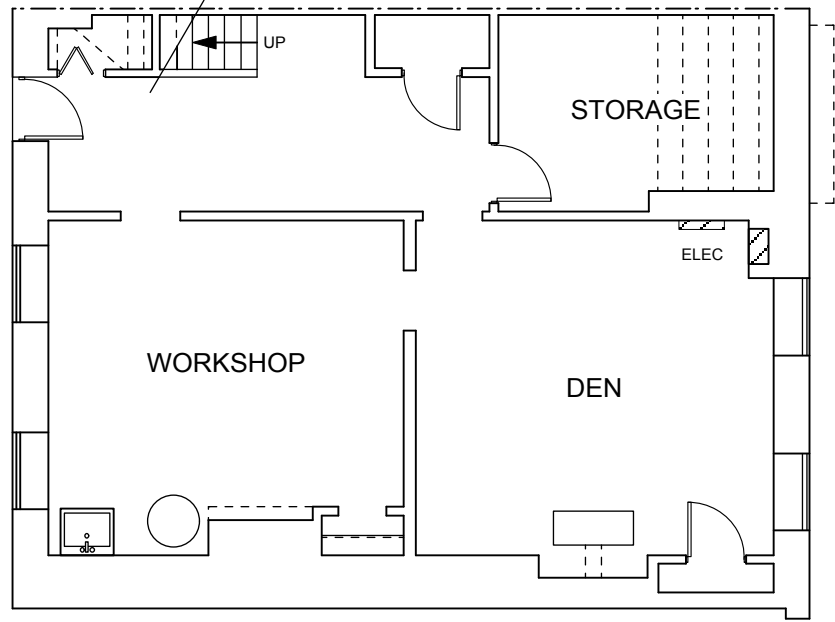
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	DRAWN BY: TS
	SCALE: 3/16" = 1'-0"
	PROJECT #: 2015-22



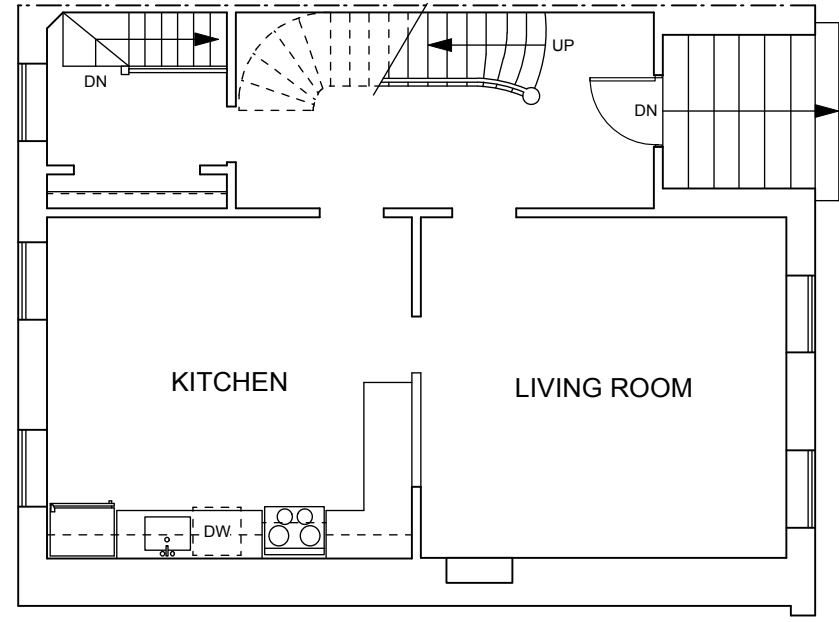
A6

SECTION A-A
3/16" = 1'-0"

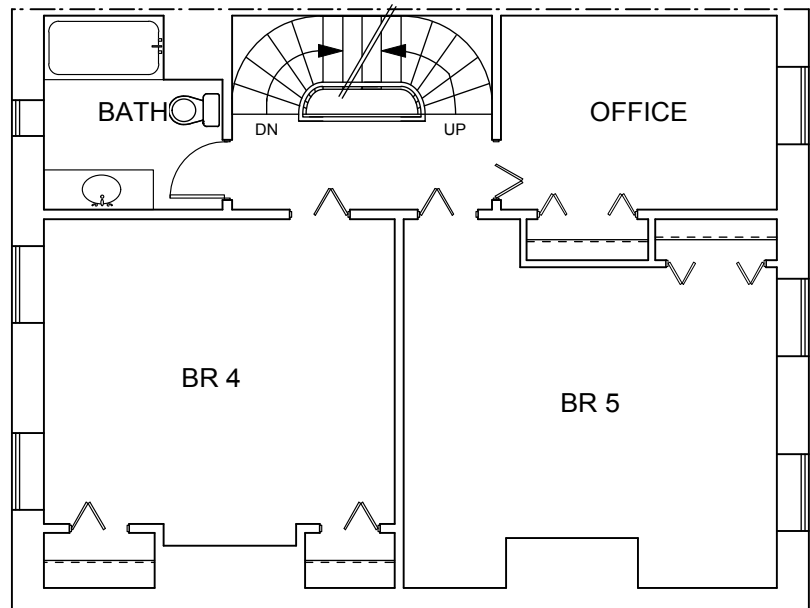
PERMIT SET 10-21-15



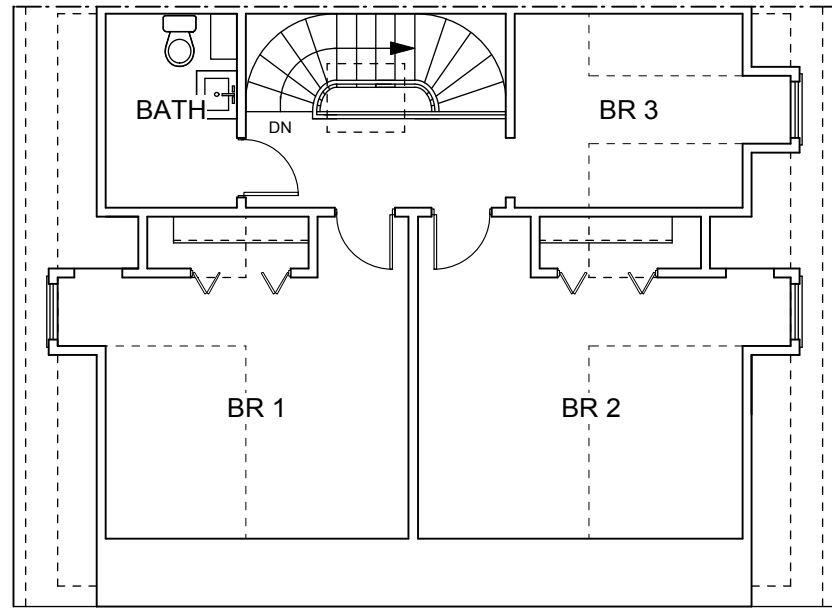
GROUND FLOOR PLAN
1/8" = 1'-0"



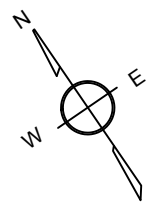
1ST FLOOR PLAN
1/8" = 1'-0"



2ND FLOOR PLAN
1/8" = 1'-0"



3RD FLOOR PLAN
1/8" = 1'-0"




EXISTING PLANS

PROPOSED RENOVATIONS
84 BALDWIN STREET
CHARLESTOWN, MA.

TIMOTHY SHEEHAN DESIGN
9 WALL STREET
CHARLESTOWN, MA. 02129

REV:	START DATE: 8/19/15
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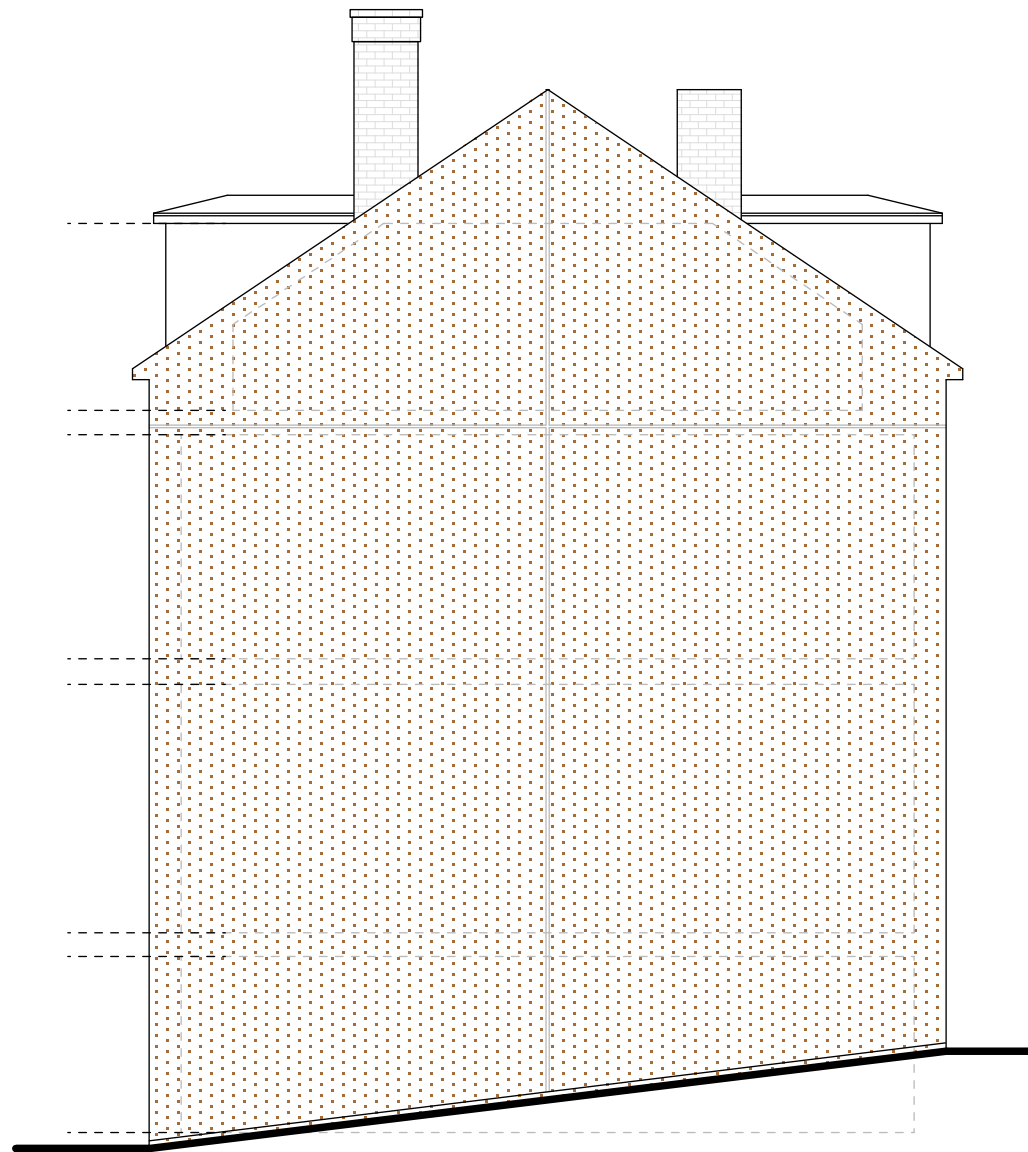


X1



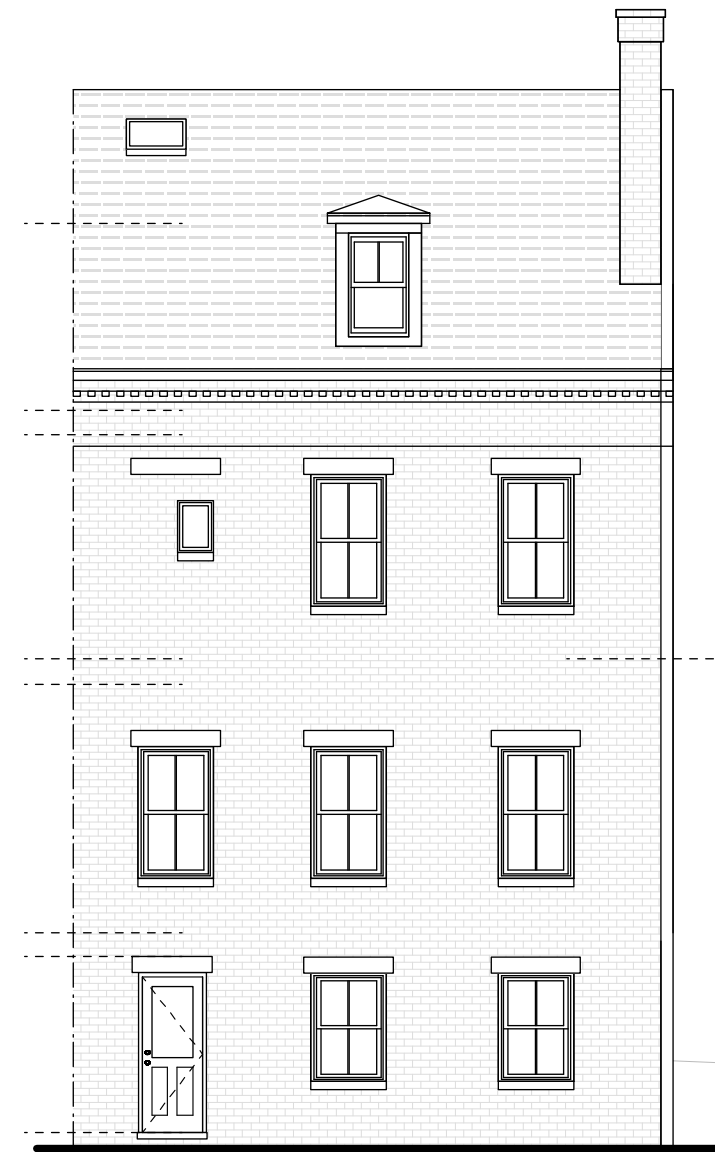
FRONT ELEVATION

1/8" = 1'-0"



SIDE ELEVATION

1/8" = 1'-0"



REAR ELEVATION

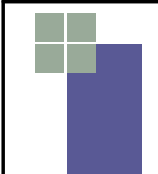
1/8" = 1'-0"

**EXISTING
ELEVATIONS**

**PROPOSED RENOVATIONS
84 BALDWIN STREET
CHARLESTOWN, MA.**

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CHARLESTOWN, MA. 02129**

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X2