

# OUTLINE SPECIFICATIONS

**GENERAL CONDITIONS**  
**A. SUMMARY OF WORK:**  
 WORK SHALL CONSIST OF ADDITIONS AND ALTERATIONS TO 189 GRAMPAN WAY LOT 2B, BOSTON, MASS AS DEFINED HEREIN, KNOW AS THE CONTRACT DOCUMENTS.  
**B. SUMMARY OF CONSTRUCTION PROCEDURE:**  
 1. THE OWNER IS RESPONSIBLE FOR THE PREPARATION OF THE BUILDING AND SITE, AND FOR THE SELECTION AND FURNISHING OF CERTAIN MATERIALS AS NOTED IN THESE SPECIFICATIONS.  
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS.  
 3. THE CONTRACTOR SHALL USE PARTICULAR CARE AND CAUTION IN EXCAVATION AND IN USAGE OF THE SITE.

**CODES AND REGULATIONS**  
 WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING CODES AND STANDARDS, AND ANY AND ALL REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION: LATEST EDITION OF THE COMMONWEALTH OF MASSACHUSETTS BUILDING CODE FOR ONE AND TWO FAMILY DWELLINGS; INTERNATIONAL RESIDENTIAL BUILDING CODE; INTERNATIONAL ELECTRIC CODE; NATIONAL FIRE PROTECTION ASSOCIATION; BUILDING OFFICIALS AND CODE ADMINISTRATORS.

**MASSACHUSETTS 'STRETCH' ENERGY CODE:**  
 THE BUILDING OWNER/BUILDER SHALL HAVE AN INDEPENDENT CERTIFIED BUILDING ENERGY PROFESSIONAL PROVIDE A HERS (HOME ENERGY RATING SYSTEM) RATING. A HERS RATING SHALL BE SUBMITTED TO THE CODE OFFICIAL IN DRAFT FORM AT PLAN REVIEW STAGE, AND A FINAL FORM AT BUILDING COMPLETION.

**DEMOLITION**  
 1. CONTRACTOR SHALL COMMENCE DEMOLITION AS SHOWN ON THE LOCUS PLANS.  
 OWNER SHALL INFORM THE CONTRACTOR OF ANY MATERIALS TO BE SALVAGED.

**METALS**  
 1. ANCHOR BOLTS, NUTS, AND WASHERS SHALL CONFORM TO ASTM A-307, Q-563 AND F-436, AS APPLICABLE. ALL METAL ITEMS TO BE USED IN FRAMING SUCH AS JOISTS HANGERS, POST ANCHORS AND BRACKETS SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A-153.  
 2. SHEET METAL SHALL BE 24 GAUGE GALVALUM Z. MAX. AND 2'-0" MAX FROM CORNERS.  
 3. STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36.

**LUMBER**  
 1. RAFTERS, JOISTS AND STUDS SHALL BE NO. 2 HEM-FIR OR SPRUCE-PINE-FIR, M/E+ 1600 MINIMUM FOR REPETITIVE MEMBERS. REFER TO STRUCTURAL ENGINEER FRAMING PLANS FOR SIZES.  
 2. ENGINEERED FLOOR JOISTS SHALL BE AJ25 JOISTS, FROM ALL JOISTS OR, T1J20 FROM I-LEVEL, OR APPROVED EQUAL. REFER TO FRAMING PLANS FOR SIZES.  
 3. SUBFLOOR SHALL BE 3/4" T & G PLYWOOD. INSTALL PANELS USING SCREW/ RING SHANK NAIL AND GLUE METHOD, AS PER APA STANDARDS.  
 4. LUMBER SHALL BE SOUND, SEASONED, AND KILN DRIED TO A MOISTURE CONTENT NOT TO EXCEED 19%.  
 5. LUMBER IN CONTACT WITH CONCRETE AND MASONRY AND IN EXTERIOR APPLICATIONS SHALL BE CCA 40 PCF PRESSURE TREATED.  
 6. PROVIDE SILL SEALER AT SILL PLATE AND FOUNDATION AS MANUFACTURED BY CERTAINTED OR EQUAL.

**CONCRETE**  
 1. CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE STANDARDS, INCLUDING BUT NOT LIMITED TO ACI 301 AND ACI 318.  
 2. CONCRETE SHALL ATTAIN 3,000 PSI MINIMUM COMPRESSION STRENGTH AT 28 DAYS.  
 3. CONCRETE SHALL BE PLACED WITHOUT HORIZONTAL AND VERTICAL CONSTRUCTION JOINTS, EXCEPT WHERE SPECIFICALLY SHOWN.  
 4. REINFORCING STEEL SHALL CONFORM TO ASTM-615, GRADE 60 DEFORMED BARS.

**FOUNDATION AND EXCAVATION**  
 1. FOUNDATION AND EXCAVATION SHALL BE CARRIED DOWN TO UNDISTURBED NATURAL GRAVEL OR COMPACTED GRAVEL/FILL OR 2 TSF BEARING CAPACITY MATERIALS.  
 2. NO FOOTING SHALL BE PLACED IN WATER OR ON FROZEN GROUND.  
 3. IN GENERAL, EXTERIOR BUILDING WALL FOOTINGS SHALL BE CARRIED DOWN A MINIMUM OF 4'-0" BELOW GRADE.  
 4. ALL FOOTING EXCAVATIONS SHALL BE FINISHED BY HAND.  
 5. PROVIDE DAMPROOFING ON EXTERIOR OF FOUNDATION WALL BELOW GRADE.  
 6. PROVIDE CONTINUOUS 4" PERFORATED FOOTING DRAIN TILE AT PERIMETER OF FOUNDATION WITH 12" OF CRUSHED GRAVEL TO NEW DRYWELL. DRYWELL LOCATION IS TO BE DETERMINED IN FIELD.  
 7. PROVIDE 4 MIL VAPOR BARRIER UNDER BASEMENT CONCRETE SLAB.

**TYPICAL EXTERIOR WALL**  
 1. EXTERIOR SIDING SHALL BE PREMIUM GRADE RED CEDAR CLAPBOARD SIDING WITH 6" EXPOSURE, OR TO MATCH EXISTING SIDING. CORNER BOARD SHALL BE 5/4" X 6" AZEK TRIM BOARDS.  
 2. EXTERIOR SHEATHING SHALL BE APA EXP-1, 1/2" CDX 1610 PLYWOOD. INSTALL SHEATHING WITH FACE GRAIN PERPENDICULAR TO STUDS.  
 3. AIR INFILTRATION BARRIER SHALL BE TYVEK MANUFACTURED BY DUPONT, OR APPROVED EQUAL.  
 4. EXTERIOR WALL CONSTRUCTION SHALL BE STUDS @ 24" O.C. WITH 5/8" POLYETHYLENE SHEET ON CENTER.  
 5. VAPOR BARRIER SHALL BE A CONTINUOUS 6 MIL. POLYETHYLENE SHEET ON INTERIOR SIDE OF STUDS.  
 6. WINDOW HEAD AND TRIM FLASHING SHALL BE 20 GAGE ALUMINUM Z STRIPS.  
 7. EXTERIOR TRIM SHALL MATCH EXISTING HOUSE, OR SHALL BE 1x, 5/4x AND AZM-217 BAND MOLDED TRIM AS BY AZEK.  
 8. SEALANT/ CAULKING AT WINDOWS AND DOORS SHALL BE TREMCO POLYSULFIDE OR BUTYL RUBBER, PREMIUM GRADE.

**TYPICAL ROOF STRUCTURE**  
 1. ROOFING SHINGLES SHALL BE ASPHALT/ FIBERGLAS SHINGLES, 50 YEAR AS MANUFACTURED BY OWENS CORNING. ROOFING SHINGLES SHALL MATCH EXISTING HOUSE.  
 2. UNDERLAYMENT SHALL BE 15 LB. ASPHALT FELT, ASTM D-226.  
 3. PROVIDE W.R. GRACE AND WEATHER SHIELD WATERPROOFING MEMBRANE AT LEAST 36" OVER HEATED SPACE AT EAVES. ROOFS WITH PITCHES LOWER THAN 3 ON 12 SHALL BE COMPLETELY COVERED WITH WATERPROOFING MEMBRANE.  
 4. ROOF SHEATHING SHALL BE 5/8" APA RATED PLYWOOD, EXPOSURE 1.  
 5. RAFTERS SHALL BE NO. 2 DOUGLAS FIR-LARCH OR SPRUCE-PINE-FIR, M/E= 1600 MINIMUM FOR REPETITIVE MEMBERS. REFER TO STRUCTURAL ENGINEER FRAMING PLANS FOR SIZES.  
 6. EAVE DRIP EDGE AND RAKE EDGE SHALL BE 16 GAGE ALUMINUM. PROVIDE 10 FOOT MINIMUM LENGTHS.  
 7. FLASHING SHALL BE 20 GAGE ALUMINUM.  
 8. EAVE SOFFIT VENTS, WHERE REQUIRED, SHALL BE S-400 CONTINUOUS PERFORATED VENTS AS MANUFACTURED BY COR-A-VENT.

**INSULATION**  
 INSTALL SPRAY-ON FOAM INSULATION AT ALL APPLICATIONS:  
 -PROVIDE CLOSED CELL SPRAY-ON FOAM INSULATION AT EXTERIOR WALL OF ADDITION. R: 36.  
 -PROVIDE OPEN CELL SPRAY-ON FOAM INSULATION AT BASEMENT CEILING. R: 30 MIN.  
 -PROVIDE CLOSED CELL SPRAY-ON FOAM INSULATION TO RAFTERS. R: 44.  
 APPLY CLOSED CELL FOAM DIRECTLY TO UNDERSIDE OF ROOF SHEATHING. PROVIDE APPROVED FIRE RETARDANT INTUMESCENT COATING OR PAINT TO EXPOSED SIDE OF CLOSED CELL FOAM INSULATION.

**PAINTING**  
 1. ALL INTERIOR AND EXTERIOR PAINTING AND STAINING SHALL BE BENJAMIN MOORE.  
 2. STAINED SURFACES SHALL RECEIVE ONE SATIN FINISH COAT OF POLYURETHANE.  
 3. ALL COLORS SHALL BE SELECTED BY OWNER/ ARCHITECT.

**DOORS**  
 1. EXTERIOR ENTRY DOORS SHALL BE BY SIMPSON. SEE SCHEDULE FOR TYPE.  
 2. INTERIOR 4 PANEL COLONIAL STYLE DOORS SHALL BE BY JELD-WEN OR APPROVED EQUAL. SEE SCHEDULE FOR STYLE AND SIZES.  
 3. PROVIDE ALL HINGES BUTTS, KNOBS AND OTHER HARDWARE NECESSARY FOR INSTALLATION OF ALL DOORS.  
 4. OWNER SHALL PROVIDE LOCKSETS FOR INTERIOR DOORS. CONTRACTOR SHALL PROVIDE LOCKSETS FOR EXTERIOR DOORS.

**WINDOWS**  
 1. WINDOWS SHALL BE ANDERSEN 200 SERIES VINYL CLAD WOOD WINDOWS, WITH LOW E II GLAZING.  
 2. SEE WINDOW SCHEDULE FOR SIZES AND SPECIFICATIONS.

**ELECTRICAL**  
 1. ALL ROUGH ELECTRICAL WORK SHALL BE CARRIED OUT BY LICENSED ELECTRICIANS AND WITHIN THE LAWS OF THE MASS. BUILDING AND ELECTRIC CODES.  
 2. ELECTRICIAN SHALL VERIFY THAT THERE IS 200 AMP SERVICE IN BASEMENT.  
 3. DURING ROUGH-IN PHASE THE OWNER SHALL REVIEW ALL SWITCH, LIGHTING AND OUTLET LOCATIONS WITH ELECTRICIAN PRIOR TO INSTALLATION.  
 4. ALL OUTLETS, SWITCHES AND PLATES TO BE LUTRON DIVA SERIES, COLOR WHITE. DIMMERS TO BE MAESTRO, SUPPLIED BY ELECTRICIAN. PROVIDE CABLE TV CONNECTIONS.  
 5. FINISH LIGHTING FIXTURES SHALL BE FURNISHED BY OWNER, INSTALLED BY ELECTRICIAN.  
 6. RECESSED LIGHTING SHALL BE PROVIDED AND INSTALLED BY G.C.  
 7. PROVIDE HARD WIRED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY MASS. STATE CODE.  
 8. OWNER SHALL BE RESPONSIBLE FOR ALARM SYSTEM.  
 9. OWNER SHALL BE RESPONSIBLE FOR AUDIO/VISIOED SYSTEMS.  
 10. LIGHTING PROVIDED BY ELECTRICIAN SHALL INCLUDE:  
 -LOW VOLTAGE UNDER COUNTER LIGHTING IN KITCHEN  
 -4" HALO LED RECESSED LIGHTS IN INTERIOR  
 -8 RECESSED EXTERIOR LIGHTS AT PORCHES AND GARAGE SOFFIT  
 -PROVIDE DIMMERS FOR ALL LOCATIONS.

**MECHANICAL/PLUMBING**  
 1. PROVIDE NEW FORCED AIR HEATING AND COOLING HEATING SYSTEMS. CONTRACTOR SHALL DESIGN & SIZE SYSTEM TO MEET ACCEPTABLE HEATING REQUIREMENTS SET FORTH BY THE MASSACHUSETTS STATE BUILDING CODE.  
 2. PROVIDE 1 SEPARATE SYSTEMS FOR IN-LAW APARTMENT.  
 3. CONTRACTOR SHALL REMOVE EXISTING BOILER, AND PROVIDE HIGH EFFICIENCY BOILER FOR HOT WATER AND TO RUN TO AIRHANDLER FOR HEAT.  
 4. ALL ROUGH PLUMBING SHALL BE CARRIED OUT BY LICENCED PLUMBERS AND WITHIN THE LAWS OF THE MASS. BUILDING AND PLUMBING CODES.  
 5. PROVIDE INSULATED DUCTWORK WITH BOLTED CONNECTIONS.  
 6. PLUMBING FIXTURES FOR BATH SHALL BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.

**GYPSUM BOARD**  
 1. GYPSUM WALL BOARD SHALL CONFORM TO ASTM C-36, BY U.S. GYPSUM CO., OR NATIONAL GYPSUM CO.  
 2. INTERIOR WALL BOARD FINISH SHALL BE 1/2" GYPSUM BLUEBOARD WITH SKIM COAT PLASTER FINISH.  
 3. WHERE FIRE RATING IS REQUIRED, GYPSUM WALL BOARD SHALL BE 5/8" THICK FIRECODE X.  
 4. PROVIDE ALL STANDARD ACCESSORIES TO FINISH WORK.  
 5. WALL AND FLOOR BOARD IN BATHROOM AT ALL TILE APPLICATIONS, INCLUDING SHOWER CEILING, SHALL BE DURROCK 1/2" CEMENT BOARD.

**BATH VANITY and WETBATH CABINETS**  
 1. VANITY FOR BATH AND CABINETS FOR WETBATH SHALL BE PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.  
 OWNER SHALL FURNISH ALL HARDWARE, SINKS, FAUCETS AND COUNTERTOPS.  
 2. COUNTERTOPS SHALL BE FURNISHED AND INSTALLED BY OWNER.

**SHOWER DOOR SYSTEM**  
 1. SHOWER DOORS AND PARTITIONS SHALL BE AS PER MISTER SHOWER DOOR, OASIS SHOWER DOORS, OR EQUAL. SHOWER GLASS SHALL BE PROVIDED AND INSTALLED BY G.C.  
 2. BATH SHOWER PARTITION SHALL BE BUTT GLAZE TYPE WITH CRYSTAL CLEAN GLASS.

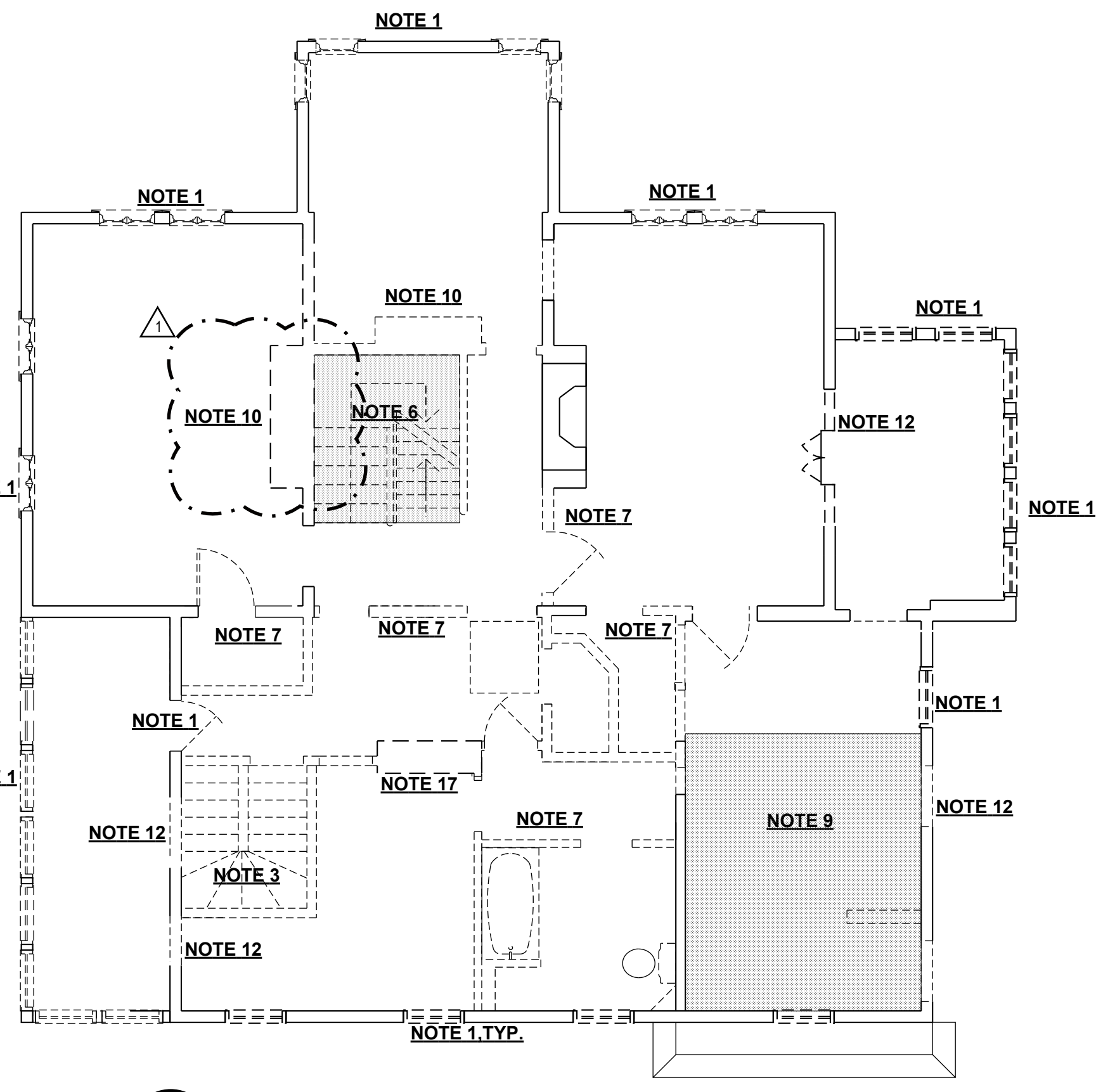
**STONE TILE**  
 1. STONE TILE SHALL BE FURNISHED BY OWNER, INSTALLED BY GENERAL CONTRACTOR.  
 SCOPE OF WORK SHALL INCLUDE:  
 -MASTER BATH ROOM FLOORS, SHOWER WALLS  
 2. TILE TO BE INSTALLED IN ACCORDANCE WITH STANDARDS SET BY THE TILE COUNCIL OF AMERICA, INC., USING CEMENTIOUS MORTAR BED FOR SETTING TILES.  
 3. PROVIDE ALL GROUT AND ACCESSORIES TO COMPLETE THE WORK. GROUT COLOR TO BE SELECTED AND APPROVED BY OWNER/ ARCHITECT.

**CERAMIC TILE**  
 1. CERAMIC TILE FOR ALL BACKSPLASHS AND ALL BATHROOMS SHALL BE FURNISHED BY OWNER, INSTALLED BY GENERAL CONTRACTOR.  
 2. TILE TO BE INSTALLED IN ACCORDANCE WITH STANDARDS SET BY THE TILE COUNCIL OF AMERICA, INC., USING CEMENTIOUS MORTAR BED FOR SETTING TILES.  
 3. PROVIDE ALL GROUT AND ACCESSORIES TO COMPLETE THE WORK. GROUT COLOR TO BE SELECTED AND APPROVED BY OWNER/ ARCHITECT.

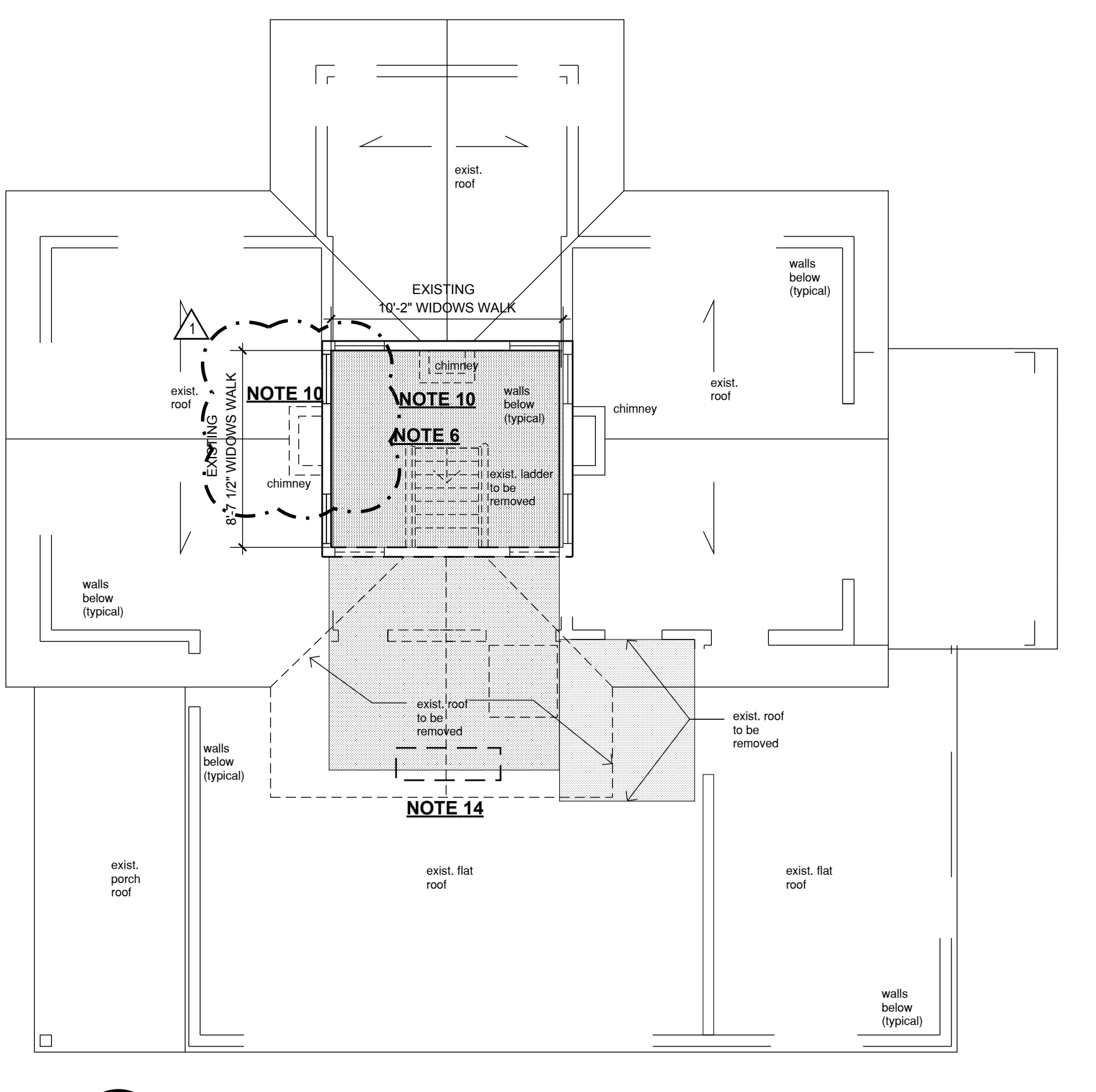
**DEMOLITION NOTES**

DEMOLITION SCOPE SHALL INCLUDE:

- REMOVE ALL EXISTING WINDOWS AND DOORS AS INDICATED ON DEMOLITION PLANS.
- REMOVE AND STORE INTERIOR DOOR, TO BE REUSED.
- REMOVE STAIRCASE IN ITS ENTIRETY
- REMOVE PORCH STAIRS AS SHOWN
- REMOVE UTILITIES AND MECHANICAL SYSTEMS
- REMOVE MAIN STAIRCASE AND STORE, PARTS TO BE REUSED.
- REMOVE INTERIOR PARTITIONS AS INDICATED. SEE PROPOSED FLOOR PLANS FOR NEW WALLS.
- REMOVE EXTERIOR WALL AND WINDOWS FOR NEW OPENING.
- REMOVE FLOOR FRAMING IN SHADED AREA.
- REMOVE BRICK CHIMNEY FROM ROOF ITS ENTIRETY.
- REMOVE CONSERVATORY IN ITS ENTIRETY
- REMOVE EXTERIOR WALL FOR NEW OPENING
- REMOVE CONCRETE FLOOR AS REQUIRED FOR NEW PLUMBING
- REMOVE BRICK CHIMNEY FROM ROOF TO SECOND FLOOR LINE
- REMOVE WALL AS REQUIRED FOR NEW OPENING



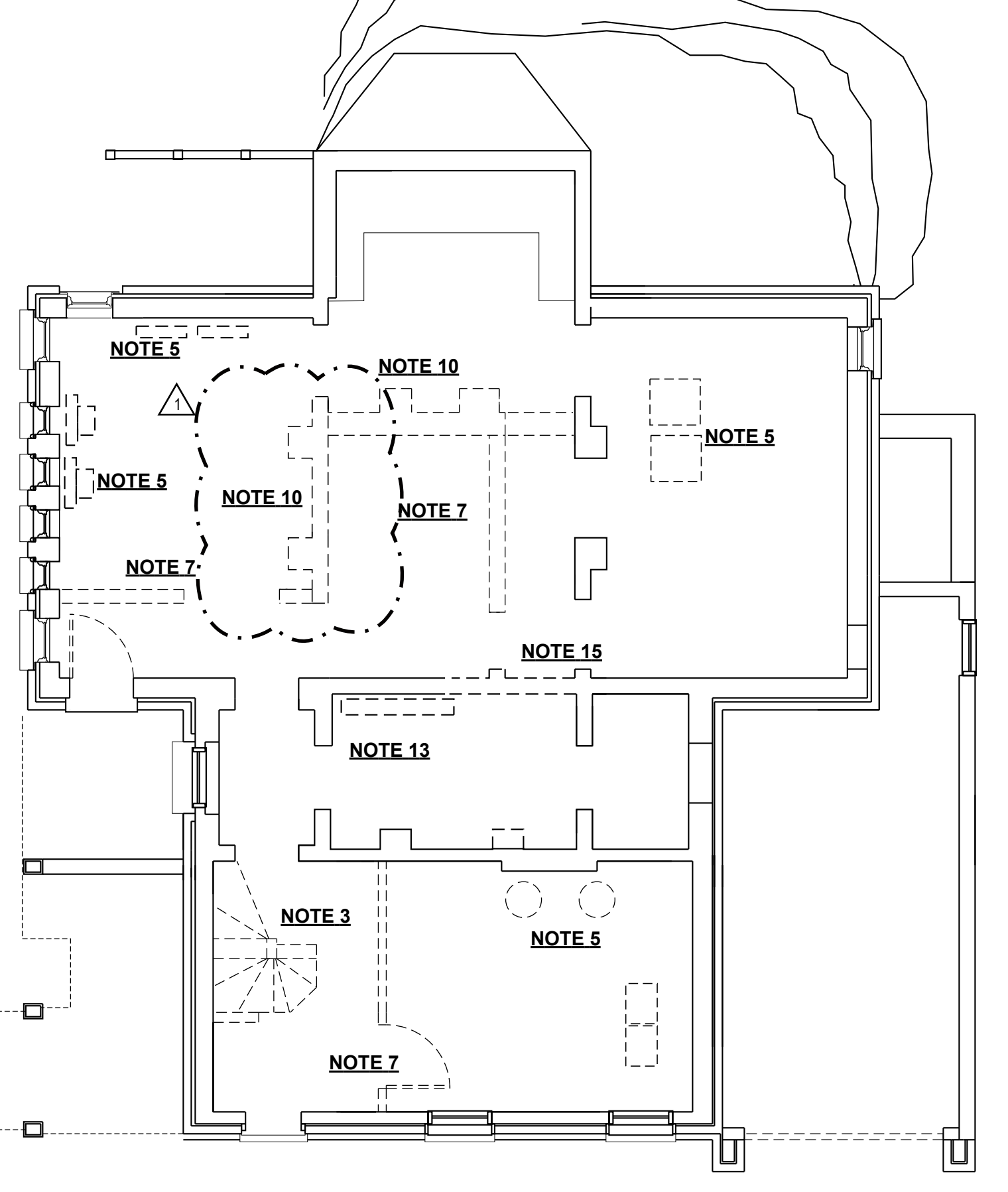
**C** SECOND FLOOR DEMOLITION PLAN  
 A.01 3/16"=1'-0"



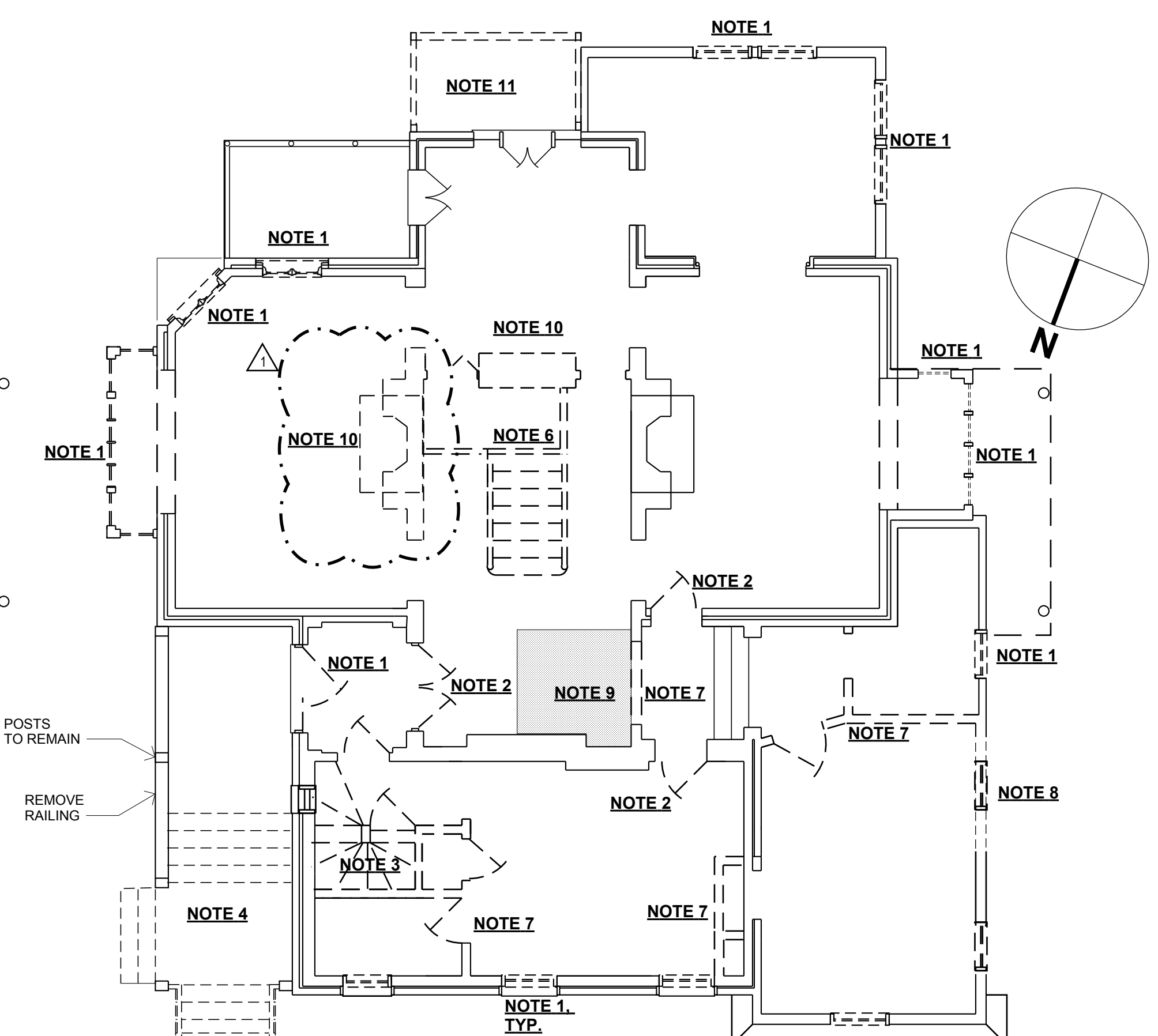
**D** ROOF DEMOLITION PLAN  
 A.01 3/16"=1'-0"

**PARTITION TYPE LEGEND**

- EXISTING PARTITION TO REMAIN
- AREA OF FLOOR / ROOF REMOVAL
- PARTITION TO BE REMOVED



**A** BASEMENT DEMOLITION PLAN  
 A.01 3/16"=1'-0"



**B** FIRST FLOOR DEMOLITION PLAN  
 A.01 3/16"=1'-0"

774-766-0544 jspink1@gmail.com

**Leonard J. Staffa**  
**ARCHITECT**  
 5 SEARS ROAD  
 MILTON, MA 02186  
 617.686.2327  
 LENSARCHITECT@CONCAST.NET

**PROJECT**  
**ALTERATIONS and ADDITIONS**  
**to 55 ALPINE WAY**

**REVISIONS**  
**ADDENDUM 2**  
 06/08/2020  
 Entry Door Vestibules

**PROJECT NO.**  
 2019.16

**ISSUE**  
 01/16/2020

**DRAWN BY**  
 LJS

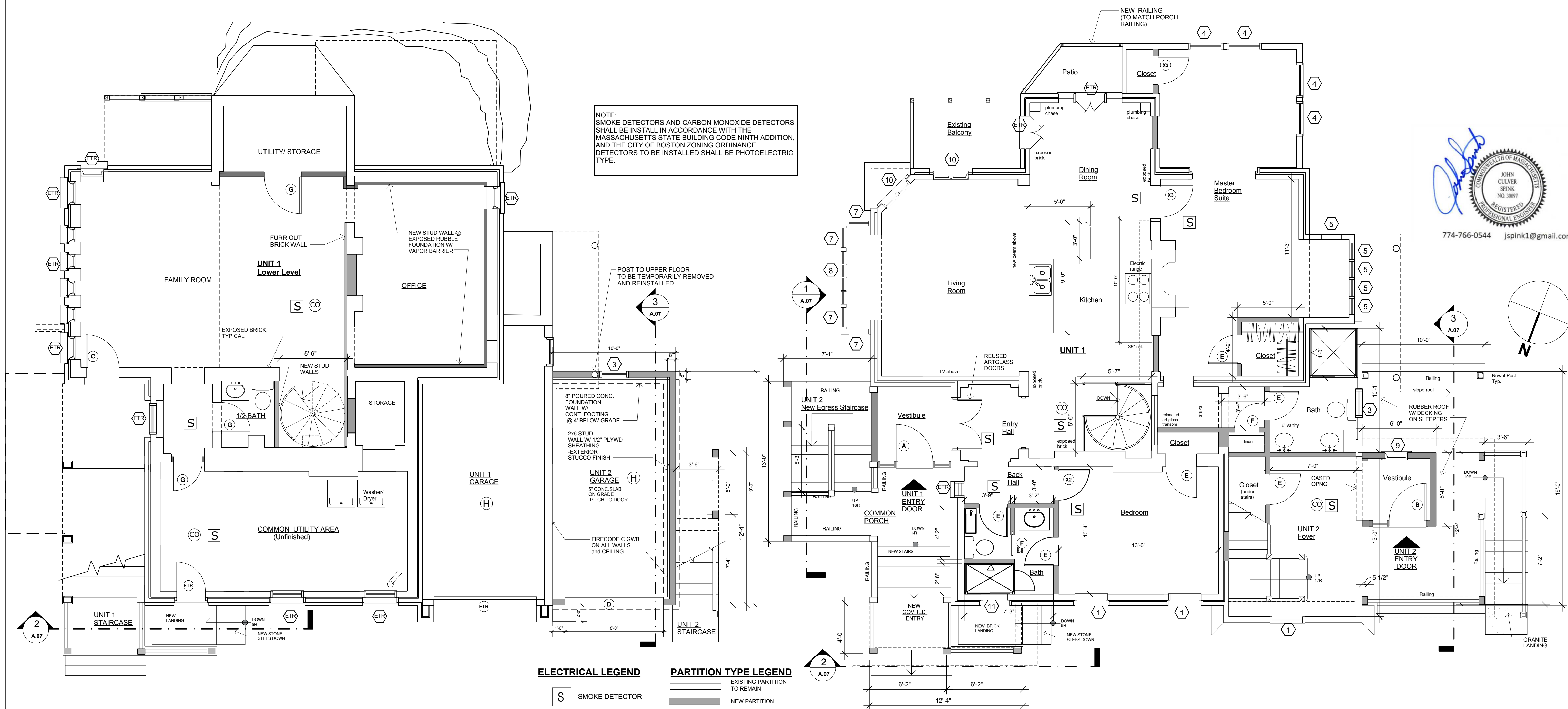
**CLIENT**  
**189 Gramplan**  
**Way LLC**  
 189 Gramplan Way  
 Savin Hill  
 Boston, MA



**ENGINEER:**  
 John Spink, P.E.  
 STRUCTURAL ENGINEER  
 P.E., MA 30097  
 774-766-0544  
 jspink@coneco.com

**DEMOLITION**  
**FLOOR PLANS**  
**OUTLINE**  
**SPECIFICATIONS**

**A.01**



NOTE: SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE NINTH ADDITION, AND THE CITY OF BOSTON ZONING ORDINANCE. DETECTORS TO BE INSTALLED SHALL BE PHOTOELECTRIC TYPE.

- ELECTRICAL LEGEND**
- (S) SMOKE DETECTOR
  - (CO) CO DETECTOR
  - (H) HEAT DETECTOR
- PARTITION TYPE LEGEND**
- EXISTING PARTITION TO REMAIN
  - NEW PARTITION
  - - - PARTITION TO BE REMOVED

**A**  
**A.02** PROPOSED BASEMENT\LOWER FLOOR PLAN  
1/4"=1'-0"

**B**  
**A.02** PROPOSED FIRST FLOOR PLAN  
1/4"=1'-0"



774-766-0544 jspink1@gmail.com

**Leonard J. Staffa**  
**ARCHITECT**  
5 SEARS ROAD  
MILTON, MA 02186  
617.696.2327  
LENSARCHITECT@CONCAST.NET

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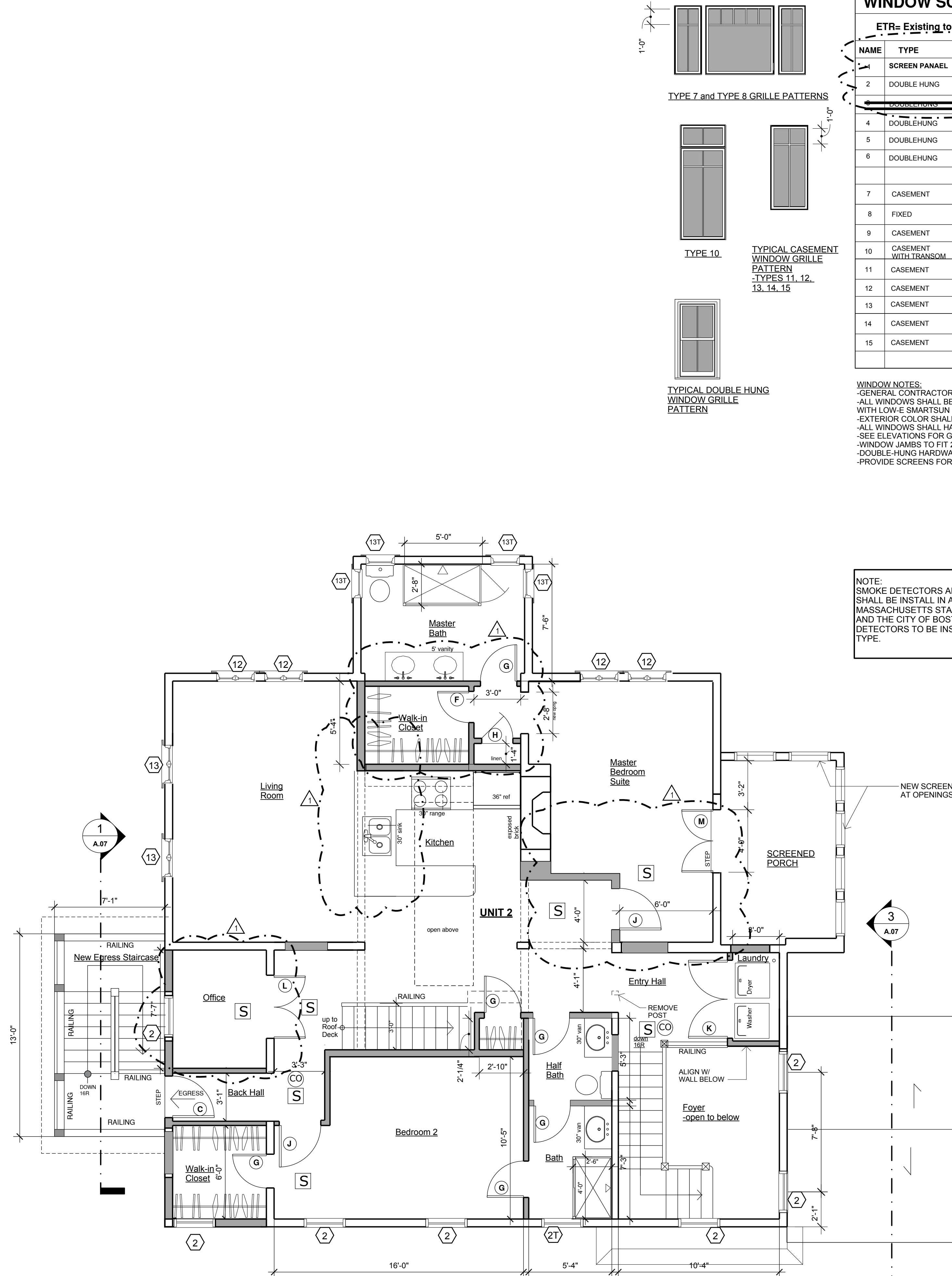
**PROJECT**  
Gramplan CD

**CLIENT**  
**189 Gramplan Way LLC**  
189 Gramplan Way  
Savin Hill  
Boston, MA



**ENGINEER:**  
John Spink, P.E.  
STRUCTURAL ENGINEER  
P.E., MA 30097  
774-766-6544  
jspink@coneco.com

**PROPOSED FLOOR PLANS**  
**A.02**



**A**  
**A.03** PROPOSED SECOND FLOOR PLAN  
1/4"=1'-0"

**WINDOW SCHEDULE: ①**

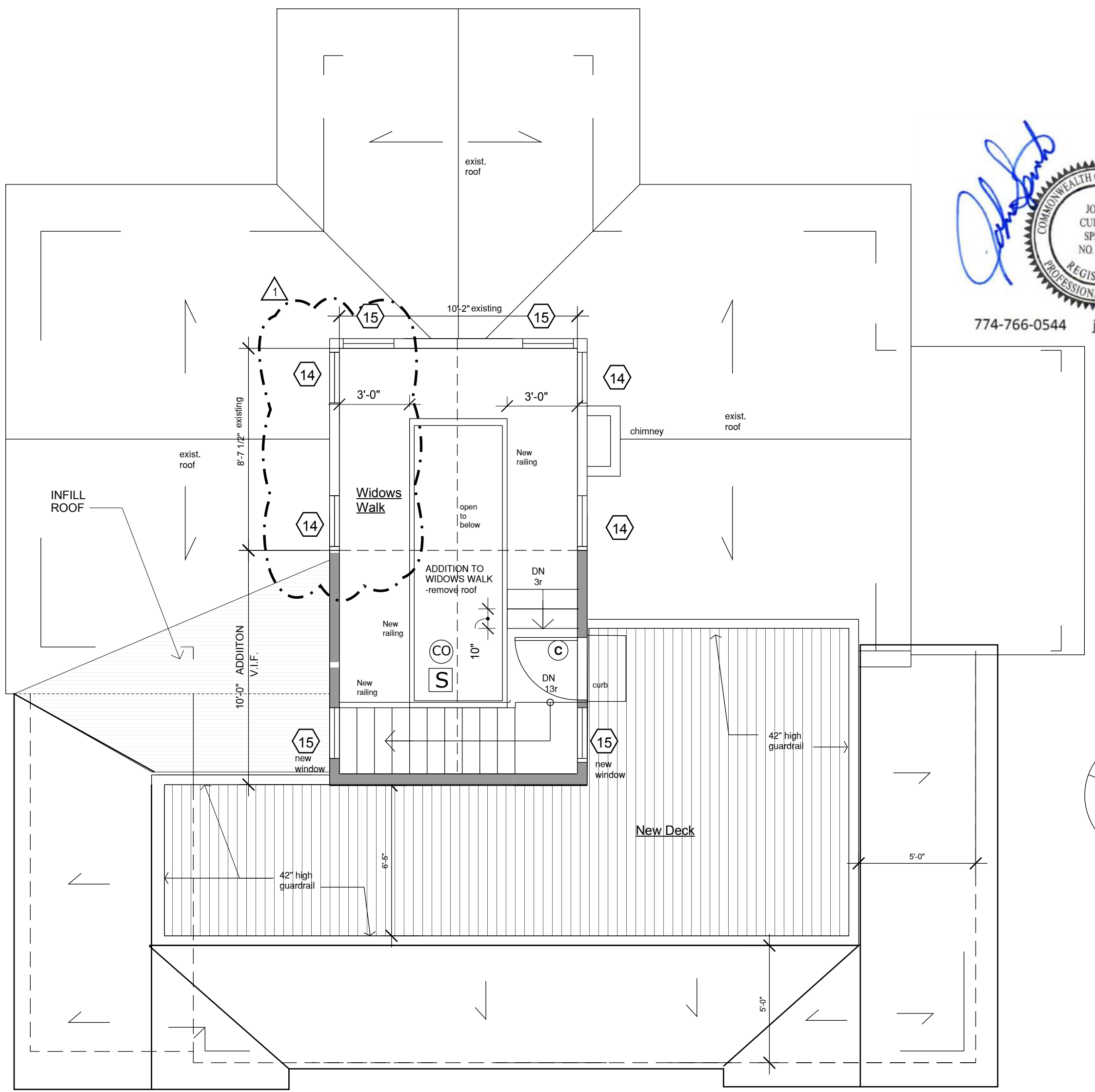
ETR= Existing to Remain

NAME	TYPE	MANUFACT.	PRODUCT	UNIT SIZE	COMMENTS
1	SCREEN PANAEL		MADE ON-SITE	2'-5" x 4'-11"	SCREEN STOCK BY BROSCO
2	DOUBLE HUNG	PELLA	DH2953	2'-9" x 4'-5"	TYPE 2T #W/ TEMPERED GLASS
3	DOUBLE HUNG		DH2953	2'-5" x 2'-11"	
4	DOUBLE HUNG		DH3365	2'-9" x 5'-5"	
5	DOUBLE HUNG		DH2559	2'-1" x 4'-9"	
6	DOUBLE HUNG		DH2163	1'-9" x 2'-5"	
7	CASEMENT		2153	2'-1" x 4'-5"	
8	FIXED		5353	4'-5" x 4'-5"	
9	CASEMENT		1741	1'-5" x 3'-5"	
10	CASEMENT WITH TRANSOM		3517 on top of 3571	2'-11" x 7'-4"	DIRECT MULLED UNIT W/ TEMPERED GLASS
11	CASEMENT		2925	2'-5" x 2'-1"	
12	CASEMENT		2965	2'-5" x 5'-5"	
13	CASEMENT		2365	1'-11" x 5'-5"	TYPE 13T #W/ TEMPERED GLASS
14	CASEMENT		1729		@ WIDOWS WALK
15	CASEMENT		2529	2'-1" x 2'-5"	@ WIDOWS WALK

**WINDOW NOTES:**  
 -GENERAL CONTRACTOR SHALL CONFIRM ALL DIMENSIONS PRIOR TO ORDERING.  
 -ALL WINDOWS SHALL BE LIFESTYLE-SERIES ALUMINUM-CLAD WOOD WINDOWS AS MANUFACTURED BY PELLA, EXCEPT AS NOTED, WITH LOW-E SMARTSUN GLAZING. WINDOWS SHALL BE REPLACEMENT TYPE WITHOUT FINIS.  
 -EXTERIOR COLOR SHALL BE WHITE. WINDOWS SHALL HAVE WHITE PRIMED INTERIORS.  
 -ALL WINDOWS SHALL HAVE FULL DIVIDED LIGHT GRILLES, WITH SPACER BETWEEN THE GLASS.  
 -SEE ELEVATIONS FOR GRILLE PATTERNS.  
 -WINDOW JAMES TO FIT 2x4 STUD WALLS AT EXISTING HOUSE, AND 2x6 STUD WALLS AT ADDITION.  
 -DOUBLE-HUNG HARDWARE SHALL BE TRADITIONAL LOCK AND KEEPER, IN WHITE FINISH, FOR ALL WINDOW TYPES.  
 -PROVIDE SCREENS FOR OPERATING UNITS, COLOR -WHITE.

**INTERIOR DOOR SCHEDULE: ①**

NAME	TYPE	SIZE	MANUFACTURER	COMMENTS
X1	EXISTING REUSED-90°	5'-4" x 90"	EXISTING REUSED	EXISTING ART GLASS DOUBLE DOOR
X2	EXISTING REUSED-90°	30" x 90"		
X3	EXISTING REUSED-90°	33" x 90"		
E	NEW 4 PANEL	28" x 84"	BROSCO PRIMED PANEL SERIES PR-44 W/ OVOLO STICKING	PAINT GRADE DOORS
F	NEW 4 PANEL	24" x 84"		
G	NEW 4 PANEL	28" x 80"		
H	NEW 4 PANEL	24" x 80"		
J	NEW 4 PANEL	32" x 80"		
K	NEW 4 PANEL	30" x 80" PAIR		
L	WP-1510	24" x 80" PAIR	INTERIOR FRENCH DOOR	
M	37104-F	24" x 80" PAIR	EXTERIOR FRENCH DOOR by SIMPSON, FIR, SDL	



**B**  
**A.03** ROOF PLAN  
1/4"=1'-0"

- ELECTRICAL LEGEND**
- S SMOKE DETECTOR
  - CO CO DETECTOR
- PARTITION TYPE LEGEND**
- EXISTING PARTITION TO REMAIN
  - NEW PARTITION
  - PARTITION TO BE REMOVED

**NOTE:**  
 SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE NINTH ADDITION, AND THE CITY OF BOSTON ZONING ORDINANCE. DETECTORS TO BE INSTALLED SHALL BE PHOTOELECTRIC TYPE.

*John Spink*  
 JOHN CULVER SPINK  
 NO. 30097  
 REGISTERED PROFESSIONAL ENGINEER  
 COMMONWEALTH OF MASSACHUSETTS  
 774-766-0544 jspink1@gmail.com

**Leonard J. Staffa**  
**ARCHITECT**  
 5 SEARS ROAD  
 MILTON, MA 02186  
 617.696.2327  
 LENSARCHITECT@CONCAST.NET

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 STRUCTURAL ENGINEER  
 P.E., MA 30097  
 774-766-6544  
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**PROPOSED FLOOR PLANS SCHEDULES**  
**A.03**



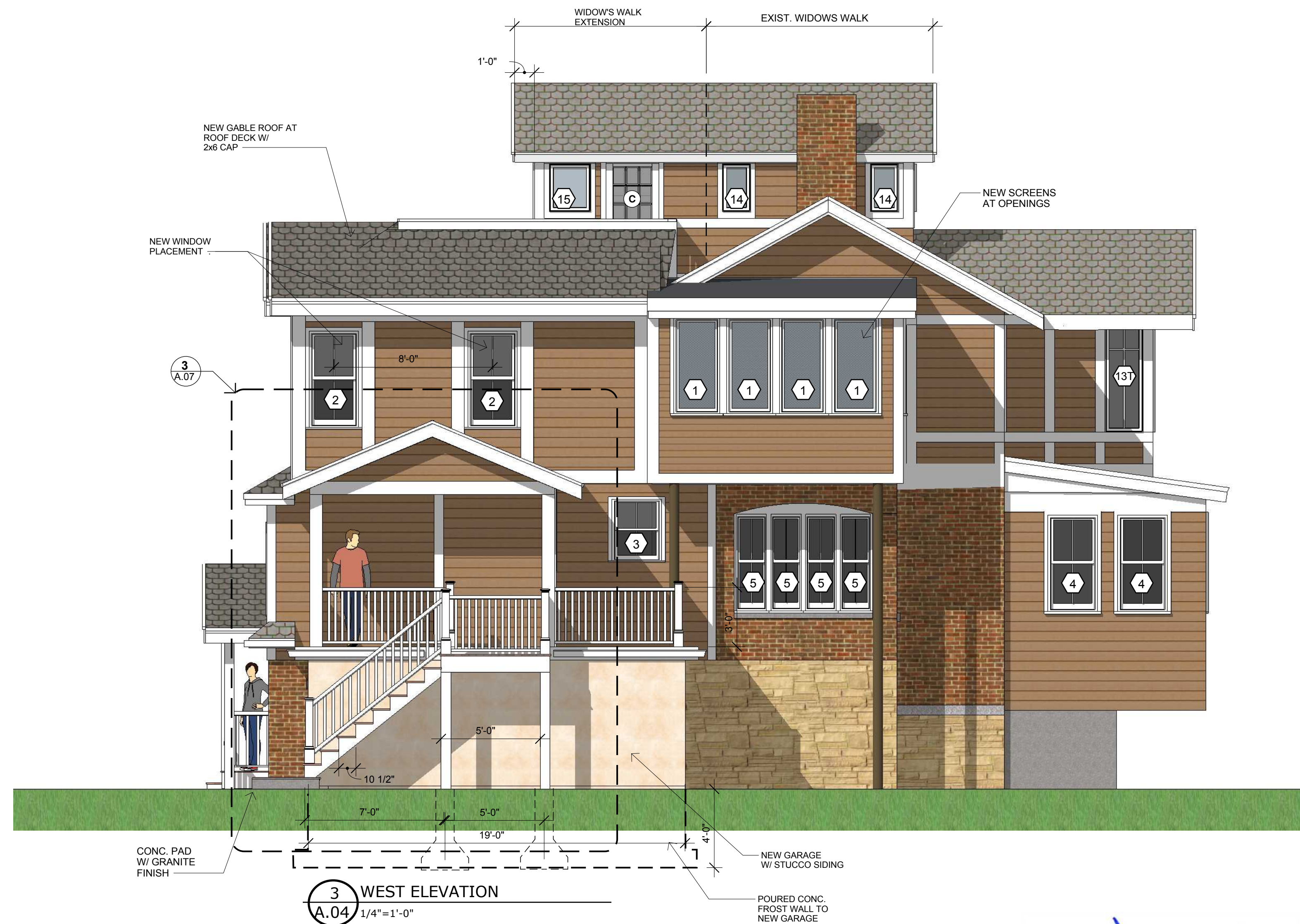
**2 EAST ELEVATION**  
A.04 1/4" = 1'-0"

**EXTERIOR SPECIFICATIONS:**

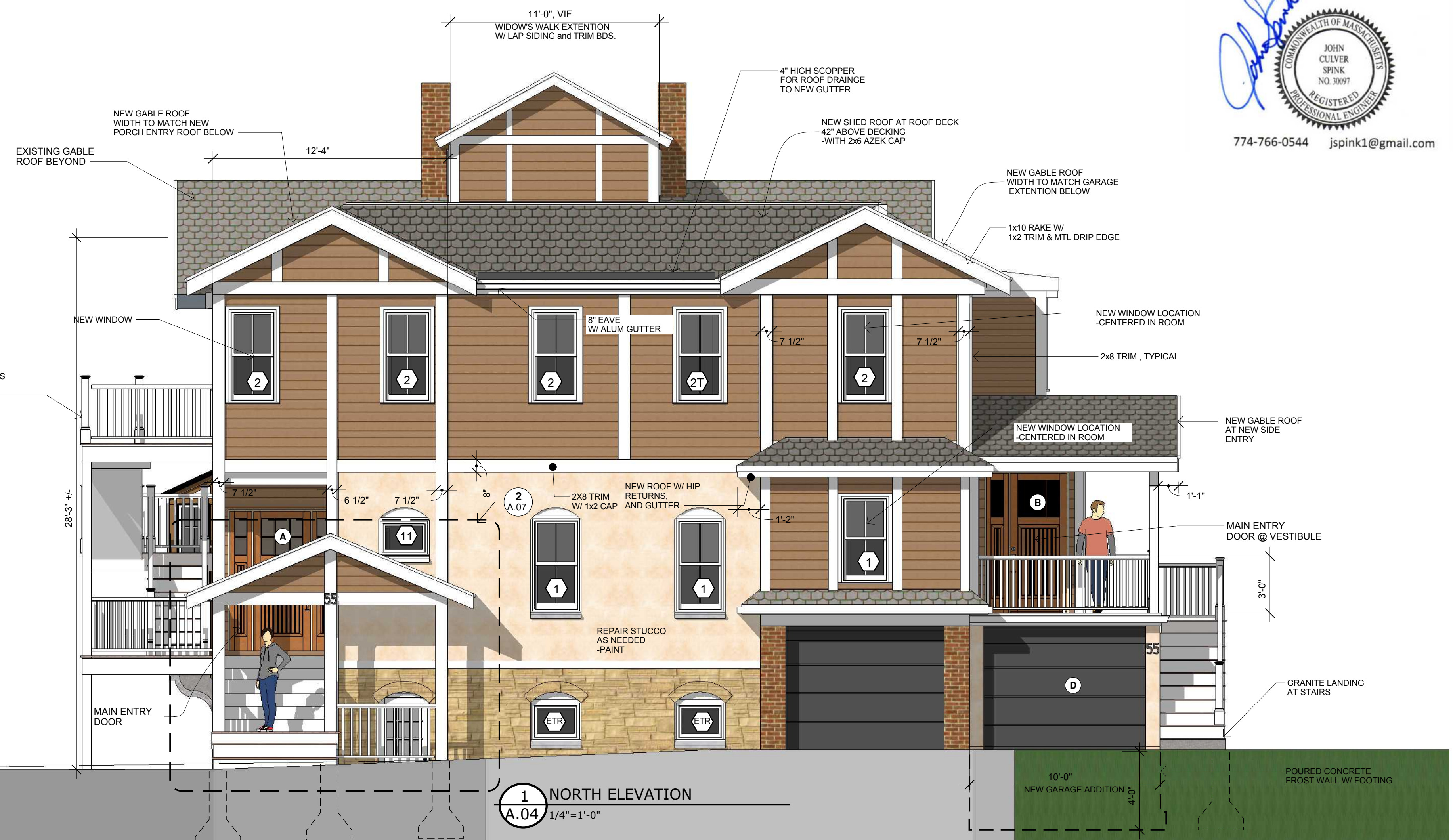
1. NEW LAP SIDING SHALL BE HARDIE PLANK SMOOTH 7.25" LAP SIDING PLANKS, WITH 6" EXPOSURE. COLOR TO BE SELECTED BY OWNER/ ARCHITECT. SCOPE OF WORK SHALL BE TO REPLACE ALL WOOD SHINGLE SIDING WITH LAP SIDING.
2. NEW ROOFING SHALL BE GAF ESTATE. COLOR TO BE SELECTED BY OWNER/ ARCHITECT.
3. NEW WINDOWS SHALL BE PELLA LIFESTYLE ALUMINUM CLAD DOUBLE HUNG WINDOWS. ALL NEW ANS REPLACEMENT WINDOWS SHALL BE MEASURED IN THE FIELD BE THE CONTRACTOR PRIOR TO ORDERING.
4. ALL NEW TRIM SHALL BE 2x AND 1x TRIM BY AZEK.
5. CLEAN ALL EXISTING STONE AND BRICK WITH ACID.

**EXTERIOR DOOR SCHEDULE:**

NAME	TYPE	SIZE	MANUFACTURER	COMMENTS
A	ENTRY w/ SIDELITES	6'-8" x 5'-8"	SIMPSON WITH 2 SIDELITES	CRAFTSMAN COLLECTION. 6843 DOOR WITH VALENCIA II GLASS PATTERN, AND 6171 SIDELIGHTS.
B	ENTRY	6'-8" x 3'-0"	SIMPSON WITH 1 SIDELITE	CRAFTSMAN COLLECTION. 6843 DOOR WITH VALENCIA II GLASS PATTERN, AND 6171 SIDELIGHT.
C	EXTERIOR ENTRY DOOR	32" x 6'-8"	SIMPSON 9 LITE	
D	GARAGE DOOR	8'-0" x 7'-0" HIGH	CLOPAY COACHMAN SERIES	COACHMAN COLLECTION: DESIGN 12; WINDOW TYPE- SQ24; DESERT COLOR: BLACK



**3 WEST ELEVATION**  
A.04 1/4" = 1'-0"



**1 NORTH ELEVATION**  
A.04 1/4" = 1'-0"



774-766-0544 jspink1@gmail.com

**Leonard J. Staffa**  
**ARCHITECT**  
5 SEARS ROAD  
MILTON, MA 02186  
617.686.2327  
LENSARCHITECT@CONCAST.NET

**PROJECT**  
**ALTERATIONS and ADDITIONS**  
**to 55 ALPINE WAY**  
PROJECT  
Gramplan CD  
ISSUE  
01/16/2020  
DRAWN BY  
LJS

**REVISIONS**  
**ADDENDUM 2**  
06/08/2020  
Entry Door Vestibules

**PROJECT NO.**  
2019.16

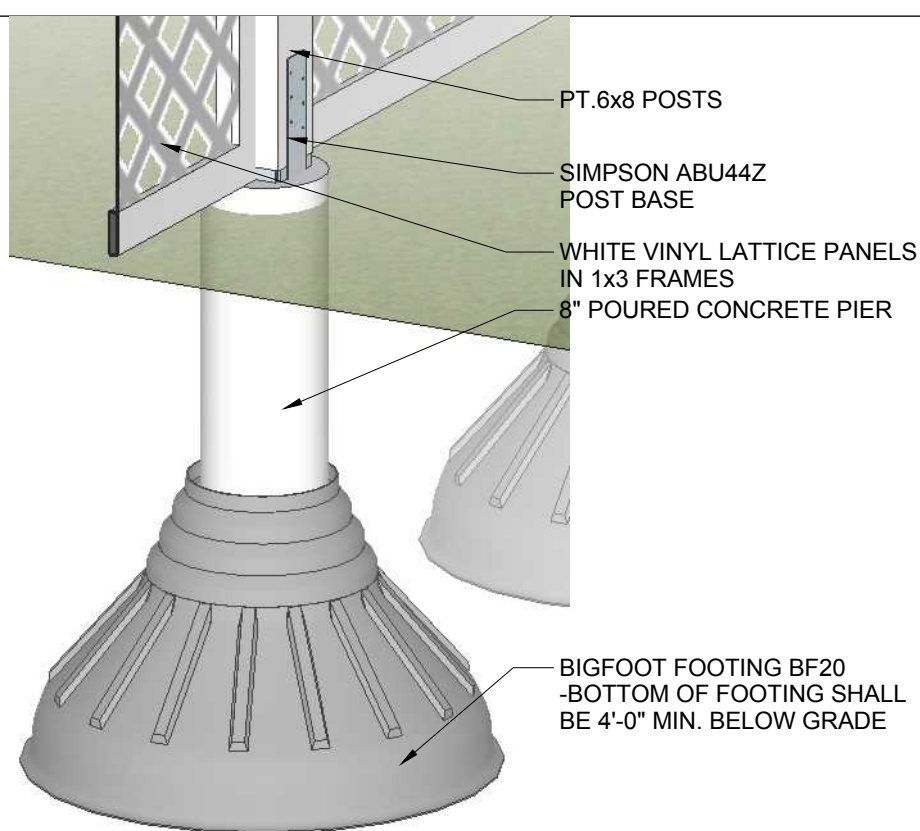
**CLIENT**  
**189 Gramplan Way LLC**  
189 Gramplan Way  
Savin Hill  
Boston, MA



**ENGINEER:**  
John Spink, P.E.  
STRUCTURAL ENGINEER  
P.E., MA 30097  
774-766-6544  
jspink@coneco.com

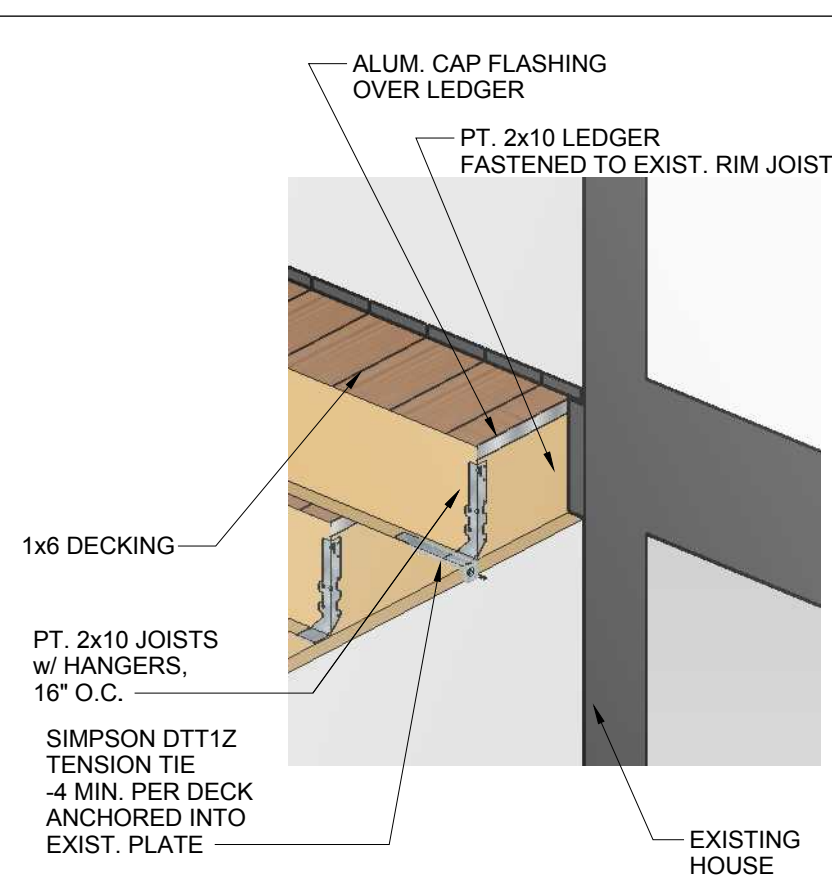
**EXTERIOR ELEVATIONS NOTES**

**A.04**



**A. POST/ FOOTING DETAIL**  
DECK DETAILS

NO SCALE

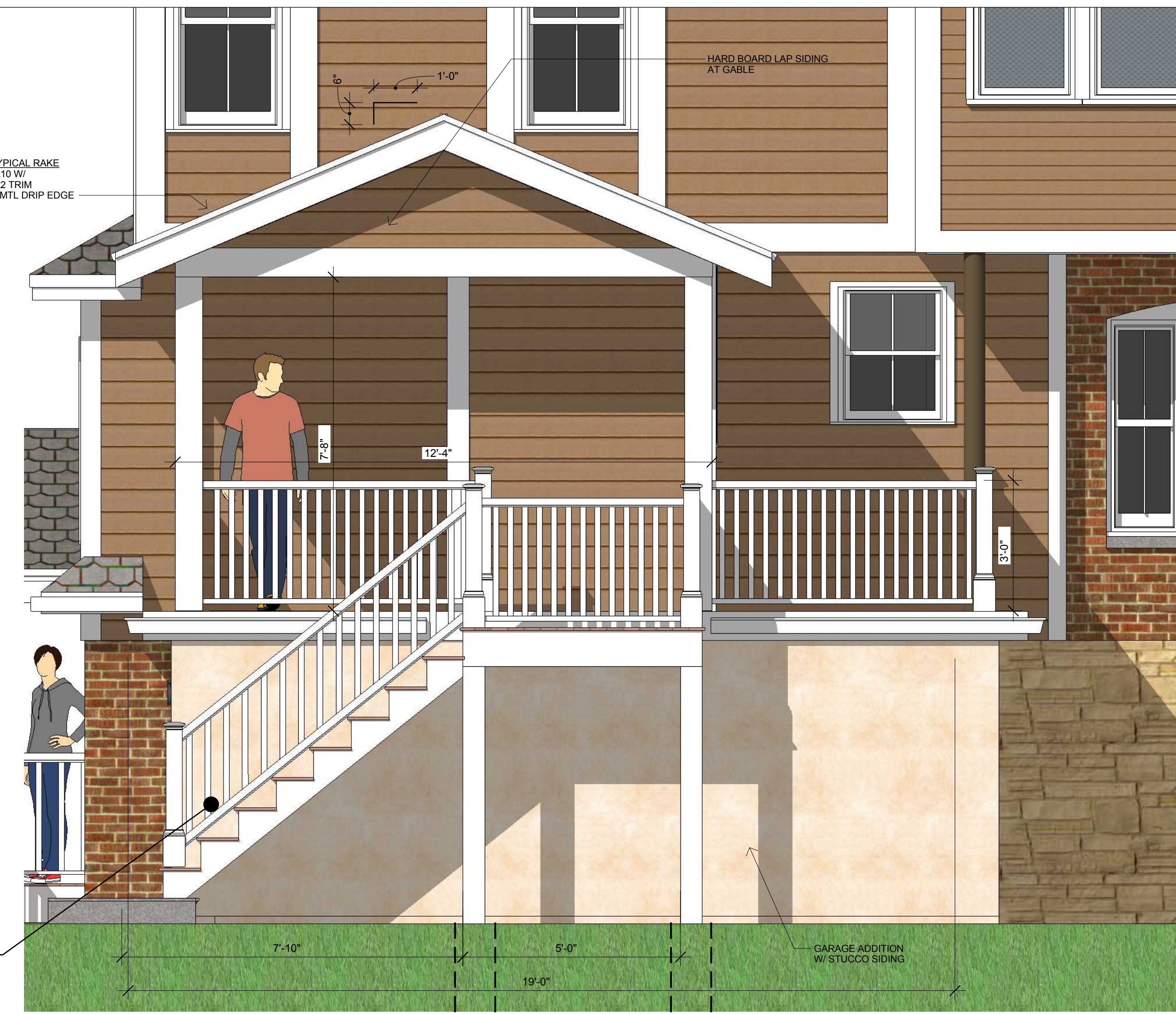


**B. LEDGER DETAIL**

**DECK SPECIFICATIONS:**

Deck shall be constructed in accordance with Section R502.2.2 DECKS, of the International Residential Code, and the Mass. State Residential building Code, 9th Edition Addenda.

Deck Ledger shall be connected to existing band joist with minimum 1/2\"/>

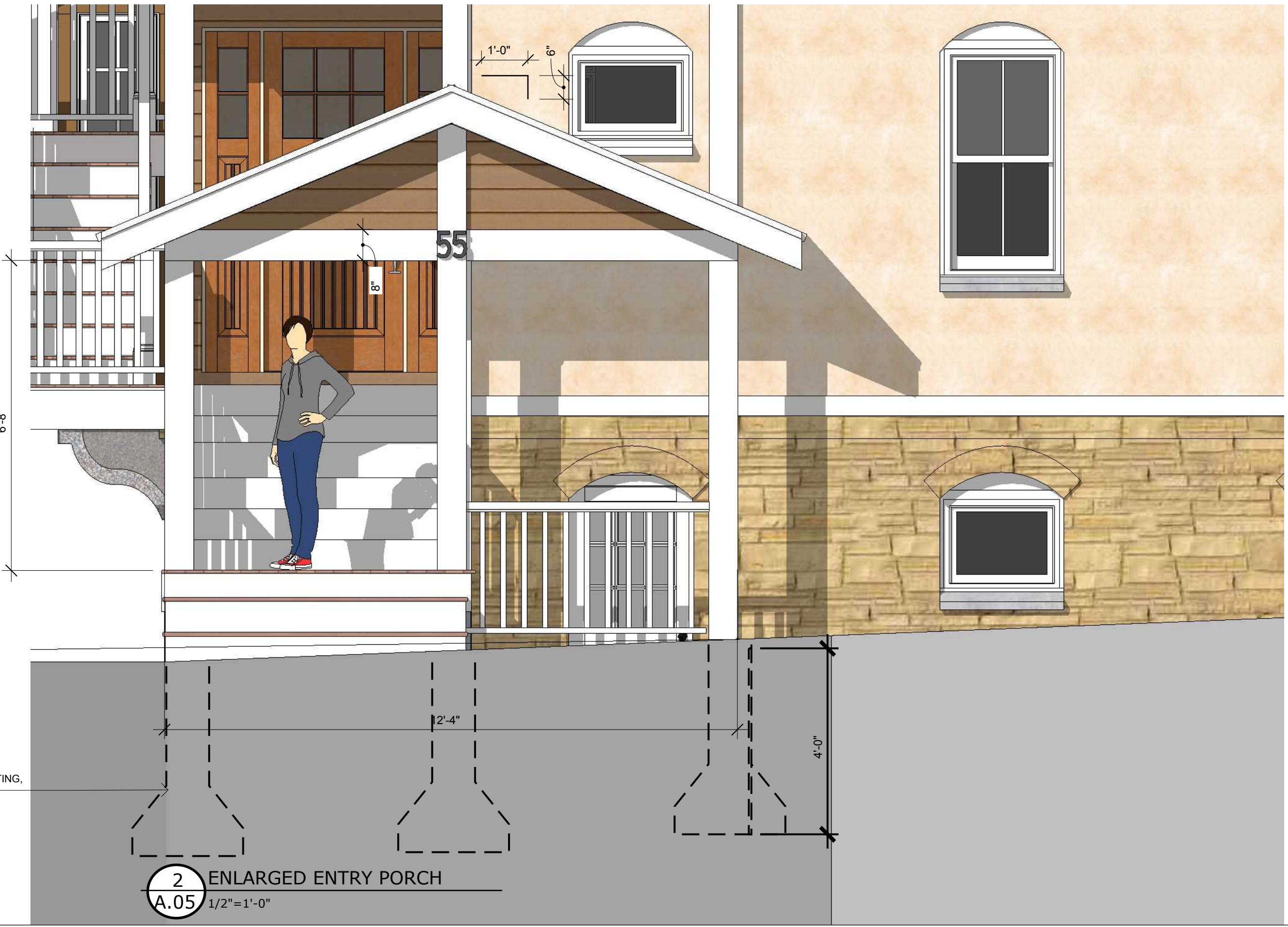


**3 ENLARGED SIDE ENTRY ELEVATION**  
1/2"=1'-0"

**TYPICAL RAILING AND DECK**  
AZEKI TIMBERTECH PRODUCTS:  
PREMIER RAILING SYSTEM, COLOR WHITE  
WITH 6x6 POST SLEEVES, 1x6 BASE AND POST CAPS  
DECKING SHALL BE AZEK VINTAGE COLLECTION, COLOR: MAHOGANY



**1 ENLARGED EXTERIOR -EGRESS STAIRCASE**  
1/2"=1'-0"



**2 ENLARGED ENTRY PORCH**  
1/2"=1'-0"



774-766-0544 jspink1@gmail.com

**Leonard J. Staffa**  
**ARCHITECT**  
5 SEARS ROAD  
MILTON, MA 02186  
617.686.2327  
LENSARCHITECT@CONCAST.NET

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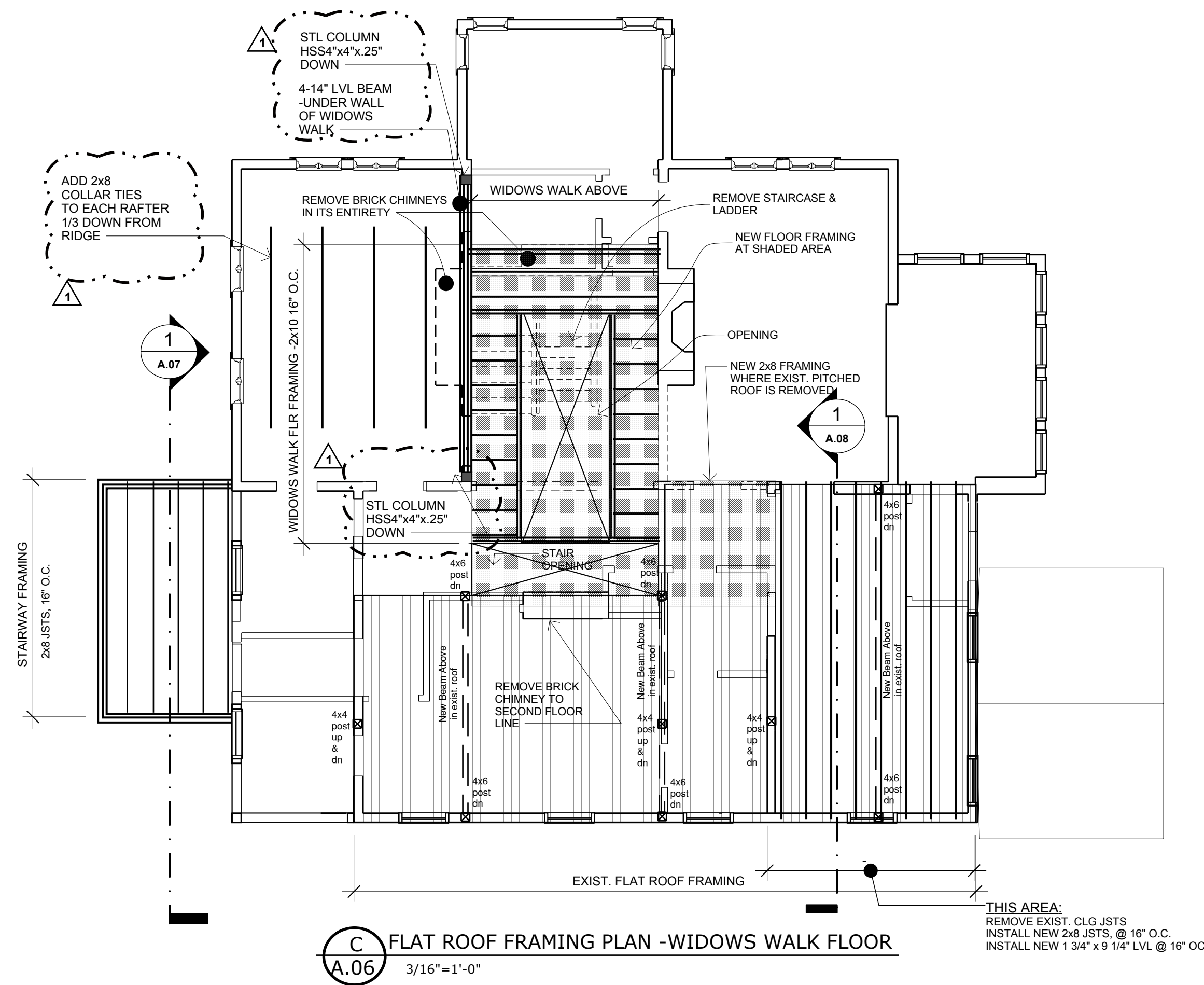
**DRAWN BY**  
LJS

**CLIENT**  
**189 Gramplan Way LLC**  
189 Gramplan Way  
Savin Hill  
Boston, MA

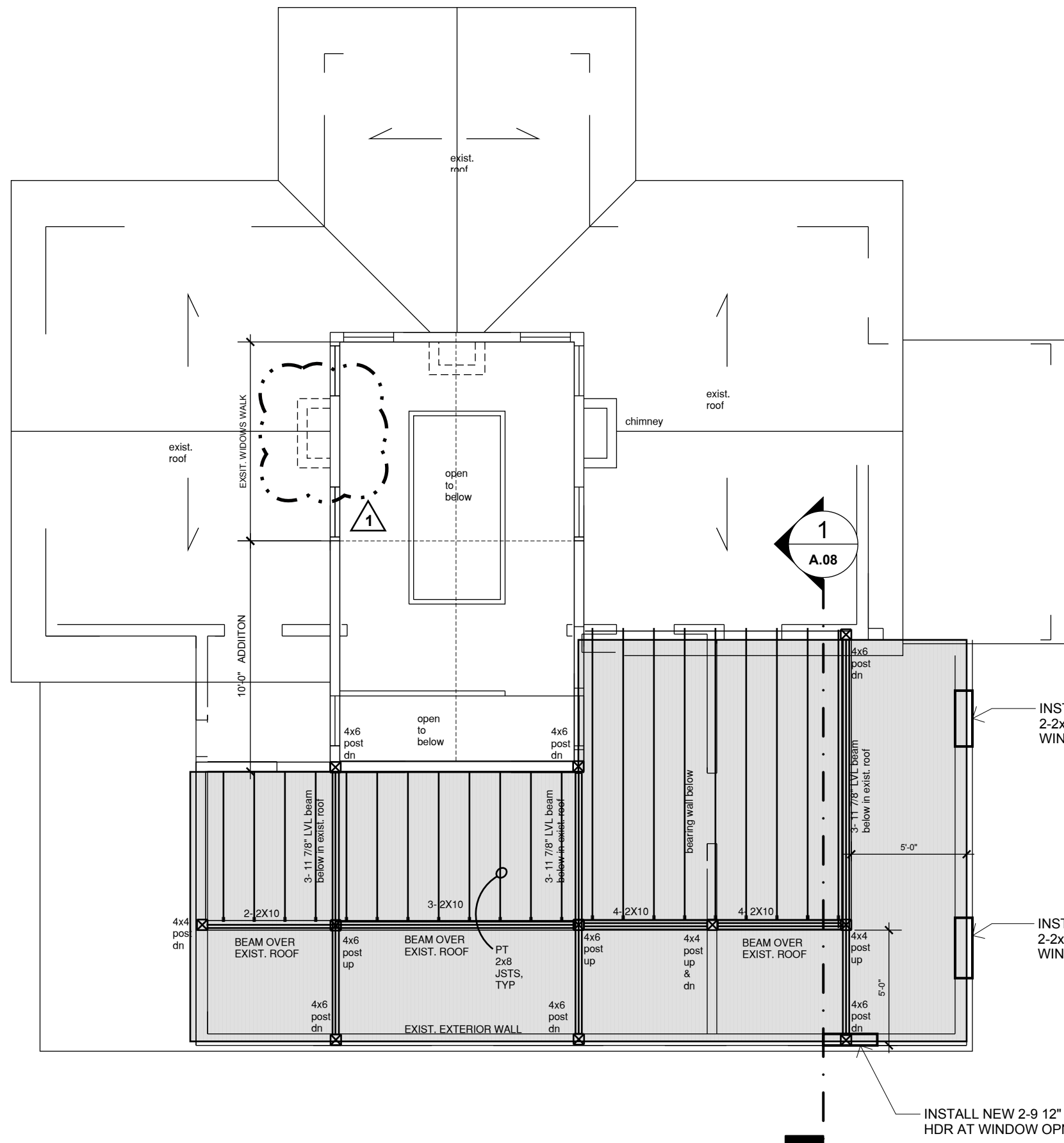


**ENLARGED ELEVATIONS**

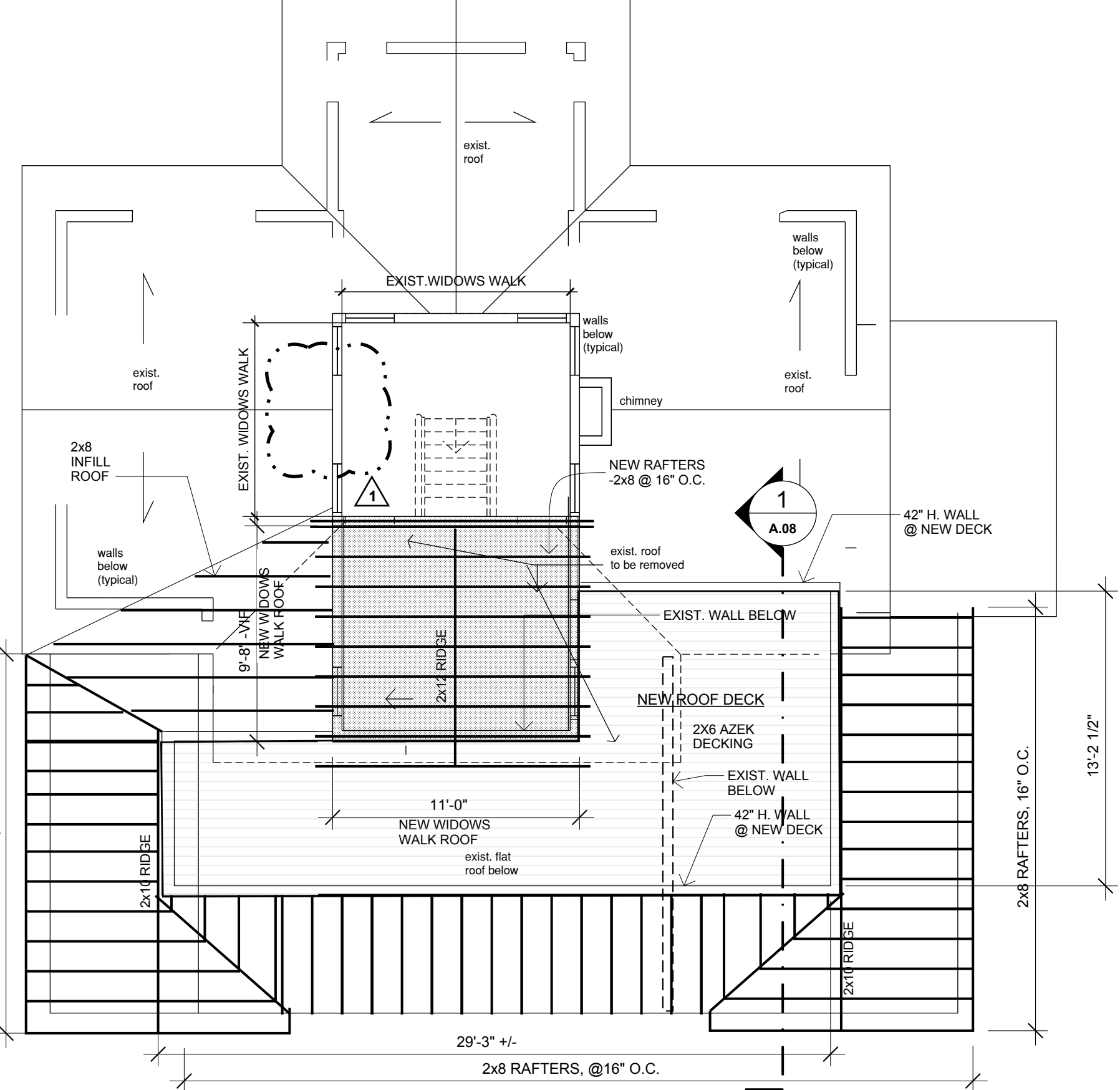
**A.05**



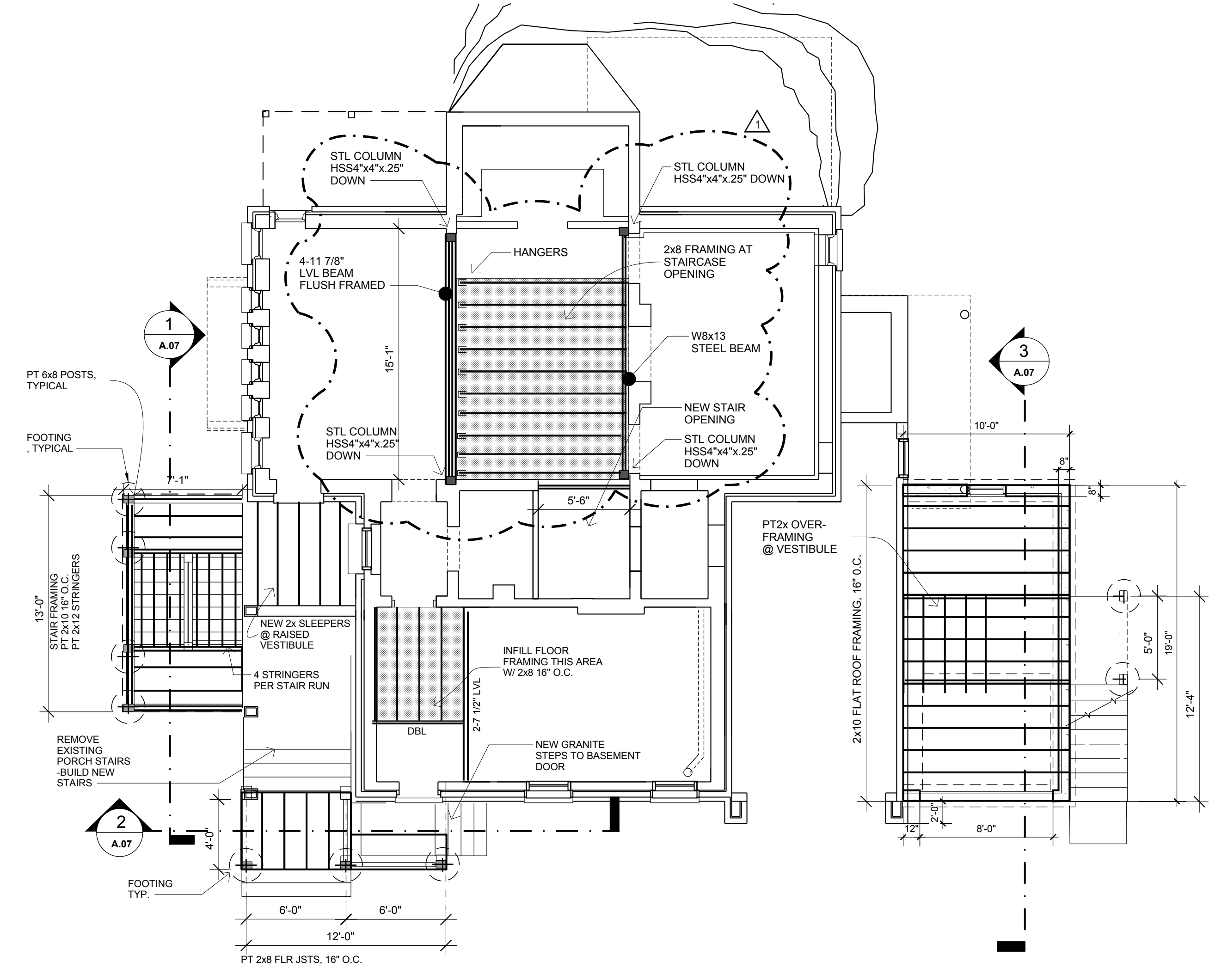
**C** FLAT ROOF FRAMING PLAN -WIDOWS WALK FLOOR  
A.06 3/16"=1'-0"



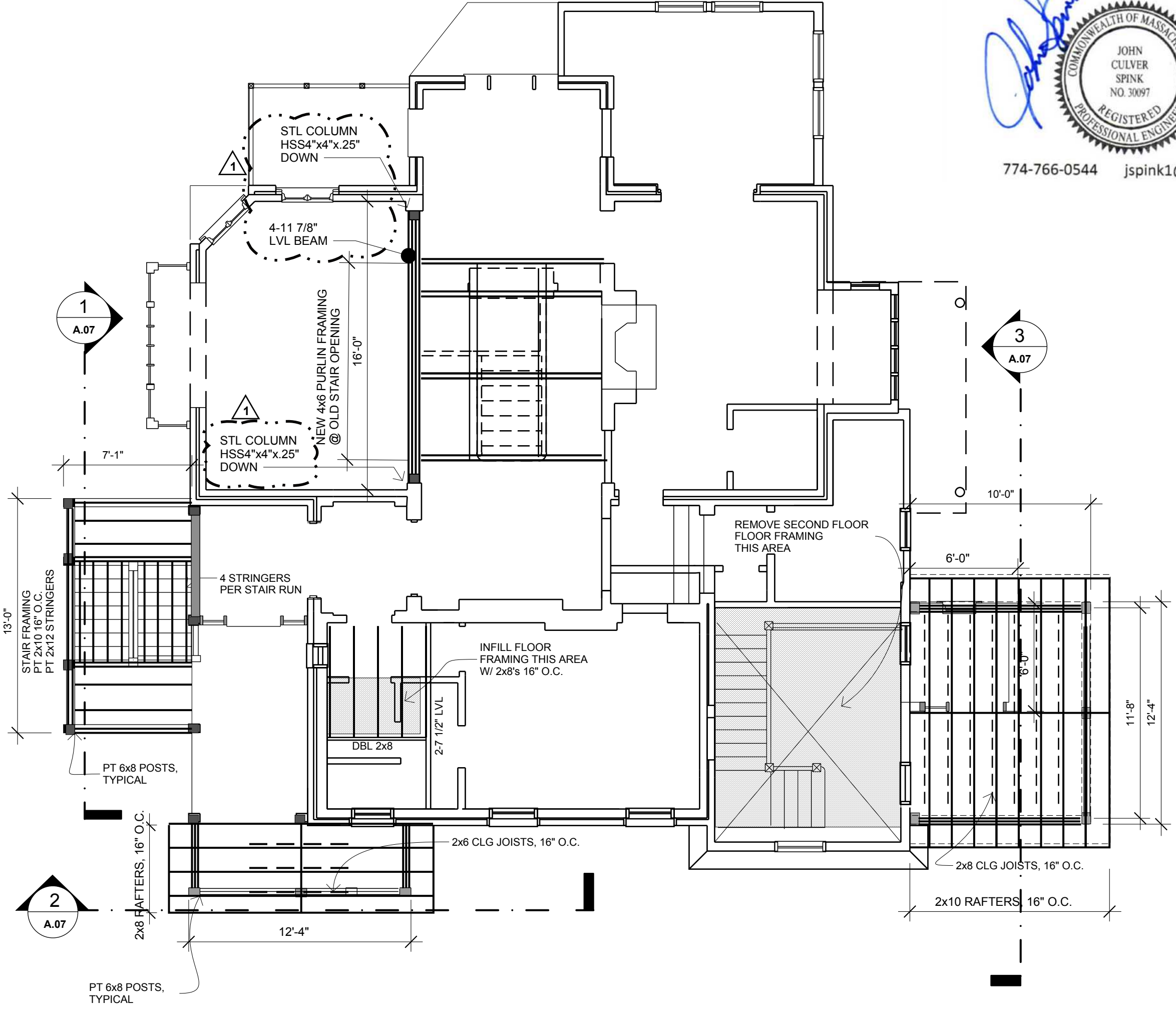
**D** NEW ROOF DECK FLOOR FRAMING  
A.06 3/16"=1'-0"



**E** WIDOWS WALK ROOF FRAMING PLAN & NEW ROOF OVER-FRAMING  
A.06 3/16"=1'-0"



**A** FIRST FLOOR FRAMING PLAN  
A.06 3/16"=1'-0"



**B** SECOND FLOOR FRAMING PLAN  
A.06 3/16"=1'-0"



774-766-0544 jspink1@gmail.com

**Leonard J. Staffa**  
**ARCHITECT**  
5 SEARS ROAD  
MILTON, MA 02186  
617.686.2327  
LENSARCHITECT@CONCAST.NET

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189 Gramplan Way  
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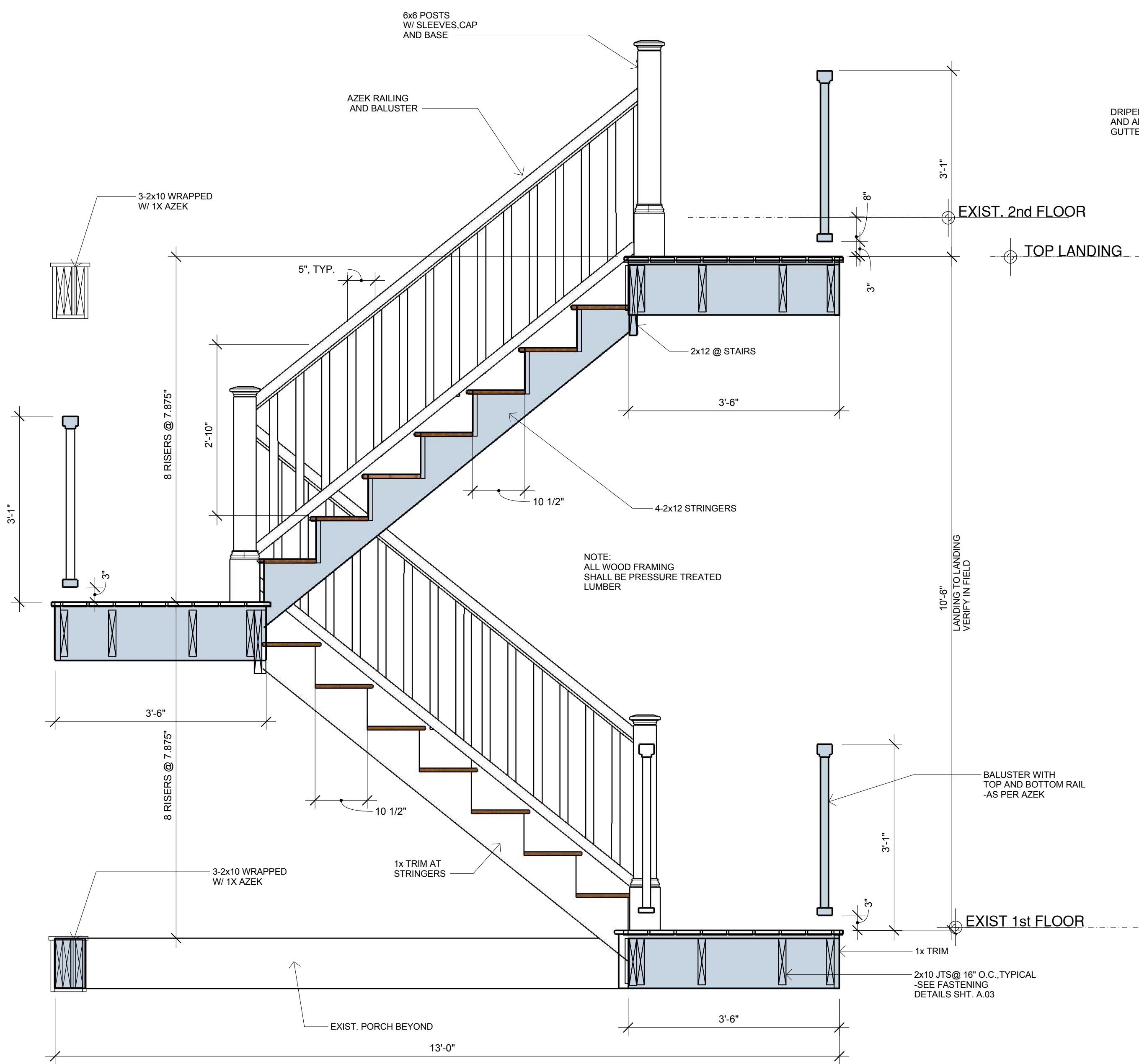


**ENGINEER:**  
John Spink, P.E.  
STRUCTURAL ENGINEER  
P.E., MA 30097

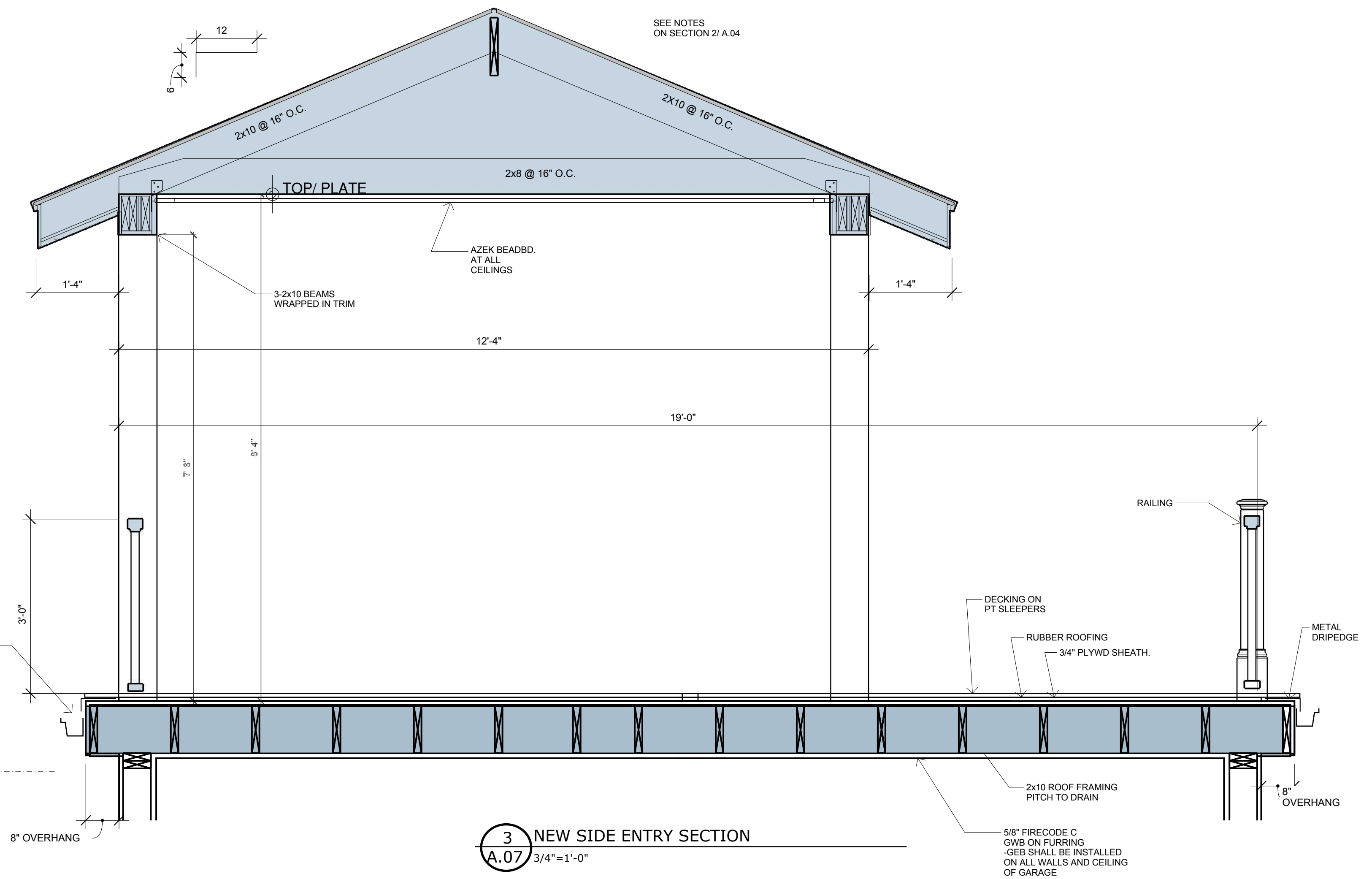
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jspink@coneco.com

**FRAMING PLANS**

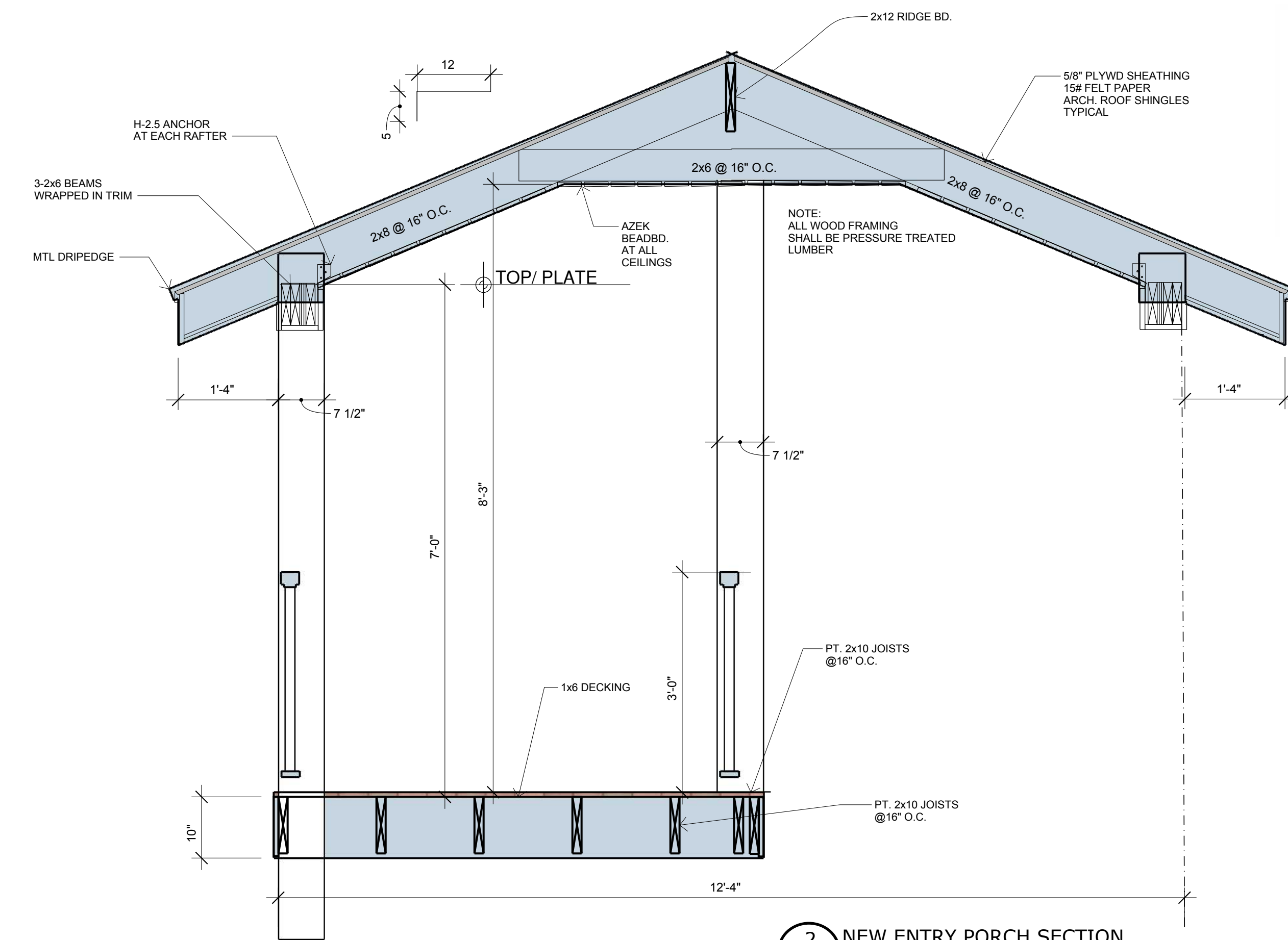
**A.06**



**1** EGRESS STAIR SECTION  
A.07 3/4"=1'-0"



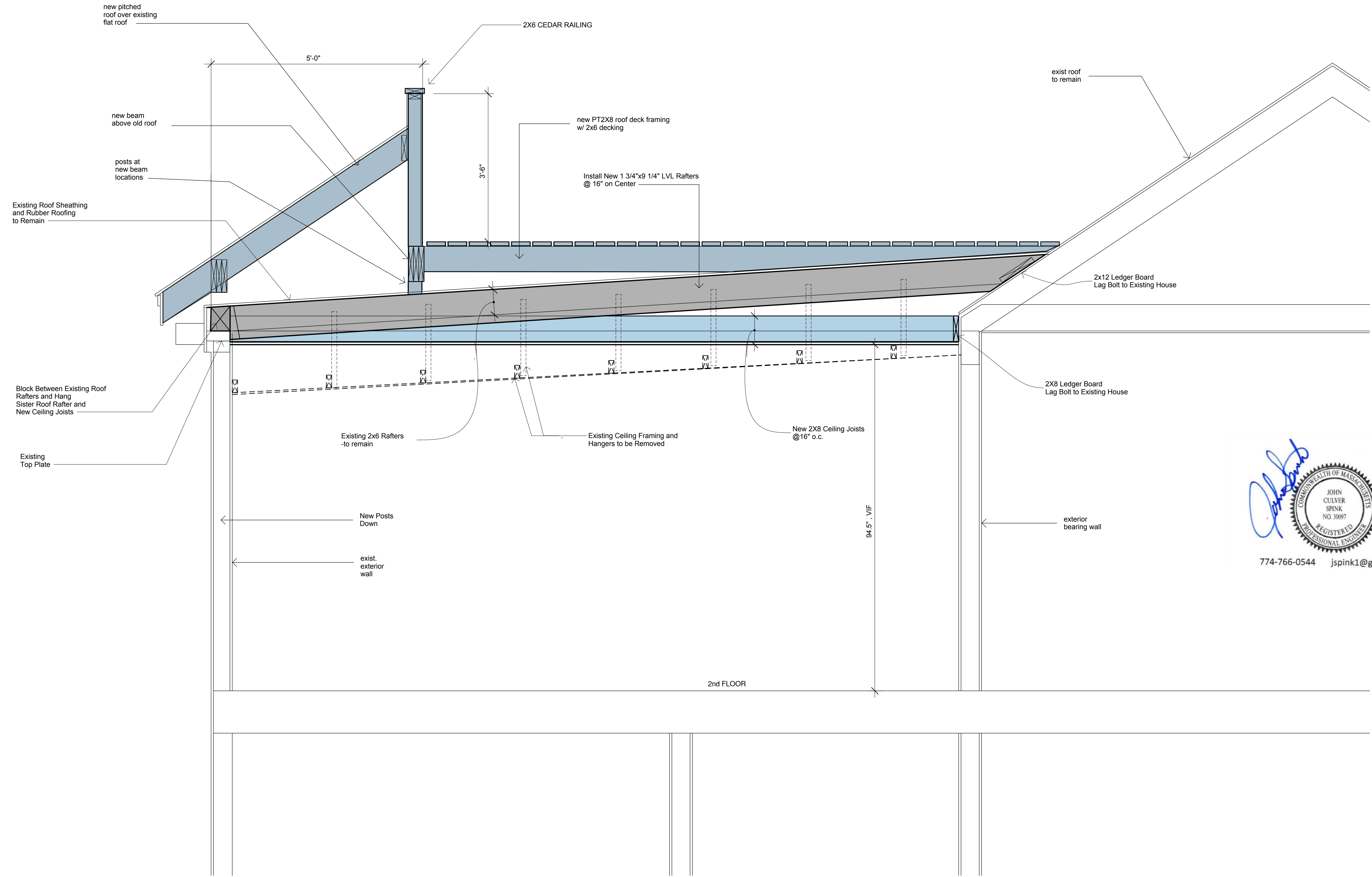
**3** NEW SIDE ENTRY SECTION  
A.07 3/4"=1'-0"



**2** NEW ENTRY PORCH SECTION  
A.07 3/4"=1'-0"

*John Spink*  
 COMMONWEALTH OF MASSACHUSETTS  
 JOHN SPINK  
 NO. 30097  
 REGISTERED PROFESSIONAL ENGINEER  
 774-766-0544 jspink1@gmail.com





  
 774-766-0544    jspink1@gmail.com

**1** SCHEMATIC SECTION at ROOF DECK  
 A.08    3/4" = 1'-0"

**Leonard J. Staffa**  
**ARCHITECT**  
 5 SEARS ROAD  
 MILTON, MA 02186  
 617.696.2327  
 LENSARCHITECT@CONCAST.NET

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 PROJECT: Gramplan CD  
 ISSUE: 01/16/2020  
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**ADDENDUM 2**  
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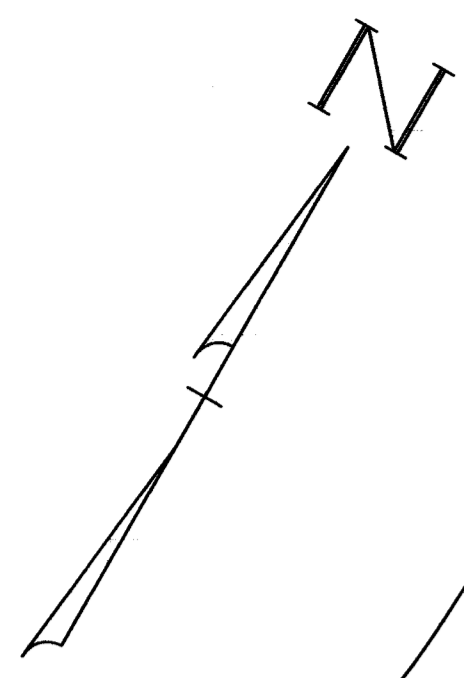


**ENGINEER:**  
 John Spink, P.E.  
 STRUCTURAL ENGINEER  
 P.E., MA 30097  
 774-766-6544  
 jspink@coneco.com

**ROOF DECK**  
**SECTION**

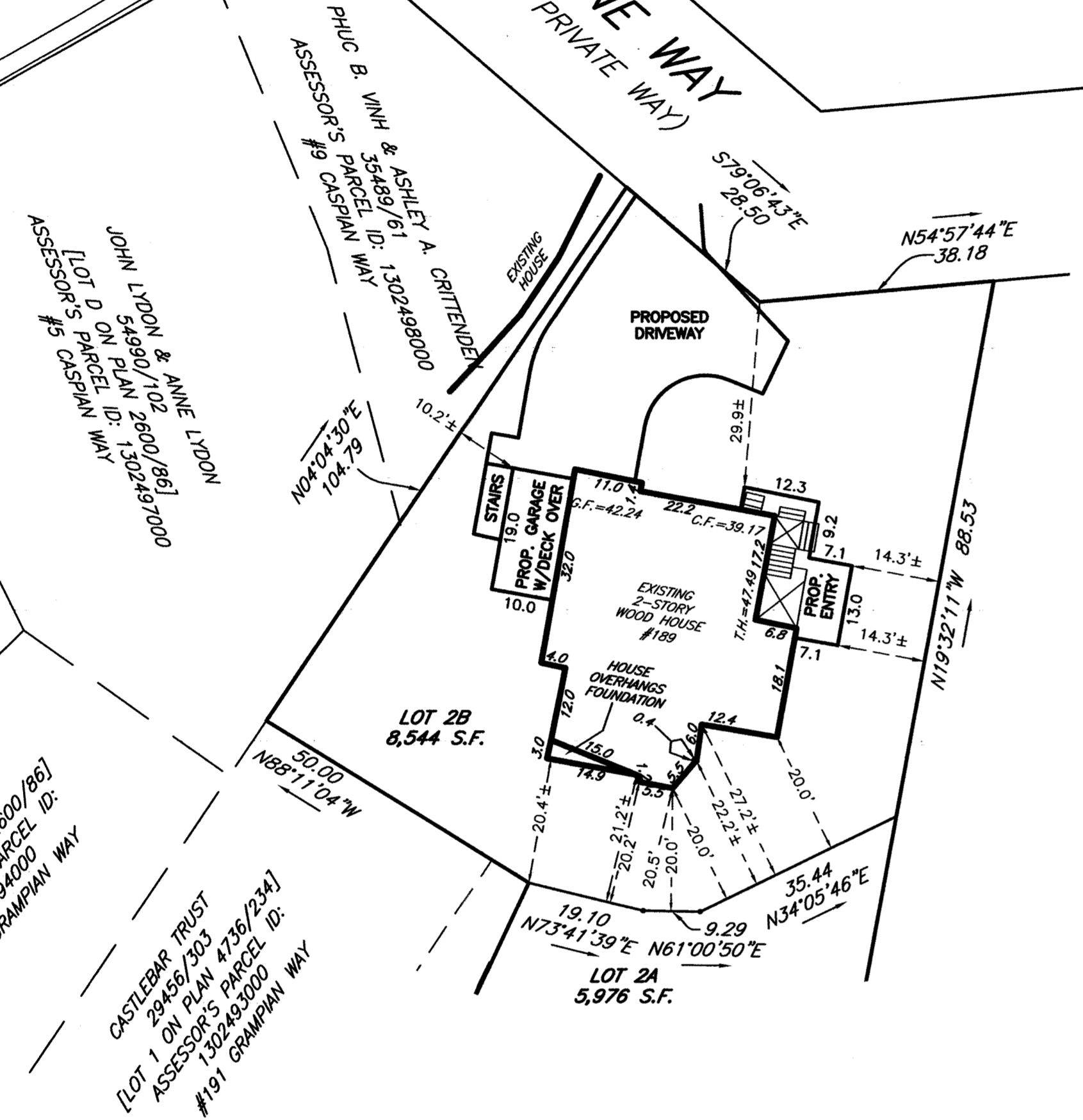
**A.08**





CASPIAN WAY  
PUBLIC

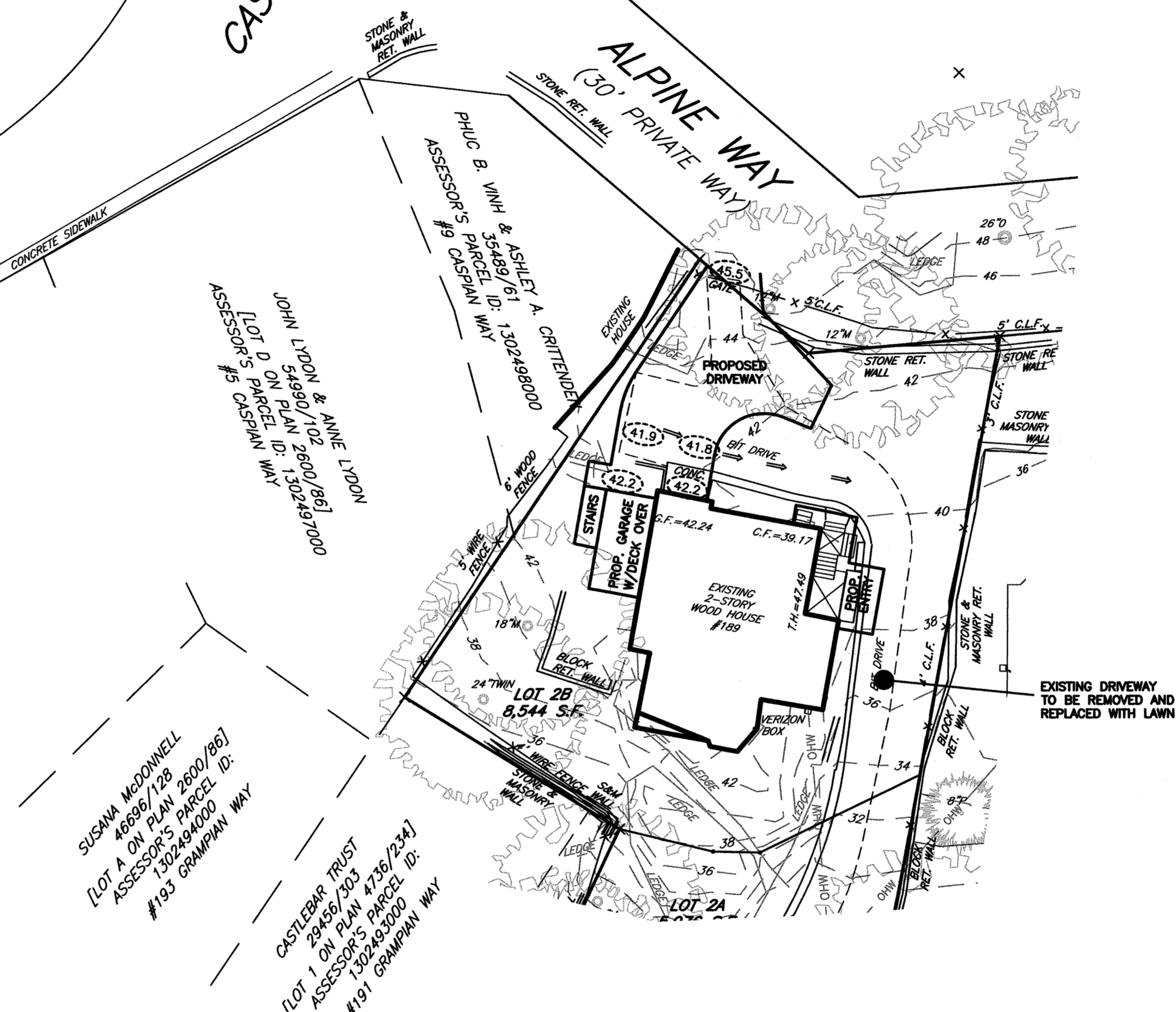
ALPINE WAY  
(30' PRIVATE WAY)



LAYOUT PLAN  
SCALE: 1"=20'

CASPIAN WAY  
PUBLIC

ALPINE WAY  
(30' PRIVATE WAY)



SITE PLAN  
SCALE: 1"=20'

LEGEND

- VERTICAL GRANITE CURB = VGC
- EDGE PAVEMENT = EP
- OVERHEAD WIRES = OHW
- CHAIN LINK FENCE = X
- EXISTING CONTOUR = -24-
- 1' SQUARE GRANITE POST = □ GP
- UTILITY POLE = ○
- LIGHT POLE = ⊙
- GAS GATE = ⊗
- WATER SHUTOFF = ⊕
- WATER GATE = ⊖
- FIRE HYDRANT = ⊛
- ELECTRIC HANDHOLE = ⊚
- DRAIN MANHOLE = ⊙
- CATCH BASIN = ⊙
- SEWER MANHOLE = ⊙
- EXISTING SPOT GRADE = x 23.18

TREE TYPES

- S - SPRUCE
- M - MAPLE
- P - PINE
- T - UNKNOWN
- B - BIRCH
- O - OAK

ZONING TABLE			
ZONE	2F-5000		
DIMENSIONAL CONTROLS	REQUIRED/ALLOWED	EXISTING	PROPOSED
MIN. LOT AREA	5,000 S.F.	8,544 S.F.	8,544 S.F.
LOT FRONTAGE	40 ft.	66.68 ft.	66.68 ft.
FRONT SETBACK	15 ft.	32.48 ft.	29.9 ft.
SIDE SETBACK	10 ft.	21.27 ft. EAST 18.78 ft. WEST	14.3 ft. EAST 10.2 ft. WEST
REAR SETBACK	20 ft.	21.30 ft. *	21.30 ft. *
BUILDING HEIGHT	35 ft.	mean hgt to exist. gable 28'-3"± mean hgt to exist. Widow's Walk 34'-6"±	mean hgt to exist. gable 28'-3"± mean hgt to Widow's Walk Addition 34'-6"±
F.A.R.	(8,544 S.F.)x(50%)=4,272 S.F.	Basement: 196 S.F. 1st Flr: 1,621 S.F. 2nd Flr: 1,529 S.F. Roof/Widow's Walk: 104 S.F. Total = 3,450 S.F.	Basement: 792 S.F. 1st Flr: 1,584 S.F. 2nd Flr: 1,529 S.F. Roof/Widow's Walk: 209 S.F. Total = 4,114 S.F.
MIN. RATIO OF USEABLE OPEN SPACE	750 S.F. PER UNIT=1,500 S.F.	8,544 S.F.-1,678 S.F. = 6,866 S.F. OPEN SPACE	8,544 S.F.-2,923 S.F. = 5,621 S.F. OPEN SPACE

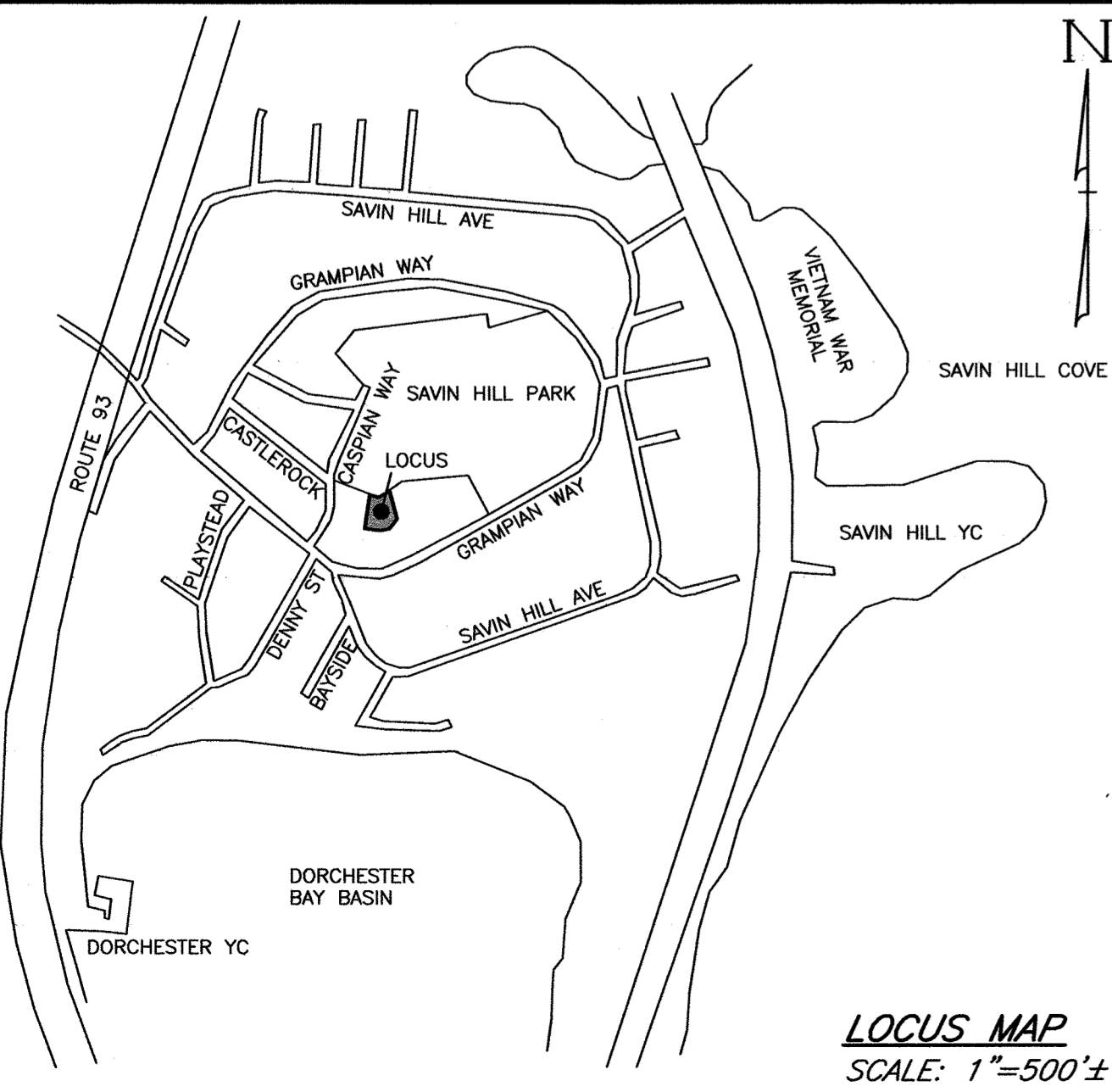
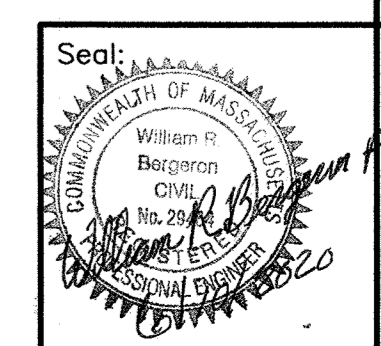
INFORMATION IN THE ZONING TABLE PROVIDED BY OTHERS.  
\* - SEE NOTE #5

NOTES:

- ACCORDING TO A PLAN ENTITLED "PLAN OF LAND IN BOSTON, MA" DATED MARCH 22, 1988 BY CASPIAN ENGINEERING CO. RECORDED AS PLAN 15178/214 IN THE SUFFOLK REGISTRY OF DEEDS ALPINE WAY IS A 30 FOOT WIDE PRIVATE UNDEVELOPED RIGHT OF WAY.
- THE CITY OF BOSTON PARK DEPARTMENT RECORD PLAN 3003M FOR SAVIN HILL PARK DATED AUGUST 1909 INDICATES ALPINE WAY IS A 30 FOOT WIDE RIGHT OF WAY.
- A SITE INSPECTION BY HAYES ENGINEERING, INC. PERSONNEL ON MARCH 6, 2017 CONFIRMED THAT THERE WERE NO GATES OR OBSTRUCTIONS ON ALPINE WAY PREVENTING ACCESS BETWEEN GRAMPAN WAY AND CASPIAN WAY. IT WAS ALSO NOTED THAT MOTORIZED VEHICLES HAVE USED THE WAY.
- LOT LINES SHOWN ARE COMPILED FROM VARIOUS PLANS, DEEDS, AND OCCUPATION AND BASED UPON AN ON GROUND SURVEY BY HAYES ENGINEERING, INC. PERFORMED BETWEEN SEPTEMBER 1, 2016 AND AUGUST 27, 2019.
- THE AVERAGE REAR LOT LINE DISTANCE FOR LOT 2B IS GREATER THAN 20 FEET. THE AVERAGE VALUE OF THE REAR SETBACK DIMENSIONS DEPICTED ON THE PROPOSED PLAN IS 21.30'

DATUM IS NAVD88.

EXISTING IMPERVIOUS AREA = 3,312 S.F.  
PROPOSED IMPERVIOUS AREA = 3,113 S.F.  
TOTAL REDUCTION IN IMPERVIOUS AREA = 199 S.F.



LOCUS MAP  
SCALE: 1"=500'±

Prepared For:

Owner / Applicant  
189 Grampian Way LLC  
189 Grampian Way  
Boston, MA 02125

Prepared By:  
Hayes Engineering, Inc.  
603 Salem Street  
Wakefield, MA 01880  
Ph: 781.246.2800  
Fax: 781.246.7596  
www.hayeseng.com

Design By: WRB  
Drawn By: EBL  
Checked By: WRB  
Project File: BOS-0140  
Comp. No: BOS70  
 Issued For Permit  
 Issued For Review  
 Issued For Bid  
 Issued For Construction  
 Not For Construction

No.	Revision	Date
1	6-9-2020	

Scale: 1"=20'  
0' 10' 20' 40'

Date: January 16, 2020

Drawing Title:  
SITE PLAN  
#55 ALPINE WAY  
A PORTION OF PARCEL ID 1302492000  
MASS.  
BOSTON,

Drawing No.:



WEST ELEVATION  
1/4"=1'-0"



SOUTH ELEVATION  
1/4"=1'-0"



EAST ELEVATION  
1/4"=1'-0"



NORTH ELEVATION- Front -facing Alpine Way  
1/4"=1'-0"

Leonard J. Staffa  
**ARCHITECT**  
5 SEARS ROAD  
MILTON, MA 02186  
617.696.2327  
LENSARCHITECT@CONCAST.NET

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LJS

**CLIENT**  
**189 Gramplan**  
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**EXISTING**  
**ELEVATIONS**

**EC.1**