



# Boston Inspectional Services Department

## Planning and Zoning Division

1010 Massachusetts Avenue, 5th Floor, Boston, MA 02118 Telephone: (617) 635-5300

Kim Janey  
Mayor

### MORE INFORMATION REQUEST LETTER

Marc Joseph  
Inspector of Buildings

September 01, 2021

DENIS KEOHANE  
469 NEPONSET AVE  
BOSTON, MA 02122

Applicant to provide all NON highlighted items  
Review done 10/21/21

RE: Application #: **ERT1230791**  
Location: 8 Kinsale Ln, Ward 18  
Zoning District: Hyde Park Neighborhood, 1F-9000  
Purpose: Eight lot single family subdivision. Lot #5. Construct a wood framed 3 Bed, 2 full bathrooms, 2 half bathrooms, 2 car unattached garage as per plans.  
**eplan --> BOA**

The following information shall be provided to Inspectional Services Department to complete the Building Permit Plan Review:

1. **Construction Documents (two sets and to scale):**

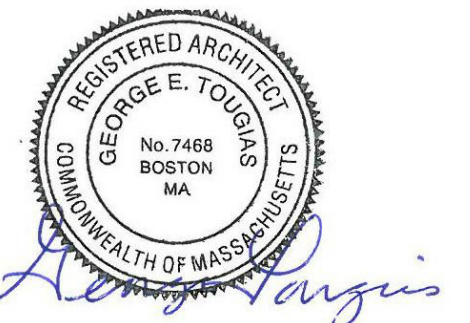
- **Certified Plot Plan, stamped and signed by a MA Registered Land Surveyor: Shall be stamped by land surveyor. Indicate driveway width.**

2. **Additional Information/Comments:**

- Applicant shall file a new ERT for the accessory building (garage) (2nd request)
- Indicate separation between buildings on plot plan. (2nd request)
- The applicant shall e-mail [ISDPZReview@boston.gov](mailto:ISDPZReview@boston.gov) copying [Jordi.segalesperez@boston.gov](mailto:Jordi.segalesperez@boston.gov) after uploading all the requested information and obtaining all the necessary approvals (if requested). Please don't email us until **everything** requested here is ready; We don't do partial reviews to be more efficient. If you have any questions, the best way to reach me is through email.

All construction documents shall be organized in two sets, submitted together (no partial information will be accepted), and dropped off at Inspectional Services Department with the above referenced application number or re-uploaded on the portal if it is an ePlan application. More information may be required. Please be advised that the time limitation of your application shall be 180 days, otherwise it shall be deemed abandoned per 780 CMR. Thank you for your assistance.

# Kinsale Lane Sub-Division



## RESIDENTIAL SUB-DIVISION :

# 8 KINSALE LANE LOT 5 , TYPE C BOSTON (HYDE PARK), MASSACHUSETTS

## AUGUST 2, 2021 PERMIT SET

	LOT AREA DWELLING	LOT WIDTH	LOT FRONTAGE	FAR	HEIGHT		OPEN SPACE	FRONT SETBACK	SIDE SETBACK	REAR SETBACK
					ST	HGT				
1F-9000										
ALLOWED	9,000 SF	70 FT	70 FT	.3	2-1/2	35 FT	1,800 SF	25 FT	10 FT	40 FT
PROPOSED	10,055 SF	84 FT	87 FT	1962/10,055= .20	2-1/2	31-1 13/4" FT	7,537 SF	25.1 FT	25.3 FT	40.0 FT & 40.2 FT

2 ZONING  
12" = 1'-0"



3 PERSPECTIVE VIEW 1

GENERAL NOTES, STANDARDS AND CONDITIONS:

INDUSTRY STANDARDS: THE FOLLOWING CONSTRUCTION AND CODE STANDARDS SHALL HAVE THE SAME FORCE AND EFFECT AS IF BOUND INTO THE CONTRACT DOCUMENTS.

780CMR MASSACHUSETTS STATE BUILDING CODE 9TH EDITION			
ACI AMERICAN CONCRETE INSTITUTE	FSC FOREST STEWARDSHIP COUNCIL		
ADA AMERICANS WITH DISABILITIES ACT	IBC INTERNATIONAL BUILDING CODE		
APA ENGINEERED WOOD ASSOCIATION	MAAB MASSACHUSETTS ARCHITECTURAL ACCESS BOARD		
ASHRAE AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS	MPI MASTER PAINTERS INSTITUTE		
ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS	NFPA NATIONAL FIRE PROTECTION INSTITUTE		
AWI ARCHITECTURAL WOODWORK INSTITUTE	NOFMA WOOD FLOOR MAUFACTURERS INSTITUTE		
CFR CARPET AND RUG INSTITUTE	OSHA OCCUPATIONAL SAFETY AND HAZARD ASSOC.		
CSI CONSTRUCTION SPECIFICATION INSTITUTE	SDI STEEL DOOR INSTITUTE		
FM FACTORY MUTUAL	SMACNA SHEET METAL AIR COND. CONTRACTORS ASSOC.		
	UL UNDERWRITERS LABORATORY		
	USGBC US GREEN BUILDING COUNCIL		

GENERAL NOTES:

- ALL PERMITS AND LICENSES SHALL BE SECURED BY THE CONTRACTOR. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MA STATE BUILDING CODE AND ALL OTHER CODES, ORDINANCES AND STANDARDS NOTED ABOVE. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS AND PROCEED AFTER THEY ARE RESOLVED.
- CONTRACTOR AND ALL SUBS SHALL BE LICENSED IN THE STATE OF MASSACHUSETTS AND SUPPLY PROOF OF ADEQUATE GENERAL LIABILITY AND WORKMANS COMP INSURANCE TO THE OWNER AND ARCHITECT.
- CONTRACTOR SHALL PREPARE A SCHEDULE OF VALUES AND SUBMIT PERCENTAGES OF COMPLETION ALONG WITH THE MONTHLY REQUISITION FOR PAYMENT.
- CONTRACTOR SHALL COORDINATE ALL ARCHITECTURAL, STRUCTURAL, MEP/FP, CIVIL AND LANDSCAPE WORK PERFORMED BY SUBCONTRACTORS IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DRAWINGS AND SUBMIT SHOP DRAWINGS DEMONSTRATING COORDINATION AND UNDERSTANDING.
- ALL NOTATIONS AND INDICATIONS ON THE DRAWINGS APPLYING TO ONE AREA OR CONDITION SHALL APPLY TO OTHER SIMILAR AREAS OR CONDITIONS ON THE DRAWINGS UNLESS OTHERWISE NOTED.
- PROVIDE SEALANT AT ALL INTERIOR AND EXTERIOR JOINTS, TYPICAL.
- PROVIDE FLASHINGS AT ALL OPENINGS, WINDOWS, DOORS, CONNECTIONS AND TRANSITIONS TO INSURE A WATERTIGHT BUILDING WIDE INSTALLATION.
- PROVIDE ALL ACCESS PANELS AS REQUIRED BY CODE AND REQUIRED BY ARCHITECTURAL, MEP/FP EQUIPMENT AND INSTALLATIONS WHETHER OR NOT INDICATED ON THE PLANS. ACCESS PANELS SHALL BE FLUSH AND LOCATIONS COORDINATED WITH THE ARCHITECT.
- CONTRACTOR SHALL COORDINATE ALL SIZE AND LOCATIONS OF ALL SLAB AND WALL OPENINGS INCLUDING PER EQUIPMENT MANUFACTURERS RECOMMENDATIONS OR PER COORDINATION WITH EACH TRADE.
- ALL PENETRATIONS THROUGH RATED WALLS, CEILINGS AND FLOORS SHALL BE FIRE STOPPED AND SMOKE SEALED WITH AN APPROVED RATED ASSEMBLY OR WITH MECHANICAL FIRE DAMPERS.

GEOTECHNICAL REPORT

- IF APPLICABLE TO THE PROJECT REFER TO GEOTECHNICAL REPORT FOR EXCAVATION AND SUB SURFACE PREP, SHORING, FOUNDATION DESIGN AND WATERPROOFING RECOMMENDATIONS.

SITE WORK/EXISTING CONDITIONS

- TEMPORARY SHORING: PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN AND/OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. EXCAVATION AND SHORING SHALL BE DONE IN ACCORDANCE WITH OSHA REGULATIONS.
- TEMPORARY FACILITIES: PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE, DAMAGE TO ADJACENT PARCELS AND/OR FACILITIES TO REMAIN.
- UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS: MAINTAIN AS REQUIRED FOR OCCUPIED FACILITIES AND/OR CAPPED/DISCONTINUED AS REQUIRED.
- HAZARDOUS MATERIALS: IF ENCOUNTERED OWNER SHALL REMOVE UNDER A SEPARATE CONTRACT.
- CONTRACTOR SHALL PROTECT ALL ON-SITE ITEMS AND MATERIALS FROM WEATHER AND MOISTURE. THIS INCLUDES PROTECTING THE BUILDING FROM WEATHER AND MOISTURE THROUGHOUT THE COURSE OF CONSTRUCTION DURING WHICH TIMES THE BUILDING IS EXPOSED.
- CONTRACTOR SHALL IMPLEMENT A STRATEGY FOR DRYING MATERIALS AND PRODUCTS PRIOR TO INSTALLATION WHICH MAY HAVE A HIGH MOISTURE CONTENT.

DEMOLITION, CONSTRUCTION WASTE MANAGEMENT, NOISE MITIGATION, DUST

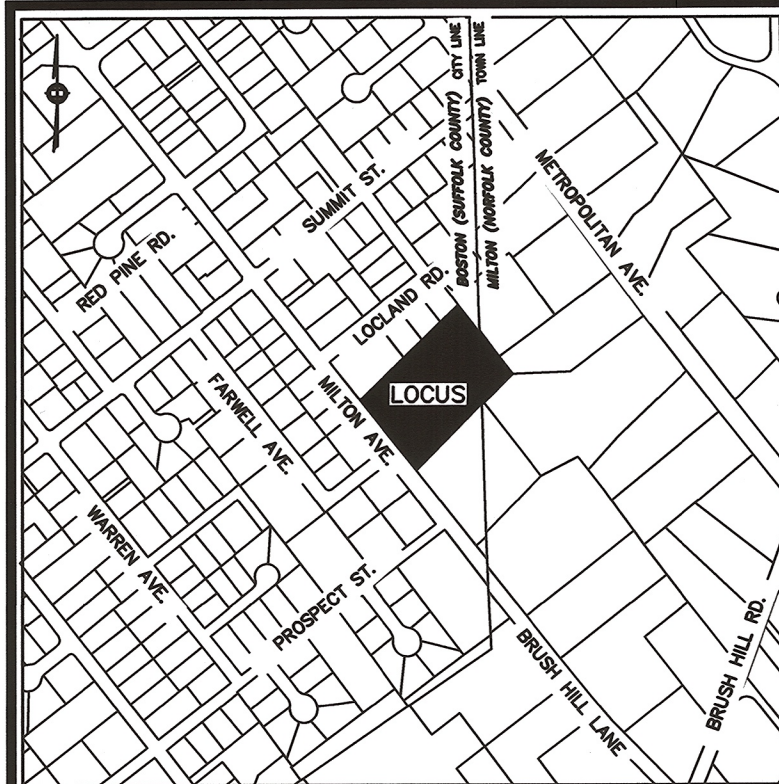
- OFFSITE DISPOSAL SHALL BE DEPOSITED, RECYCLED OR RECLAIMED IN A LANDFILL ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL MITIGATE TO THE EXTENT POSSIBLE DUST, DEBRIS AND NOISE THROUGHOUT THE DEMOLITION AND CONSTRUCTION PROCESS. THE SITE SHALL BE MAINTAINED IN AN ORDERLY CONDITION ON A DAILY BASIS INCLUDING ALL SURROUNDING AREAS AND ADJACENT PARCELS AFFECTED BY THE SCOPE OF WORK.

4 GENERAL NOTES  
1/4" = 1'-0"

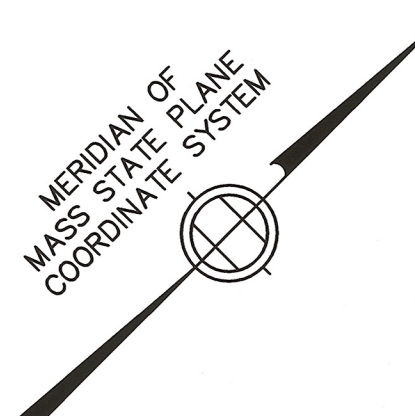
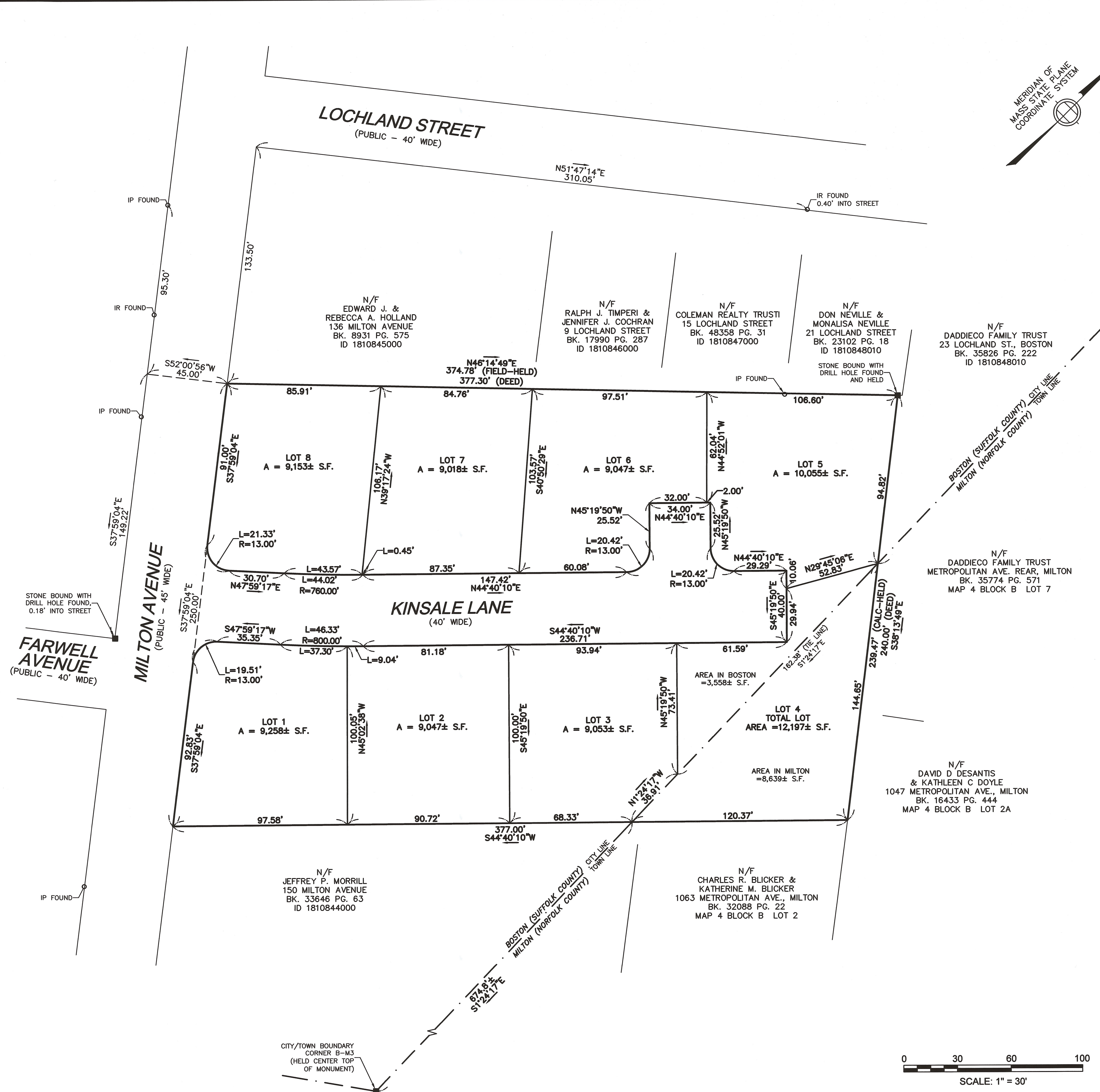
DRAWING INDEX		PERMIT SET	CONSTRUCTION																	
<b>CIVIL</b>																				
1 OF 1	SUBDIVISION PLAN																			
C100	SUBDIVISION LAYOUT & MATERIALS PLAN																			
C105	LOT 5 SITE PLAN																			
<b>ARCHITECTURE</b>																				
A-001	COVER SHEET & GENERAL NOTES																			
A100	BASEMENT, FOUNDATION PLAN & FIRST FLOOR PLAN																			
A101	SECOND FLOOR PLAN, ATTIC & ROOF PLAN																			
A201	REFLECTED CEILING PLANS																			
A300	STREET ELEVATION & LEFT SIDE ELEVATION																			
A301	REAR & RIGHT SIDE SIDE ELEVATIONS																			
A400	BUILDING SECTION & WALL SECTION																			

1 LIST OF DRAWINGS  
12" = 1'-0"

**A001**



VICINITY MAP - NOT TO SCALE



CITY/TOWN BOUNDARY CORNER B-M2 (HELD CENTER TOP OF MONUMENT)

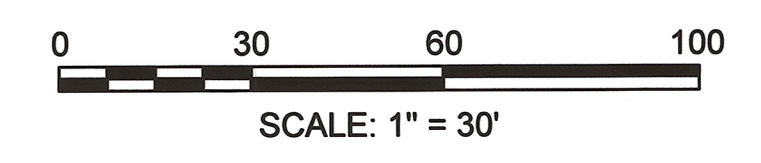
RESERVED FOR REGISTERS USE ONLY

**NOTES:**  
 INFORMATION SHOWN ON THIS PLAN WAS OBTAINED FROM AN ON-THE-GROUND FIELD SURVEY PERFORMED BETWEEN APRIL 13, 2016 AND MAY 03, 2018, BY DESIGN CONSULTANTS, INC. (DCI).  
 THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.  
 TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



P.L.S. *Matthew Lowry*  
 MATTHEW LOWRY, P.L.S. MASS. REGISTRATION NO. 49825  
 DATE 7-2-2018

**LOCUS TITLE INFORMATION**  
 MILTON AVENUE  
 OWNER: MOLLIE FEENEY  
 DEED REFERENCE: BK. 8953 PG. 241  
 PLAN REFERENCE: BK. 7067 PG. 145  
 ASSESSORS: PARCEL ID 1810844001



**Design Consultants, Inc.**  
 CIVIL ENGINEERS and LAND SURVEYORS  
 120 MIDDLESEX AVENUE SOMERVILLE, MA 02145 617-776-3350  
 68 PLEASANT STREET NEWBURYPORT, MA 01950 978-358-7173

NO.	DATE	BY	REVISIONS

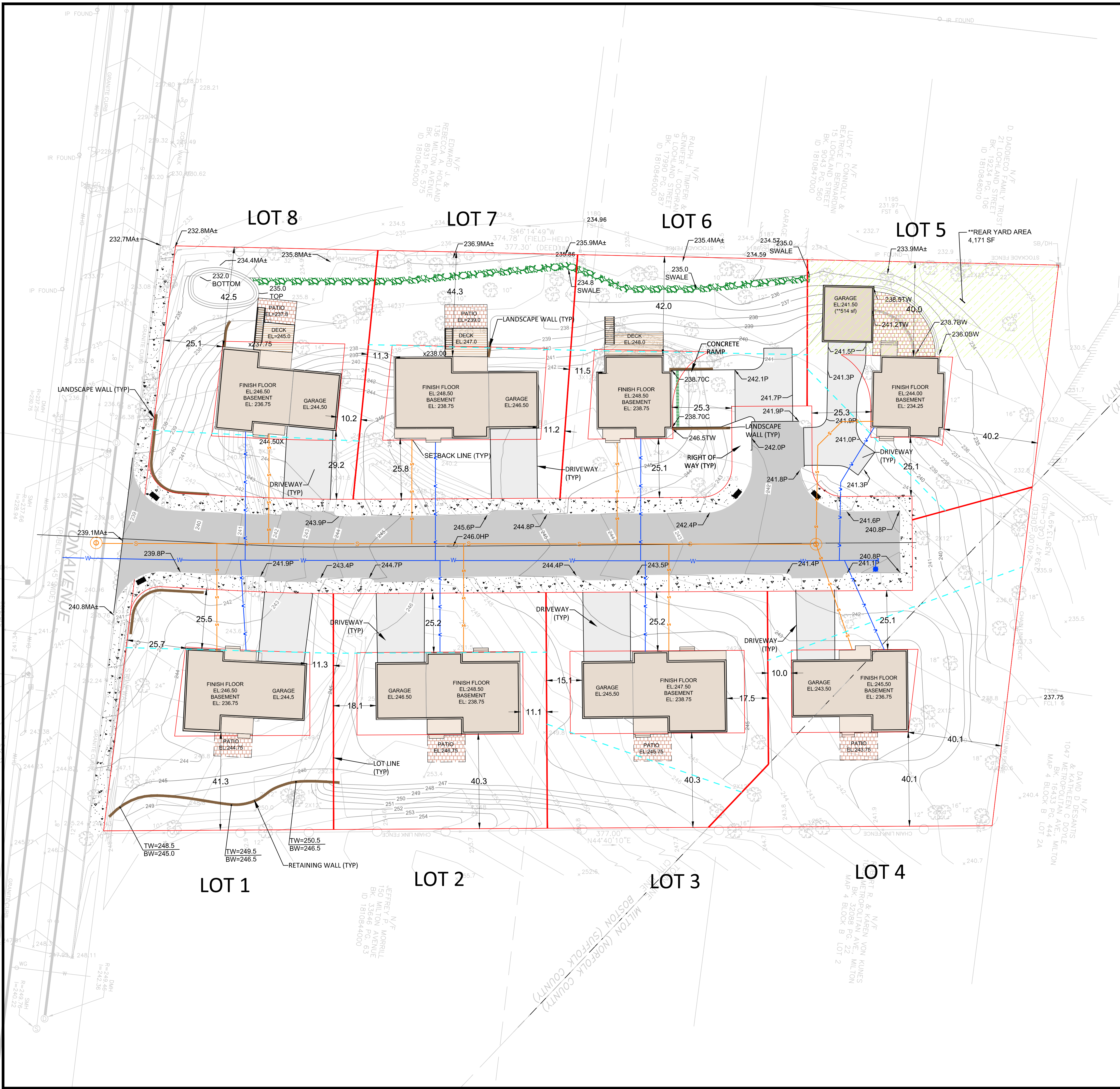
FIELD: LG  
 CALCS: ML  
 CHECKED: DG  
 APPROVED: ML

**SUBDIVISION PLAN**  
**KINSALE LANE**

LAND LOCATED IN  
**BOSTON (HYDE PARK) AND MILTON, MA.**  
 SURVEYED FOR  
**THE KEOHANE COMPANY**

PROJECT NO.  
 2016-028  
 DATE: MAY 4, 2018  
 SHEET NO.  
 1 OF 1

P:\2016 Projects\2016-028 Milton Ave Boston\DWG\ENGINEERING\BPDA site plans\16-028\_LAYOUT\_MAT.dwg



LEGEND

- PROPOSED HOUSE
- PROPOSED COVERED PORCH
- PROPOSED WALL
- PROPOSED DRIVEWAYS
- PROPOSED ROAD
- PROPOSED CONCRETE
- PROPOSED DECK
- PROPOSED PATIO
- LIMIT OF WORK
- LOT WIDTH

ACRONYMS

- TW TOP OF WALL
- BW BOTTOM OF WALL
- MA MATCH PAVEMENT
- BOTTOM BOTTOM OF SLOPE
- TOP TOP OF SLOPE

NORTH

**DCi**  
Design Consultants Inc.  
Somerville - Quincy - Newburyport  
www.dci-ma.com

PROJECT TEAM

PROJECT INFO		
REV	DESCRIPTION	DATE



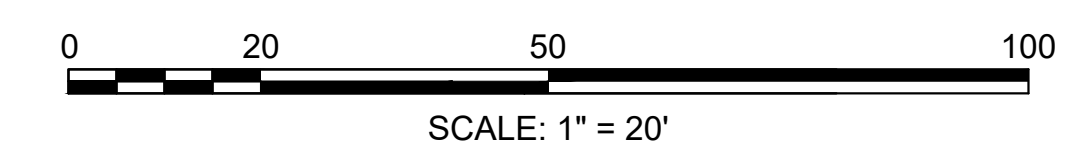
STAMP:

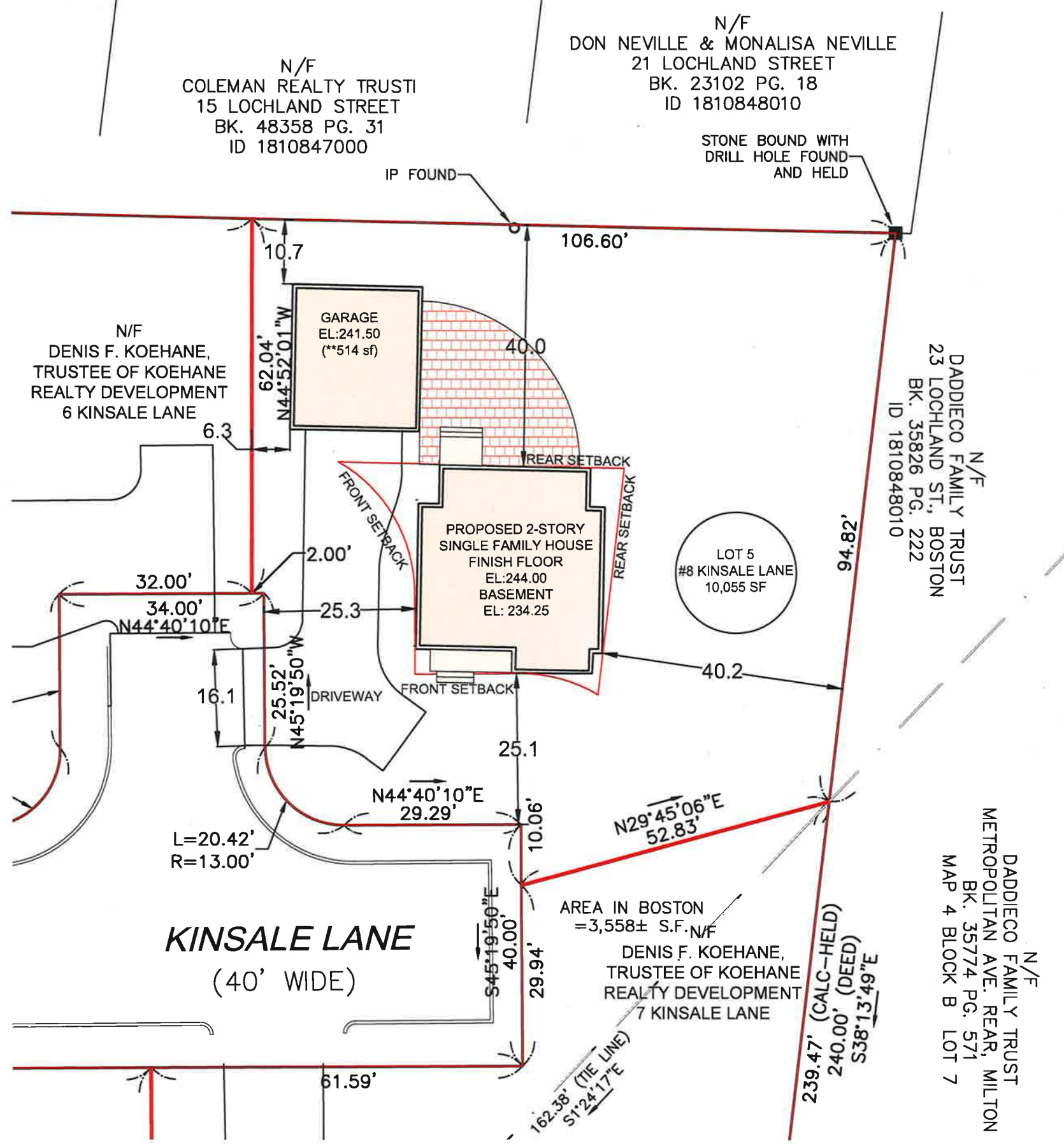
**LAYOUT & MATERIALS PLAN**

SHEET NAME:

**C100**

SHT NO:  
DR BY: JEH  
CHK BY: SS  
PROJ NO: 16-028  
DATE: 1-7-2021  
SCALE: 1"=20'

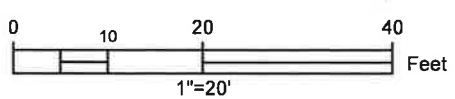




HYDE PARK NEIGHBORHOOD DISTRICT  
ONE-FAMILY RESIDENTIAL SUBDISTRICT  
(1F-9000)

LOT 5		
	REQUIRED	PROPOSED
LOT AREA	9,000 SF	10,055 SF
LOT FRONTAGE	70 LF	87 LF
FRONT SETBACK	25 LF	25.1 LF
SIDE SETBACK	10 LF	N/A
REAR SETBACK	40 LF	40.0 LF
LOT WIDTH	70 LF	84 LF
FAR	0.3	0.20
OPEN SPACE	2,064 SF	7,537 SF (75%)

\*OPEN SPACE IS ALL LOT AREA EXCLUDING BUILDING & DRIVEWAYS  
\*\* GARAGE COVERS 12.3% OF REAR YARD

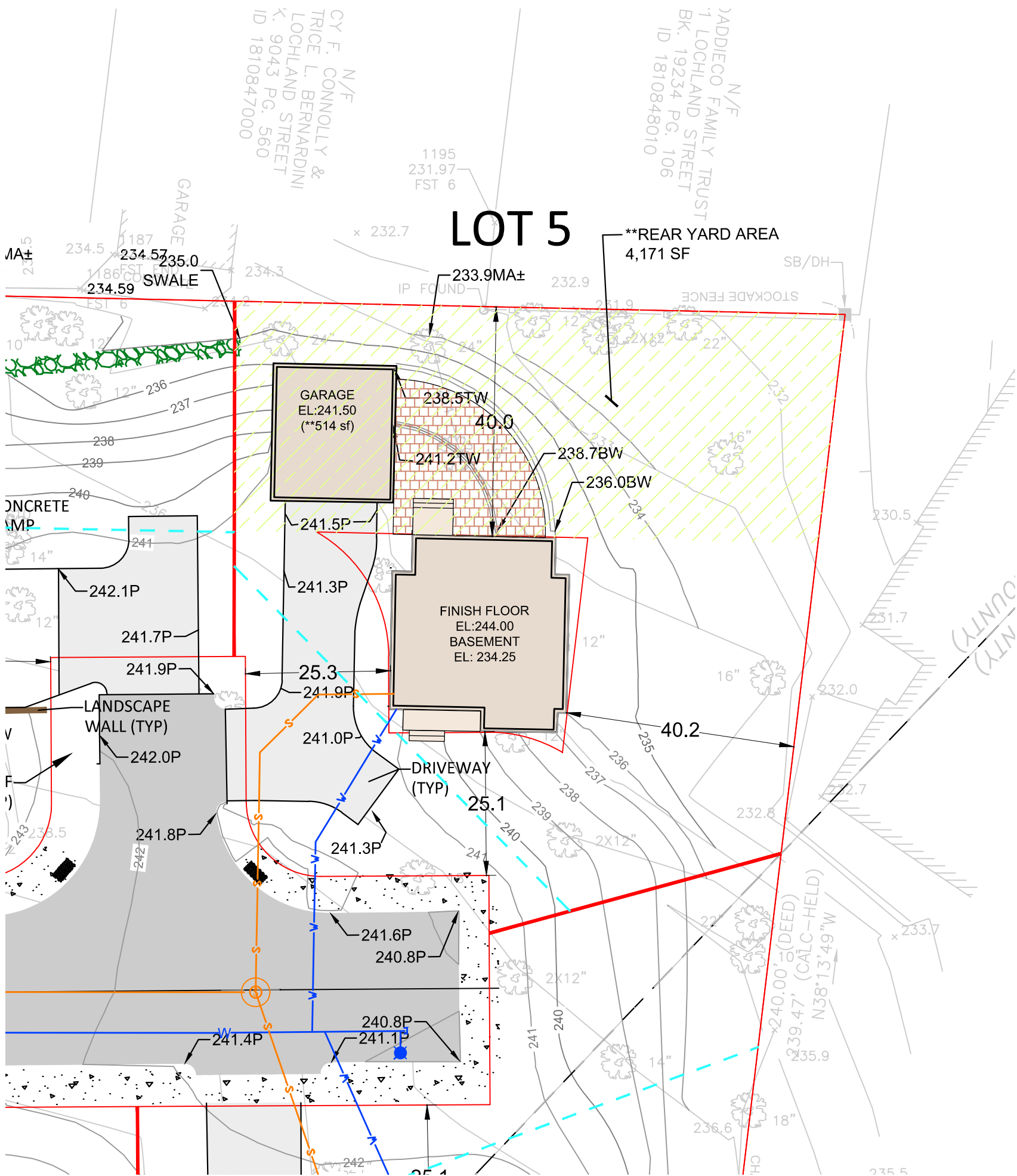
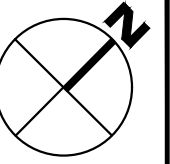


OWNER: DENIS F. KOEHANE, TRUSTEE OF KOEHANE REALTY DEVELOPMENT  
DEED REFERENCE: SUFFOLK COUNTY REGISTRY OF DEEDS - BOOK 59087 / PAGE 32  
REFERNANCE PLAN: SUFFOLK COUNTY REGISTRY OF DEEDS - PLAN YEAR 2021 / PLAN 266

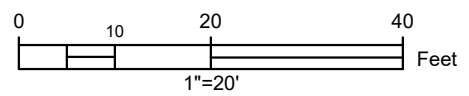


*Robert E. Smith Jr.*  
10-5-21

	<b>LOT 5</b> 8 KINSALE LANE, BOSTON, MA	SHEET NAME  <b>CERTIFIED PLOT PLAN</b>	SHEET NO.  <b>C105</b>	DR BY: GS
				CHK BY: RS
				PROJ NO: 2016-028
				DATE: 10-05-2021
				SCALE: 1" = 20'



LOT 5	
LOT AREA	10055 SF
LOT FRONTAGE	87 LF
LOT WIDTH	84 LF
OPEN SPACE	7537 SF (75%)



\*OPEN SPACE IS ALL LOT AREA EXCLUDING BUILDING & DRIVEWAYS  
 \*\* GARAGE COVERS 12.3% OF REAR YARD

**LEGEND**

- |                |                    |                        |           |
|----------------|--------------------|------------------------|-----------|
| PROPOSED HOUSE | PROPOSED DRIVEWAYS | LIMIT OF WORK          | LOT WIDTH |
| PROPOSED WALL  | PROPOSED ROAD      | PROPOSED PATIO         |           |
| PROPOSED DECK  | PROPOSED CONCRETE  | PROPOSED COVERED PORCH |           |

**ACRONYMS**

- |        |                 |
|--------|-----------------|
| TW     | TOP OF WALL     |
| BW     | BOTTOM OF WALL  |
| MA     | MATCH           |
| P      | PAVEMENT        |
| BOTTOM | BOTTOM OF SLOPE |
| TOP    | TOP OF SLOPE    |



**LOT 5**  
**KINSALE LANE,**  
**BOSTON, MA**

SHEET NAME

**SITE PLAN**

SHEET NO.

**C105**

DR BY: MH

CHK BY: SBS

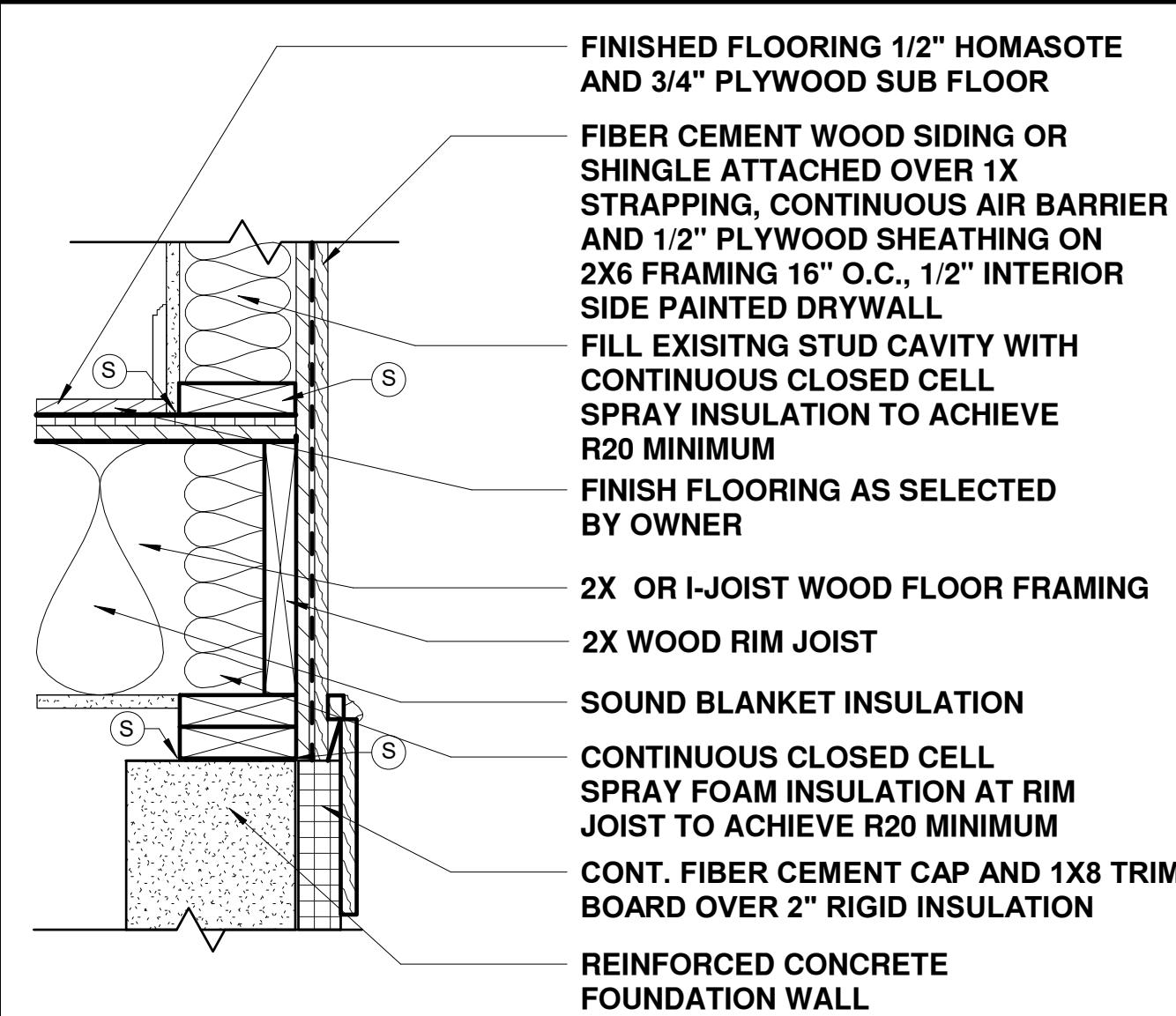
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DATE: 04-06-2021

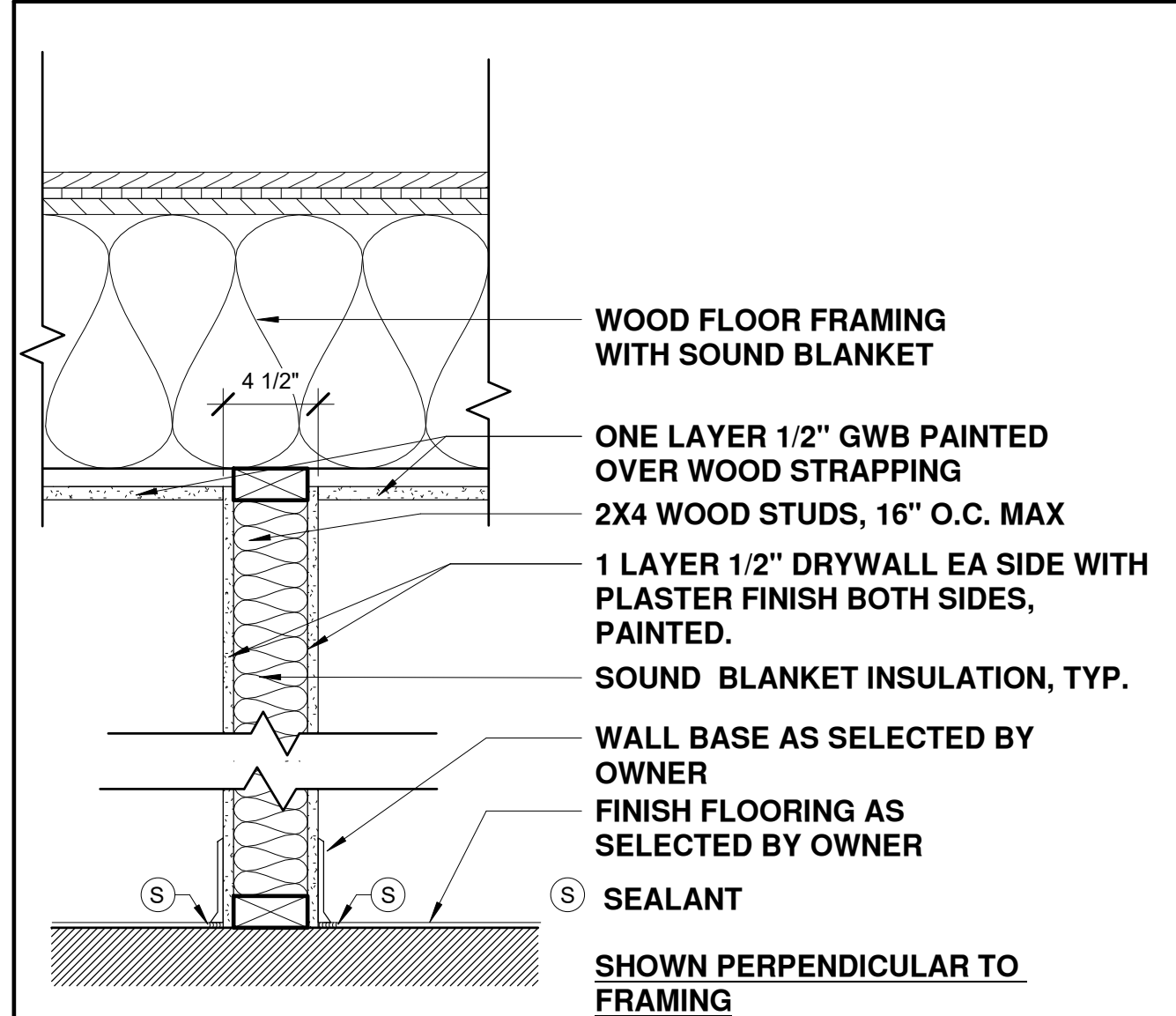
SCALE: 1" = 20'

**Kinsale Lane  
 Sub-Division**

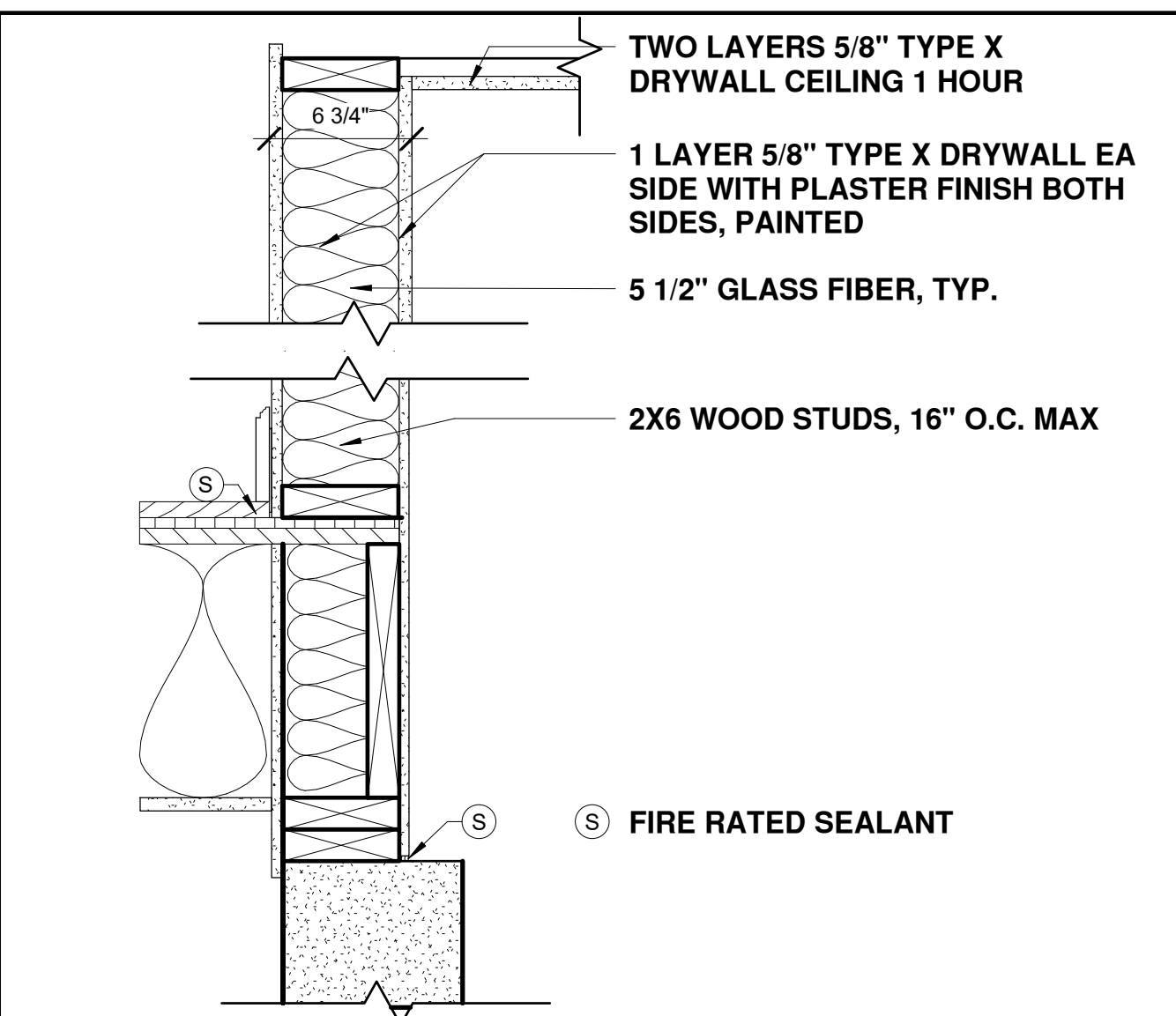
Hyde Park



**1 EXTERIOR WALL/FLOOR**  
 R VALUE: 20 MINIMUM



**2 INTERIOR WALL**  
 SIDE 1 1 LAYER 1/2" DRYWALL  
 SIDE 2 1 LAYER 1/2" DRYWALL



**3 1 HR GARAGE SEPARATION U309**  
 SIDE 1 1 LAYER 5/8" TYPE X DRYWALL  
 SIDE 2 1 LAYER 5/8" TYPE X DRYWALL

**3 WALL TYPES**  
 1 1/2" = 1'-0"

**FOUNDATION PLAN NOTES:**

THE FOUNDATION, FOOTING AND COLUMN SIZES SHALL BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS, STAMPED AND SIGNED.

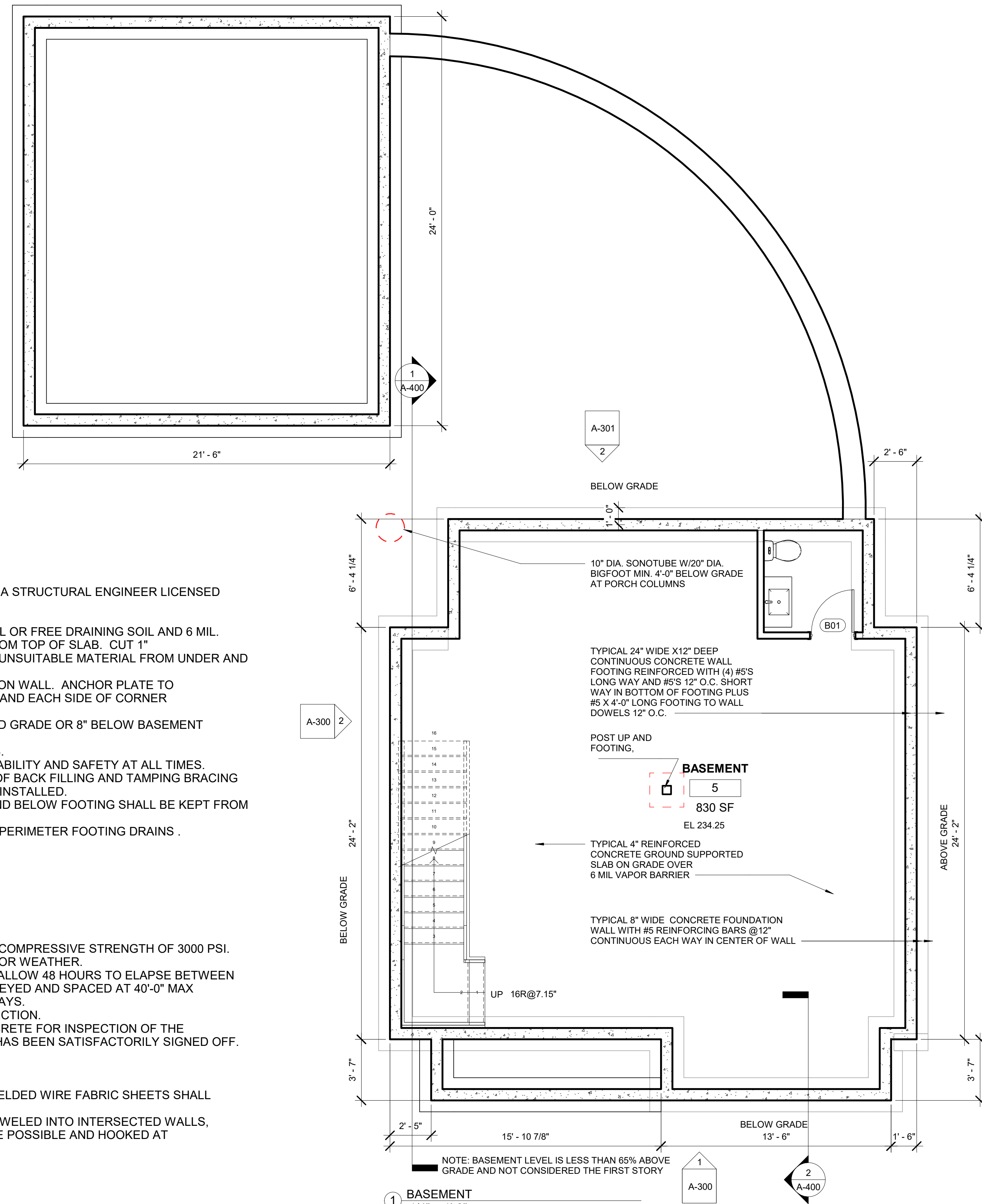
1. SLAB ON GRADE TO BE 4" THICK SET OVER 6" OF 3/4" BANK RUN GRAVEL OR FREE DRAINING SOIL AND 6 MIL. VAPOR BARRIER. REINFORCE SLAB W 6X6XW2.0XW2.9 WWFSET 1-1/2" FROM TOP OF SLAB. CUT 1" RELIEF JOINTS IN SLAB @ 10-15 FR O.C. REMOVE ALL SOFT, ORGANIC OR UNSUITABLE MATERIAL FROM UNDER AND ADJACENT TO ALL FOOTINGS AND FROM UNDER ALL SLABS ON GRADE.
2. PROVIDE (2)2X6 PRESSURE TREATED SILL PLATE AT TOP OF FOUNDATION WALL. ANCHOR PLATE TO WALL W/ 5/8" DIA. X 1'-4" (4" HOOK) ANCHORS @48" O.C. AND AT ALL ENDS AND EACH SIDE OF CORNER OF FOUNDATION WALL.
3. BOTTOM OF EXTERIOR FOOTINGS TO BE 4'-0" MINIMUM BELOW FINISHED GRADE OR 8" BELOW BASEMENT SLAB WHICHEVER IS LOWER.
4. ALL FOOTINGS SHALL BE CENTERED ON UNDER SUPPORTED MEMBERS.
5. SHORE, SHEET AND BRACE EXCAVATION AS REQUIRED TO ENSURE STABILITY AND SAFETY AT ALL TIMES.
6. ALL FOUNDATION WALLS SHALL BE BRACED DURING THE OPERATIONS OF BACK FILLING AND TAMPING BRACING SHALL BE LEFT IN POSITION UNTIL PERMANENT RESTRAINTS HAVE BEEN INSTALLED.
7. NO FOOTING SHALL BE PLACED IN WATER. MATERIAL ADJACENT TO AND BELOW FOOTING SHALL BE KEPT FROM FREEZING AT ALL TIMES.
8. PROVIDE CONTINUOUS DRAINAGE PLANE AT FOUNDATION WALLS AND PERIMETER FOOTING DRAINS .

**CAST IN PLACE CONCRETE:**

1. CONCRETE SHALL BE NORMAL WEIGHT TO ATTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
2. PROVIDE 6% AIR ENTRAINMENT IN ALL CONCRETE EXPOSED TO EARTH OR WEATHER.
3. PROVIDE DOWELS AND 2X4 KEY WAYS AT ALL CONSTRUCTION JOINTS. ALLOW 48 HOURS TO ELAPSE BETWEEN ADJACENT SLAB POURS. FOUNDATION WALL CONSTRUCTION SHALL BE KEYED AND SPACED AT 40'-0" MAX
4. ALL FORM WORK SHALL REMAIN IN PLACE FOR A MINIMUM OF THREE DAYS.
5. PROVIDE RELIEF JOINTS IN ALL SLABS ON GRADE 10' O.C. IN EACH DIRECTION.
6. NOTIFY THE SITE BUILDING INSPECTOR IN ADVANCE OF PLACING CONCRETE FOR INSPECTION OF THE REINFORCING STEEL. DO NOT CAST CONCRETE UNTIL THE INSPECTION HAS BEEN SATISFACTORILY SIGNED OFF.

**REINFORCING STEEL:**

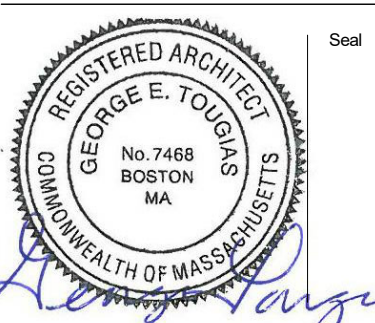
1. REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60 AND WELDED WIRE FABRIC SHEETS SHALL CONFORM TO ASTM A185.
2. BARS SHALL BE RUN CONTINUOUSLY AROUND CORNERS, DOWELED INTO INTERSECTED WALLS, LAPPED AT NECESSARY SPLICES AND WITH SPLICES STAGGERED WHERE POSSIBLE AND HOOKED AT DISCONTINUOUS ENDS.



**1 BASEMENT**  
 1/4" = 1'-0"

BELOW GRADE

No. Date Revision



Drawing Title

**LOT 5 TYPE C  
 BASEMENT,  
 GARAGE &  
 FOUNDATION  
 PLANS & WALL  
 TYPES**

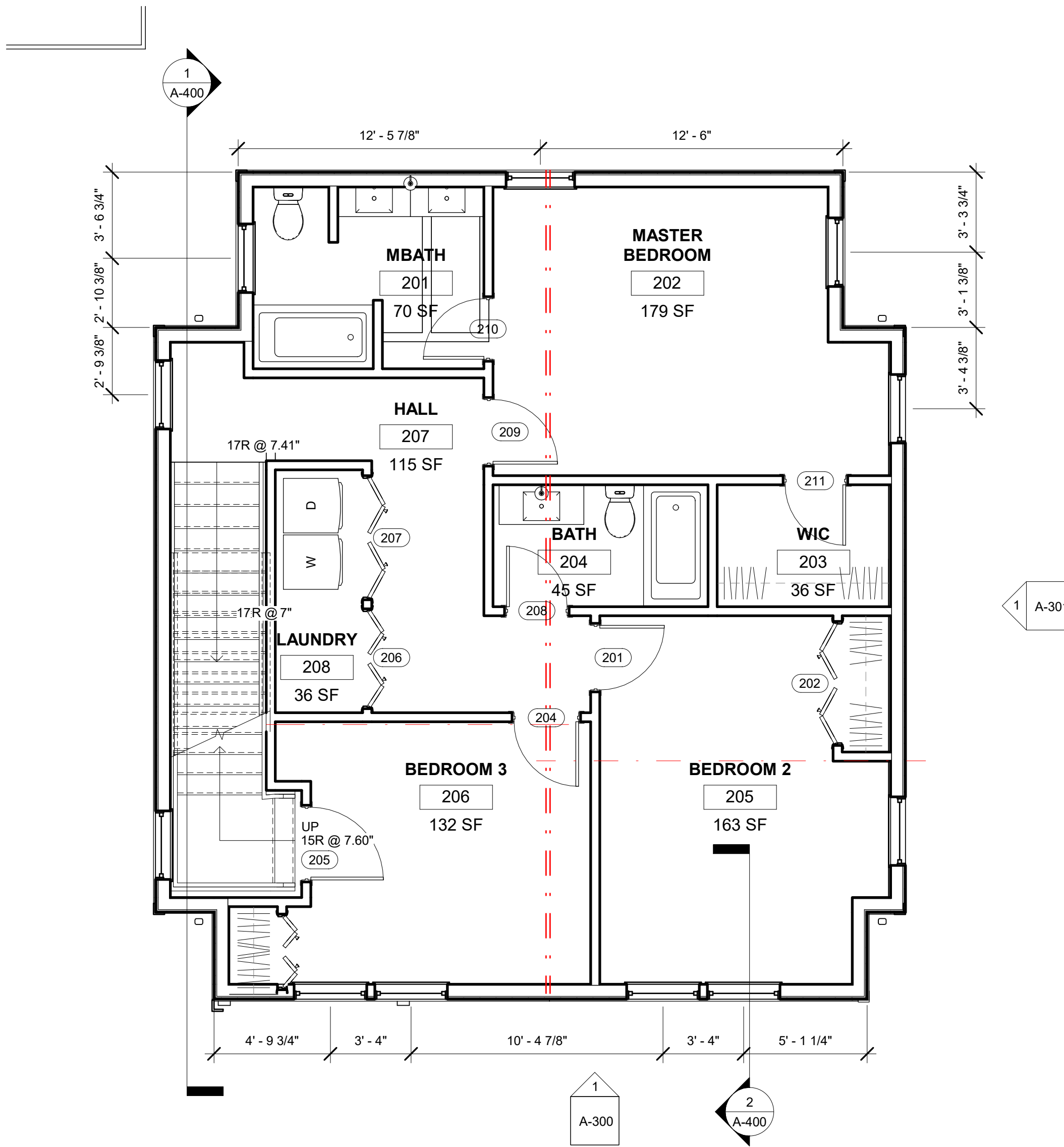
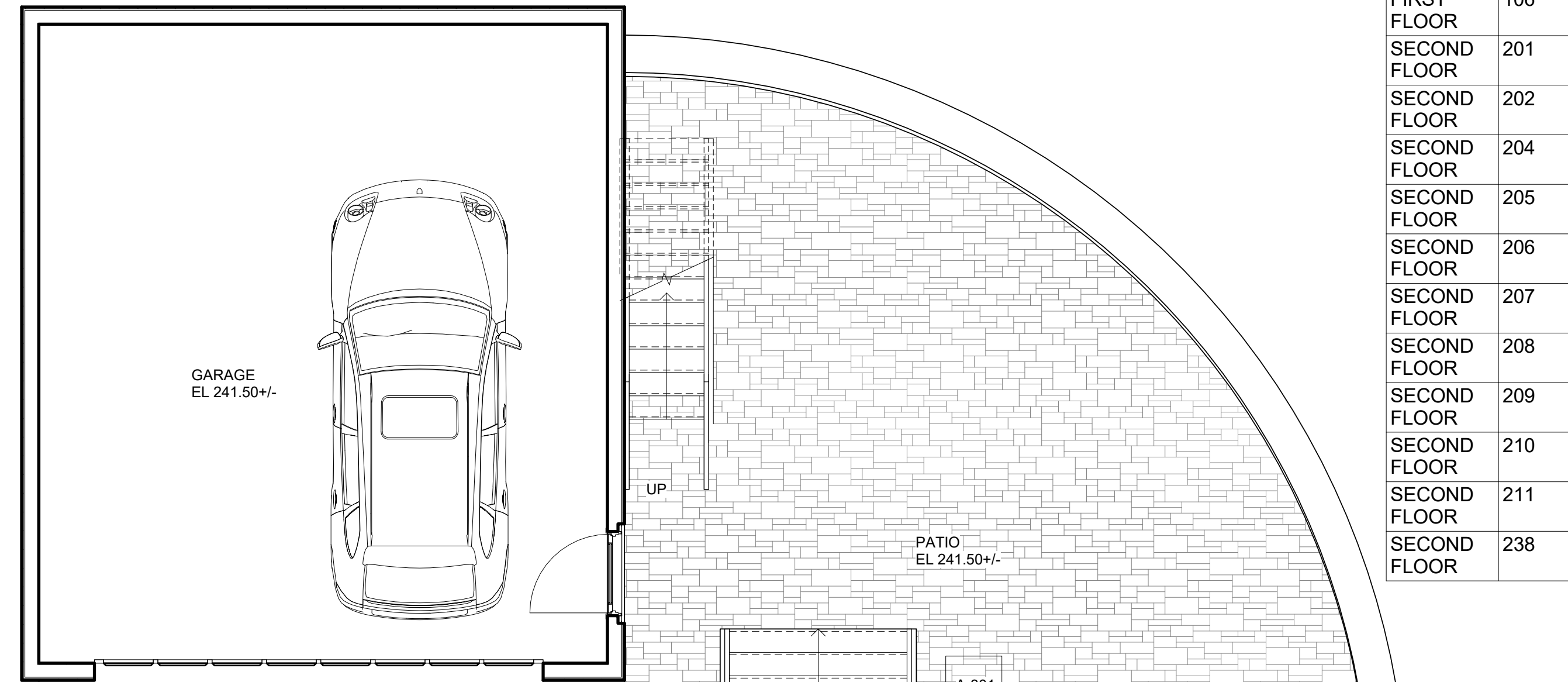
Project No. STA2019KEO  
 Date 08 02 21  
 Scale As indicated  
 Drawn By GT Checked By CFT

**A100**

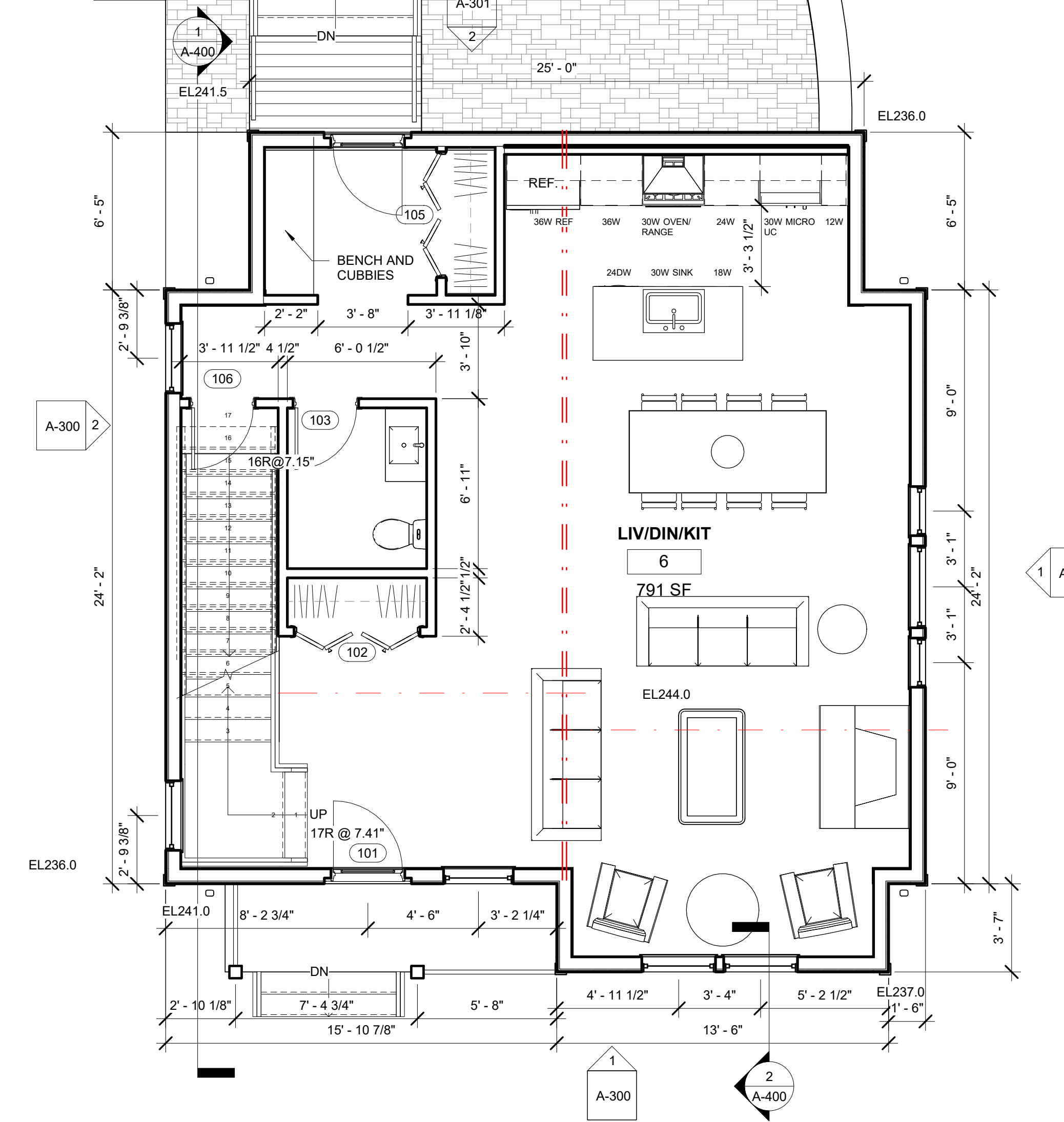
**Kinsale Lane  
 Sub-Division**

Hyde Park

Door Schedule					
Level	Mark	Width	Height	Frame Type	Comments
BASEMENT	B01	2' - 6"	6' - 8"		
T					
GARAGE	212	16' - 0"	7' - 0"		
GARAGE	213	3' - 0"	6' - 8"		
FIRST FLOOR	101	3' - 0"	6' - 8"		
FIRST FLOOR	102	5' - 0"	6' - 8"		
FIRST FLOOR	103	2' - 6"	6' - 8"		
FIRST FLOOR	104	3' - 0"	6' - 8"		
FIRST FLOOR	105	5' - 0"	6' - 8"		
FIRST FLOOR	106	2' - 6"	6' - 8"		
SECOND FLOOR	201	2' - 8"	6' - 8"		
SECOND FLOOR	202	5' - 0"	6' - 8"		
SECOND FLOOR	204	2' - 8"	6' - 8"		
SECOND FLOOR	205	3' - 0"	6' - 8"		
SECOND FLOOR	206	4' - 0"	6' - 8"		
SECOND FLOOR	207	5' - 0"	6' - 8"		
SECOND FLOOR	208	2' - 6"	6' - 8"		
SECOND FLOOR	209	2' - 8"	6' - 8"		
SECOND FLOOR	210	2' - 6"	6' - 8"		
SECOND FLOOR	238	3' - 0"	6' - 8"		

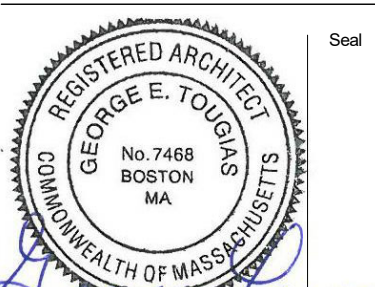


1 SECOND FLOOR  
 1/4" = 1'-0"



4 FIRST FLOOR  
 1/4" = 1'-0"

No. Date Revision



Drawing Title

**TYPE C FIRST &  
 SECOND FLOOR  
 PLANS PLAN**

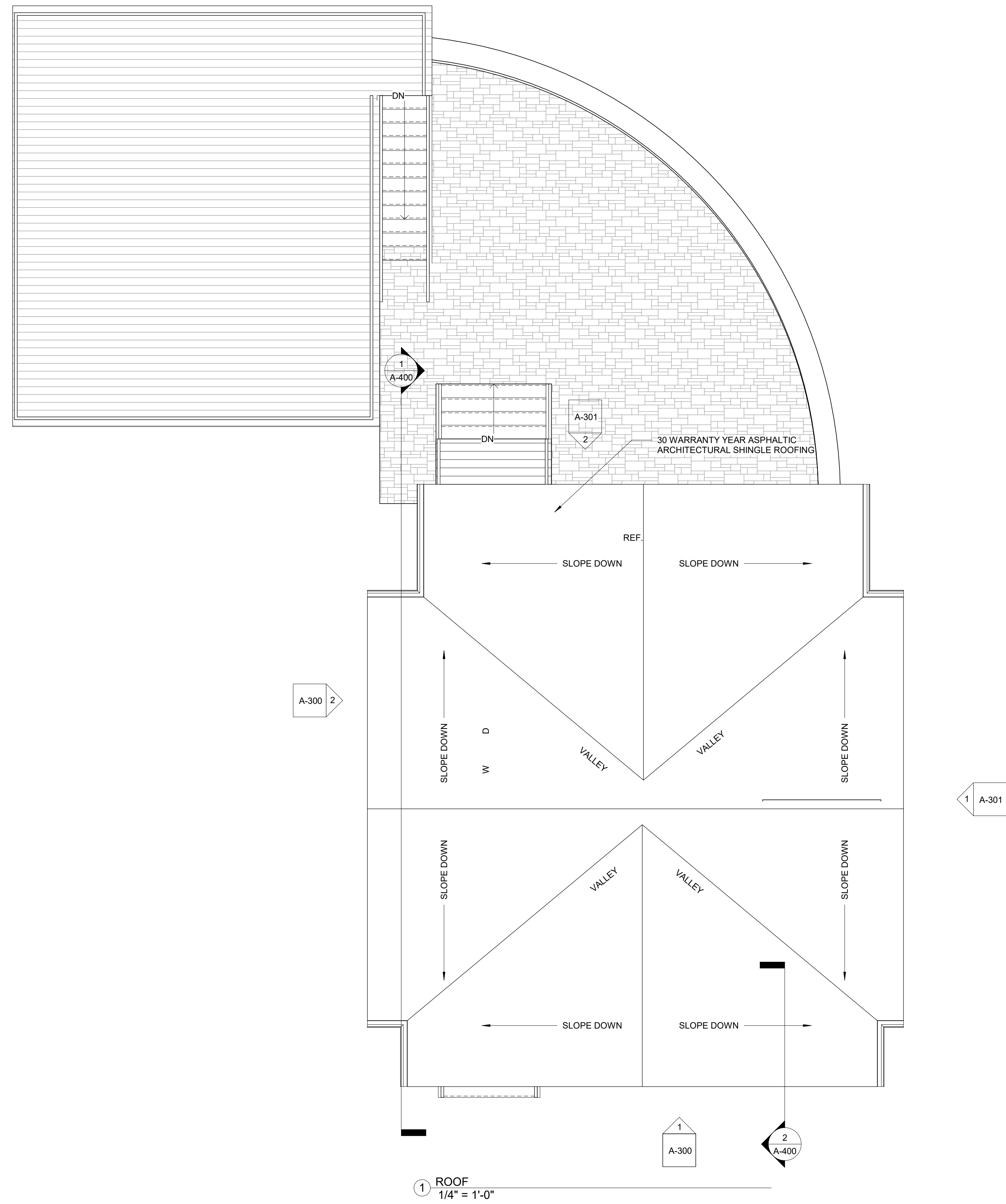
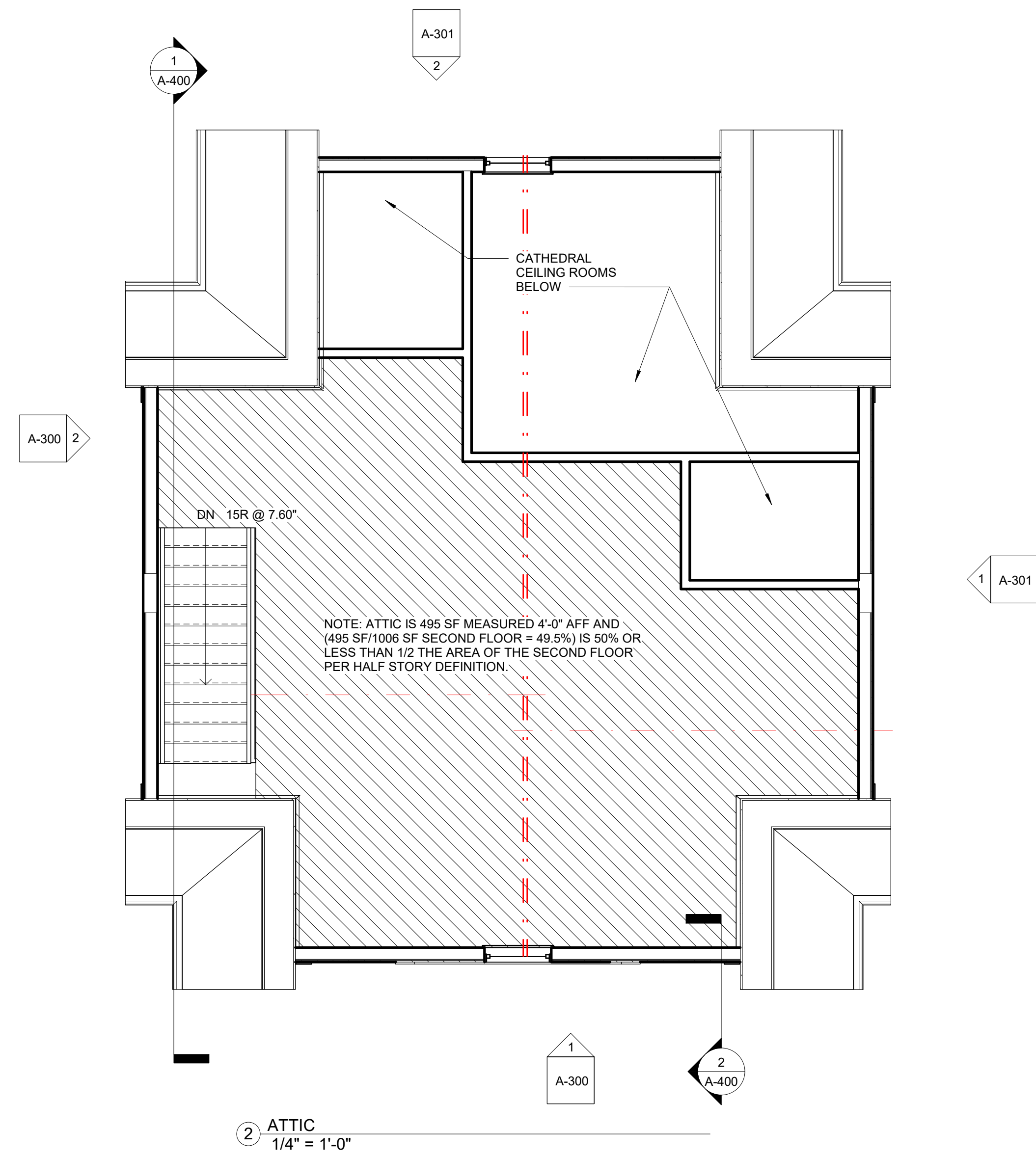
Project No. STA2019KEO  
 Date 08 02 21  
 Scale 1/4" = 1'-0"  
 Drawn By GT  
 Checked By CFT

A101



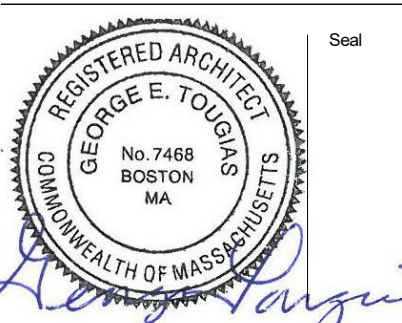
**Kinsale Lane Sub-Division**

Hyde Park



- ROOF GENERAL NOTES:**
1. PROVIDE CONTINUOUS 30" WIDE PERIMETER ICE AND WATERSHIELD
  2. PROVIDE CONTINUOUS ALUMINUM EAVE FLASHING WITH DRIP EDGE
  3. PROVIDE CONTINUOUS ASPHALT SHINGLE VALLEY AND COPPER FLASHING. IN ADDITION ALTERNATE LAP COURSES FROM EACH SIDE OF VALLEY AND EXTEND 12" BEYOND VALLEY CENTERLINE.
  4. PROVIDE CONTINUOUS STEP FLASHING AND CRICKETS IF NECESSARY AT DORMERS
  5. PROVIDE ROOF JACKETS WITH NEOPRENE GASKETS TO SEAL ALL PLUMBING, MECHANICAL AND ALL OTHER ROOF PENETRATIONS.
  6. PROVIDE CONTINUOUS EAVE AND RIDGE VENTING (NOT REQUIRED WITH CLOSED CELL INSULATION).
  7. GUTTERS SHALL BE 6" ALUMINUM WITH SUPPORTING BRACKETS 48" O.C. WITH MATCHING RECTANGULAR ALUMINUM DOWNSPOUTS STRAPPED TO SIDING AT TOP, MIDDLE AND BOTTOM MINIMUM

No. Date Revision



Drawing Title

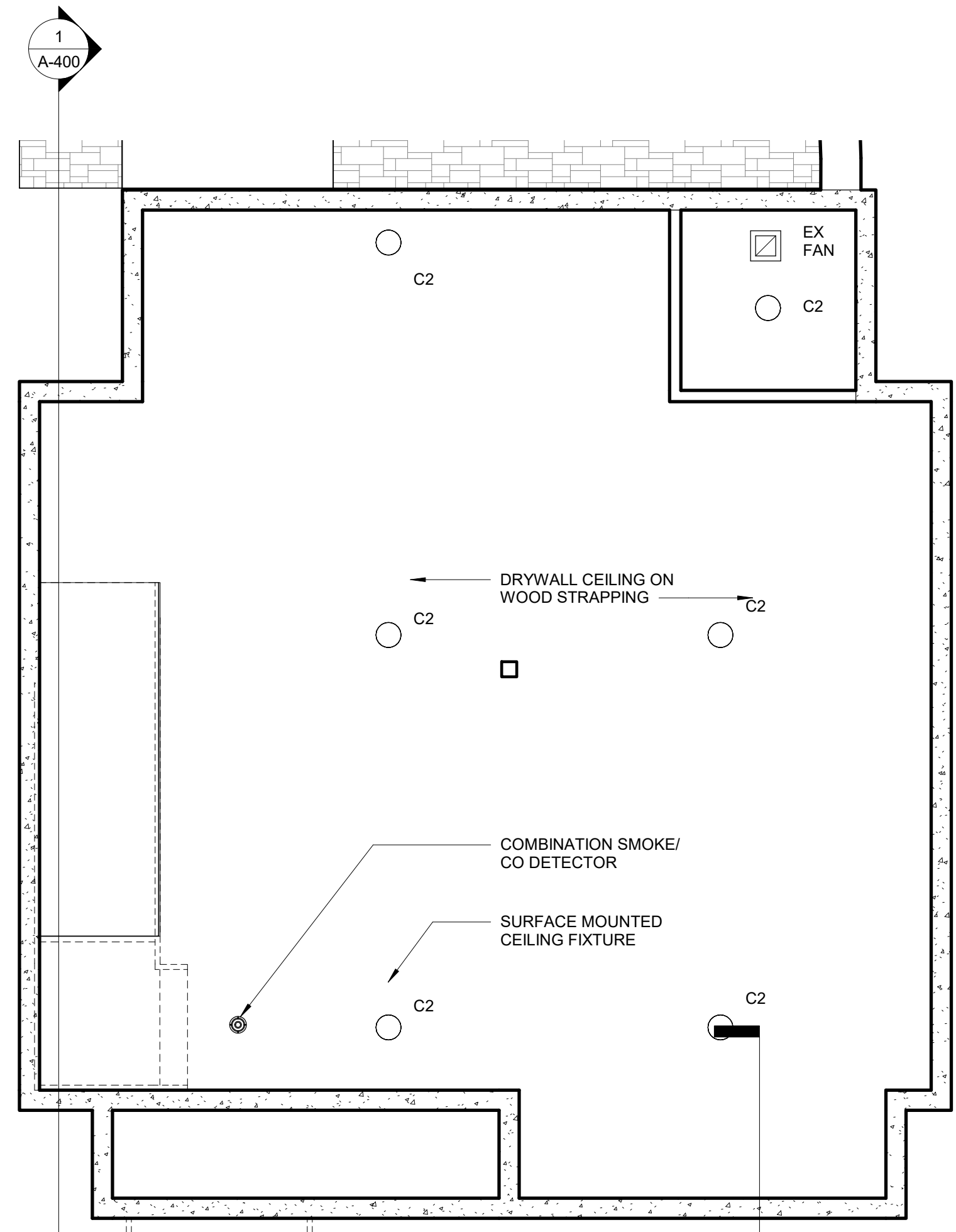
**TYPE C ATTIC AND ROOF PLAN**

Project No. STA2019KEO  
 Date 08 02 21  
 Scale 1/4" = 1'-0"  
 Drawn By GT  
 Checked By CFT

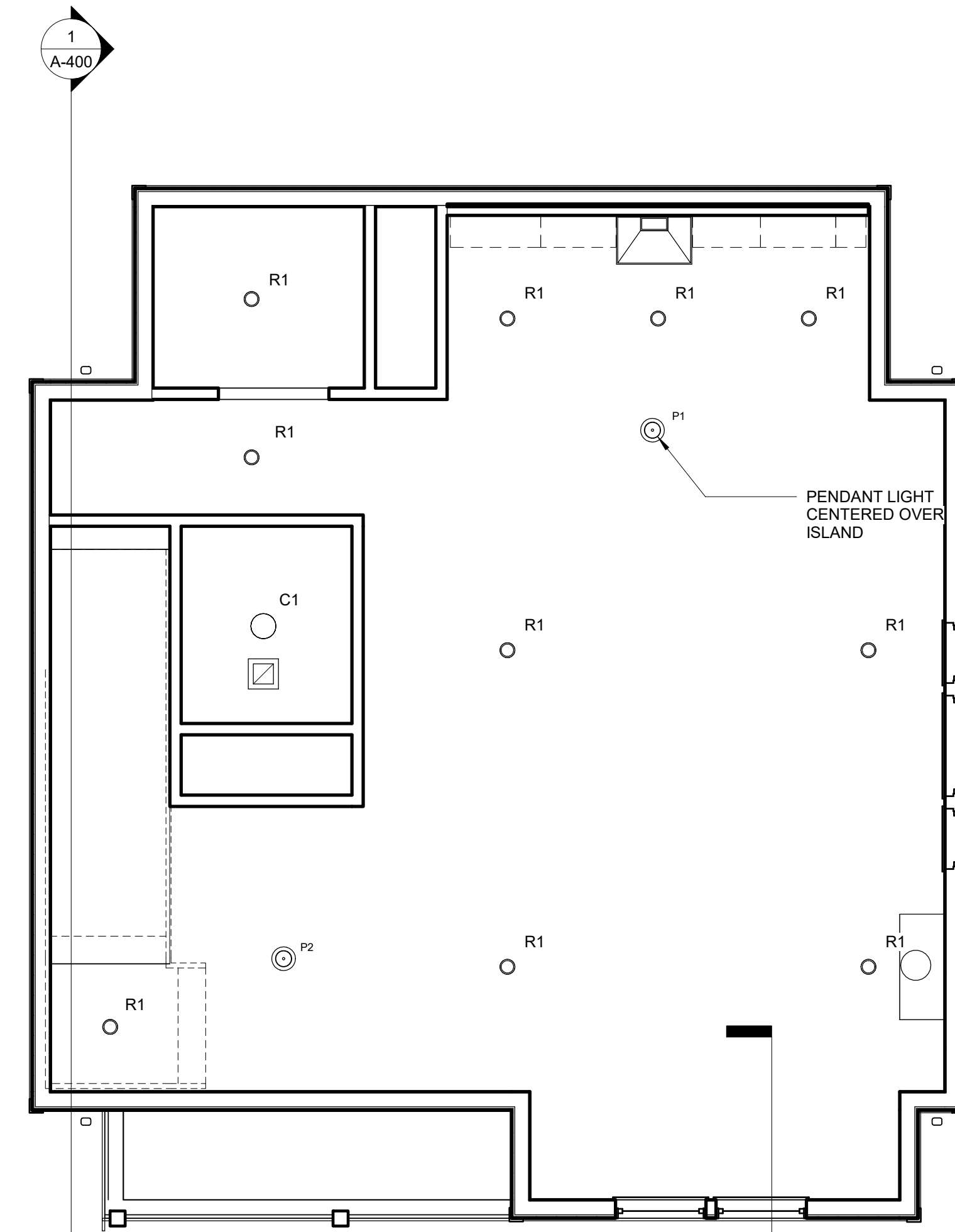
A102

**Kinsale Lane  
 Sub-Division**

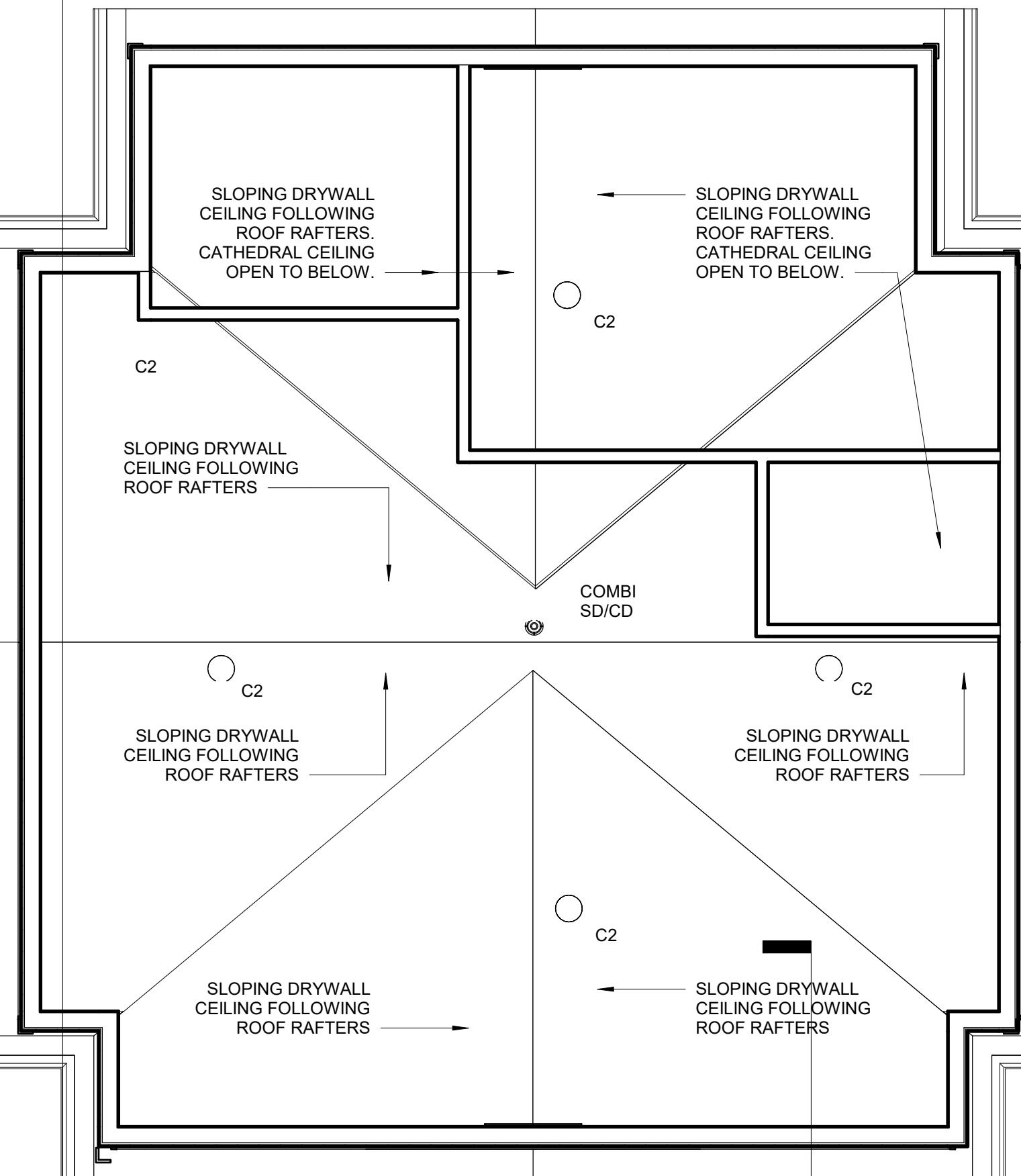
Hyde Park



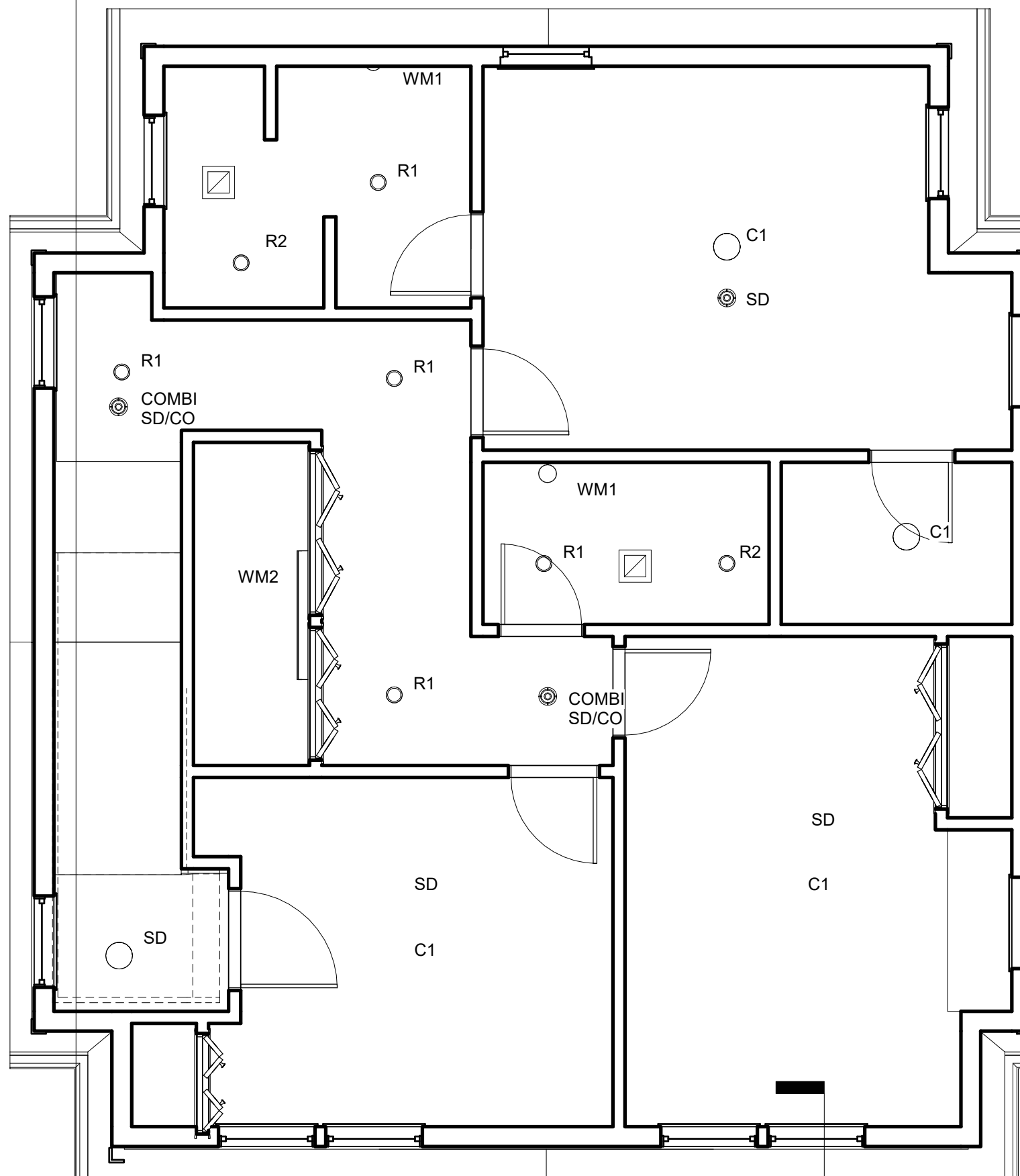
1 BASEMENT  
 1/4" = 1'-0"



2 FIRST FLOOR  
 1/4" = 1'-0"

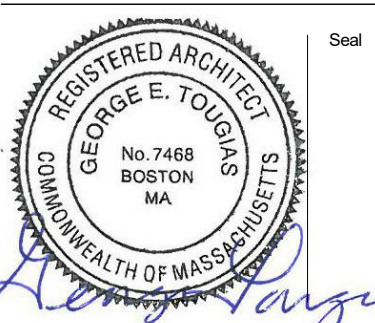


4 ATTIC  
 1/4" = 1'-0"



3 SECOND FLOOR  
 1/4" = 1'-0"

No. Date Revision



Drawing Title

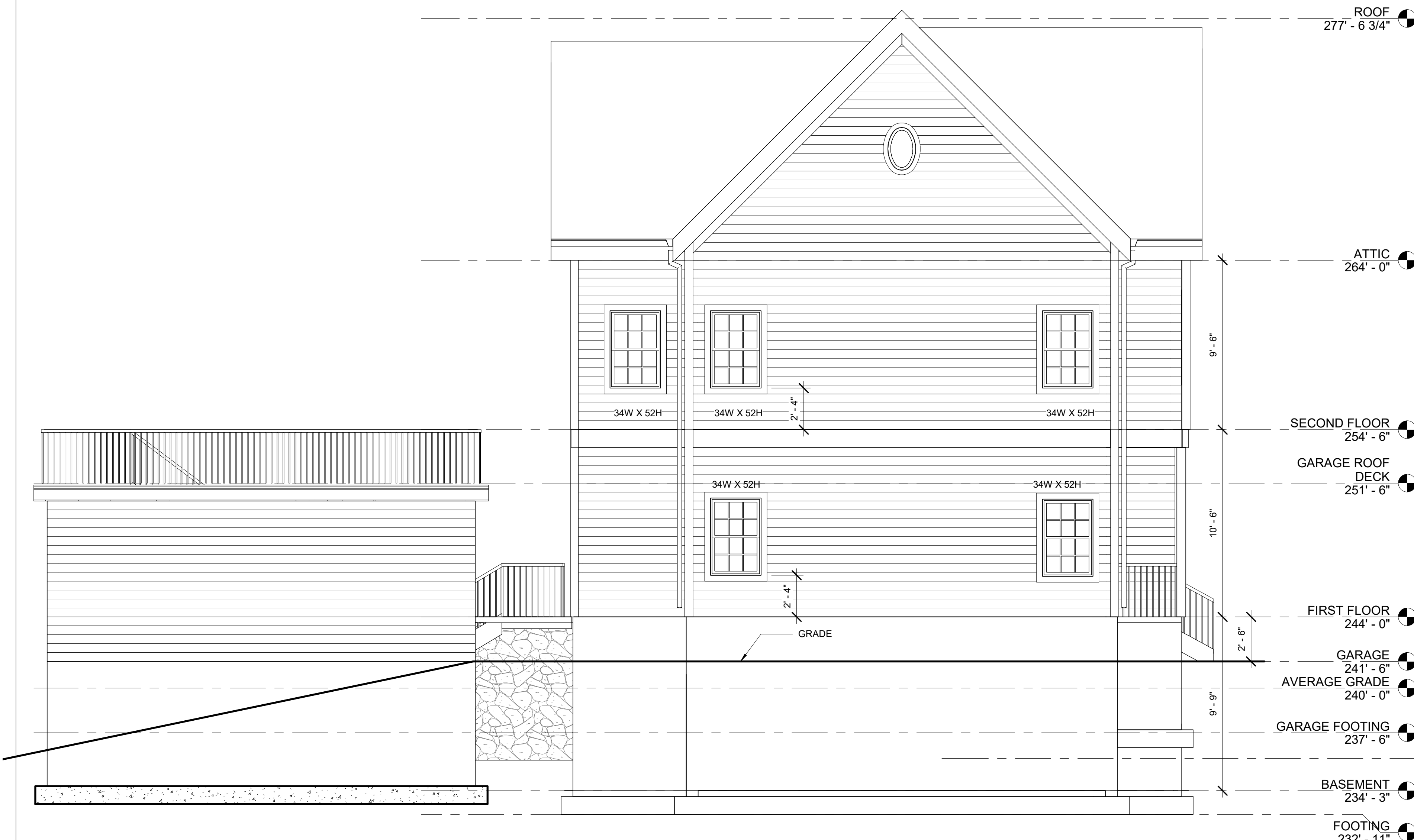
**REFLECTED  
 CEILING PLANS**

Project No. STA2019KEO  
 Date 08 02 21  
 Scale 1/4" = 1'-0"  
 Drawn By GT  
 Checked By CFT

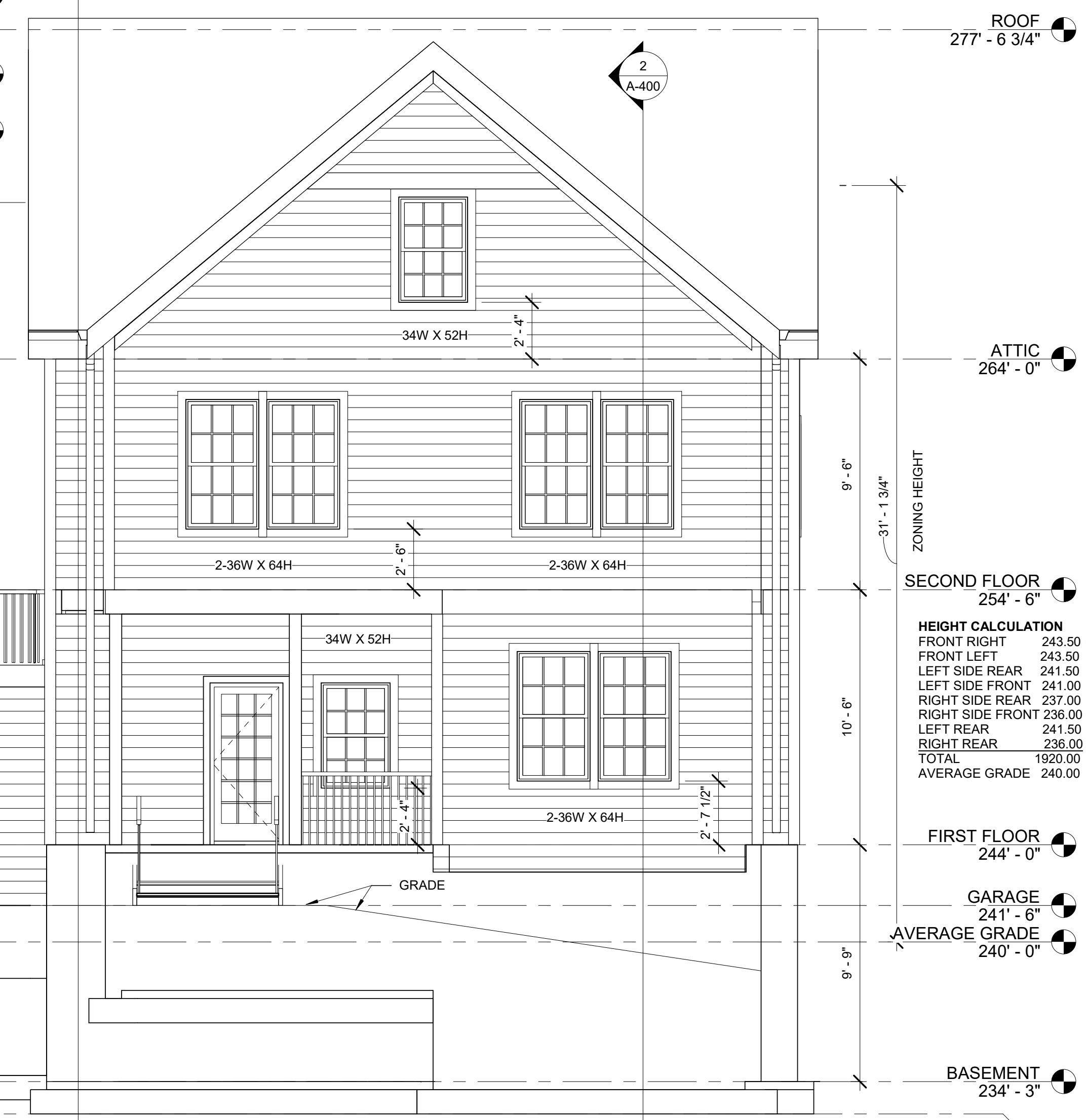
**A-201**

**Kinsale Lane  
 Sub-Division**

Hyde Park



② LEFT SIDE ELEVATION  
 1/4" = 1'-0"

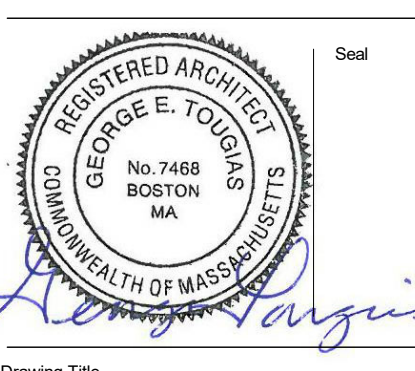


① STREET ELEVATION  
 1/4" = 1'-0"

**HEIGHT CALCULATION**

FRONT RIGHT	243.50
FRONT LEFT	243.50
LEFT SIDE REAR	241.50
LEFT SIDE FRONT	241.00
RIGHT SIDE REAR	237.00
RIGHT SIDE FRONT	236.00
LEFT REAR	241.50
RIGHT REAR	236.00
TOTAL	1920.00
AVERAGE GRADE	240.00

No. Date Revision



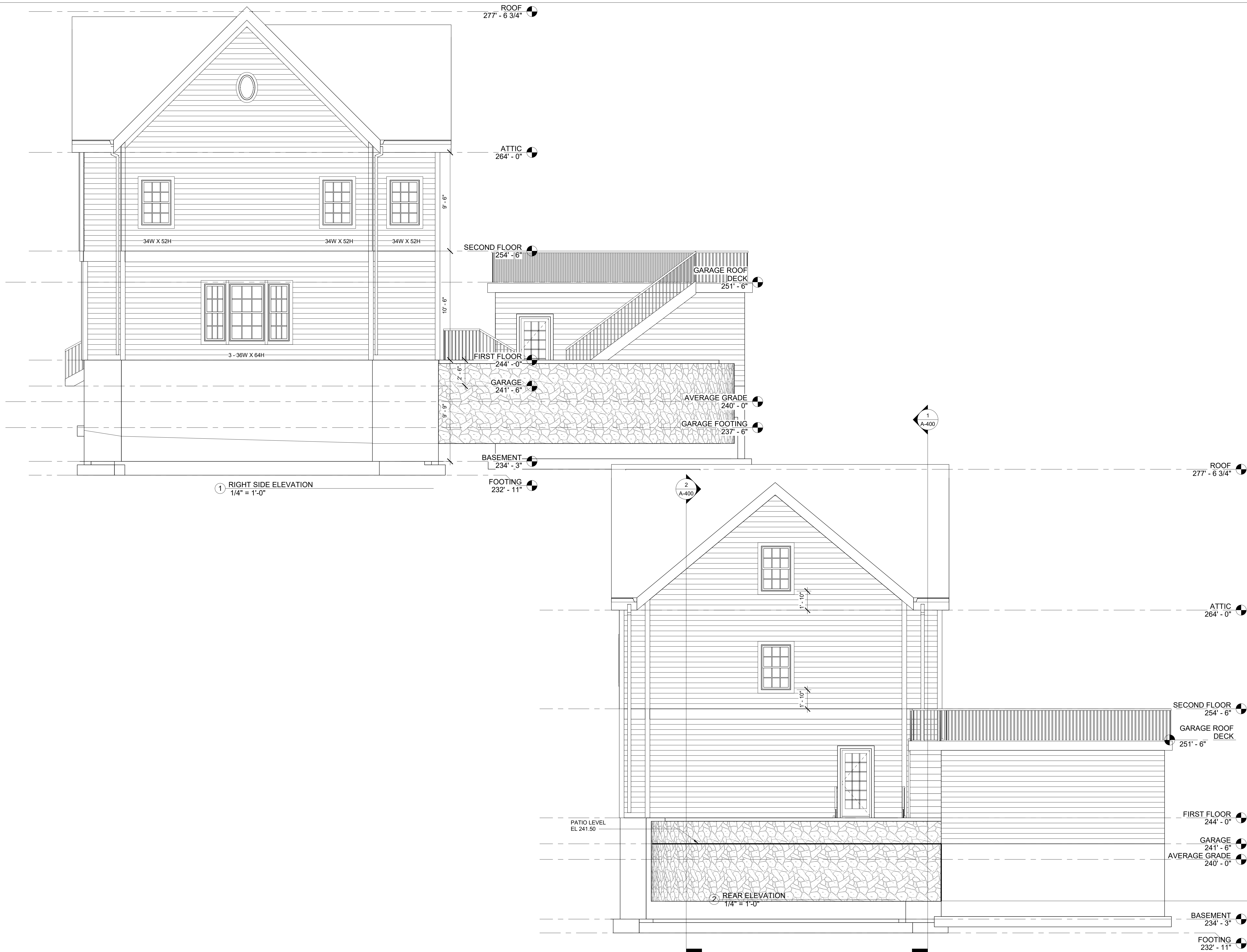
Drawing Title

**TYPE C STREET &  
 LEFT SIDE  
 ELEVATIONS**

Project No. STA2019KEO Drawing No. A-300  
 Date 08 02 21  
 Scale 1/4" = 1'-0"  
 Drawn By GT Checked By CFT

**Kinsale Lane  
 Sub-Division**

Hyde Park



1 RIGHT SIDE ELEVATION  
 1/4" = 1'-0"

FOOTING  
 232' - 11"

2 REAR ELEVATION  
 1/4" = 1'-0"

ROOF  
 277' - 6 3/4"

ATTIC  
 264' - 0"

SECOND FLOOR  
 254' - 6"

GARAGE ROOF DECK  
 251' - 6"

FIRST FLOOR  
 244' - 0"

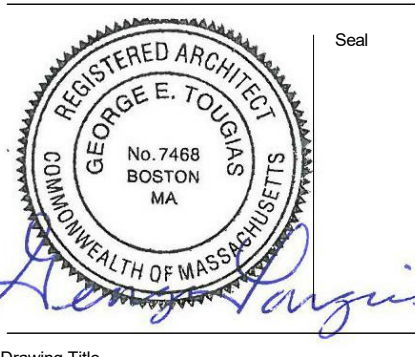
GARAGE  
 241' - 6"

AVERAGE GRADE  
 240' - 0"

BASEMENT  
 234' - 3"

FOOTING  
 232' - 11"

No. Date Revision



Drawing Title

**TYPE C REAR &  
 RIGHT SIDE  
 ELEVATIONS**

Project No.  
**STA2019KEO**

Date  
**08 02 21**

Scale  
**1/4" = 1'-0"**

Drawn By  
**GT**

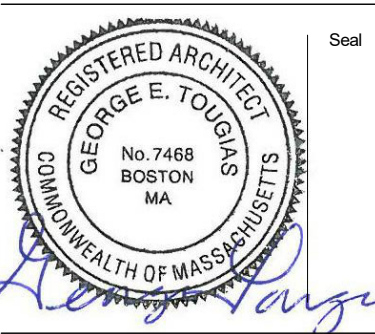
Drawing No.

**A-301**

**Kinsale Lane  
 Sub-Division**

Hyde Park

No. Date Revision

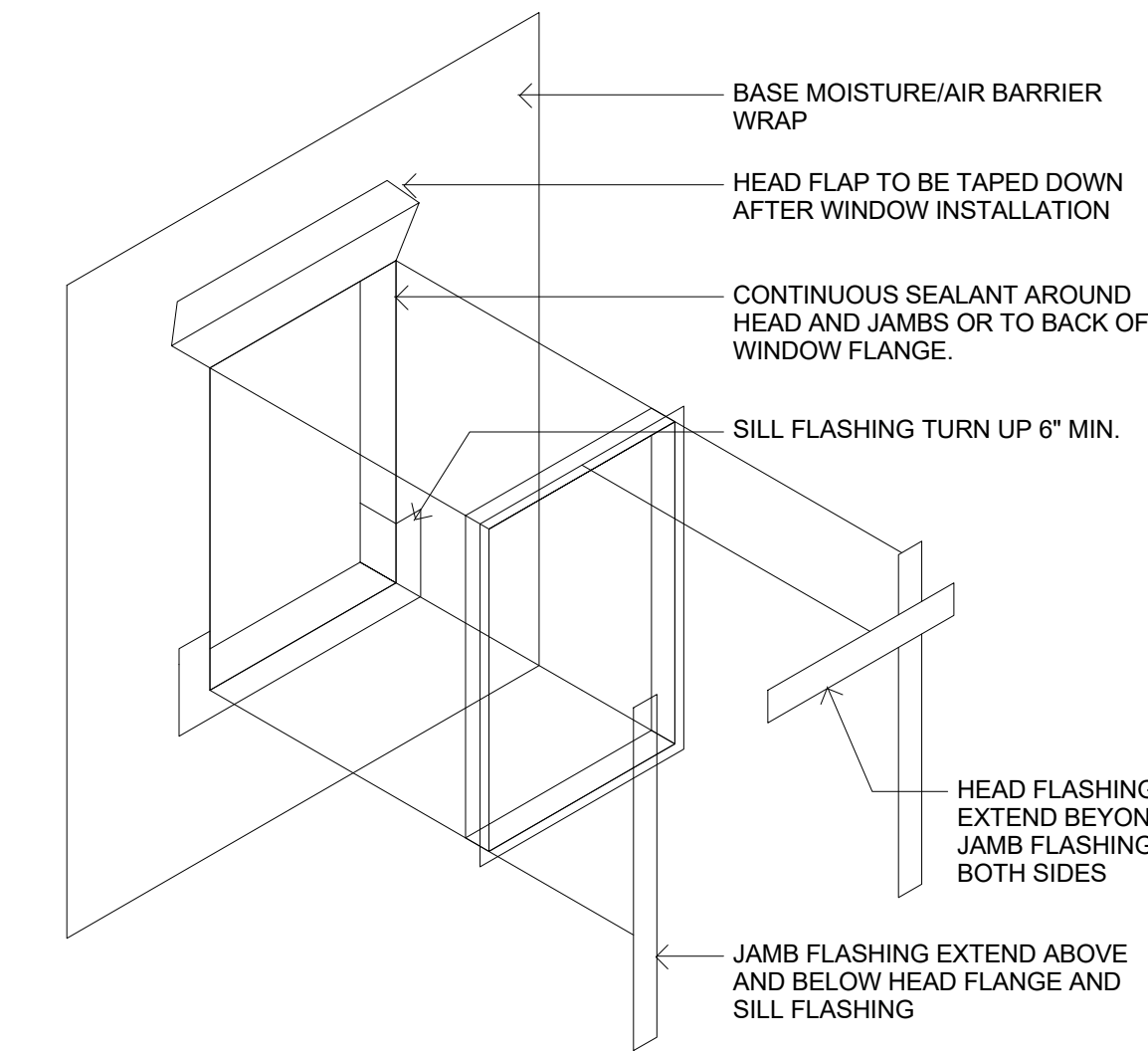


Drawing Title

**TYPE C BUILDING  
 SECTION & WALL  
 SECTION**

Project No. STA2019KEO  
 Date 05 12 21  
 Scale As indicated  
 Drawn By GT  
 Checked By CFT

**A-400**



③ WINDOW FLASHING  
 3" = 1'-0"

- TYPICAL ROOF ASSEMBLY**
- 30 YEAR ARCHITECTURAL ASPHALT SHINGLES
  - PEEL & STICK ROOF MEMBRANE CONT.
  - 5/8" PLYWOOD SHEATHING
  - 2X ROOF FRAMING 16" O.C.
  - CLOSED CELL INSULATION, FUR DOWN TO ACHIEVE R50

3/4" PLYWOOD SUBFLOOR OVER FRAMING MEMBERS  
 16" O.C. INSULATED, 1/2" GWB CEILING OVER WOOD FURRING BELOW

ATTIC  
 264' - 0"

- TYPICAL EXTERIOR WALL ASSEMBLY**
- FIBER CEMENT SIDING OVER FURRING STRIPS
  - WEATHER RESISTIVE AIR BARRIER
  - 1/2" PLYWOOD PANELS OR 1/2" ZIP WALL SYSTEM FULLY TAPED OVER
  - 2X6 WOOD STUDS 16" O.C.
  - CLOSED CELL INSULATION (R20 MIN)
  - 1/2" DRYWALL W/PLASTER PAINTED

3/4" PLYWOOD SUBFLOOR OVER FRAMING MEMBERS  
 16" O.C. INSULATED, 1/2" GWB SOFFIT CEILING BELOW

SECOND FLOOR  
 254' - 6"

SOFFITED CEILING FOR MECHANICAL DUCT RUNS AS NECESSARY.

3/4" PLYWOOD SUBFLOOR OVER FRAMING MEMBERS  
 16" O.C. INSULATED 1/2" GWB CEILING OVER WOOD FURRING BELOW

FIRST FLOOR  
 244' - 0"

GARAGE  
 241' - 6"

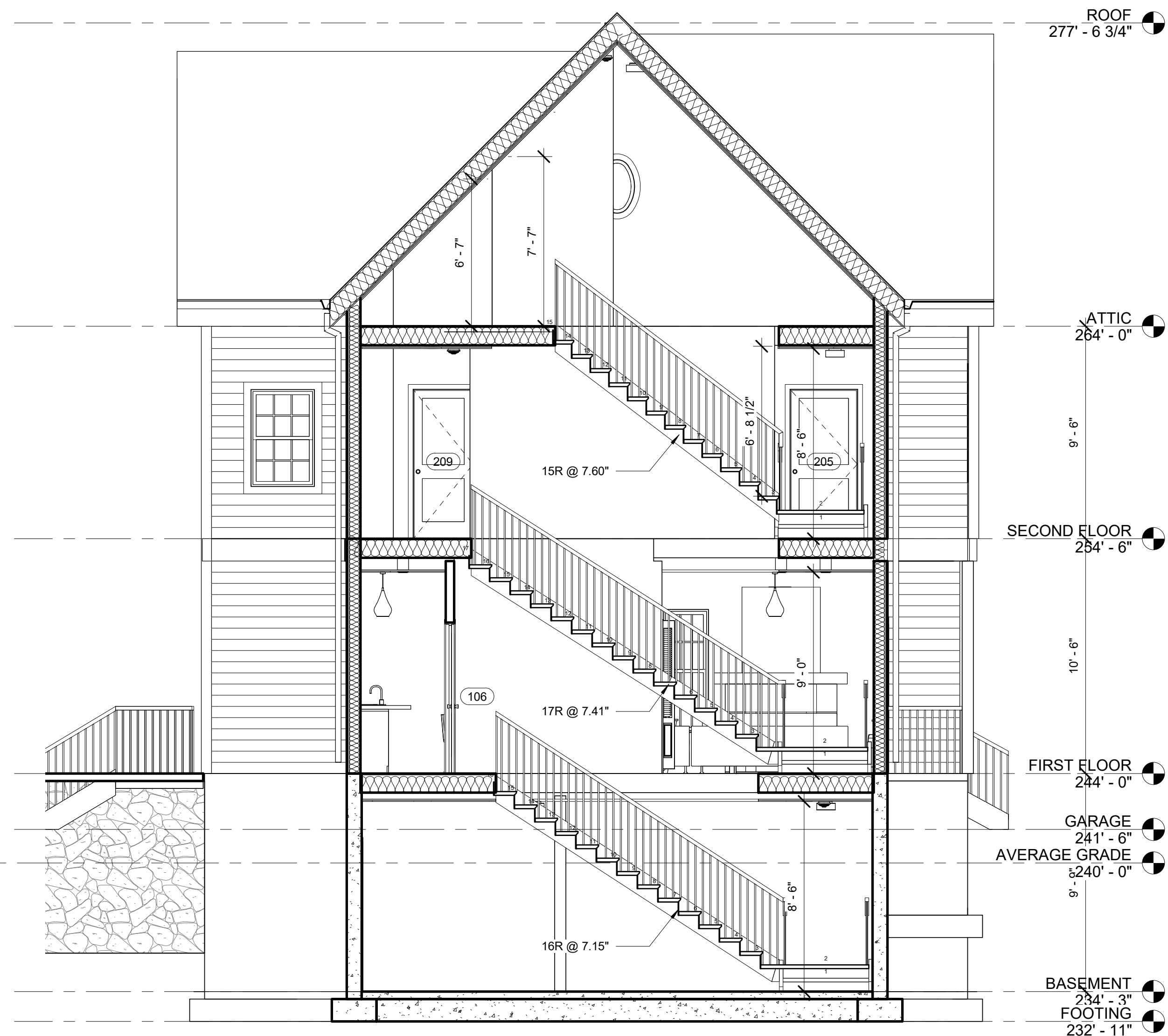
AVERAGE GRADE  
 240' - 0"

STEEL REINFORCED PERIMETER SPREAD FOOTING 4'-0" BELOW GRADE, TYP.

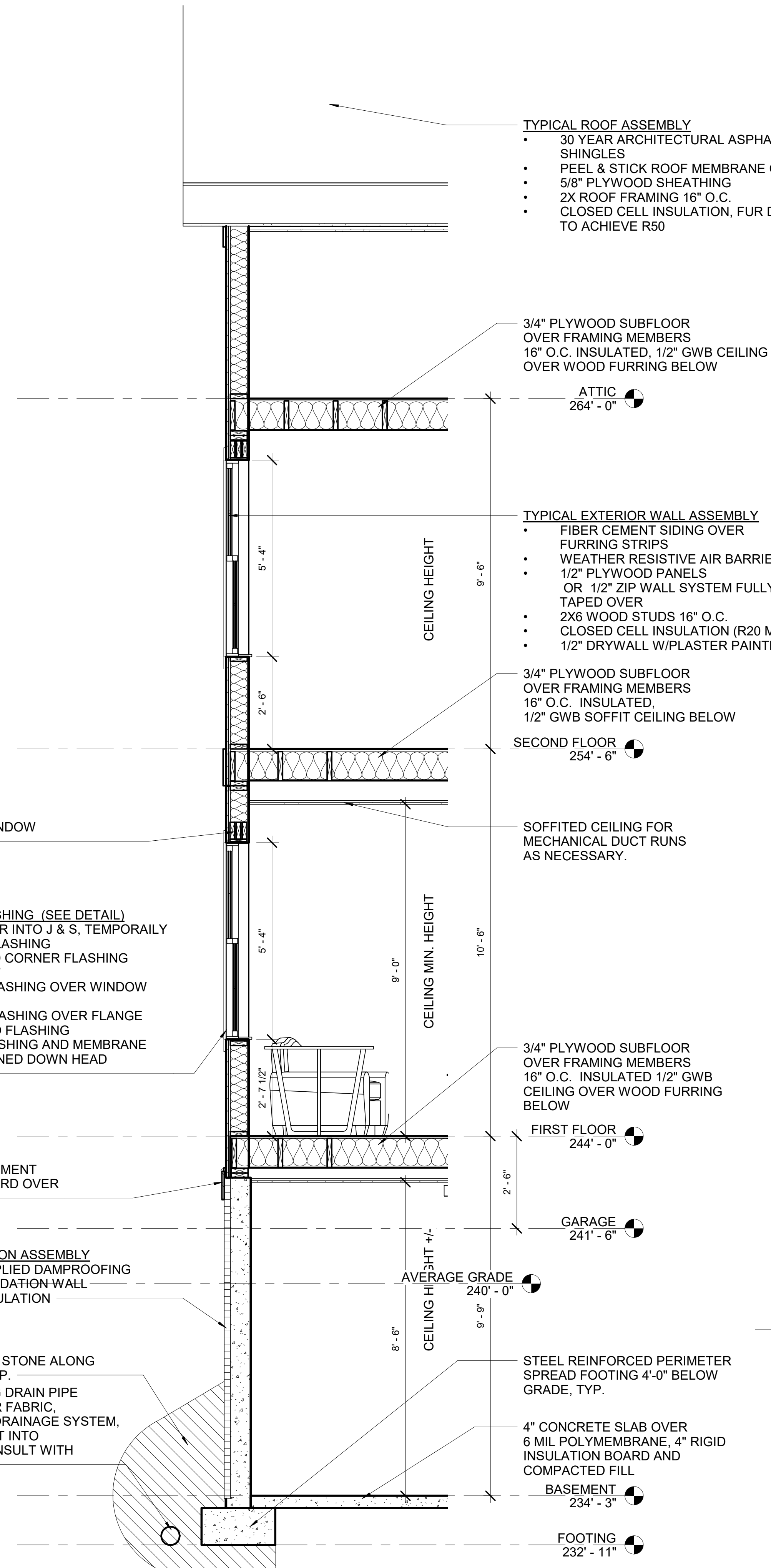
4" CONCRETE SLAB OVER 6 MIL POLYMEMBRANE, 4" RIGID INSULATION BOARD AND COMPACTED FILL

BASEMENT  
 234' - 3"

FOOTING  
 232' - 11"



① Section 1  
 1/4" = 1'-0"



② Section 2  
 1/2" = 1'-0"

- TYPICAL WINDOW FLASHING (SEE DETAIL)**
- FOLD AIR BARRIER INTO J & S, TEMPORARILY FOLD UP HEAD FLASHING
  - INSTALL SILL AND CORNER FLASHING
  - INSTALL WINDOW
  - INSTALL JAMB FLASHING OVER WINDOW FLANGES
  - INSTALL HEAD FLASHING OVER FLANGE
  - FOLD OVER HEAD FLASHING
  - INSTALL CAP FLASHING AND MEMBRANE STRIP OVER TURNED DOWN HEAD

CONTINUOUS FIBER CEMENT CAP AND 1X8 TRIM BOARD OVER INSULATION

- FOUNDATION INSULATION ASSEMBLY**
- 6 MIL. BRUSH APPLIED DAMPROOFING
  - CONCRETE FOUNDATION WALL
  - AND 2" RIGID INSULATION

CRUSHED RIVER ROCK STONE ALONG FOUNDATION WALL, TYP.  
 PERFORATED FOOTING DRAIN PIPE WRAPPED WITH FILTER FABRIC, TIE-IN TO PERIMETER DRAINAGE SYSTEM, DRYWELL OR DAYLIGHT INTO RETENTION AREA. CONSULT WITH CIVIL ENGINEER, TYP.