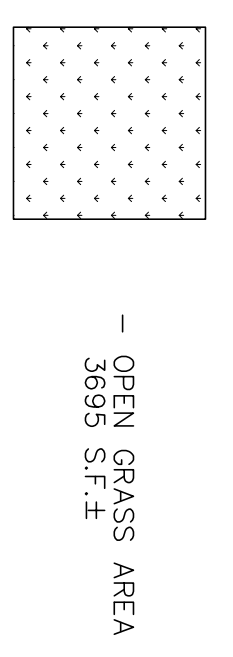
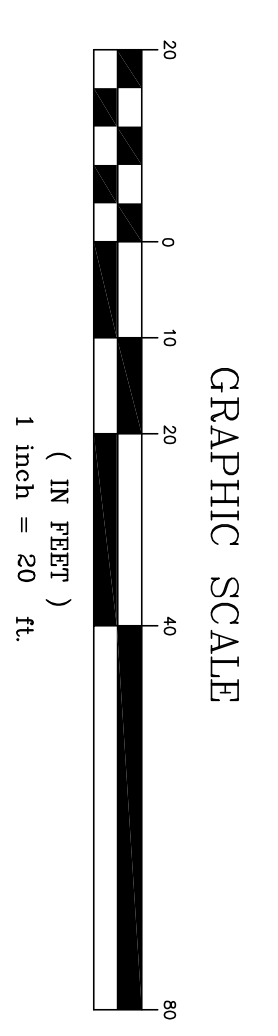


Proposed Dwelling or Use	Lot Area for Devel. (Sqr Ft)	Additional Lot Area for Admitt. (Sqr Ft)	Lot Width (Feet)	Front Yards (Feet)	Rear Yards (Feet)	Side Yards (Feet)	Rear Yards (Feet)				
PROPOSED 54 RIVER ST.	16,230	none	86.7	50.06	-	4	40	294	3.2	11.2/3.5	20.3



REFERENCES:
 ASSESSORS' PARCEL 1704042010
 SUFFOLK REGISTRY BK. 48179 PG. 89
 " " " " PL. BK. 56045 PG. 18
 " " " " PL. BK. 17297 PG. END
 CITY OF BOSTON STREET LAYOUT L-1223
 CITY OF BOSTON DPW NOTES BK. 1080 PG. 122-123



PROPOSED SITE PLAN
 54 RIVER STREET
 MATTAPAN, MA
 FOR
 LONGDEN REALTY, LLC
 CIVIL ENVIRONMENTAL CONSULTANTS
 8 OAK STREET PEABODY, MA 01960 978-531-1191
 SHEET NO. 1 OF 1
 DATE: 1/28/2019 JOB: 4023
 DRAWN BY: C.R.L.

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
3. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY AQUATINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.
5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS OR FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY.
6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
7. THE CONTRACTOR SHALL WARRANT HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

ZONING CODE ANALYSIS

Governing Article: 65

Subdistrict: ns

Use Regulations: Section Table	
Existing	Proposed
R-3 SINGLE FAMILY	GROUND FLOOR ACC PARKING
	UPPER FL MULTIFAMILY

A = Allowed F = Forbidden C = Conditional

Dimensional Regulations: Table

	Code Requirement		Existing Condition	Proposed Project	Notes
	Use 1	Any Other Use			
Lot Area Minimum	na		16231	16231	
Min Lot Area for Additional Units	na			NA	
Total Required Lot Size	na			16231	
Min Required Lot Width and Frontage	na			81 WIDTH 54 FRONTAGE	
Max FAR	1			16043/16231= .989	
Max Building Height / Stories	40			39/ 4 STORIES	
Usable Open Space	50			198 PER UNIT	
Min Front Yard	0			NA	
Min Side Yard	0			3'	
Min Rear Yard	20			20	
Max Use of Rear Yard	na			NA	

Overlays:

--

Parking:

1.5 per unit
19.5 REQUIRED (13 UNITS x 1.5)
19.5 PROVIDED (TANDOM COUNTS AS .75 IN ARTICLE 65) 12 full size

Other Non-Dimensional Zoning Issues:

65-37 design review in a nbs (more than 300 sf alteration)

PROPOSED MULTIFAMILY

**54 RIVER ST
MATTAPAN,
MASSACHUSETTS**

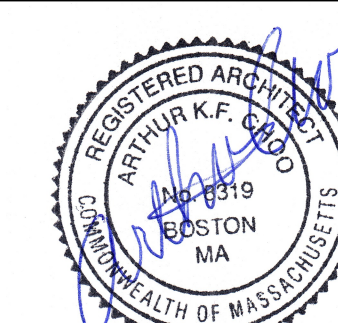
Location

PROPOSED MULTIFAMILY

54 RIVER STREET
BOSTON, MA

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 Fax 617-786-7715



No.	Revision Date
	01-10-2019

Project No: 18085
Scale: AS NOTED
Date: 04-20-2018
Drawn By: SL

Drawing Name

COVER SHEET

Sheet No.

A-0

KEY

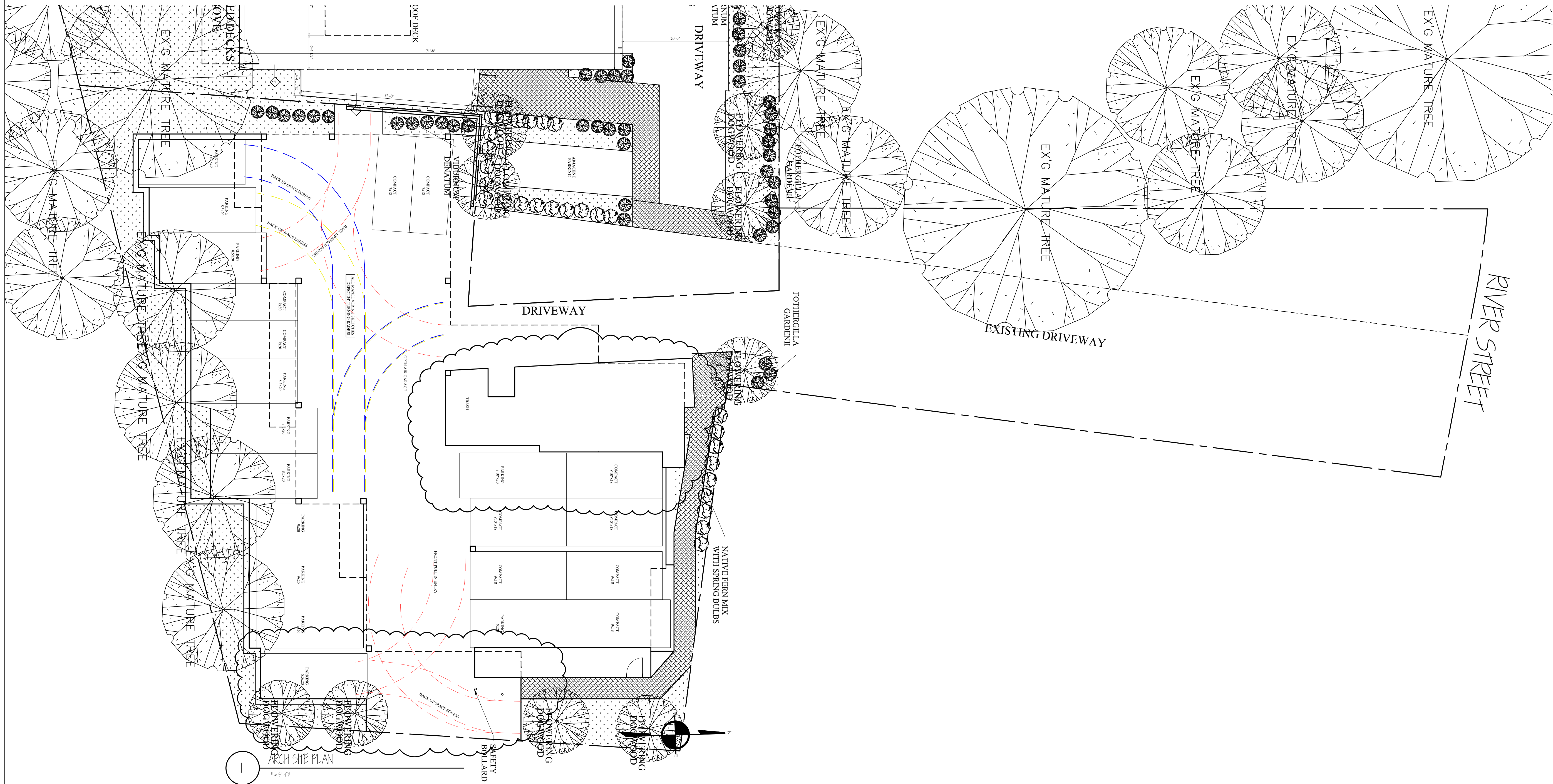
- EMERGENCY LIGHT
- 1 HOUR WALL(SEE W.T.1/A-3.1)
- 2 HOUR WALL(SEE W.T.2/A-3.1)
- FAN
- 45 MIN. DOOR
- 1 HOUR CLG. ABOVE (SEE C.T.1/A-3.1)
- 2 HOUR CLG. WALL(SEE C.T.2/A-3.1)
- FIRE EXTINGUISHER

CODE SUMMARY

PROP TYPE 5 CONSTRUCTION
PROP 4 STORIES
PROP R-2 USE GROUP (MULTI)
PROP FULLY SPRINKLED

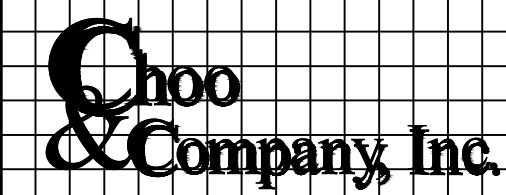
NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM AS DESIGNED IS BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. SOIL BORINGS SHOULD BE PERFORMED TO VERIFY THAT THE MINIMUM DESIGN BEARING CAPACITIES ARE ACHIEVABLE. IF A SUITABLE SOIL THAT CAN NOT WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THAN THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

NOTE:ENERGY CODE COMPLIANCE
THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING STRETCH/ ENERGY CODE COMPLIANCE PRIOR TO CLOSING OF WALLS. THE PROPER ENERGY CONSULTANT, HERs RATER, OR OTHER ALLOWED PROFESSIONAL SHALL PERFORM THE FINAL INSPECTIONS ASSOCIATED WITH THE CONSTRUCTION REQUIREMENTS AT THE DIRECTION OF THE CONTRACTOR.

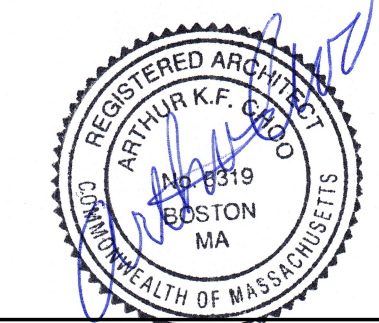


Location

PROPOSED MULTIFAMILY
54 RIVER STREET
BOSTON, MA



One Billings Road Quincy, MA 02171
 617-786-7727 fax 617-786-7715

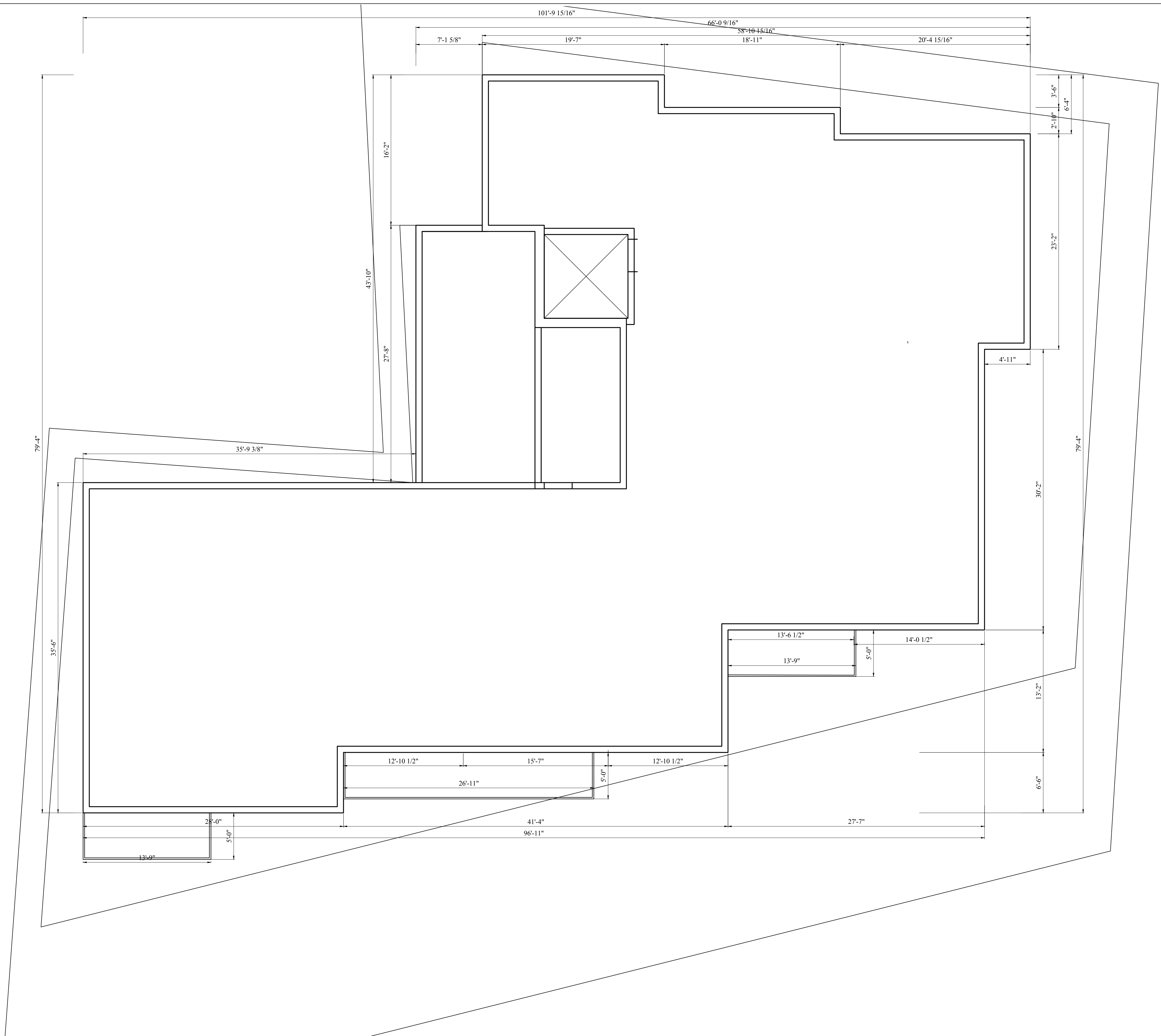


No.	Revision Date
	01-10-2019
	1-23-2019

Project No: 18085
 Scale: AS NOTED
 Date: 04-20-2018
 Drawn By: SL

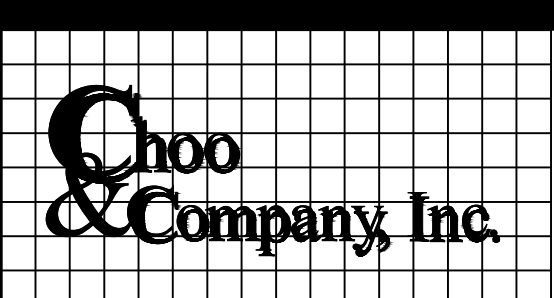
Drawing Name
PROPOSED FLOOR PLANS

Sheet No.
A-1.0



Location

PROPOSED MULTIFAMILY
54 RIVER STREET
BOSTON, MA



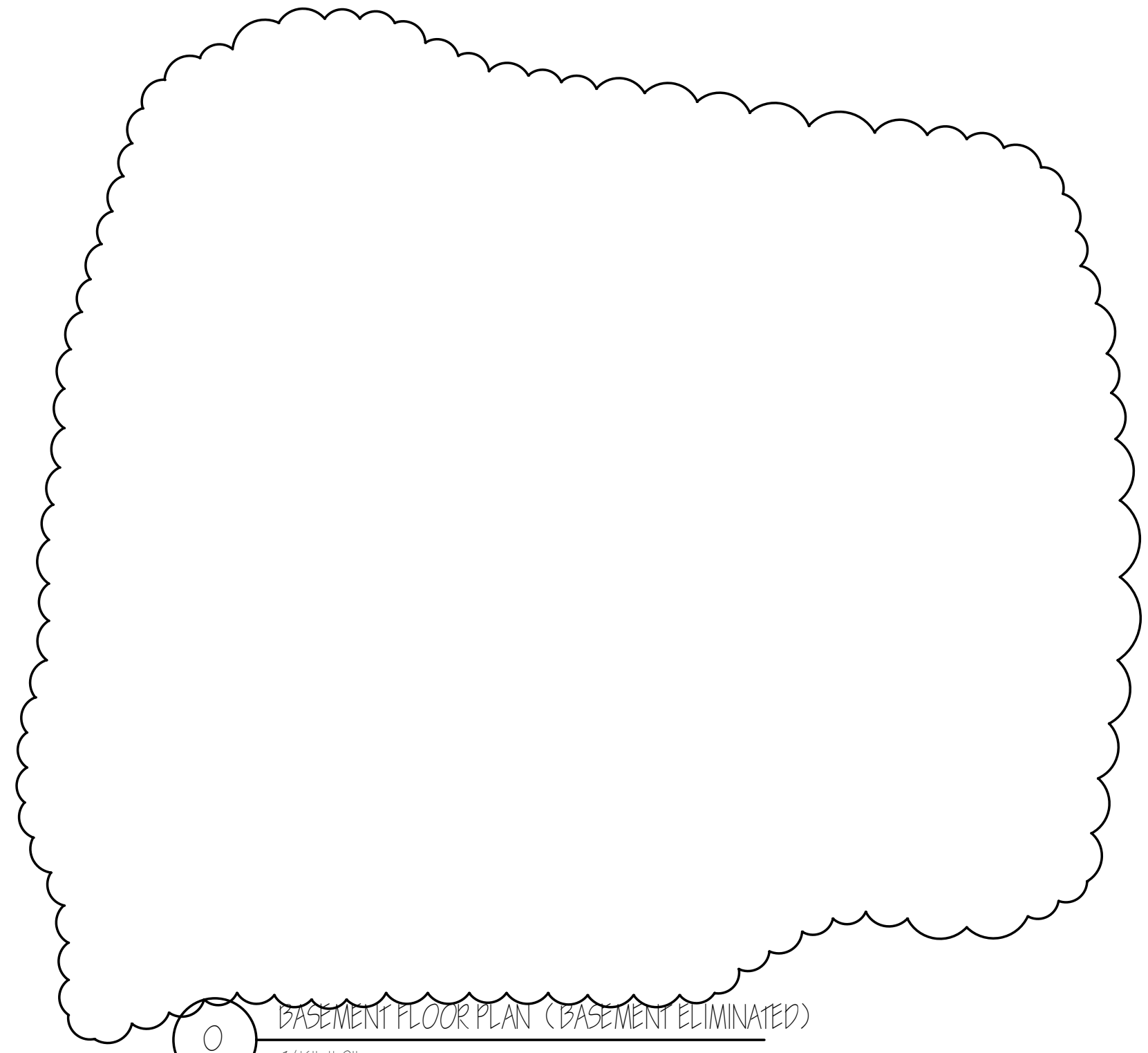
One Billings Road Quincy, MA 02171
 617-786-7727 fax 617-786-7715

No.	Revision Date
	01-10-2019
	01-23-2019

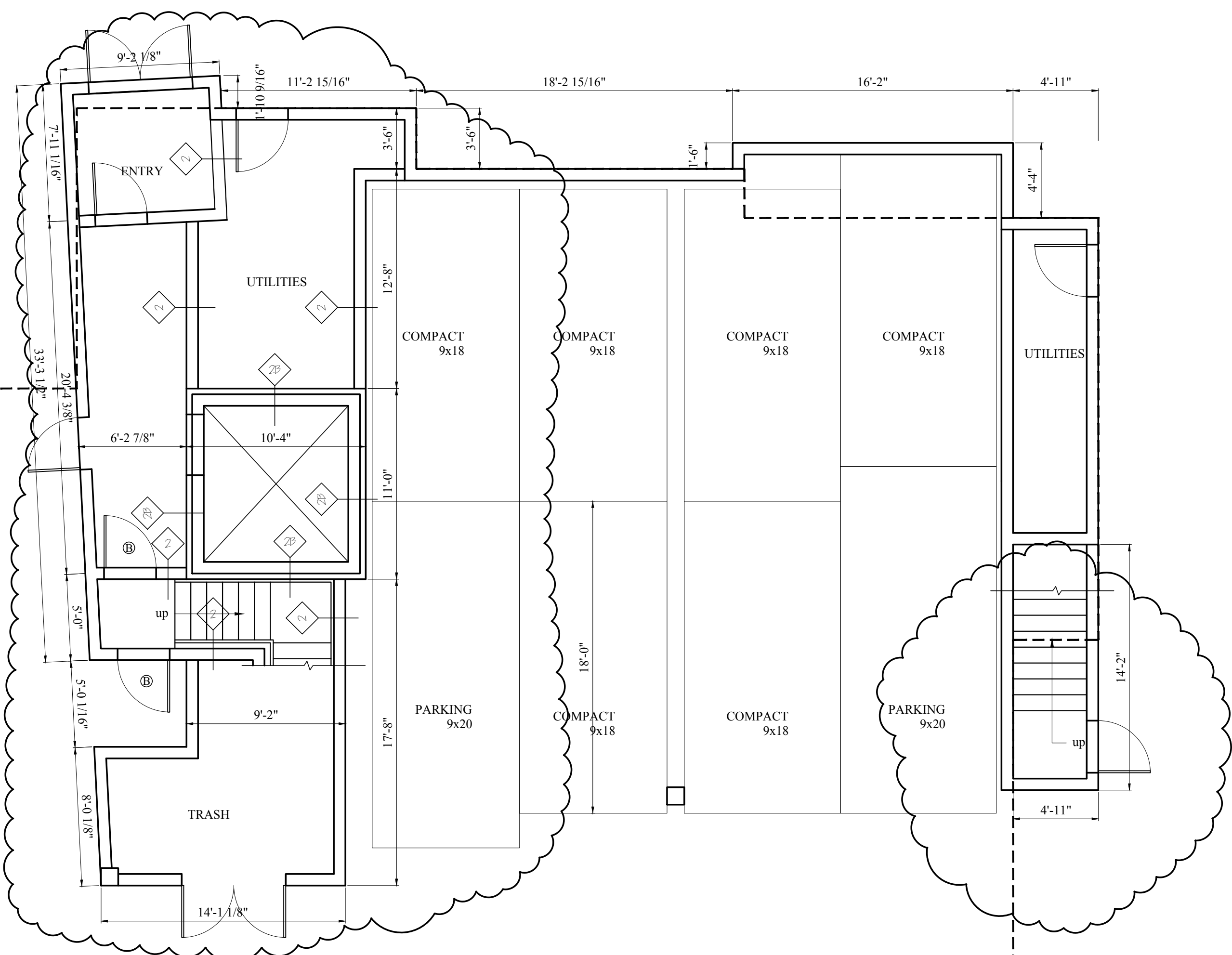
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 Date: 04-20-2018
 Drawn By: SL

Drawing Name
PROPOSED FLOOR PLANS

Sheet No.
A-1.6

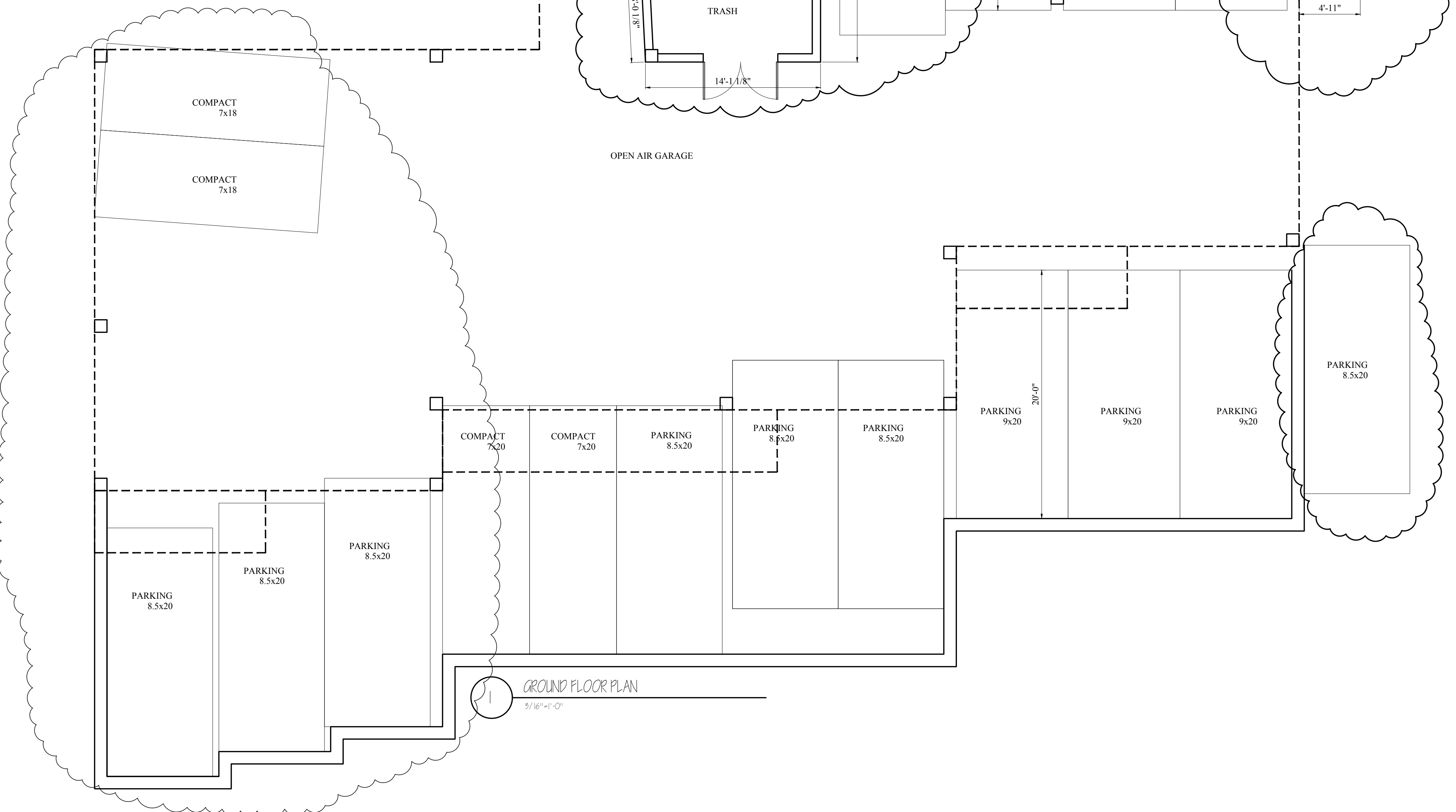


0 BASEMENT FLOOR PLAN (BASEMENT ELIMINATED)
3/16"=1'-0"



DRIVEWAY

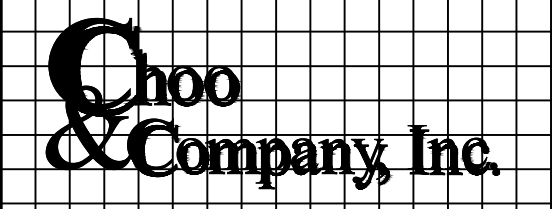
OPEN AIR GARAGE



1 GROUND FLOOR PLAN
3/16"=1'-0"

Location

PROPOSED MULTIFAMILY
54 RIVER STREET
BOSTON, MA



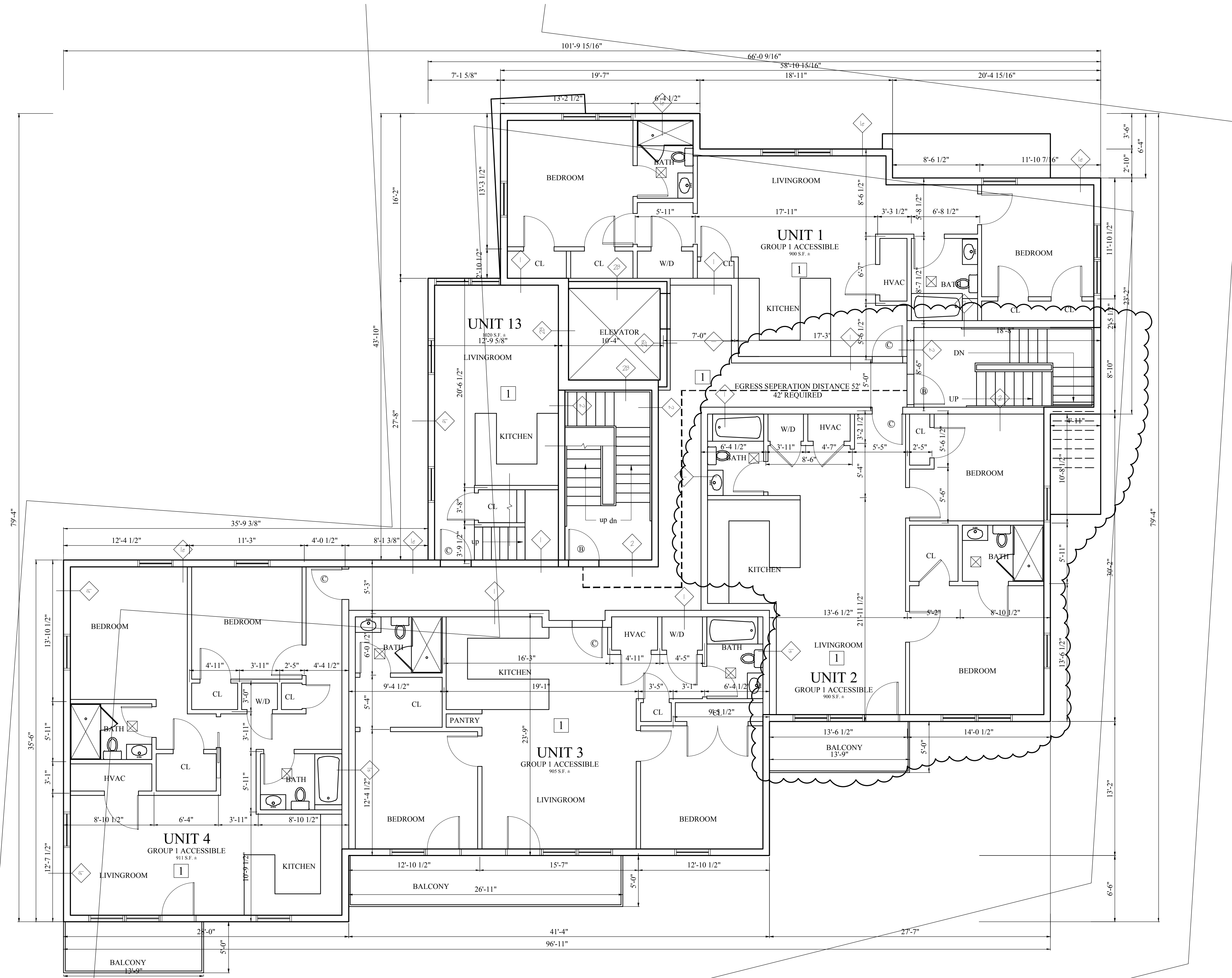
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
	01-10-2019
	01-23-2019

Project No: 18085
Scale: AS NOTED
Date: 04-20-2018
Drawn By: SL

Drawing Name
PROPOSED FLOOR PLANS

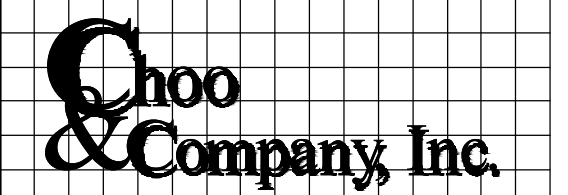
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A-1.1



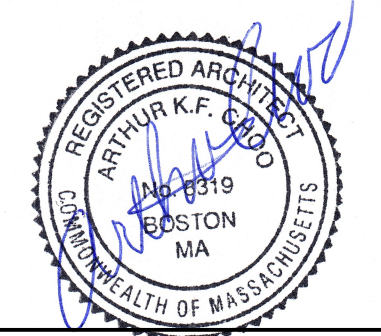
1 2ND FLOOR PLAN
3/18'-1'-0"

Location

PROPOSED MULTIFAMILY
54 RIVER STREET
BOSTON, MA



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

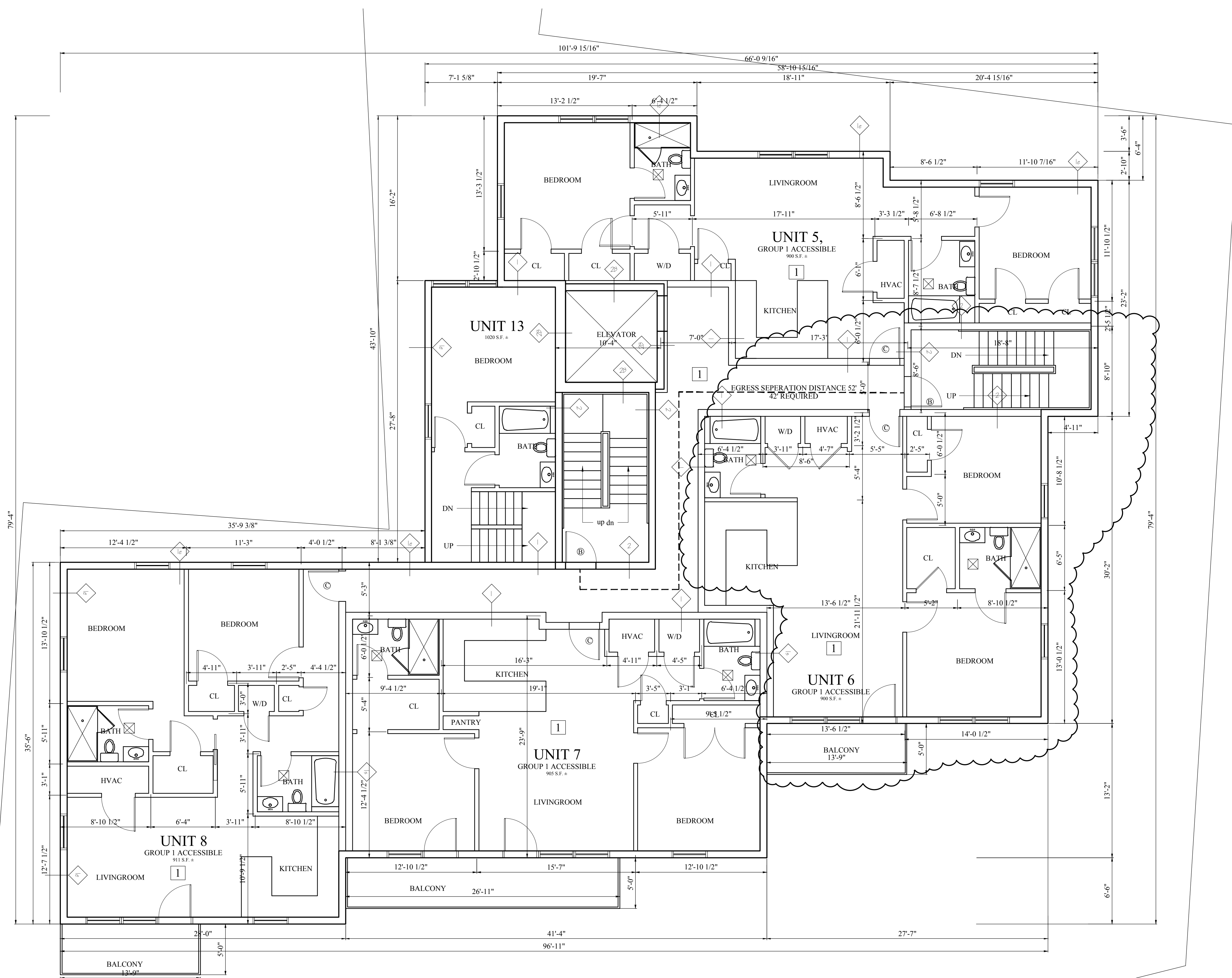


No.	Revision Date
	01-10-2019

Project No: 18085
Scale: AS NOTED
Date: 04-20-2018
Drawn By: SL

Drawing Name
PROPOSED FLOOR PLANS

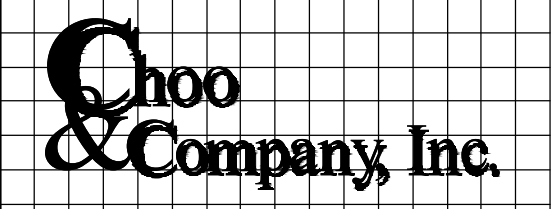
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A-1.2



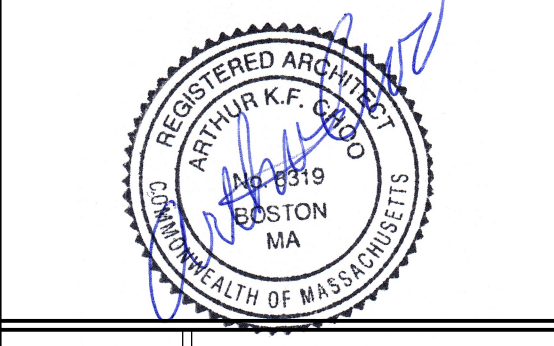
1 3RD FLOOR PLAN
3/16"=1'-0"

Location

PROPOSED MULTIFAMILY
54 RIVER STREET
BOSTON, MA



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



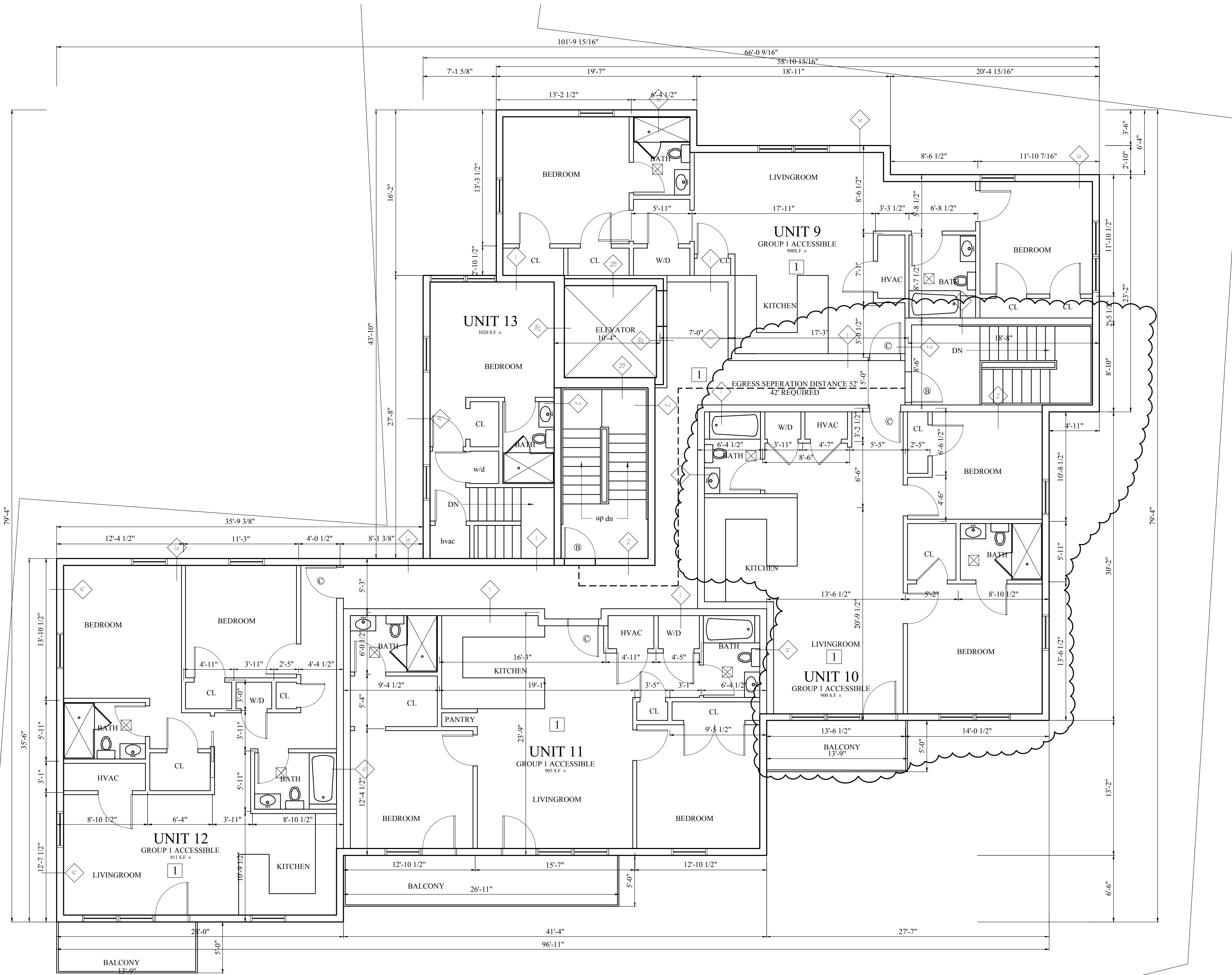
No.	Revision Date
	01-10-2019

Project No: 17203
Scale: AS NOTED
Date: 08-15-2017
Drawn By: SL

Drawing Name
PROPOSED FLOOR PLANS

Sheet No.

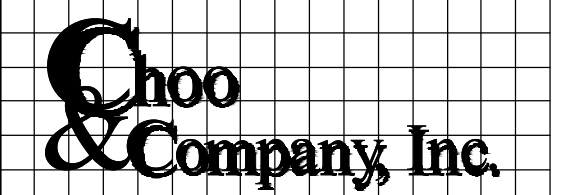
A-1.3



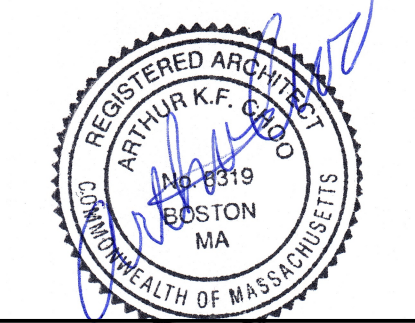
1 4TH FLOOR PLAN
3/16"=1'-0"

Location

PROPOSED MULTIFAMILY
54 RIVER STREET
BOSTON, MA



One Billings Road Quincy, MA 02171
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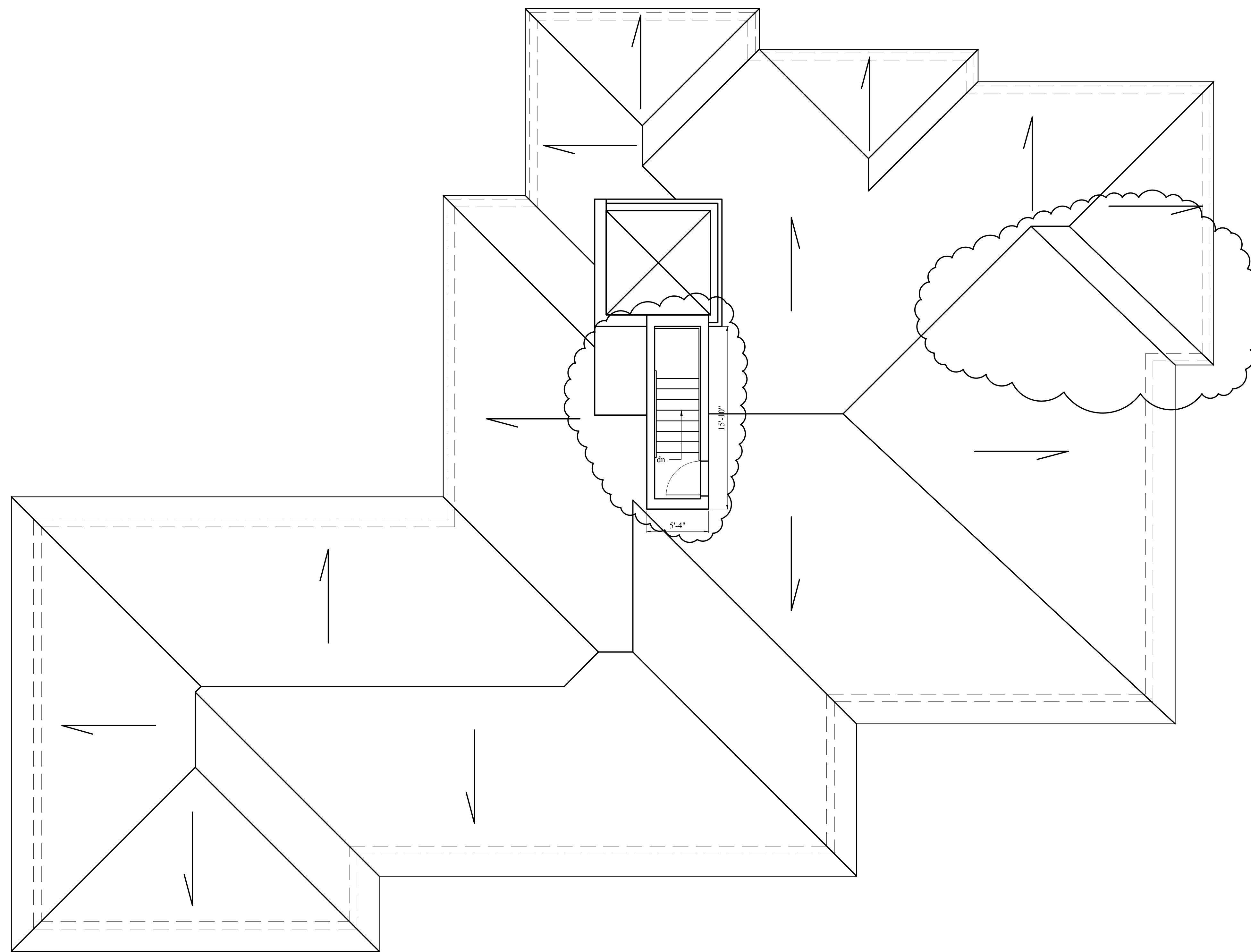


No.	Revision Date
	01-10-2019

Project No: 17203
Scale: AS NOTED
Date: 08-15-2017
Drawn By: SL

Drawing Name
PROPOSED FLOOR PLANS

Sheet No.
A-1.4



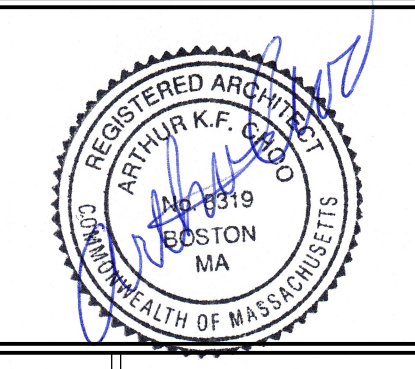
1 ROOF PLAN
3/16"=1'-0"

Location

PROPOSED MULTIFAMILY
54 RIVER STREET
BOSTON, MA

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

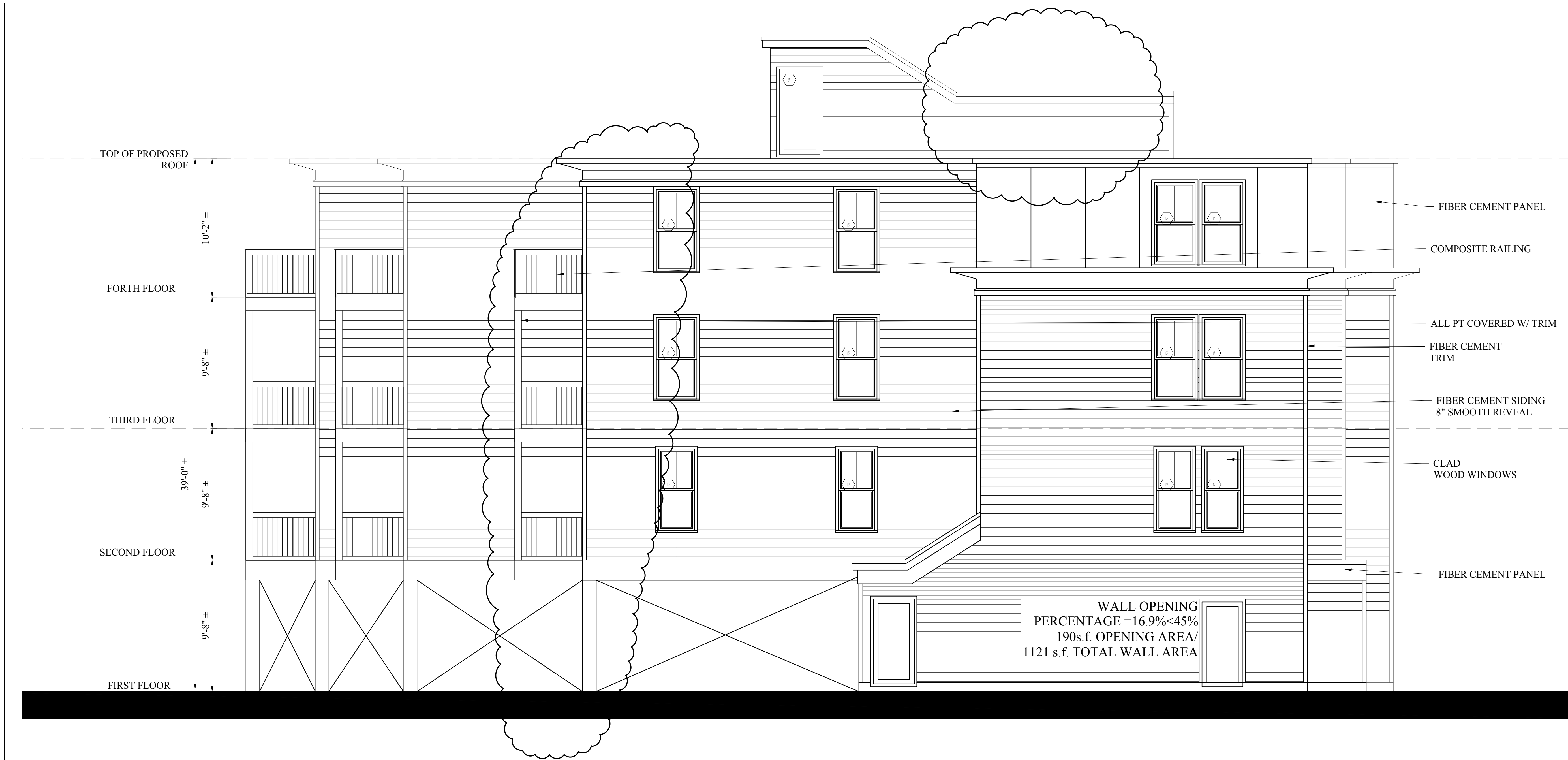


No.	Revision Date
	01-10-2019

Project No: 17203
Scale: AS NOTED
Date: 08-15-2017
Drawn By: SL

Drawing Name
PROPOSED FLOOR PLANS

Sheet No.
A-1.5



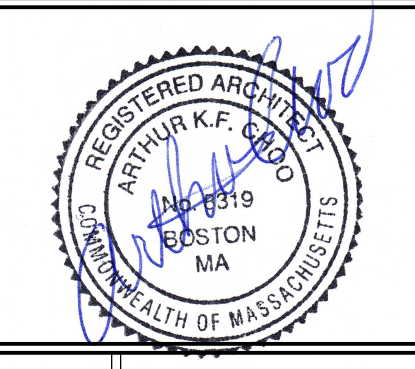
1 EAST ELEVATION
1/4" = 1'-0"

Location

PROPOSED MULTIFAMILY
54 RIVER STREET
BOSTON, MA

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Revision Date
	10-05-2017
	01-10-2019

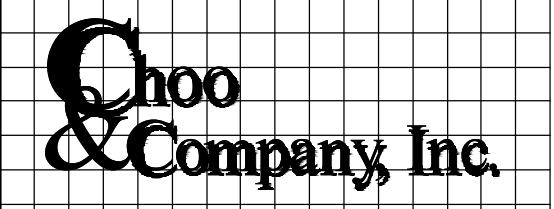
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Scale: AS NOTED
Date: 08-15-2017
Drawn By: SL

Drawing Name
PROPOSED ELEVATIONS

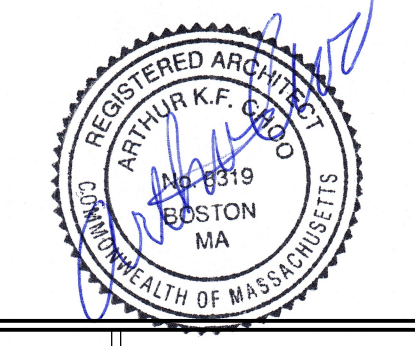
Sheet No.
A-2.1

Location

PROPOSED MULTIFAMILY
54 RIVER STREET
BOSTON, MA



One Billings Road Quincy, MA 02171
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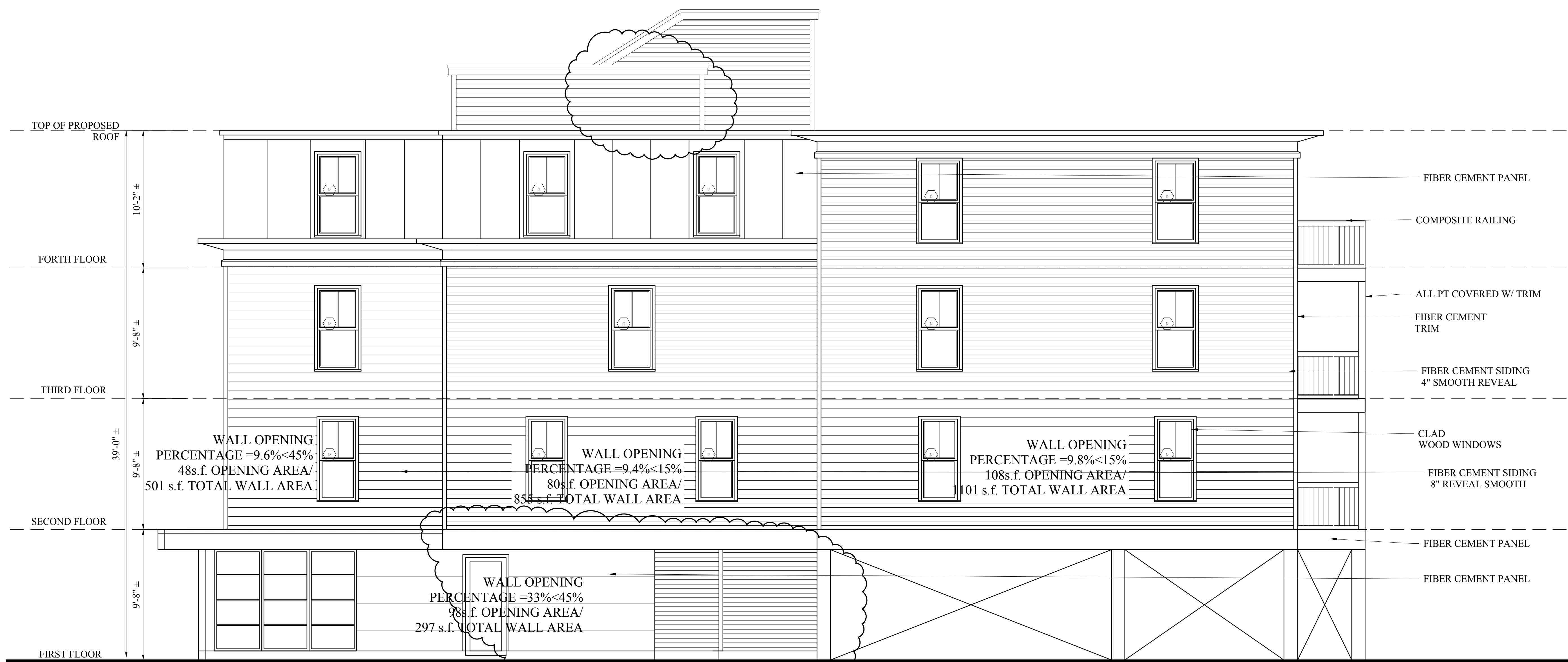


No.	Revision Date
	10-05-2017
	01-10-2019

Project No: 17203
 Scale: AS NOTED
 Date: 08-15-2017
 Drawn By: SL

Drawing Name
PROPOSED ELEVATIONS

Sheet No.
A-2.2



WALL OPENING
 PERCENTAGE =9.6%<45%
 48s.f. OPENING AREA/
 501 s.f. TOTAL WALL AREA

WALL OPENING
 PERCENTAGE =9.4%<15%
 80s.f. OPENING AREA/
 855 s.f. TOTAL WALL AREA

WALL OPENING
 PERCENTAGE =9.8%<15%
 108s.f. OPENING AREA/
 1101 s.f. TOTAL WALL AREA

WALL OPENING
 PERCENTAGE =33%<45%
 98s.f. OPENING AREA/
 297 s.f. TOTAL WALL AREA

- FIBER CEMENT PANEL
- COMPOSITE RAILING
- ALL PT COVERED W/ TRIM
- FIBER CEMENT TRIM
- FIBER CEMENT SIDING 4" SMOOTH REVEAL
- CLAD WOOD WINDOWS
- FIBER CEMENT SIDING 8" REVEAL SMOOTH
- FIBER CEMENT PANEL
- FIBER CEMENT PANEL

1 WEST ELEVATION
 1/4"=1'-0"

Location

PROPOSED MULTIFAMILY

**54 RIVER STREET
BOSTON, MA**



WALL OPENING
PERCENTAGE = 11.9% < 25%
77 s.f. OPENING AREA/
650 s.f. TOTAL WALL AREA

WALL OPENING
PERCENTAGE = 21.1% < 25%
154 s.f. OPENING AREA/
730 s.f. TOTAL WALL AREA

WALL OPENING
PERCENTAGE = 22.3% < 25%
153 s.f. OPENING AREA/
686 s.f. TOTAL WALL AREA

WALL OPENING
PERCENTAGE = 14.1% < 15%
154 s.f. OPENING AREA/
1093 s.f. TOTAL WALL AREA

FIBER CEMENT PANEL

FIBER CEMENT TRIM

FIBER CEMENT SIDING 4" SMOOTH REVEAL

CLAD WOOD WINDOWS

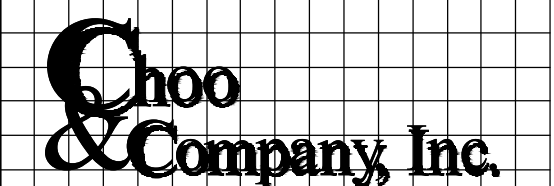
FIBER CEMENT SIDING 8" REVEAL SMOOTH

FIBER CEMENT PANEL

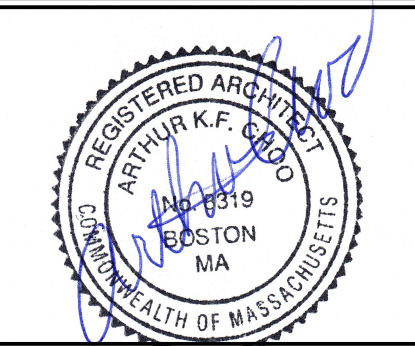
FIBER CEMENT PANEL

COMPOSITE RAILING

ALL PT COVERED W/ TRIM



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Revision Date
	10-05-2017

Project No: 17203
Scale: AS NOTED
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Drawn By: SL

Drawing Name
PROPOSED ELEVATIONS

Sheet No.
A-2.3

1 NORTH ELEVATION
1/4"=1'-0"

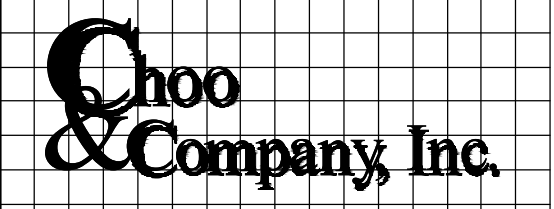


FIBER CEMENT PANEL
 COMPOSITE RAILING
 ALL PT COVERED W/ TRIM
 FIBER CEMENT TRIM
 FIBER CEMENT SIDING
 8" SMOOTH REVEAL
 CLAD WOOD WINDOWS
 FIBER CEMENT PANEL

1 SOUTH ELEVATION
 1/4" = 1'-0"

Location

PROPOSED MULTIFAMILY
54 RIVER STREET
BOSTON, MA



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No.	Revision Date
	10-05-2017
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 Drawn By: SL

Drawing Name
PROPOSED ELEVATIONS

Sheet No.
A-2.4