



Kim Janey
Mayor

Boston Inspectional Services Department

Planning and Zoning Division

1010 Massachusetts Avenue, 5th Floor, Boston, MA 02118 Telephone: (617) 635-5300

Marc Joseph
Inspector of Buildings

MORE INFORMATION REQUEST LETTER

June 11, 2021

ROSA DESIGN AND CONSTRUCTION LLC
17 REVERE STREET UNIT 1
MILTON, MA 02186

RE: Application #: **ALT1192549**
Location: 60 Mather ST, Ward 17
Zoning District: Dorchester Neighborhood, 2F-5000
Purpose: Confirm occupancy as a single family and change occupancy to a two family. As of right extension of living space to change occupancy from single family to two family dwelling per plans.
eplan

The following information shall be provided to Inspectional Services Department to complete the Building Permit Plan Review:

1. City Agencies' Approvals:

- Boston Planning and Development Agency: Two Sets of Approved Drawings: 1 electronic copy. NDOD

2. Additional Information/Comments:

- The applicant shall e-mail ISDPZReview@boston.gov copying Jordi.segalesperez@boston.gov after uploading all the requested information and obtaining all the necessary approvals (if requested). Please don't email until everything requested here is ready. We don't do partial reviews to be more efficient. If you have any questions, the best way to reach me is through email.

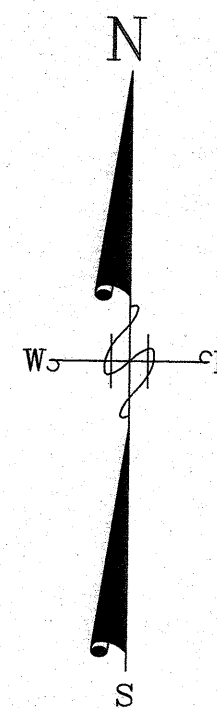
All construction documents shall be organized in two sets, submitted together (no partial information will be accepted), and dropped off at Inspectional Services Department with the above referenced application number or re-uploaded on the portal if it is an ePlan application. More information may be required. Please be advised that the time limitation of your application shall be 180 days, otherwise it shall be deemed abandoned per 780 CMR. Thank you for your assistance.

Jordi Segales-Perez, Plans Examiner
jordi.segalesperez@boston.gov / (617) 961-3280

ZONING

ZONE	2F-5000
MIN LOT AREA	5000 SF
FRONTAGE	40
LOT WIDTH	40
F.A.R.	0.5
FRONT YARD	15
SIDE YARD	10
REAR YARD	20

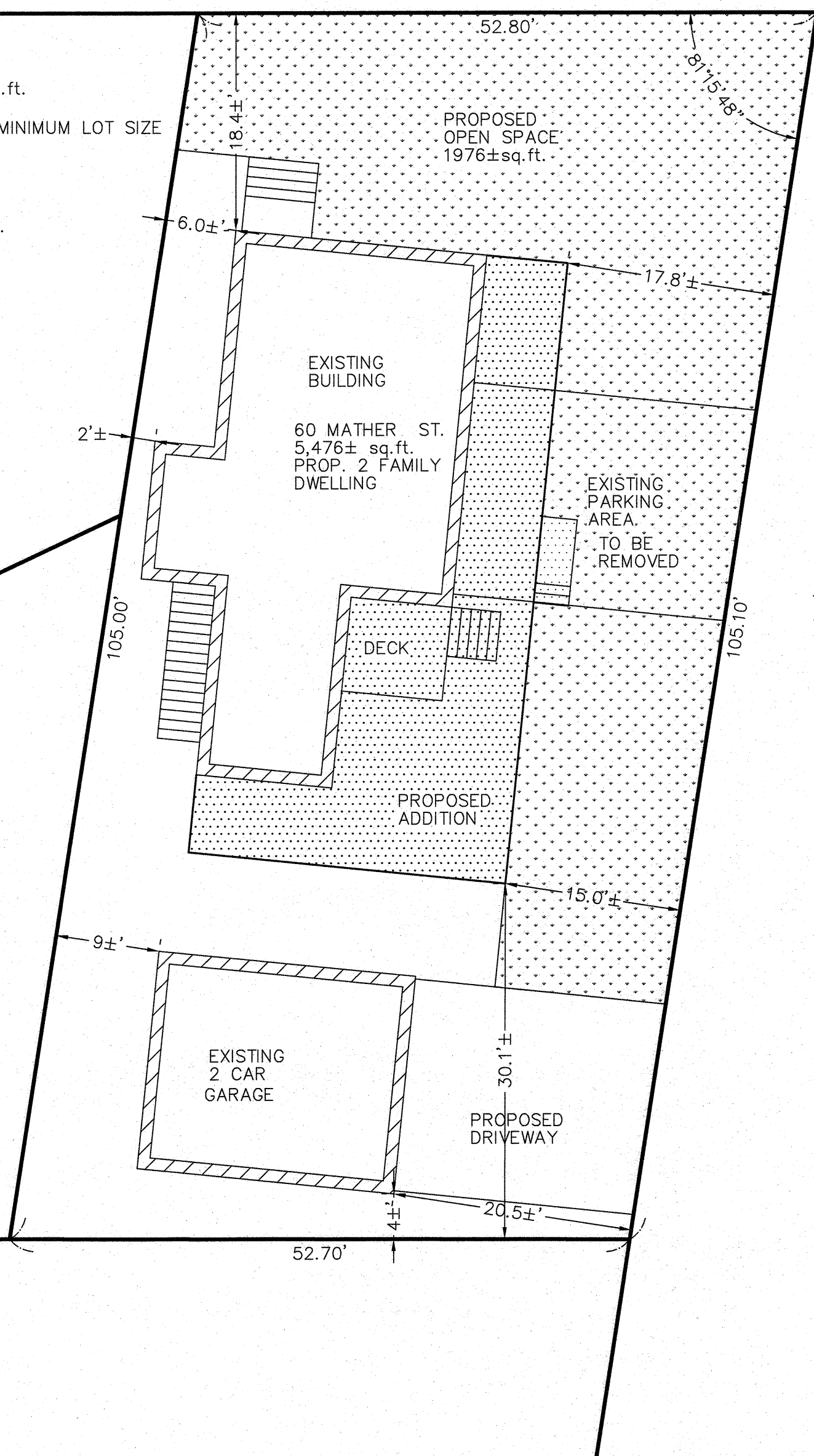
MATHER STREET
(40' R.O.W.)



OPEN SPACE CALCULATION
REQUIRED.
750 PER UNIT X 2 UNITS =1500 sq.ft.

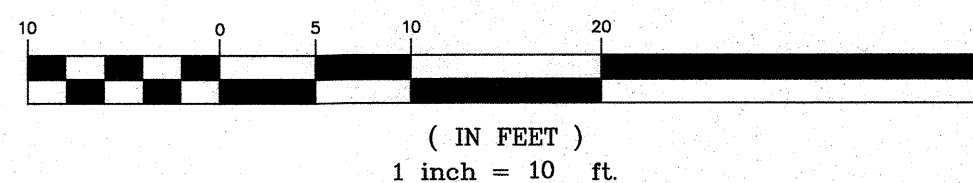
1500 sq.ft. + 25% OF AREA OVER MINIMUM LOT SIZE
5476-5000=476 X 25% =119 sq.ft

MINIMUM OPEN SPACE REQUIRED:
1500+119=1619 sq.ft.
OPEN SPACE PROVIDED 1976± sq.ft.



MATHER COURT
(20' R.O.W.)

GRAPHIC SCALE



Leonard Joseph Bouffard
 LEONARD JOSEPH BOUFFARD P.L.S.
 PROFESSIONAL LAND SURVEYOR
 COMMONWEALTH OF MASSACHUSETTS
 LEONARD JOSEPH BOUFFARD
 No. 56160

5-24-21
DATE

PROPOSED SITE PLAN
60 MATHER STREET
DORCHESTER, MA
FOR
KNK LLC

CIVIL ENVIRONMENTAL CONSULTANTS LLC
8 OAK STREET PEABODY, MA 01960 (978)531-1191

SHEET NO: 1 OF 1

DATE 5/11/2021 JOB NO: 4325
DRAWN BY: L.J.B.

LIVING SPACE ADDITION - C.O.O SINGLE FAMILY TO TWO FAMILY DWELLING

60 MATHER STREET, DORCHESTER MA 02124

LOCATION MAP



<http://maps.bostonredevelopmentauthority.org/zoningviewer/>

ZONING

ZONING DISTRICT : DORCHESTER NEIGHBORHOOD
 ZONING SUBDISTRICT : 2F-5000
 SUBDISTRICT TYPE : TWO-FAMILY RESIDENTIAL
 OVERLAYS: NEIGHBORHOOD DESIGN
 MAP NO. : 5A-5B
 ARTICLE : 65 (TABLE)

ASSESSOR'S REPORT

PARCEL ID: 1700800000
 PROPERTY TYPE: ONE FAMILY
 CLASSIFICATION CODE: 0101 (RESIDENTIAL PROPERTY / SINGLE FAM DWELLING)
 LOT SIZE: 5,476 SQ FT

INDEX

- A-0.0 COVER SHEET
- B-1.0 EXISTING CONDITIONS (BASEMENT / FIRST FLOOR PLAN)
- B-1.1 EXISTING CONDITIONS (ATTIC / ROOF FLOOR PLAN)
- B-2.0 EXISTING CONDITIONS (FRONT / LEFT / RIGHT / REAR ELEVATION)
- A-1.0 PROPOSED CONDITIONS (BASEMENT)
- A-1.1 PROPOSED CONDITIONS (FIRST/SECOND UNIT FLOOR PLANS)
- A-1.2 PROPOSED CONDITIONS (ROOF PLAN)
- A-2.0 PROPOSED CONDITIONS (FRONT / LEFT / RIGHT / REAR ELEVATION)
- S-0.0 CONSTRUCTION DETAILS (NOTES)
- S-1.0 CONSTRUCTION DETAILS (FOUNDATION PLAN)
- S-1.1 CONSTRUCTION DETAILS (FIRST FLOOR FRAMING PLAN)
- S-1.2 CONSTRUCTION DETAILS (SECOND FLOOR/ROOF FRAMING PLAN)
- S-1.3 CONSTRUCTION DETAILS (SECTION DETAILS)
- S-1.4 CONSTRUCTION DETAILS

GENERAL SYMBOLS

ROOM NAME	ROOM TAG
	BREAK LINE
	WINDOW
	DOOR
	OBJECT ABOVE OR BELOW
	COMBO - EXHAUST LIGHT
	COMBO - SMOKE, CO DETECTORS
	HEAT DETECTOR
	SMOKE DETECTOR

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE LATEST EDITION OF THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
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- TAKE FIELD MEASUREMENTS BEFORE FABRICATION WORK TO ENSURE THAT COMPONENTS FIT TOGETHER PROPERLY.

TABLE C - Dorchester Neighborhood District - Residential Subdistricts - Dimensional Regulations Two-Family Residential Subdistrict

	Lot area, Minimum for Dwell. Unit(s) Specified (Sq.Ft.)	Additional Lot Area for Ea. Addit'l Dwell. Unit (Sq.Ft.)	Lot Width Minimum (Feet)	Lot Frontage Minimum (Feet)	Floor Area Ratio Maximum	Building Height Maximum		Usable Open Space Minimum Sq. Ft. Per Dwelling Unit (c)	Front Yard Minimum Depth (Feet) (d)	Side Yard Minimum Width (Feet)	Rear Yard Minimum Depth (Feet)	Rear Yard Maximum Occupancy by Accessory Buildings (Percent)
						Stories	Feet					
2F-5,000												
1 Family Detached or Semi-Attached or 2 family Detached	5,000 for 1 or 2 units	N/A	40	40	0.5	2 1/2	35	750	15	10	20	25
Any Other Dwelling or Use	5,000	N/A	50	50	0.5	2 1/2	35	NONE	15	10	30	25
EXISTING	5,476	N/A	52.7	52.8	0.27	2	22.1	4,010	18.4	2	38.2	0
PROPOSED	5,476	N/A	52.7	52.8	0.43	2	22.1	1,728	20.5	15	30.1	0

ROSA DESIGN CONSTRUCTION LLC
 70 WARREN STREET
 SUITE 7, BOSTON MA 02119
 617.953.4356 - INFO@ROSADC.COM

LIVING SPACE ADDITION CHANGE OF OCCUPANCY FROM SINGLE FAMILY TO TWO FAMILY DWELLING
 60 MATHER ST., DORCHESTER MA

LAYOUT BY: ER
 DRAWN: NC
 CHECKED: EBR
 SCALE: AS INDICATED
 DATE: 04/06/2021
 PROJECT NO.: RDC/00598
 REVISIONS: NOTES: DATE:

Douglas D. Wohn, AIA
 Lic. #7039
 240 Heath St., PH-16
 Boston, MA 02130
 Cel: 617-921-6798
 douglasdwohn@gmail.com



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DRAWING TITLE:
COVER SHEET
 SHEET NUMBER:
A-0.0
 PERMIT SET

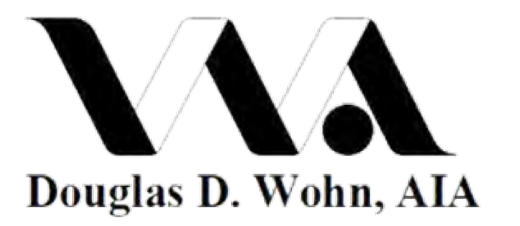


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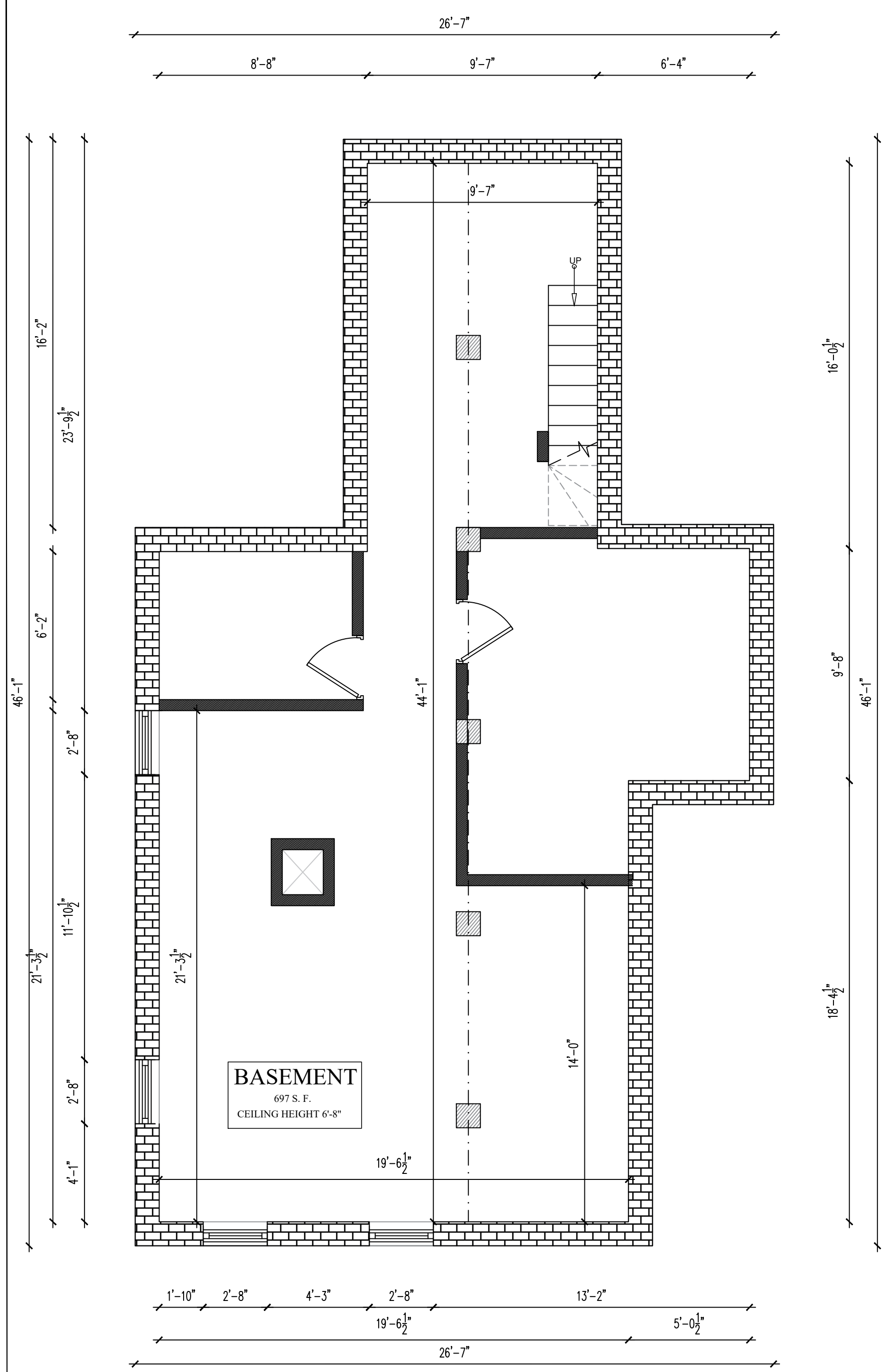


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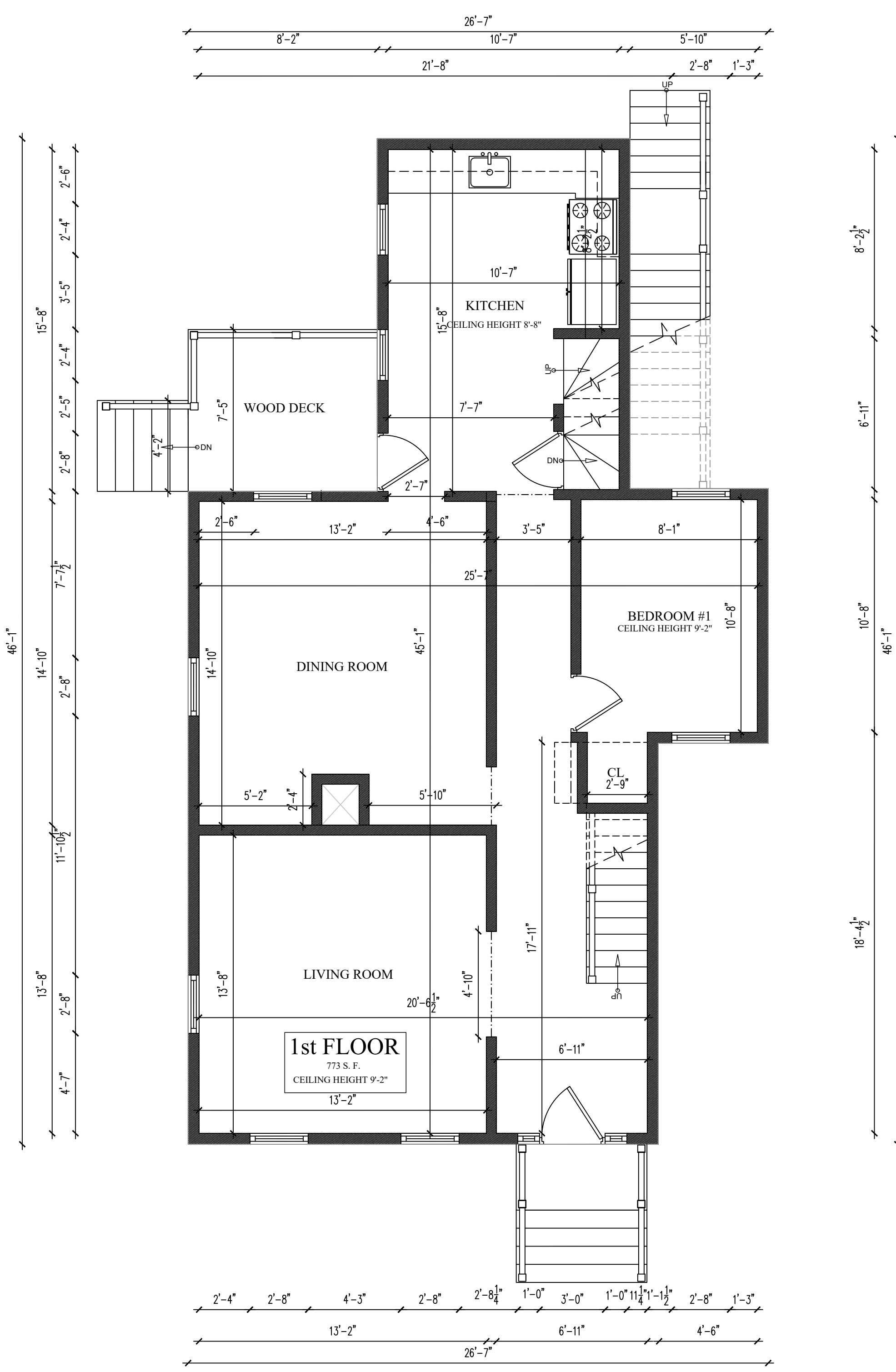
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**EXISTING
CONDITIONS**

SHEET NUMBER:
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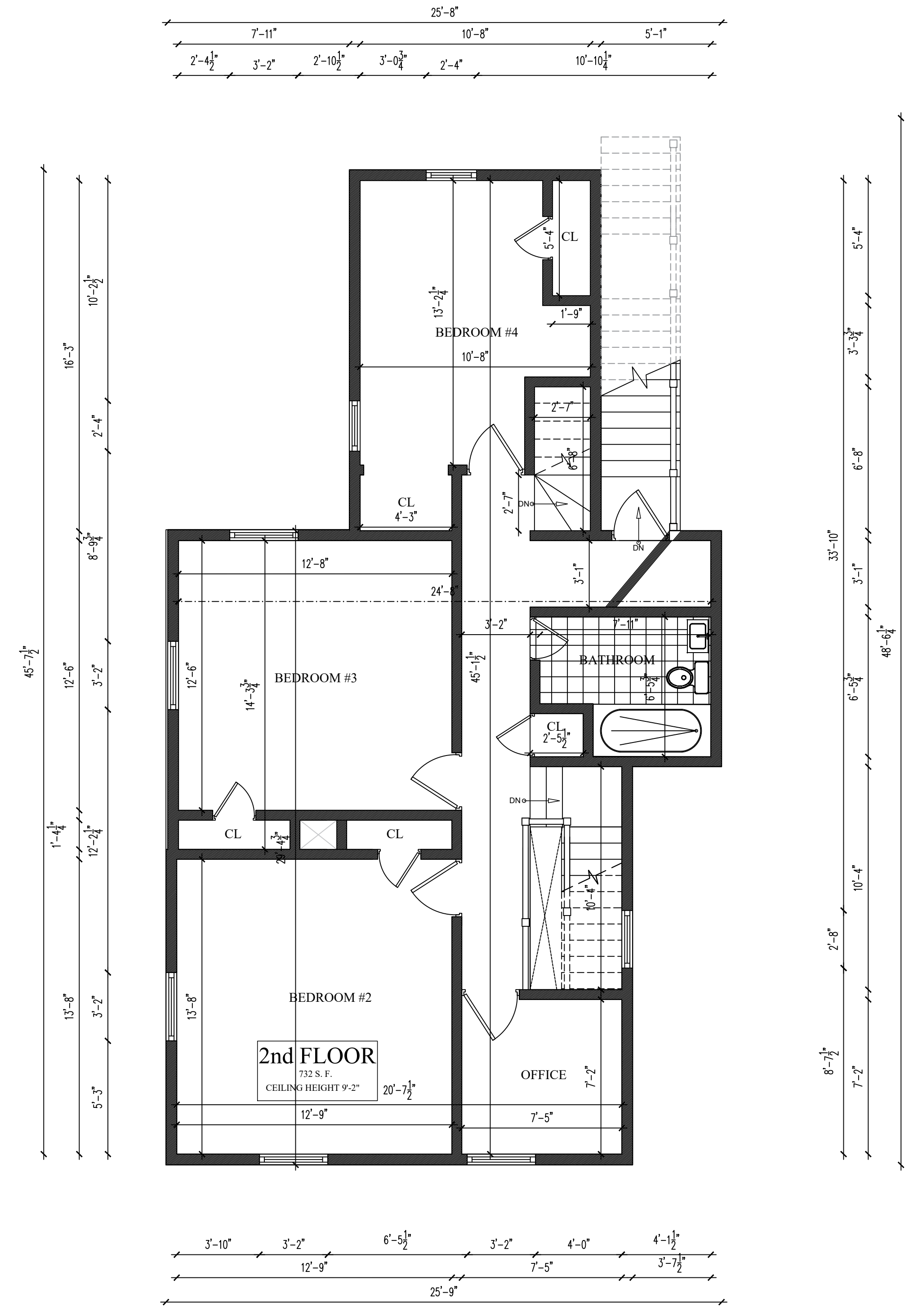
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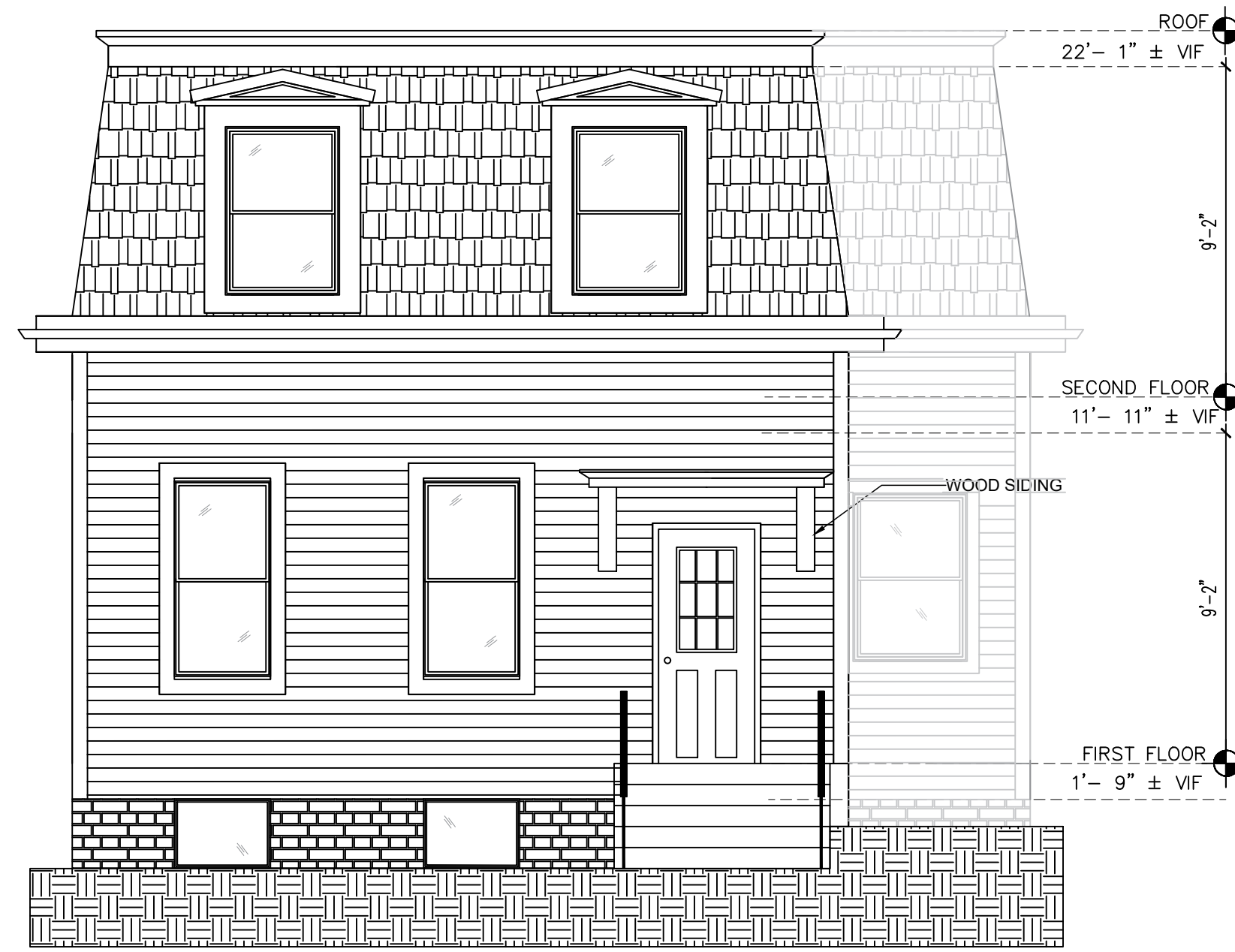
1 **EXISTING BASEMENT FLOOR PLAN**
B-1.0 SCALE: 1/4"=1'-0"



2 **EXISTING FIRST FLOOR PLAN**
B-1.0 SCALE: 1/4"=1'-0"



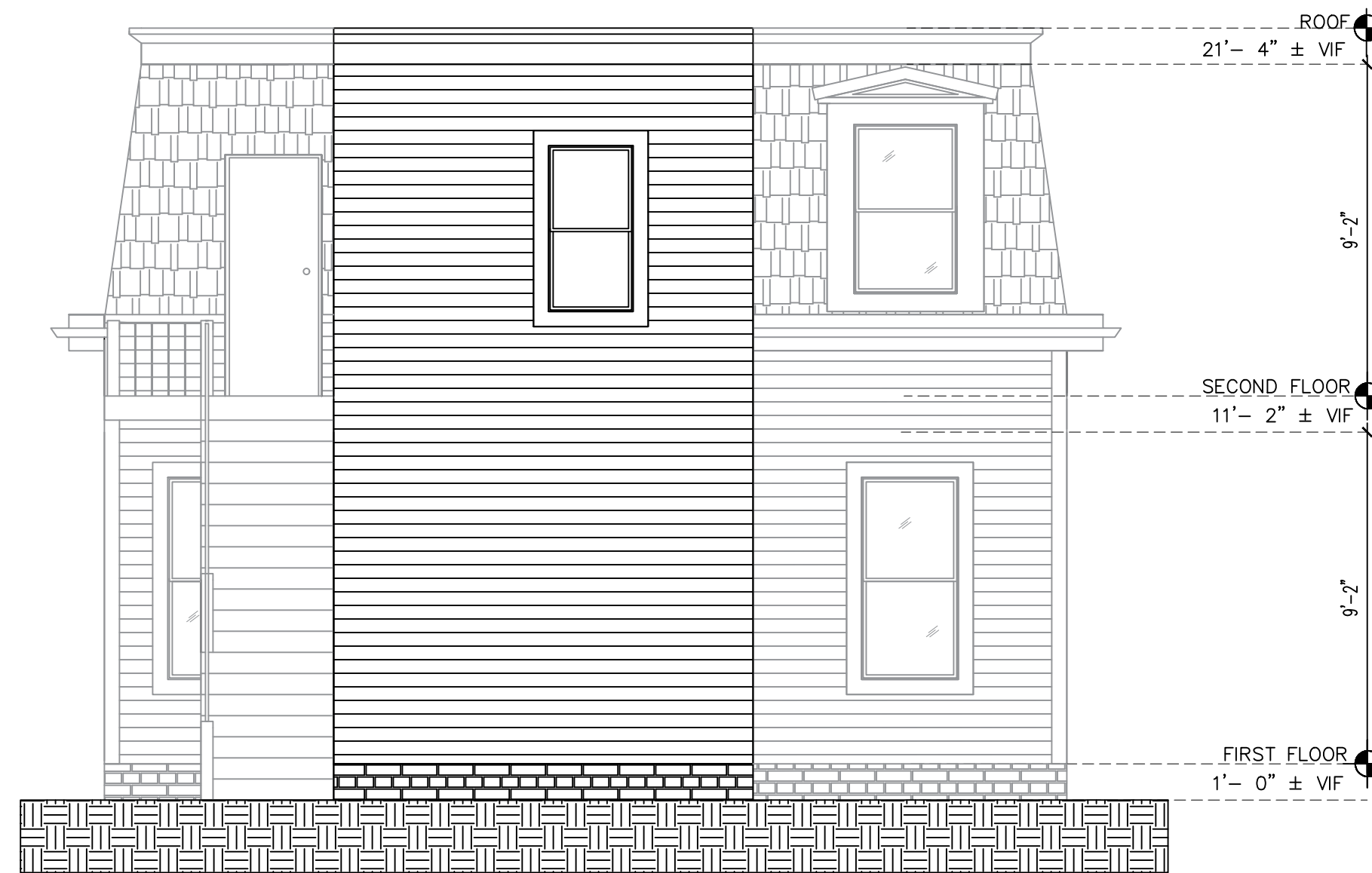
3 **EXISTING SECOND FLOOR PLAN**
B-1.0 SCALE: 1/4"=1'-0"



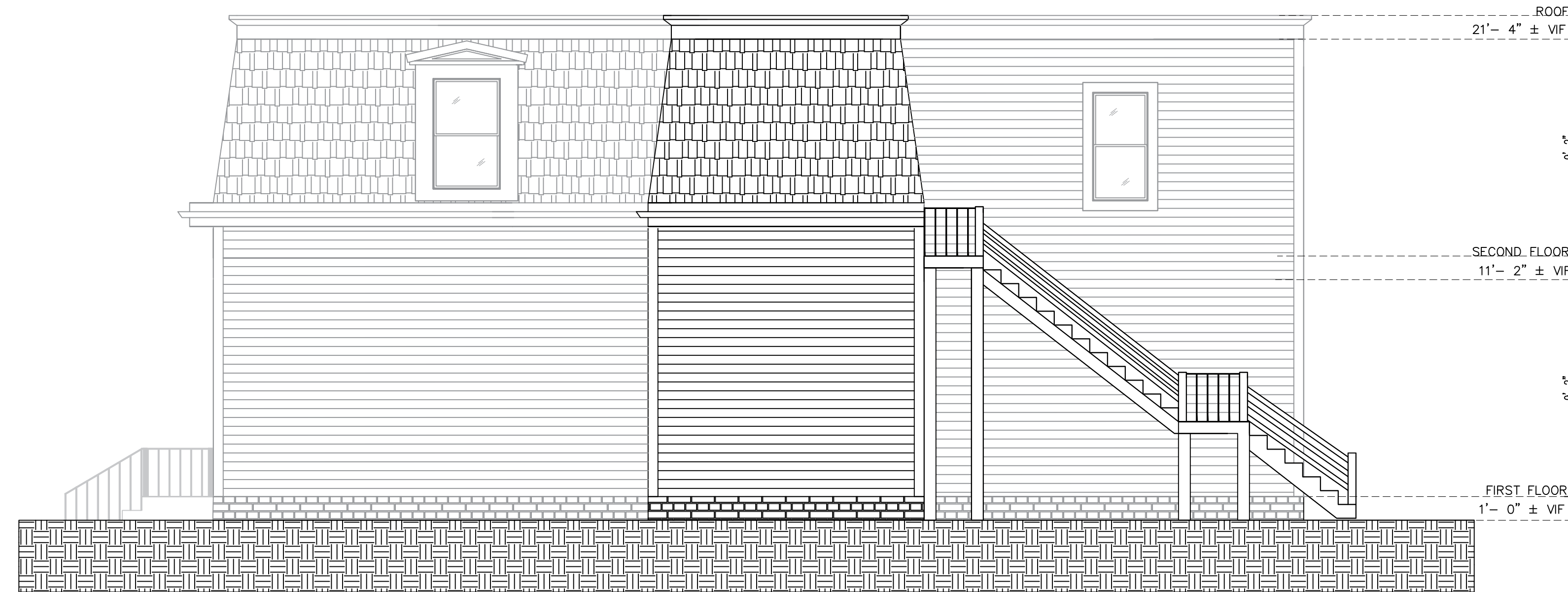
1 | **EXISTING FRONT ELEVATION**
B-2.0



3 | **EXISTING LEFT ELEVATION**
B-2.0



2 | **EXISTING REAR ELEVATION**
B-2.0



4 | **EXISTING RIGHT ELEVATION**
B-2.0

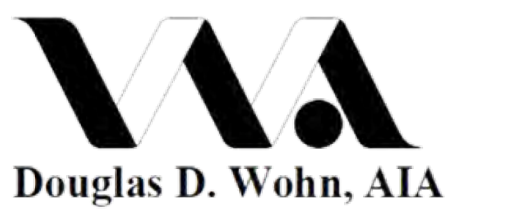


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REVISIONS: NOTES: DATE:



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**EXISTING
CONDITIONS**

SHEET NUMBER:

B-2.0

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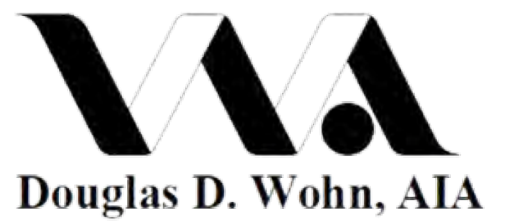


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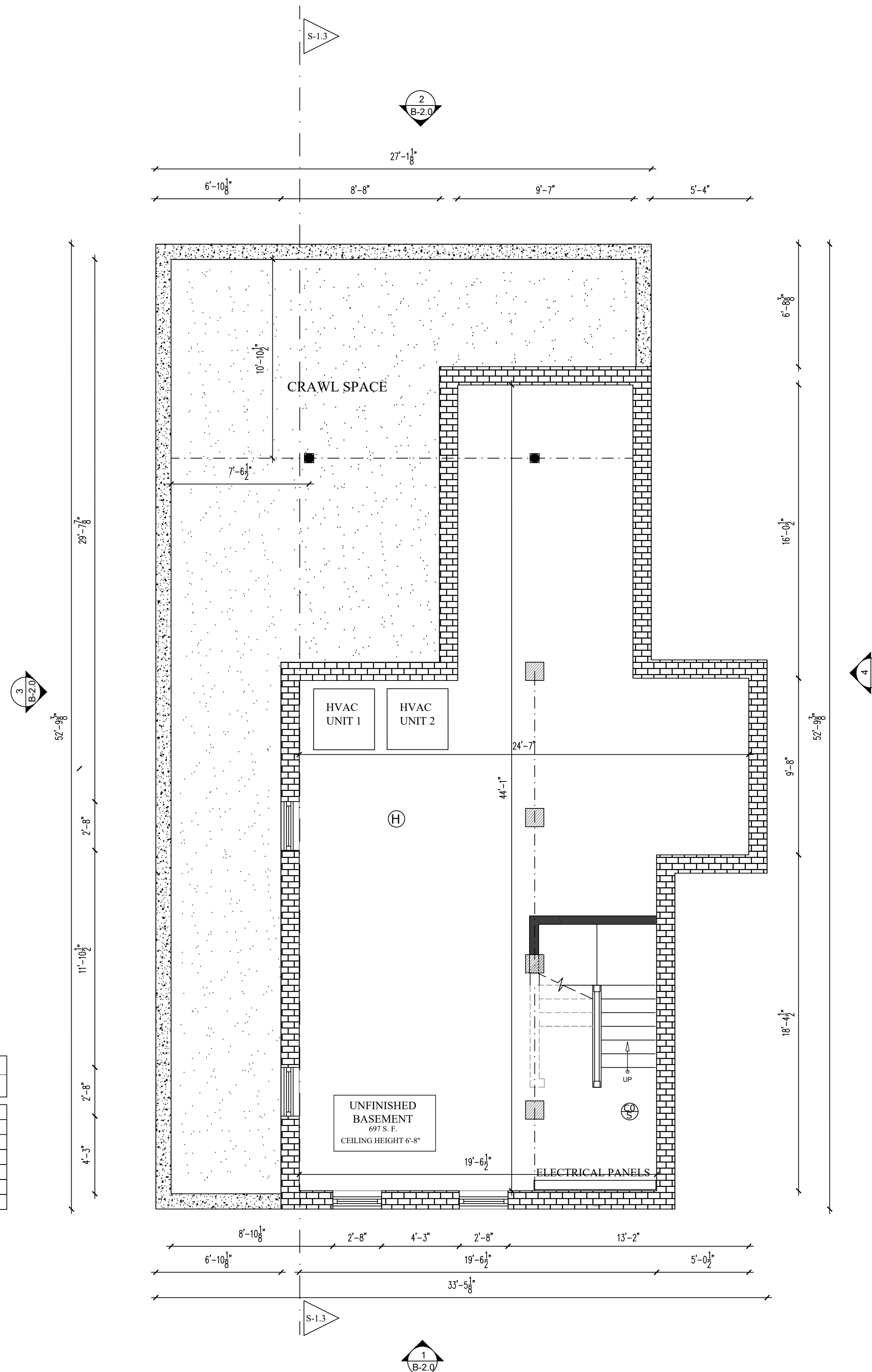
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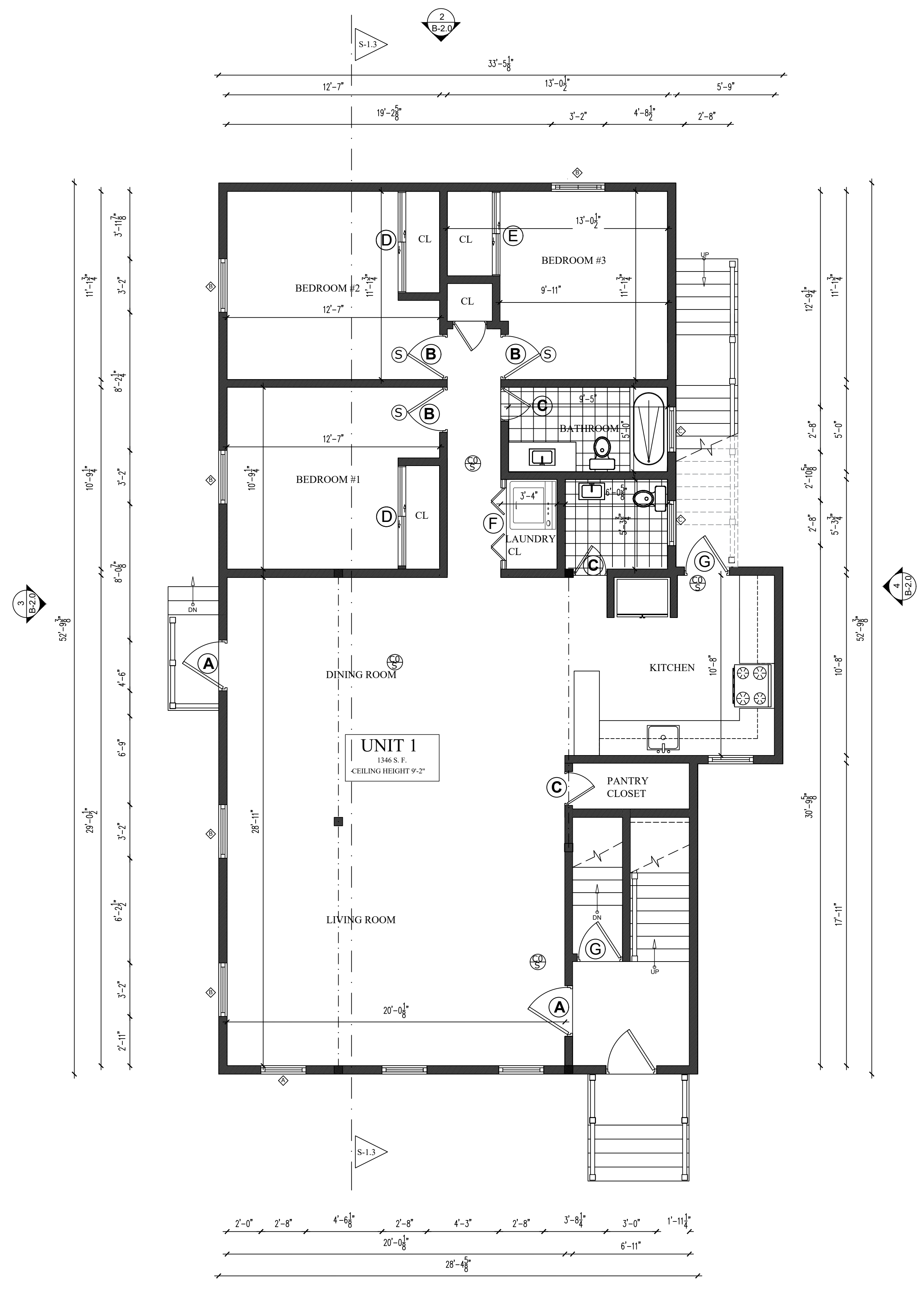
AREA SUMMARY	
NET INTERIOR BASEMENT.	697 SF
GROSS HEATED 1ST UNIT.	1346 SF
GROSS HEATED 2ND UNIT.	1033 SF
GROSS HEATED AREA.	2,379 SF
FRONT PORCH.	18 SF
FOOTPRINT	1,655 SF

WINDOWS SCHEDULE			
SYM	ROUGHOPENING	QUANTITY	REMARKS
◊	32" x 62"	01	
◊	40" x 54"	08	
◊	36" x 24"	04	

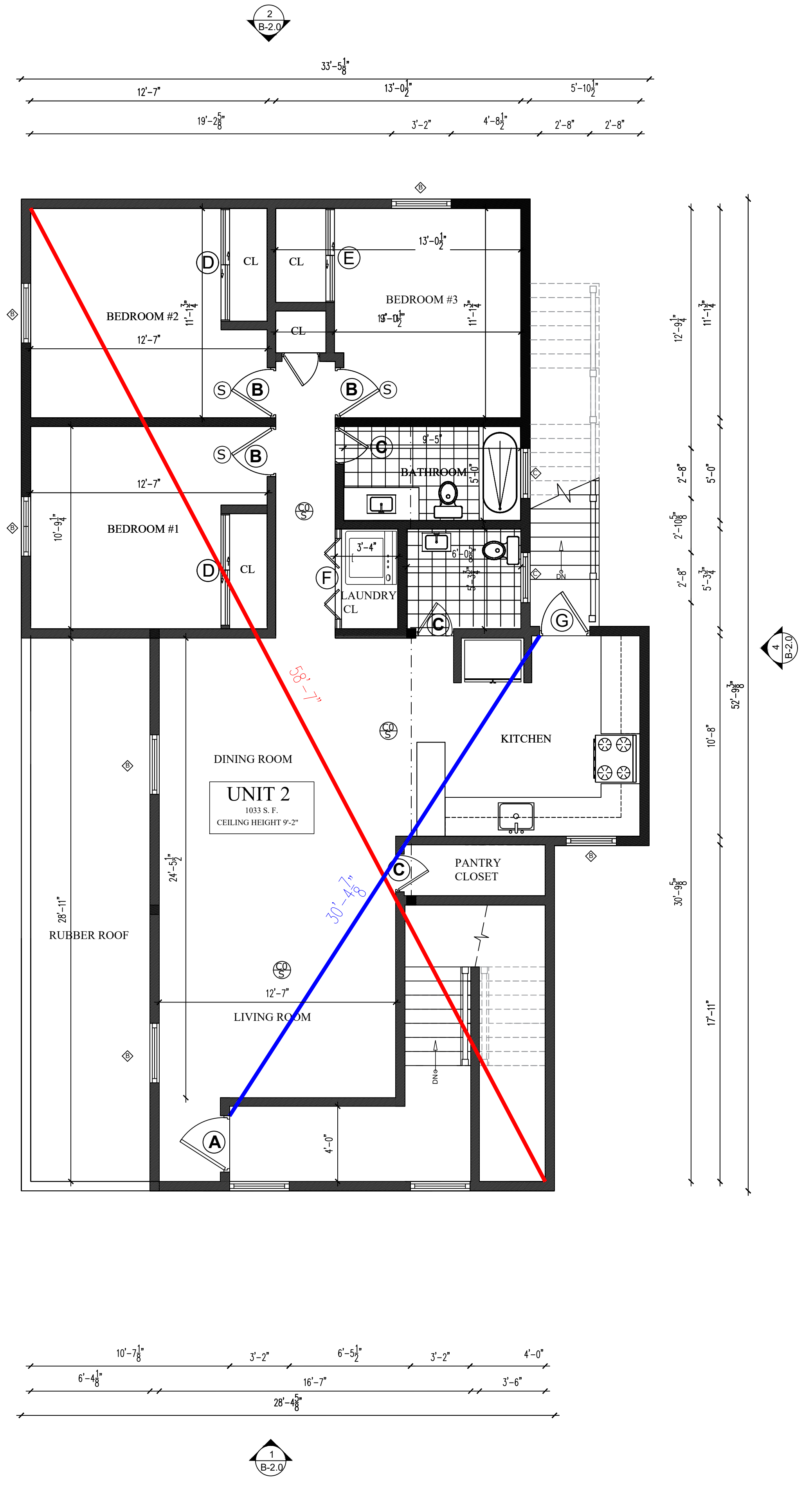
DOOR SCHEDULE									
MARK	DOOR TYPE	WIDTH	HEIGHT	DOOR THICKNESS	MATERIAL	FINISH	FRAME MATERIAL	QUANTITY	COMMENTS
01	A	3'-0"	6'-8"	0'-1 1/2"	WOOD	PAINT	WOOD	03	EXTERIOR MAIN ENTRANCE (FRENCH DOOR)
02	B	2'-8"	6'-8"	0'-1 1/2"	WOOD	PAINT	WOOD	06	TEXTURED 6-PANEL HOLLOW CORE PRIMED COMPOSITE INTERIOR DOOR SLAB WITH BORE
03	C	2'-0"	6'-8"	0'-1 3/4"	WOOD	PAINT	WOOD	06	TEXTURED 6-PANEL HOLLOW CORE PRIMED COMPOSITE INTERIOR DOOR SLAB WITH BORE
04	D	6'-0"	6'-8"	0'-1 1/2"	WOOD	PAINT	WOOD	04	INTERIOR BEDROOM CLOSET (SLIDING DOOR)
05	E	5'-0"	6'-8"	0'-1 1/2"	WOOD	PAINT	WOOD	02	INTERIOR BEDROOM CLOSET (SLIDING DOOR)
06	F	5'-0"	6'-8"	0'-1 1/2"	WOOD	PAINT	WOOD	02	BIFOLD CLOSET DOOR
07	G	2'-8"	6'-8"	0'-1 1/2"	WOOD	PAINT	WOOD	02	TEXTURED 6-PANEL HOLLOW CORE PRIMED COMPOSITE INTERIOR DOOR SLAB WITH BORE



1 | **PROPOSED BASEMENT FLOOR PLAN**
A-1.0 | SCALE: 1/4"=1'-0"



2 | **PROPOSED FIRST FLOOR PLAN**
 A-1.1 | SCALE: 1/4"=1'-0"



3 | **PROPOSED SECOND FLOOR PLAN**
 A-1.1 | SCALE: 1/4"=1'-0"

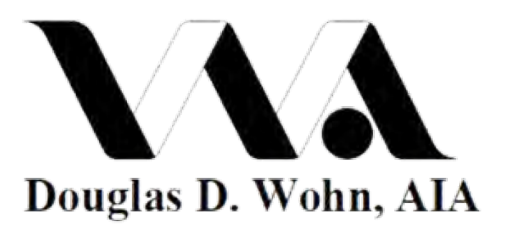


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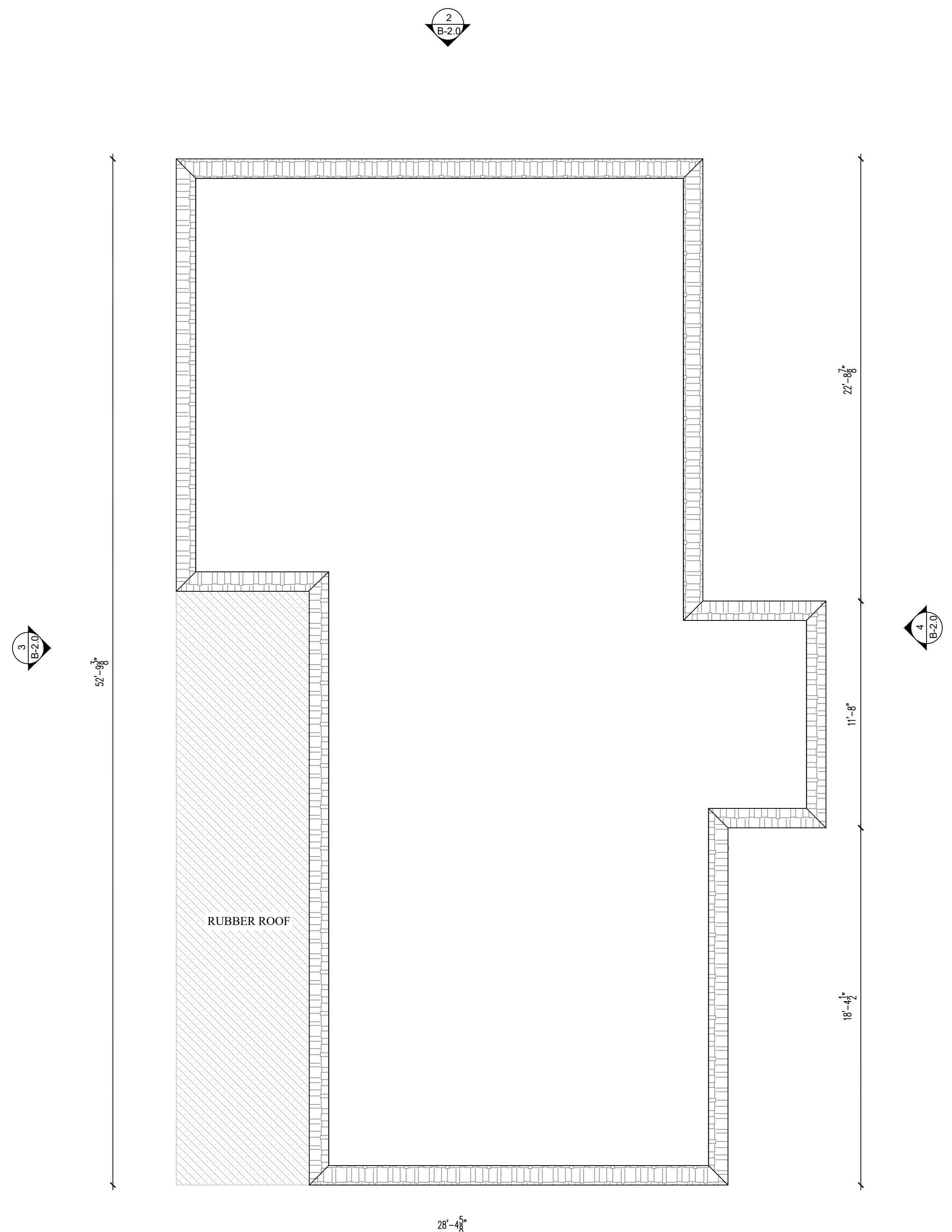
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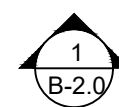
A-1.2

PERMIT SET



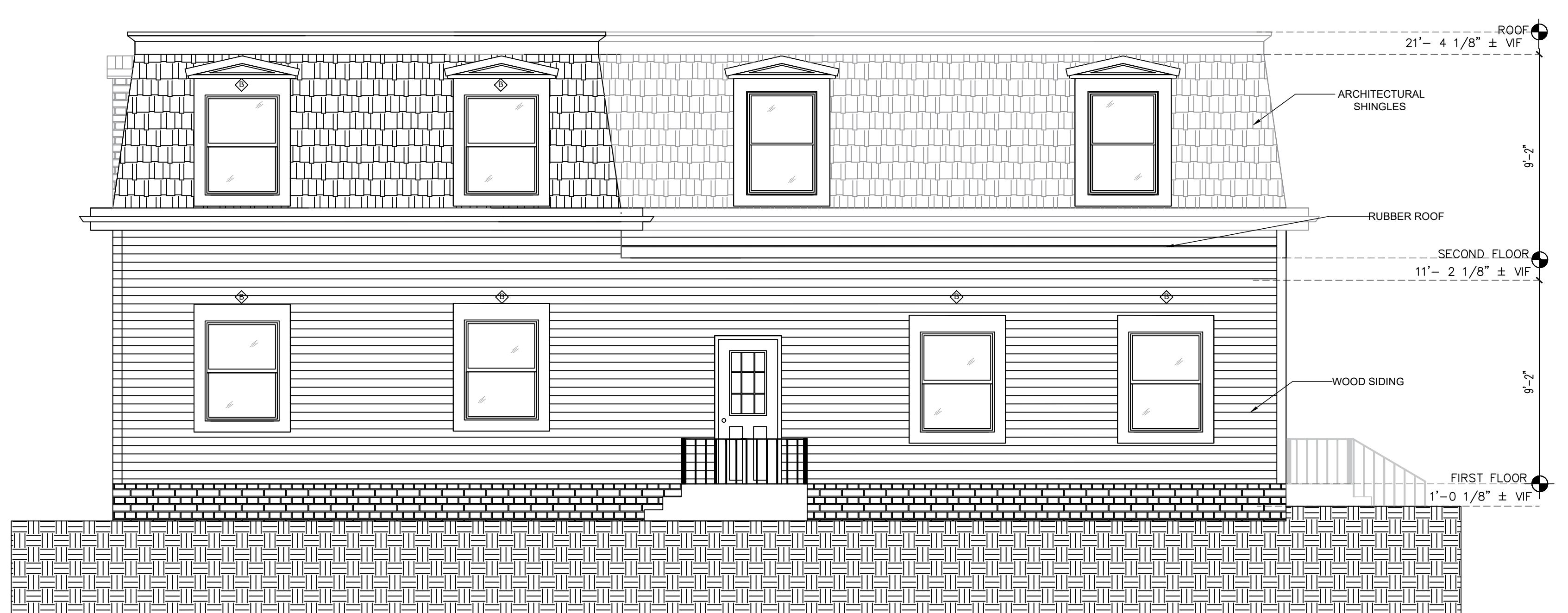
PROPOSED ROOF PLAN

A-1.2 SCALE: 1/4"=1'-0"

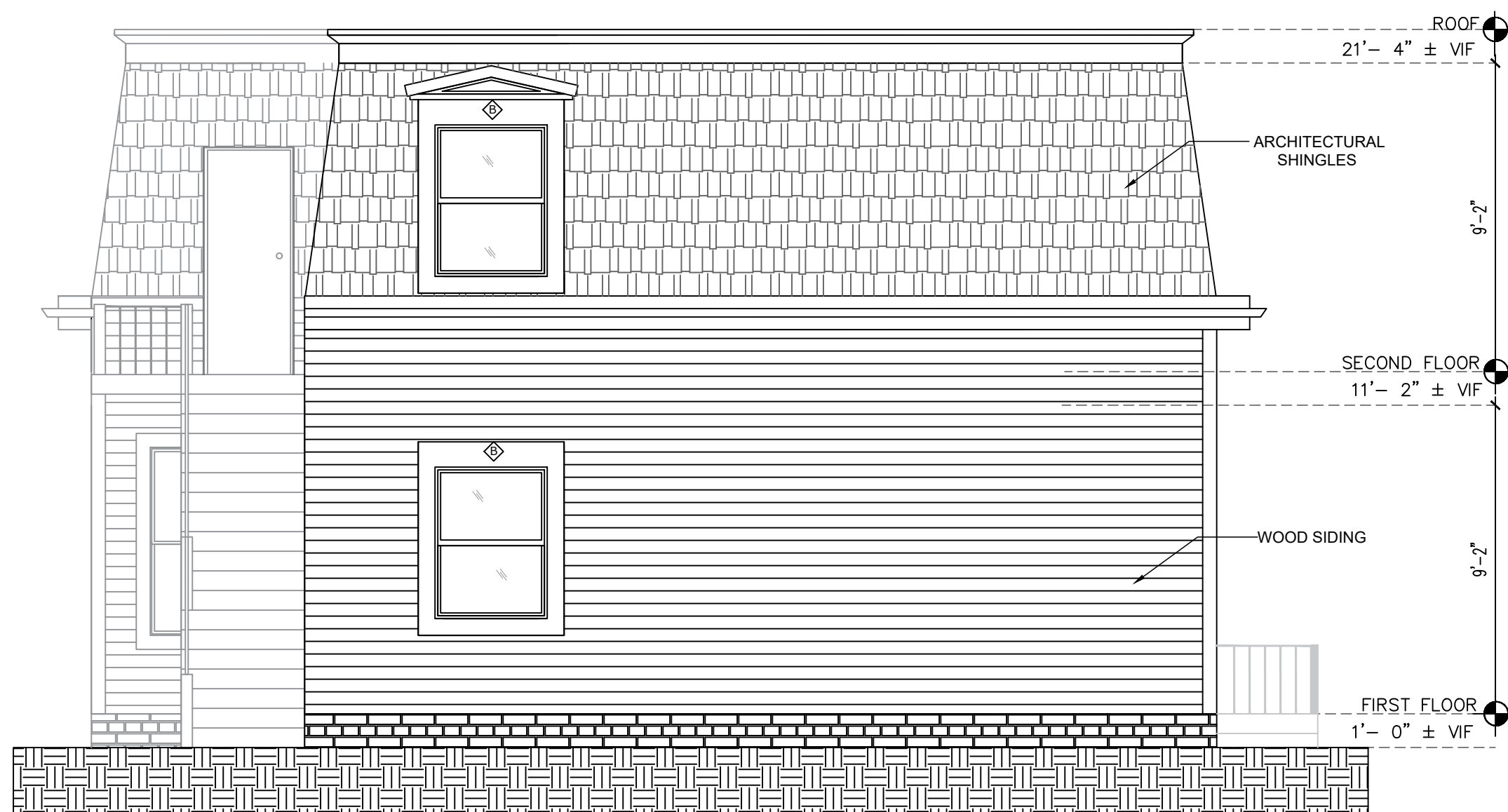




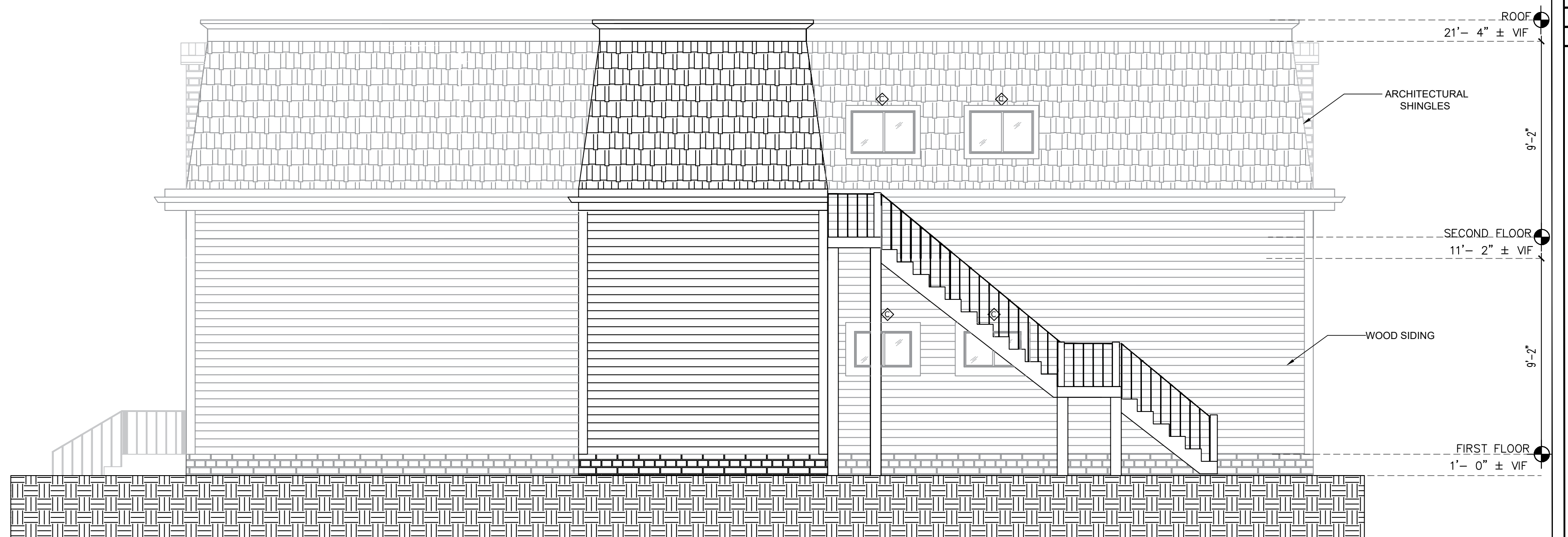
1 | **PROPOSED FRONT ELEVATION**
A-2.0 | SCALE: 1/4"=1'-0"



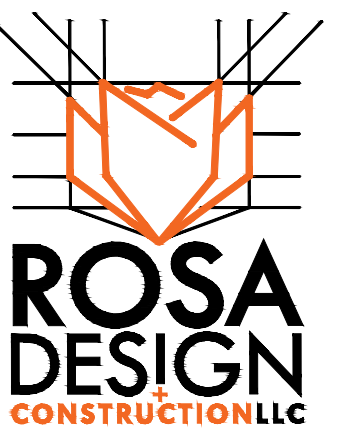
3 | **PROPOSED LEFT ELEVATION**
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2 | **PROPOSED REAR ELEVATION**
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9. TAKE FIELD MEASUREMENTS BEFORE FABRICATION WORK TO ENSURE THAT COMPONENTS FIT TOGETHER PROPERLY.

WOOD NOTES:

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19.
2. ALL FRAMING LUMBER SHALL BE 2 HEM-FIR, OR BETTER, HAVING A MINIMUM:
FB=1,200 PSI, FV=70 PSI, E=1,300,000 PSI.
3. ALL L.V.L. LUMBER DENOTED ON PLANS SHALL HAVE A MINIMUM:
- FB=2,650 PSI, FV=285 PSI, E=1,900,000 PSI - FOR STUDS COLUMNS
- FB-3100 PSI, FV=285 PSI, E=2,000,000 PSI - FOR BEAMS
4. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
5. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 12 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
6. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
7. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
9. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
10. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
11. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
12. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 12" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD LINTEL SCHEDULE:

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

REINFORCING NOTES:

1. ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
2. ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
4. ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
5. CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
 - A. FOOTINGS 3 INCHES
 - B. SIDES OF FOUNDATIONS WALLS. EXPOSED FACES OF FOUNDATIONS. SIDES OF COLUMNSPIERS, SLABS ON GRADE FROM TOP SURFACE 2 INCHES
 - C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER 1-12 INCHES
 - D. TOP STEEL OF INTERIOR SLABS 1 INCHES
6. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 14" OF SECTIONS 10" OR LESS, 12" FOR SECTIONS GREATER THAN 10".

EPOXY ANCHORS:

1. EXPANSION BOLTS USED IN CONCRETE SHALL BE SIMPSON STRONG BOLT 2 OR EQUAL. BOLTS NEED TO BE INSTALLED IN ACCORDANCE WITH ICC-REPORT ESR-3037.
2. EPOXY ANCHORS AND DOWELS INSTALLED INTO CONCRETE SHALL BE A THREADED ROD OR REINFORCING BAR DOWEL WITH THE HILTI "RE-500SD" ADHESIVE SYSTEM AND BE INSTALLED ACCORDING TO ICC-REPORT ESR-2322.
3. CONTRACTOR MAY SUBSTITUTE EXPANSION BOLTS OR EPOXY ADHESIVES OF EQUAL VALUE IN THE SPECIFIED MATERIAL WITH A CURRENT ICC-REPORT FOR REVIEW

FOUNDATION NOTES:

1. ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, OR DEEPER, IF NECESSARY, TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT, FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
2. ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL; OR, ON ENGINEERED BANK RUN GRAVEL FILL MATERIAL WITH A MINIMUM DRY DENSITY OF 95.
3. ALL FOOTING SHALL BE POURED IN THE DRY ONLY. WATER SHALL NOT BE ALLOWED TO FLOW THROUGH THE DEPOSITED CONCRETE.
4. NO FOOTING SHALL BE POURED ON FROZEN GROUND. FOUNDATIONS NEED TO BE PROTECTED FROM FREEZING FOR A MIN OF 5 DAYS AFTER THEY WERE POURED.
5. THE MINIMUM REINFORCING FOR ALL FOUNDATION WALLS SHALL BE 2-6 BARS AT THE TOP AND BOTTOM, CONTINUOUS; OR, AS SHOWN ON DRAWINGS.
6. LAP ALL BARS 40 DIAMETERS AND PROVIDE CORNER BARS.
7. ALL REINFORCEMENT: ASTM A615-60, WWF A185.

CONCRETE NOTES:

1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:
 - 3000 PSI
 - 3500 PSI
2. MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 34" IN DIAMETER.
3. ALL CONCRETE SLABS ON GRADE SHALL BE POURED IN 900 SQUARE FOOT PANELS, MAXIMUM; OR, PROVIDE CONTROL JOINTS BY SAW CUTTING THE SLAB WHILE THE CONCRETE IS STILL GREEN.

RECOMENDED FASTENING SCHEDULE		
BUILDING ELEMENT	NAIL SIZE AND TYPE	NUMBER AND LOCATION
SLIP TO SOLE PLATE	8D COMMON 16D COMMON	4 TOE-NAIL OR 2 DIRECT-NAIL
SLIP TO CAP PLATE	16D COMMON	2 TOE-NAIL OR 2 DIRECT-NAIL
DOUBLE SLIPS	10D COMMON	12" O.C. DIRECT
CORNER SLIPS	16D COMMON	24" O.C. DIRECT
SOLE PLATE TO JOIST OR BLOCKING	16D COMMON	16" O.C.
DOUBLE CAP PLATE	10D COMMON	16" O.C. DIRECT
CAP PLATE LAPS	10D COMMON	2 DIRECT-NAIL
FIBERON STRIP, 6" OR LESS	10D COMMON	2 EACH DIRECT BEARING
FIBERON STRIP, 6" OR MORE	10D COMMON	5 EACH DIRECT BEARING
ROOF RAFTER TO PLATE	8D COMMON	5 TOE-NAIL
JACK RAFTER TO BRIDGE	16D COMMON	2 TOE-NAIL OR DIRECT-NAIL
JACK RAFTER TO HP	10D COMMON 16D COMMON	5 TOE-NAIL OR 2 DIRECT-NAIL
FLOOR JOISTS TO SLIPS (NO CEILING JOISTS)	10D COMMON 10D COMMON	5 DIRECT OR 3 DIRECT
FLOOR JOISTS TO SLIPS (WITH CEILING JOISTS)	10D COMMON	2 DIRECT
FLOOR JOISTS TO SILL OR GIRDER	3D COMMON	5 TOE-NAIL
LEDGER STRIP	16D COMMON	5 EACH DIRECT
CEILING JOISTS TO PLATE	16D COMMON	5 TOE-NAIL
CEILING JOISTS (LAPS OVER PARTITION)	10D COMMON	5 DIRECT-NAIL
CEILING JOISTS (PARALLEL TO RAFTER)	10D COMMON	5 DIRECT
COLLAR BEAM	10D COMMON	5 DIRECT
BRIDGING TO JOISTS	8D COMMON	2 EACH DIRECT END
DIAGONAL BRACE (TO SLIP AND PLATE)	8D COMMON	2 EACH DIRECT BEARING
TAIL BEAMS TO HEADERS (WHEN NAILING PERMITTED)	20D COMMON	1 EACH END 4 SQ. FT. FLOOR AREA
HEADER BEAMS TO MEMBERS	20D COMMON	1 EACH END 8 SQ. FT. FLOOR AREA
1" ROOF BRACING (COVER 6" IN WIDTH)	8D COMMON 8D COMMON	2 EACH DIRECT RAFTER 3 EACH DIRECT RAFTER
1" SUBFLOORING (6" OR LESS)	8D COMMON	2 EACH DIRECT JOIST
1" SUBFLOORING (8" OR MORE)	8D COMMON	3 EACH DIRECT JOIST
2" SUBFLOORING	16D COMMON	2 EACH DIRECT JOIST
1" WALL SHEATHING (8" OR LESS IN WIDTH)	8D COMMON	2 EACH DIRECT STUD
1" WALL SHEATHING COVER 8" IN WIDTH	8D COMMON	3 EACH DIRECT STUD
PLYWOOD ROOF & WALL SHEATHING (1/2" OR LESS) (5/8" OR GREATER) (5/16" 5/8" OR 1/2")	6D COMMON 8D COMMON	6" O.C. DIRECT EDGES & 12" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 12" O.C. INTERMEDIATE
COVER 6" IN WIDTH		4" O.C. EDGES & 8" O.C. INTERMEDIATE 2 1/2" O.C. EDGES & 5" O.C. INTERMEDIATE
PLYWOOD SUBFLOORING (12") (5/8" 5/4") (1" 1 1/8")	6D COMMON OR 6D ANNULAR OR SPIRAL THREAD 8D COMMON OR 8D ANNULAR OR SPIRAL THREAD 10D COMMON OR 8D RING SHANK OR 8D ANNULAR OR SPIRAL THREAD	6" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 6" O.C. INTERMEDIATE
(12") (38")	16D GALVANIZED WIRE STAPLES 5/8" MINIMUM CROWN; 1 1/2" LENGTH	4" O.C. EDGES & 7" O.C. INTERMEDIATE 2 1/2" O.C. EDGES & 4" O.C. INTERMEDIATE
BUILT-UP GIRDERS AND BEAMS	20D COMMON	52" O.C. DIRECT
CONTINUOUS HEADER TO SLIP	8D COMMON	4 TOE-NAIL
CONTINUOUS HEADER, TWO PIECES	16D COMMON	16" O.C. DIRECT
1/2" FIBER BOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL OR 16 GAUGE STAPLE, 1 1/2" LONG WITH MIN. CROWN OF 7/16"	5" O.C. EXTERIOR EDGE 6" O.C. INTERMEDIATE
25/32" FIBER BOARD SHEATHING	1 5/8" 4" GALVANIZED ROOFING NAIL OR 8D COMMON NAIL OR 16 GAUGE STAPLE, 1 1/2" LONG WITH MIN. CROWN OF 7/16"	5" O.C. EXTERIOR EDGE 6" O.C. INTERMEDIATE
GYPNUM SHEATHING	12 GAUGE 1 3/4" LARGE HEAD CORROSION-RESISTANT	4" O.C. EDGE 8" O.C. INTERMEDIATE
PARTICLE BOARD UNDERLAMENT (1/4" 5/8")	6D ANNULAR THREAD	6" O.C. DIRECT EDGES 10" O.C. INTERMEDIATE
PARTICLE BOARD ROOF AND WALL SHEATHING 1/2" OR LESS	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
5/8" OR GREATER	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
PARTICLE BOARD SUBFLOORING (5/8" OR GREATER)	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
SHINGLES, WOOD*	NO. 14 2x5 GAGE CORROSION RESISTANT	2 EACH BEARING
WEATHER BOARDING	8D CORROSION	2 EACH BEARING

*NOTE: SHINGLE NAILS SHALL PENETRATE NOT LESS THAN 3/4" INTO NAILING STRIPS, SHEATHING OR SUPPORTING CONSTRUCTION EXCEPT AS OTHERWISE PROVIDED IN TBO CODE 1229-A.4.

ENERGY AUDIT

COMPLIANCE DETERMINED BY MASSACHUSETTS STRETCH ENERGY CODE (IRC 2015 WITH MASSACHUSETTS AMENDMENTS SECTION N1 101)

PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3)

1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST. INSULATION VALUES AS FOLLOWS:
 - 1.1. ROOF R-VALUE: R49
 - 1.2. WALL R-VALUE: R20
 - 1.3. FLOOR R-VALUE: R30
 - 1.4. CRAWL SPACE R-VALUE: R10
2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL WINDOWS; DOORS; AND SKYLIGHTS - VERSION 5.0. ALL NEW WINDOW GLAZING WITH .30 U-FACTOR.
3. HEATING / COOLING DUCTS TO BE SEALED AND TESTED TO MEET REQUIREMENTS OF 401.3



70 WARREN STREET
SUITE 7, BOSTON MA 02119
617.953.4356 - INFO@ROSADC.COM

LIVING SPACE ADDITION CHANGE
OF OCCUPANCY FROM SINGLE
FAMILY TO TWO FAMILY DWELLING

60 MATHER ST.,
DORCHESTER MA

LAYOUT BY: ER

DRAWN: NC

CHECKED: EBR

SCALE: AS INDICATED

DATE: 02/26/2021

PROJECT NO.: RDC/00590

REVISIONS: NOTES: DATE:



Douglas D. Wahn, AIA

Lic. #7039
240 Heath St., PH-16
Boston, MA 02130

Cell: 617-921-6798
douglasdwahn@gmail.com



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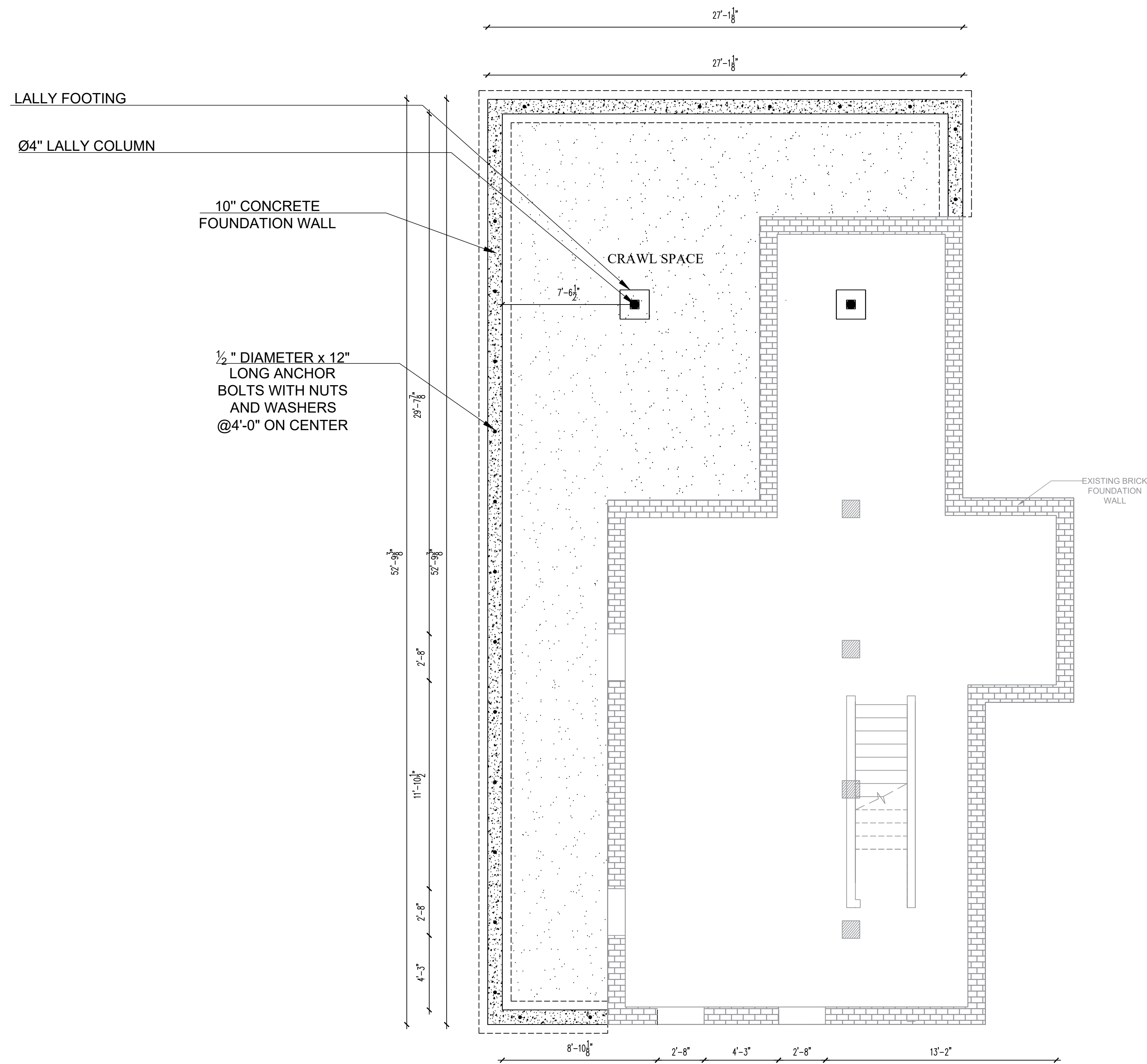
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CONSTRUCTION
DETAILS

SHEET NUMBER:

S-0.0

PERMIT SET



1 | **PROPOSED FOUNDATION PLAN**
S-1.0 | SCALE: 1/4"=1'-0"



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**LIVING SPACE ADDITION CHANGE
 OF OCCUPANCY FROM SINGLE
 FAMILY TO TWO FAMILY DWELLING**

60 MATHER ST,
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Lic. #7039
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 Boston, MA 02130
 Cel: 617-921-6798
 douglasdwohn@gmail.com

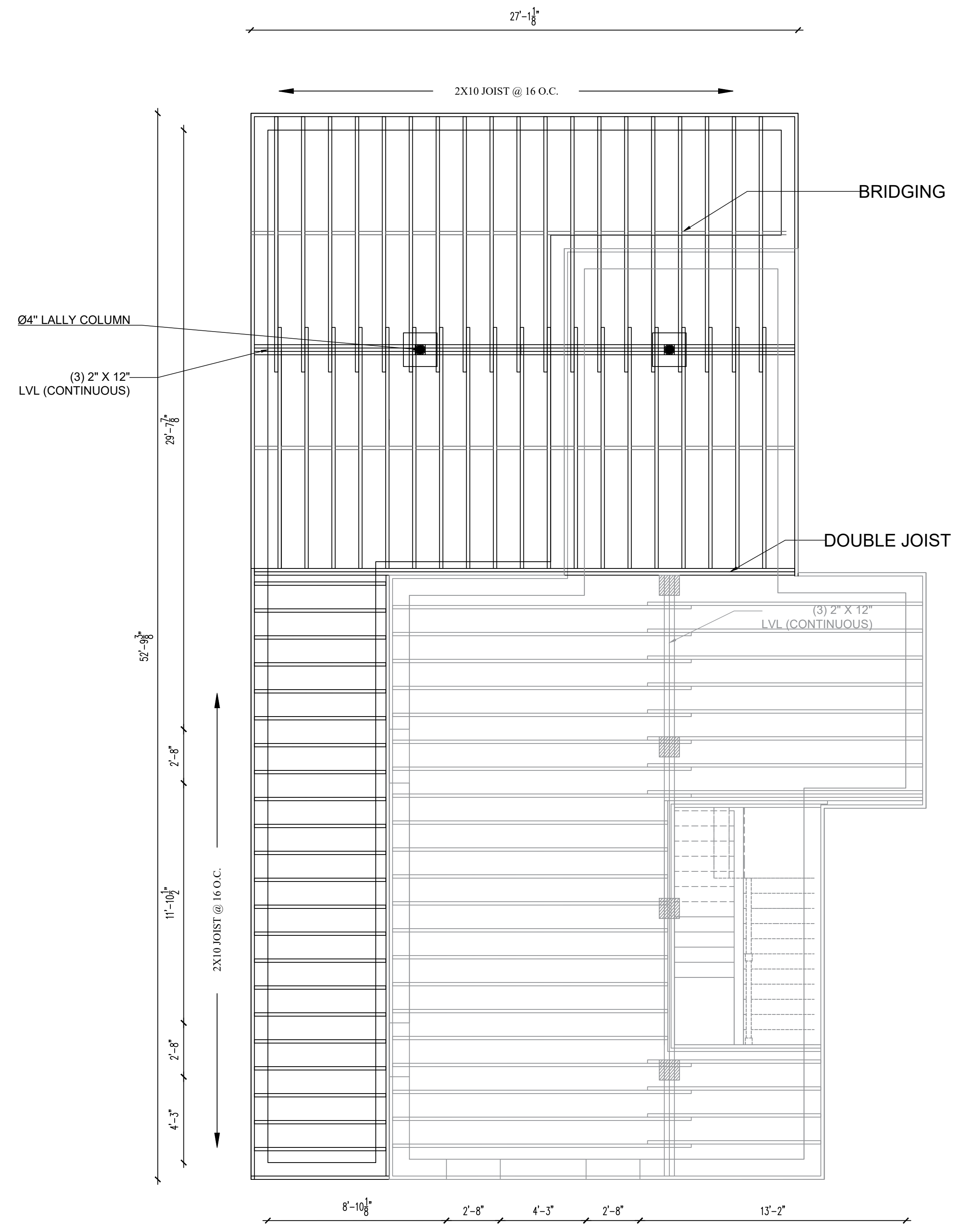


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**CONSTRUCTION
 DETAILS**

SHEET NUMBER:
S-1.0

PERMIT SET



1 | **PROPOSED FIRST FLOOR**
S-1.1 | **FRAMING PLAN**
SCALE: 1/4"=1'-0"

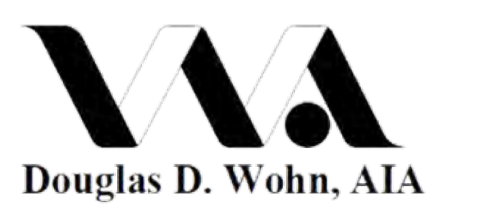


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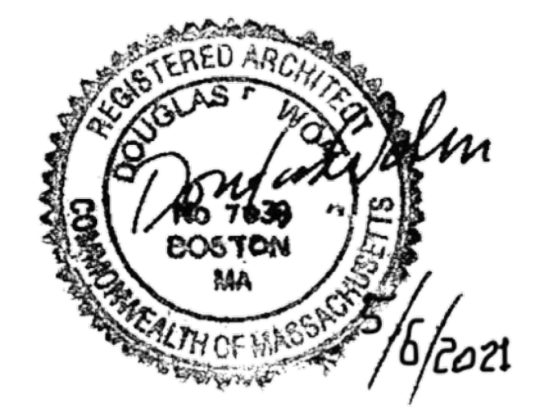
**LIVING SPACE ADDITION CHANGE
 OF OCCUPANCY FROM SINGLE
 FAMILY TO TWO FAMILY DWELLING**

60 MATHER ST,
 DORCHESTER MA

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 240 Heath St., PH-16
 Boston, MA 02130
 Cel: 617-921-6798
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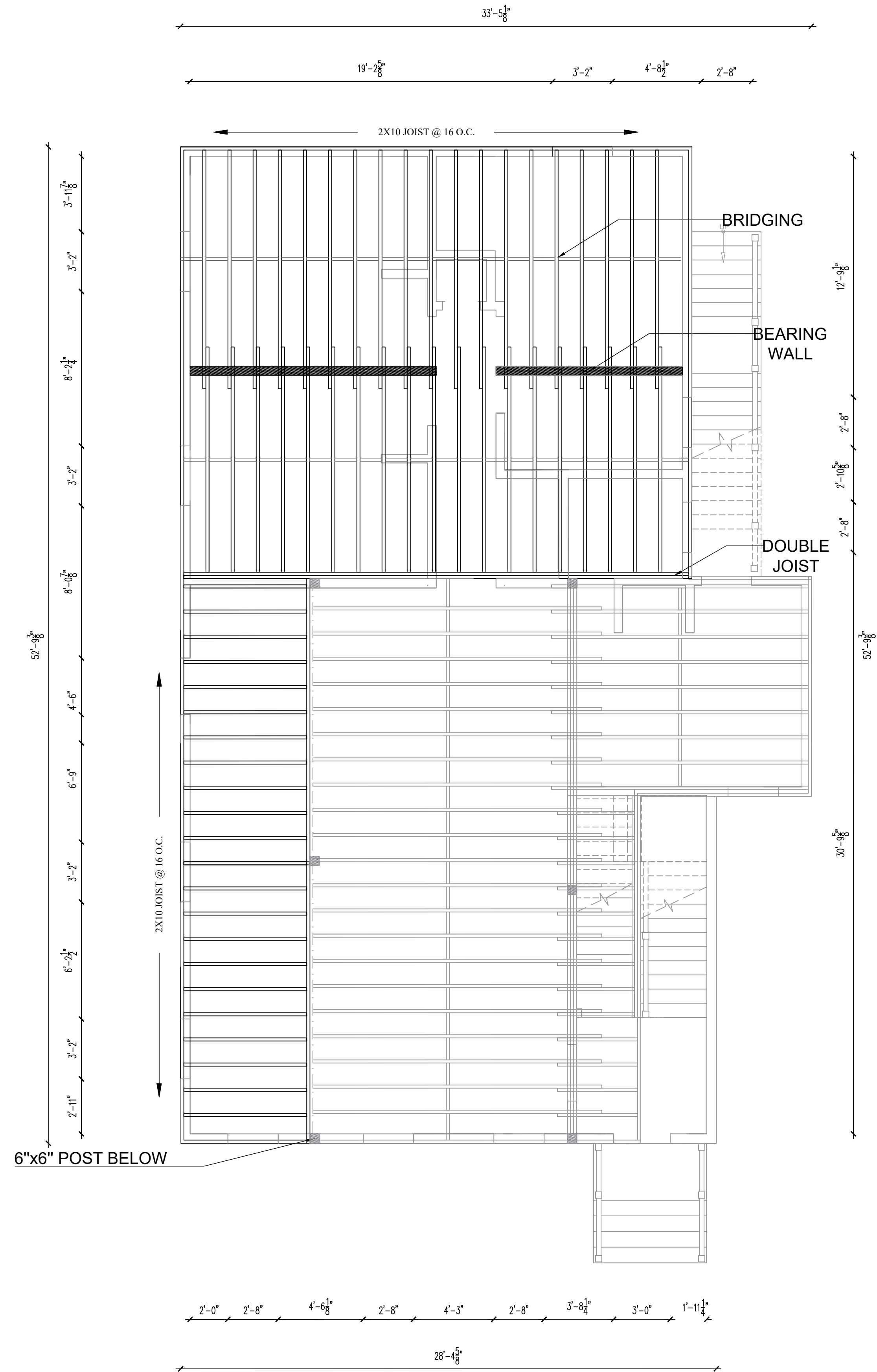


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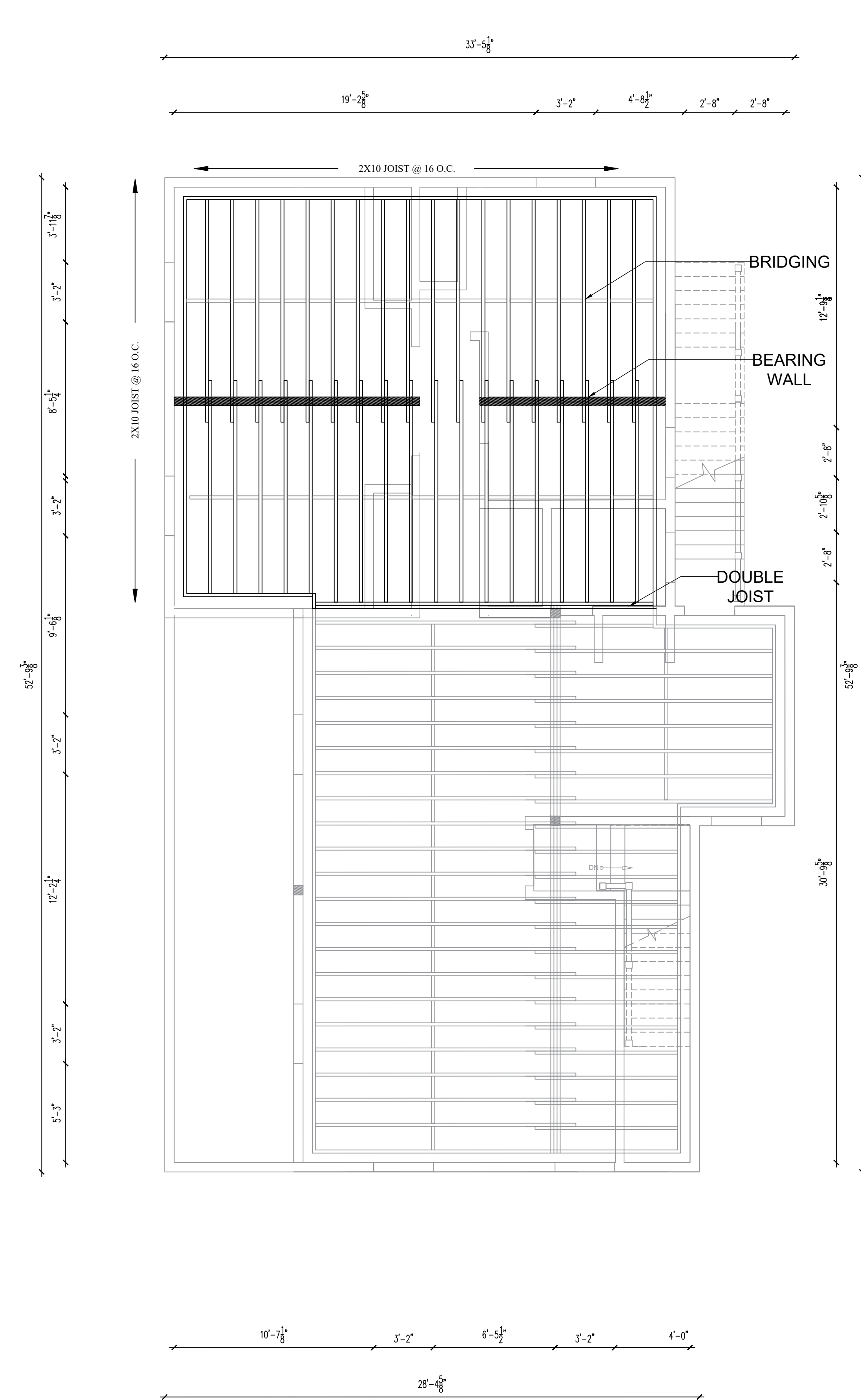
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PROPOSED

SHEET NUMBER:
S-1.1

PERMIT SET



2
PROPOSED SECOND FLOOR FRAMING PLAN
 S-1.2 SCALE: 1/4"=1'-0"



3
PROPOSED ROOF FRAMING PLAN
 S-1.2 SCALE: 1/4"=1'-0"



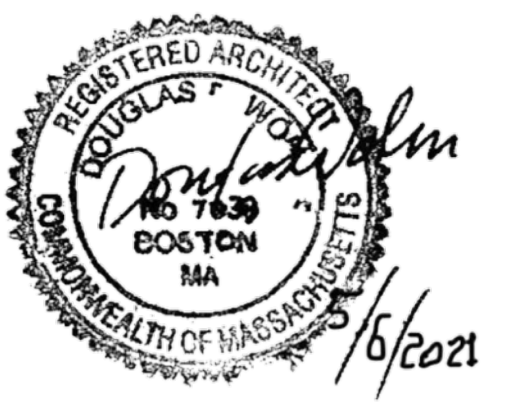
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LIVING SPACE ADDITION CHANGE OF OCCUPANCY FROM SINGLE FAMILY TO TWO FAMILY DWELLING

60 MATHER ST,
 DORCHESTER MA

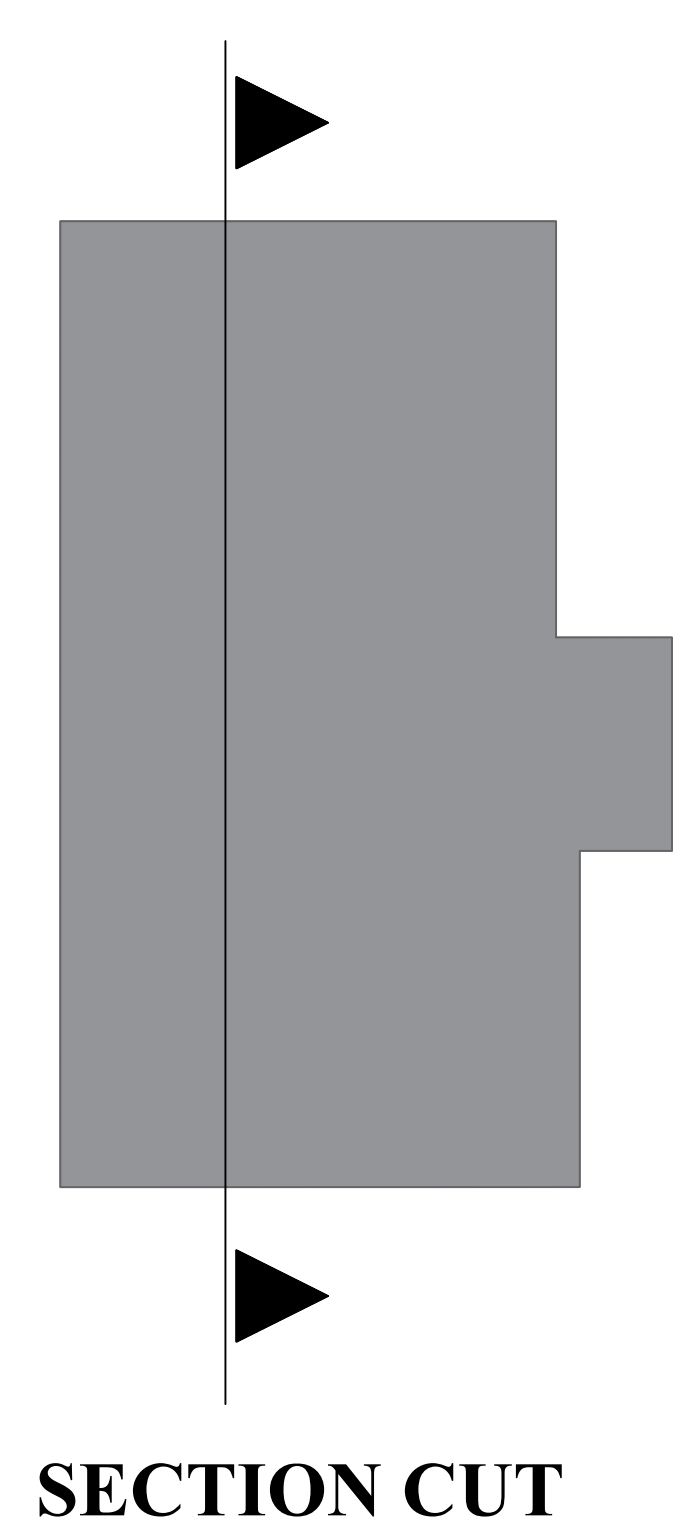
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WA
 Douglas D. Wohn, AIA
 Lic. #7039
 240 Heath St., PH-16
 Boston, MA 02130
 Cel: 617-921-6798
 douglasdwohn@gmail.com

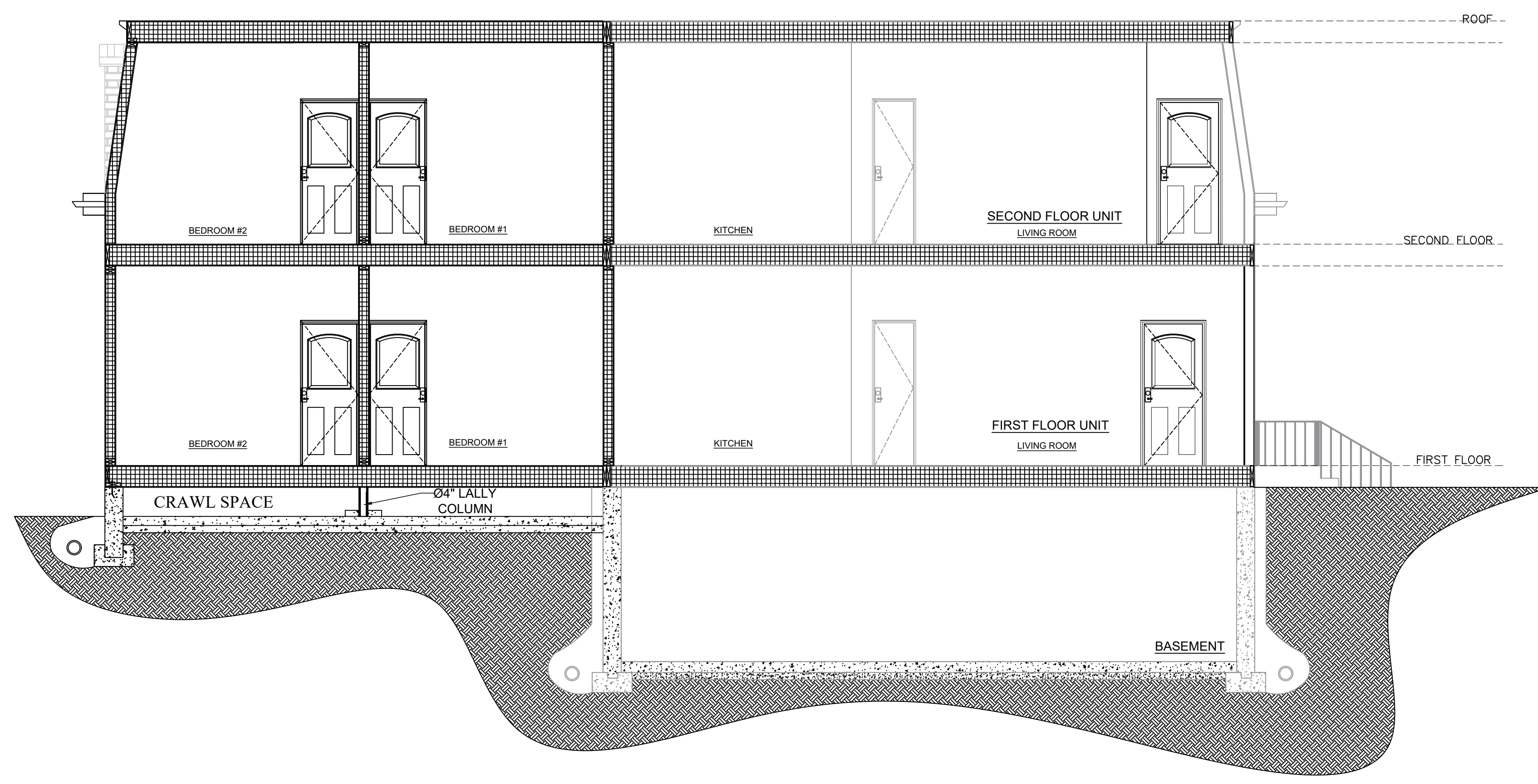


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S-1.1
PERMIT SET



SECTION CUT



1 | **PROPOSED SECTION DETAIL**
 S-1.3 | SCALE: 1/4"=1'-0"



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**LIVING SPACE ADDITION CHANGE
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60 MATHER ST,
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PROJECT NO.: RDC/00590
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Douglas D. Wohn, AIA
 Lic. #7039
 240 Heath St., PH-16
 Boston, MA 02130
 Cel: 617-921-6798
 douglasdwohn@gmail.com

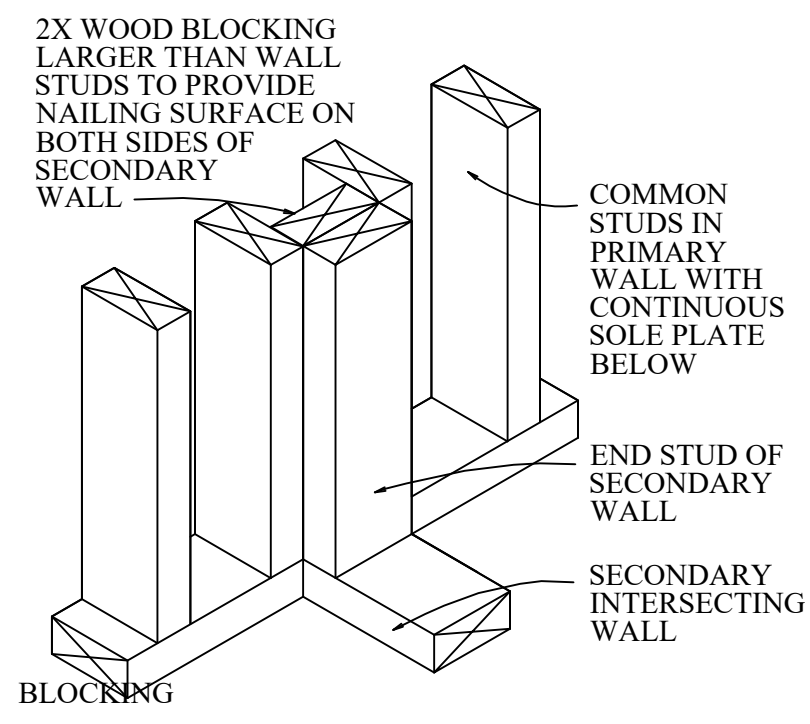


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 DETAILS**

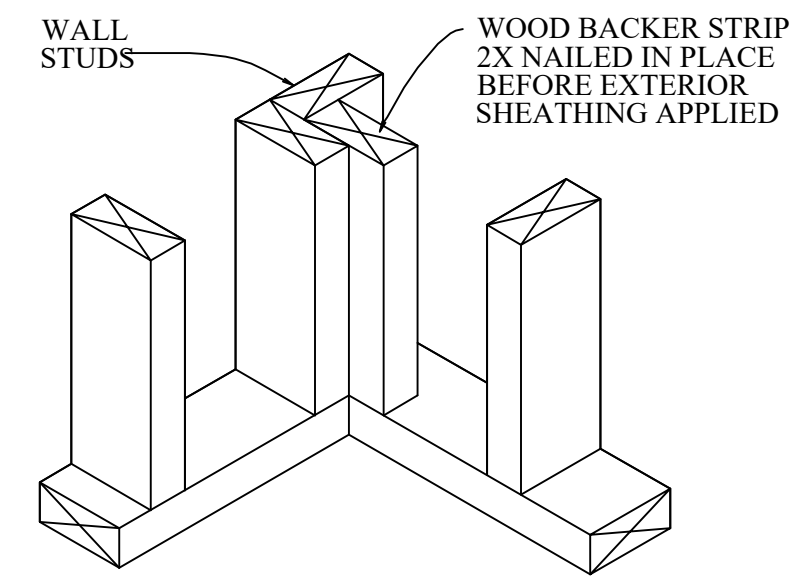
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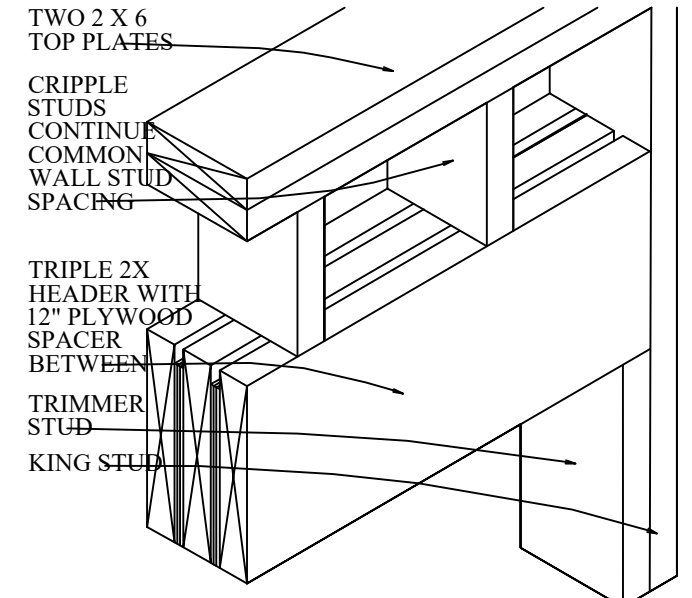
INTERSECTING WALLS WITH

1 INSULATED WALL DETAILS
S-1.4 SCALE:NTS



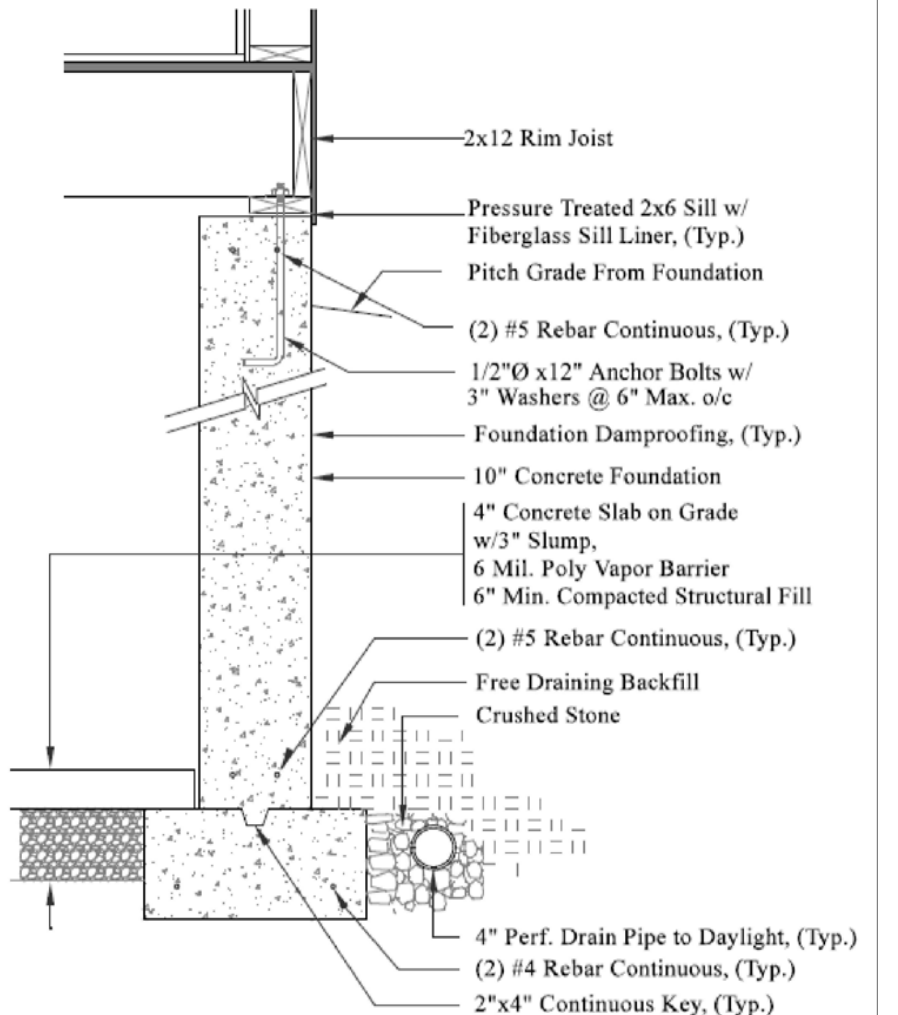
CORNER BLOCKING DETAIL

2 INSULATED WALL DETAILS
S-1.4 SCALE:NTS

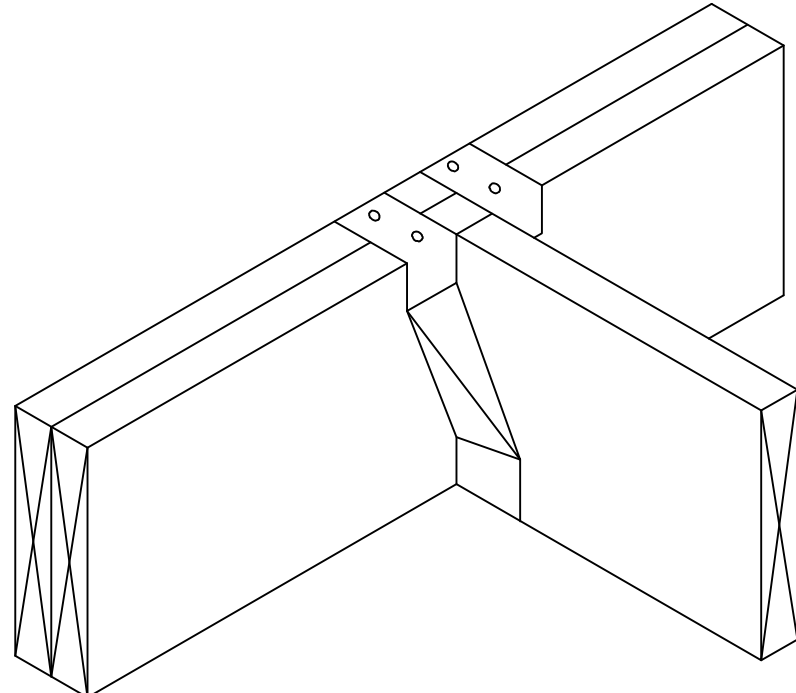


NOTE: Provides maximum nailing surface on interior and exterior walls.

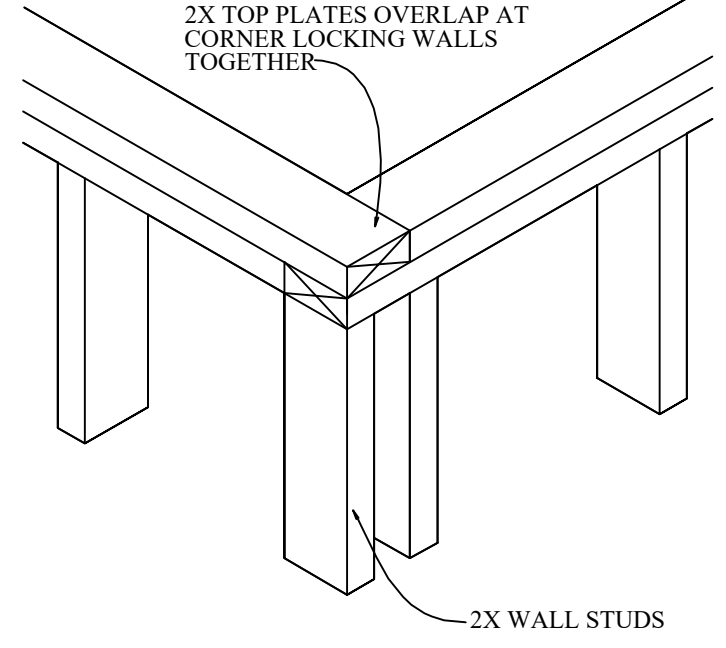
3 2x6 BEARING WALL HEADER DETAIL
S-1.4 SCALE:NTS



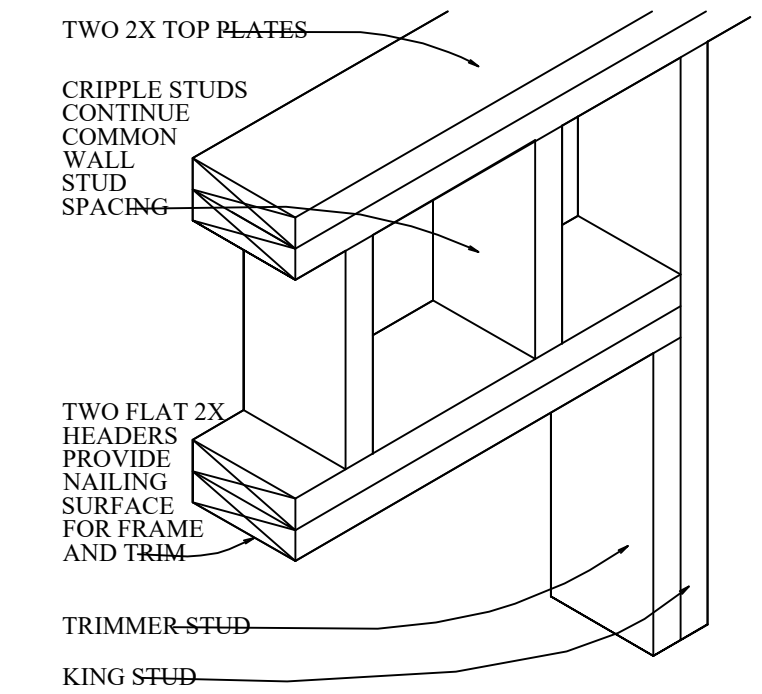
4 TYPICAL FOUNDATION WALL
S-1.4 SCALE:NTS



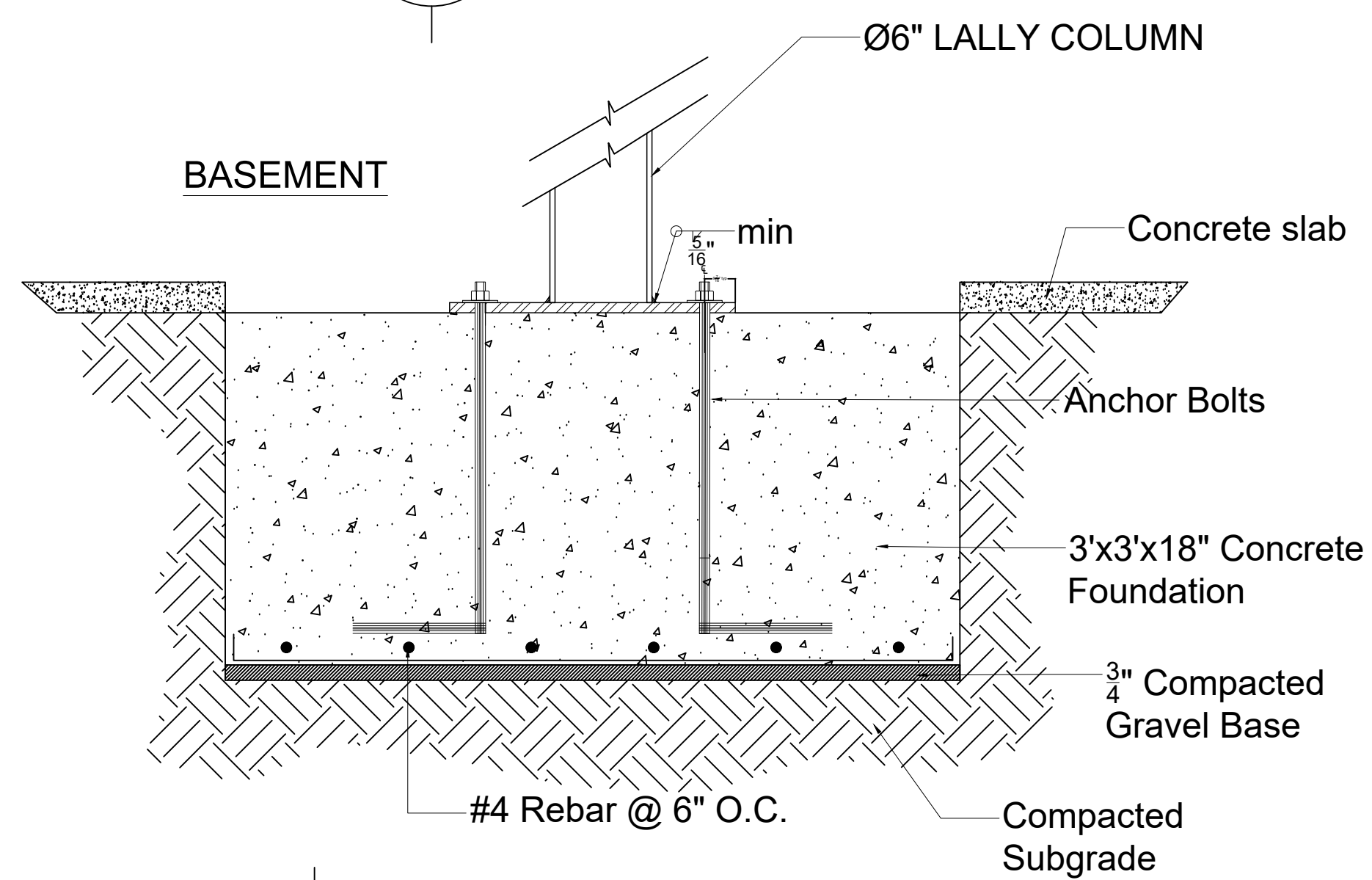
5 JOIST SUPPORTED ON WOOD GIRDERS
S-1.4 SCALE:NTS



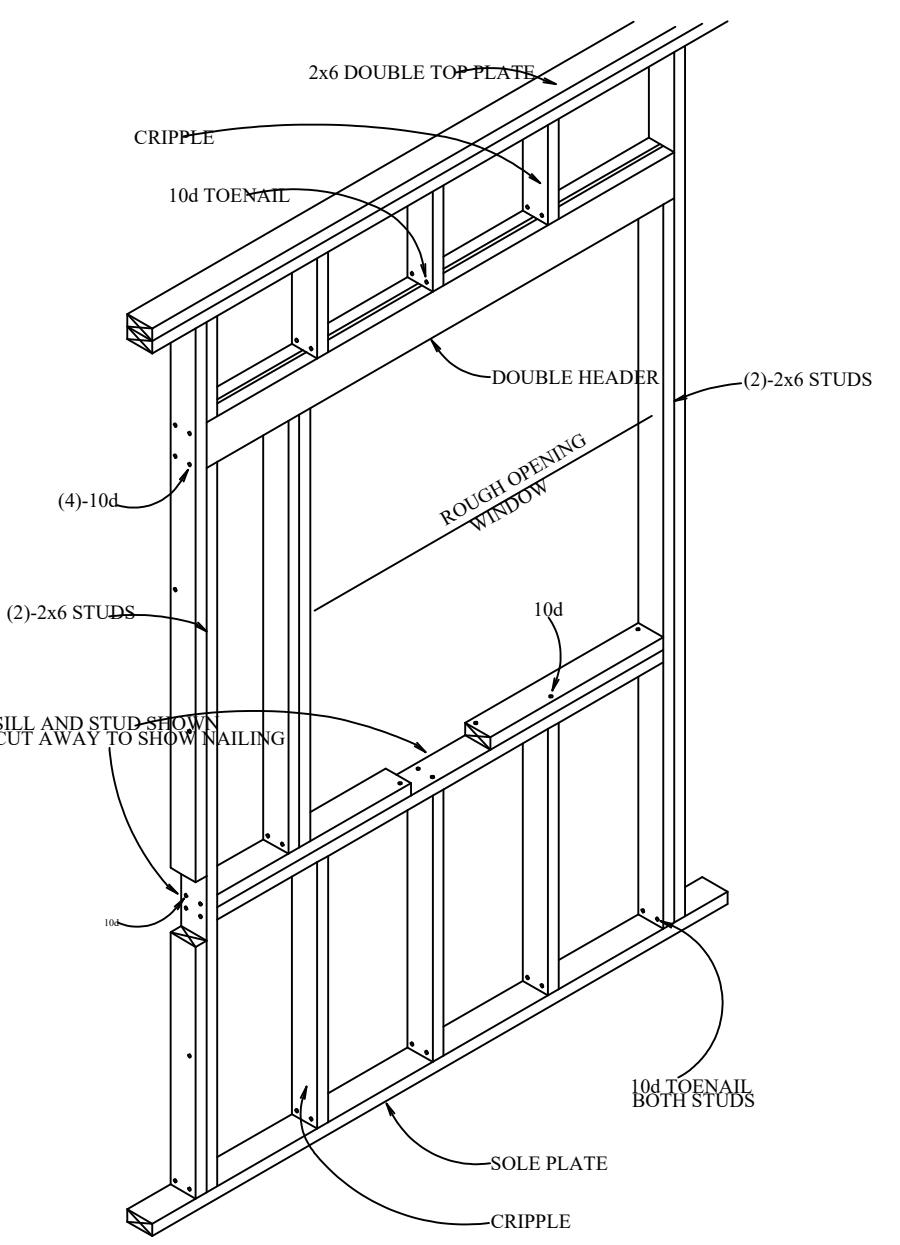
6 TOP PLATE FRAMING DETAIL
S-1.4 SCALE:NTS



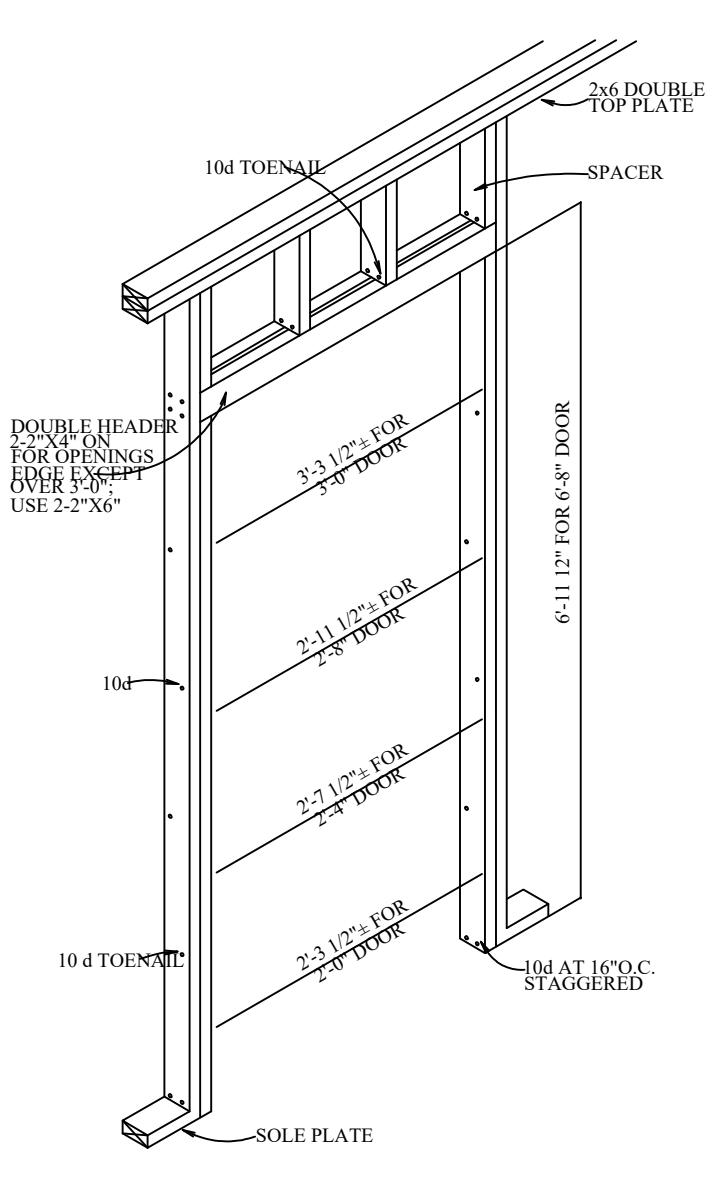
7 2X PARTITION WALL HEADER DETAIL
S-1.4 SCALE:NTS



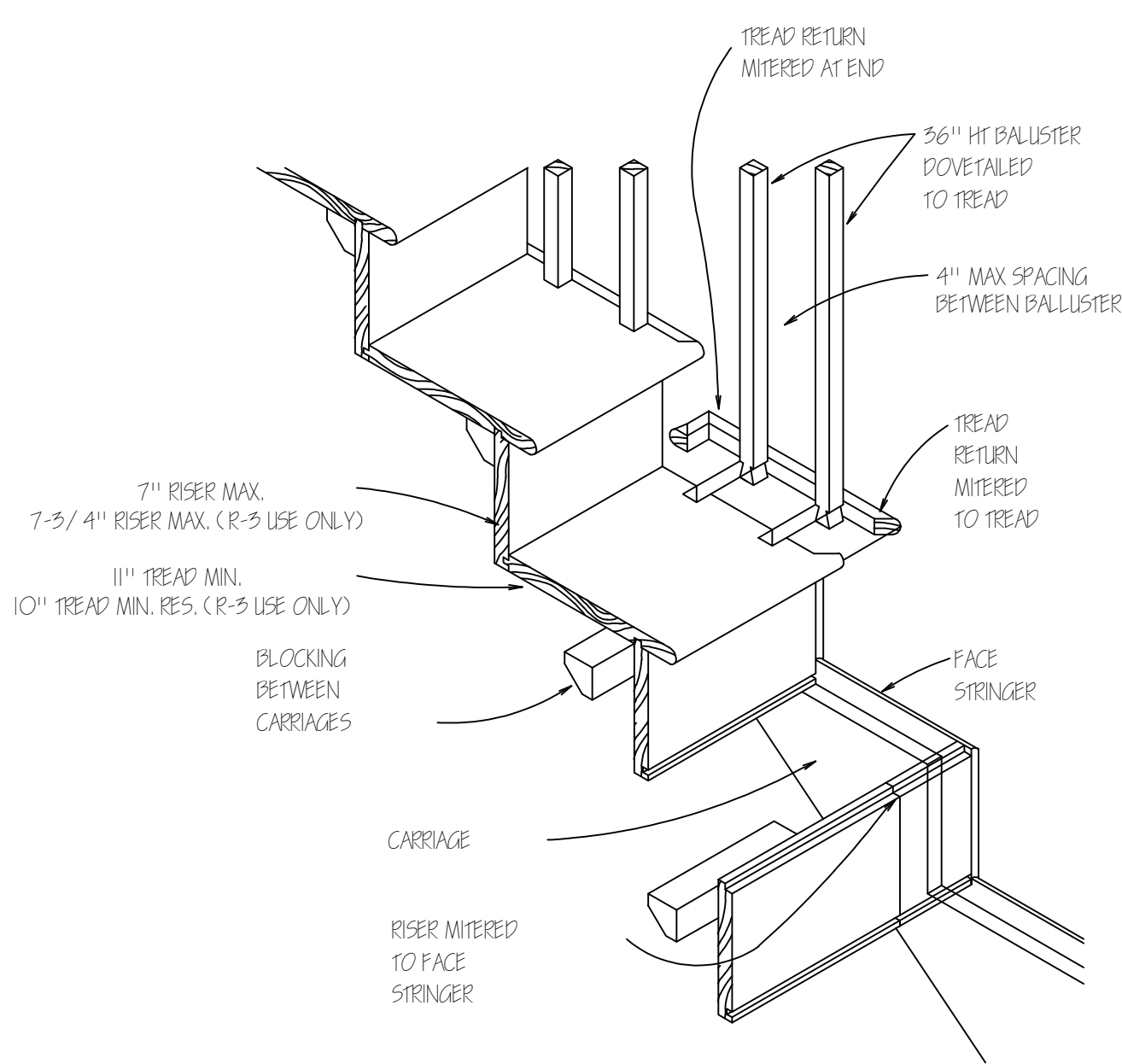
8 LALLY COLUMN FOOTING DETAIL
S-1.4 SCALE:NTS



9 WINDOW OPENING DETAIL
S-1.4 SCALE:NTS



10 DOOR OPENING DETAIL
S-1.4 SCALE:NTS



11 STAIRS DETAIL
S-1.4 SCALE:NTS



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LIVING SPACE ADDITION CHANGE
OF OCCUPANCY FROM SINGLE
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60 MATHER ST,
DORCHESTER MA

LAYOUT BY: ER
DRAWN: NC
CHECKED: EBR
SCALE: AS INDICATED
DATE: 02/26/2021
PROJECT NO.: RDC/00590
REVISIONS: NOTES: DATE:



Lic. #7039
240 Heath St., PH-16
Boston, MA 02130
Tel: 617-921-6798
douglasdwohn@gmail.com



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CONSTRUCTION DETAILS

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S-1.4

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