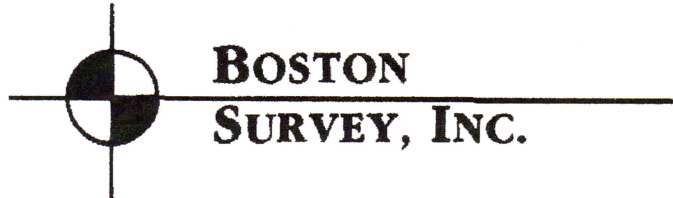


MORTGAGE INSPECTION PLAN

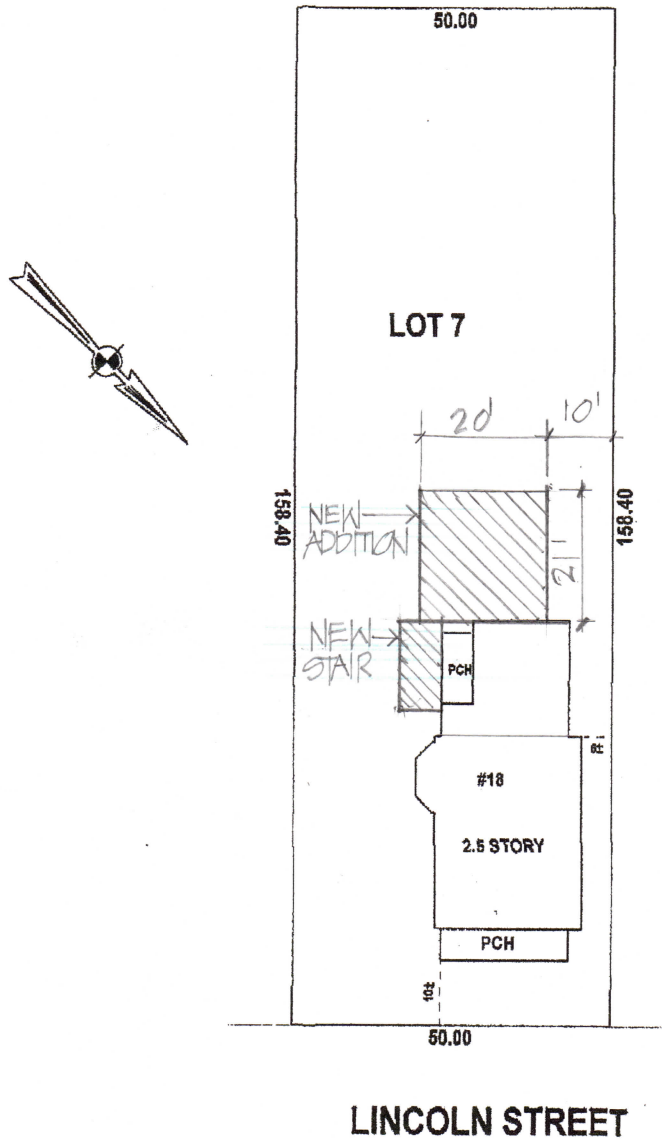


05-07889

P.O. Box 290220 Charlestown, MA 02129
(617) 242-1313 MAIN (617) 242-1616 FAX

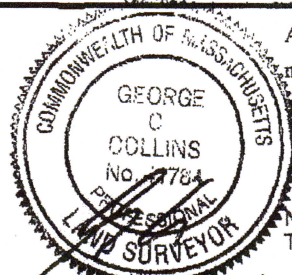
APPLICANT: PINA
LOCATION: 18 LINCOLN STREET
CITY, STATE: HYDE PARK, MA

DEED/CERT: 36454-92
PLAN REF:



SCALE: 1 inch = 30 feet
1994 (c) Boston Survey Software
CERTIFIED TO:
PREPARED: 10-12-2005

The permanent structures are approximately located on the ground as shown. They either conformed to the setback requirements of the local zoning ordinances in effect at the time of construction, or are exempt from violation enforcement action under M.G.L. Title VII, Chapter 40A, Section 7, and that there are no encroachments of major improvements either way across property lines except as shown and noted hereon.



According to Federal Emergency Management Agency maps, the major improvements on this property fall in an area designated as Zone C.

Community Panel No. 250286 0003C
Effective Date: 4/1/82

NOTE: Zone C is areas of minimal flooding (no shading). This designation is not based on an elevation certificate.

NOTE: This is not a boundary or title insurance survey. This plan was prepared in accordance to procedural and technical standards for Mortgage Loan Inspections as adopted by the Massachusetts Board of Registration of professional engineers and land surveyors, 250 CMR 6.05, and use for any other purpose is prohibited. This plan is not to be used for recording, preparing deed descriptions, or construction.

Project

18 LINCOLN STREET

Proposed Renovations and New Rear Addition

18 Lincoln Street, Hyde Park, MA 02136



DRAWINGS LIST

- COVER
- PLOT PLAN
- L1.0 SITE PLAN
- EX1 EXISTING BASEMENT & FIRST FLOOR PLANS
- EX2 EXISTING SECOND & THIRD FLOOR PLANS
- D1.0 BASEMENT & FIRST FLOOR DEMOLITION PLANS
- D2.0 SECOND & THIRD FLOOR DEMOLITION PLANS
- A1.0 BASEMENT & FIRST FLOOR PLANS
- A2.0 SECOND & THIRD FLOOR PLANS
- A3.0 ROOF PLAN
- A4.0 FINISH SCHEDULE
- A5.0 FRONT & RIGHT SIDE ELEVATIONS
& WINDOW & DOOR SCHEDULES
- A6.0 REAR & LEFT SIDE ELEVATIONS
- A7.0 BUILDING SECTIONS & TYPICAL WALL/FLOOR SECTION
- S1.0 FIRST & SECOND FLOOR FRAMING PLANS
- S2.0 THIRD FLOOR & ROOF FRAMING PLANS
- E1.0 BASEMENT & FIRST FLOOR ELECTRICAL PLANS
- E2.0 SECOND & THIRD FLOOR ELECTRICAL PLANS

OWNERS:
REUDY AND YESENIA PINA

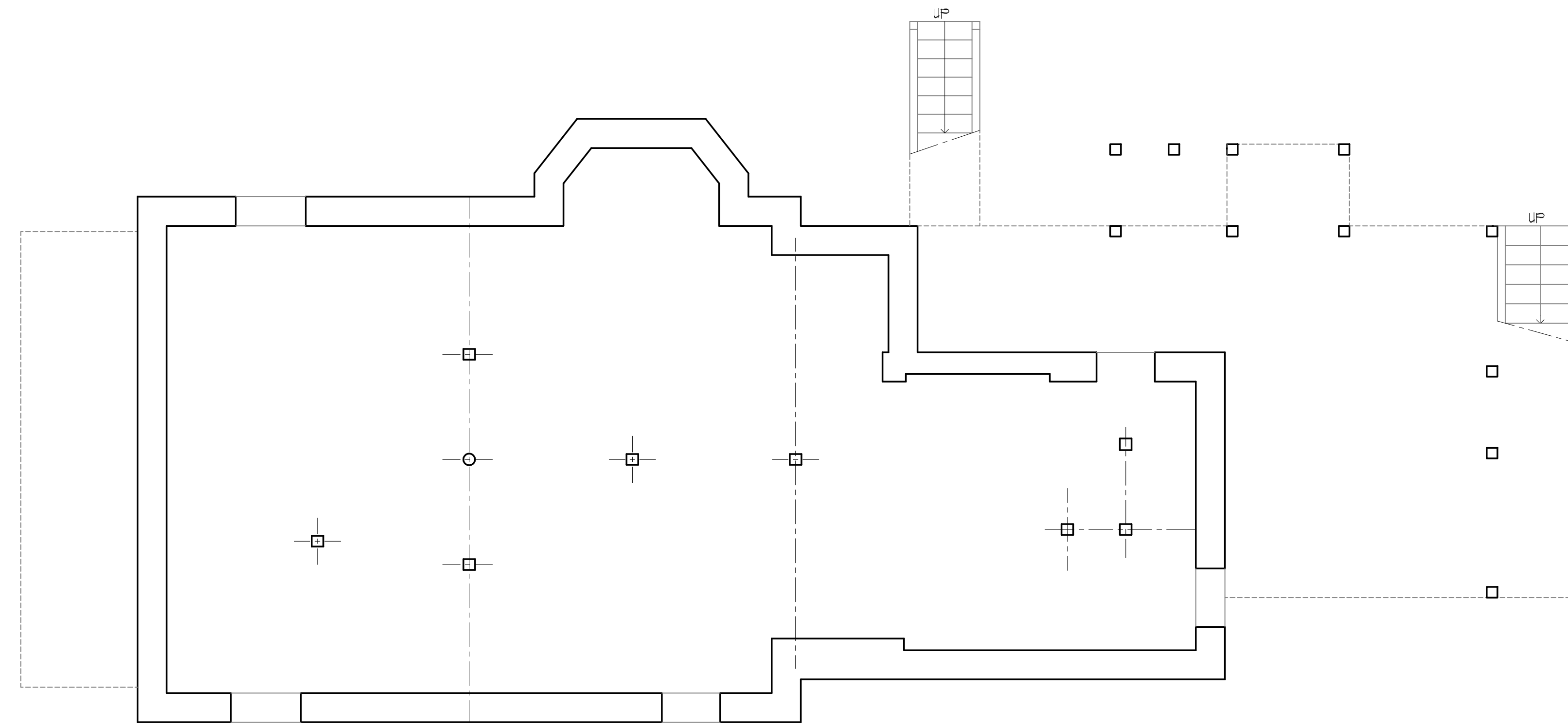
ARCHITECT:
HEZEKIAH PRATT ARCHITECTURE + DESIGN
454 Lowell Avenue, Newton, MA 02460
Tel: 617.320.3749 hezpratt@gmail.com

PERMIT PLANS: 2-2-18

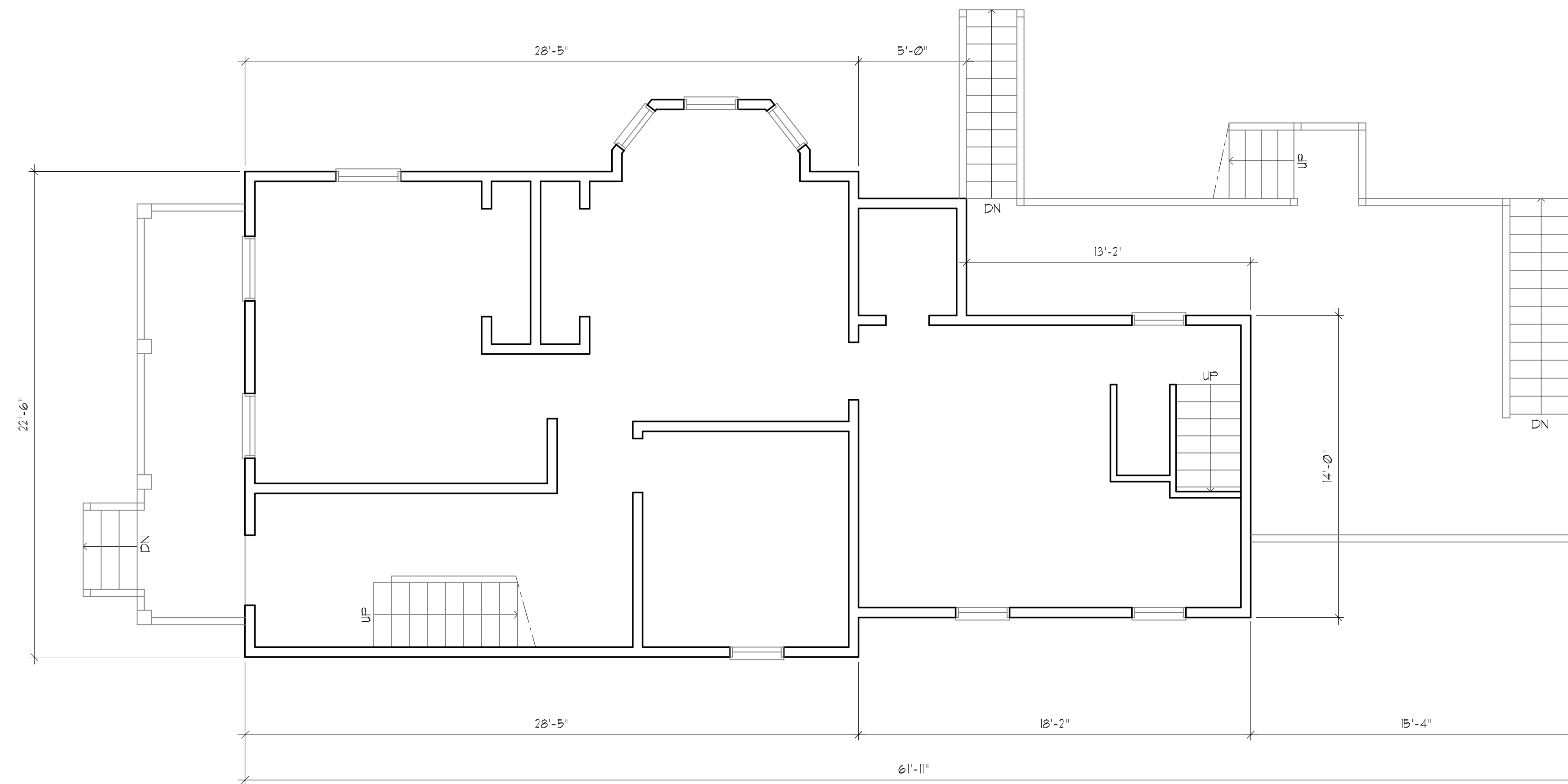
EXISTING CONDITIONS

Dimensions:

All dimensions, calculations or other data pertaining to the work of all trades shall be carefully checked before manufacture, fabrication or installation of any portion of the work before it is commenced. Any discrepancies discovered shall be reported immediately to the architect for his decision. All work shown on the drawings is intended to be correct according to the scale are made, but figured dimensions and detail drawings are in all cases to be followed. The contractor shall verify all dimensions at the site, regardless of dimensions shown on drawings. He shall be responsible for all work affected by this provision.



1
EX1 EXISTING BASEMENT PLAN
SCALE: 1/4"=1'-0"



2
EX1 EXISTING FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

Architect
HEZEKIAH PRATT ARCHITECTURE + DESIGN
454 Lowell Avenue Newton, MA 02460
617.320.3749 hezpratt@gmail.com

Project
18 LINCOLN STREET
Proposed Renovations and New Rear Addition
18 Lincoln Street, Hyde Park, MA 02136

Title:

EXISTING BASEMENT
& FIRST FLOOR PLANS

Scale: 1/4"=1'-0"

Revisions:

Drawn by: BLS

Approved by: HP

Project No.:

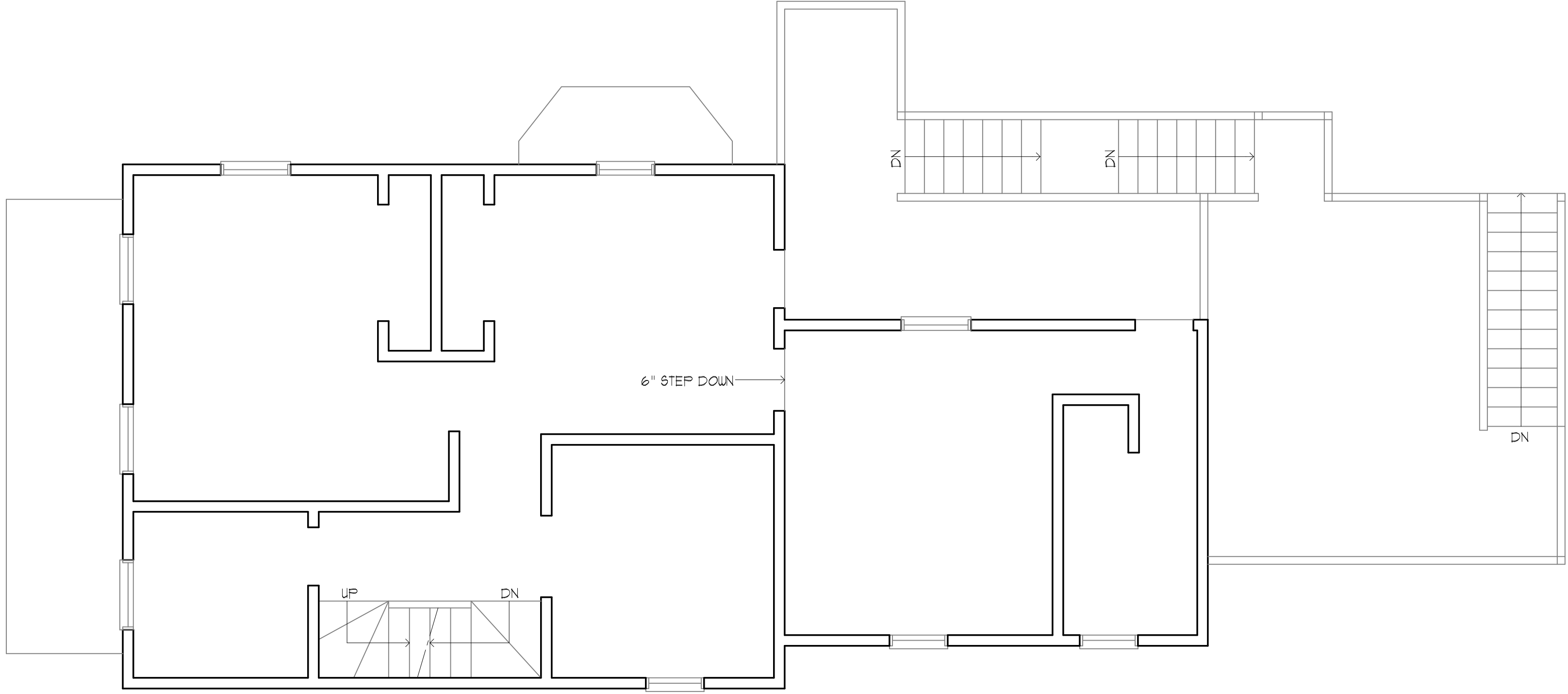
Date: 2-2-18

Drawing No.:

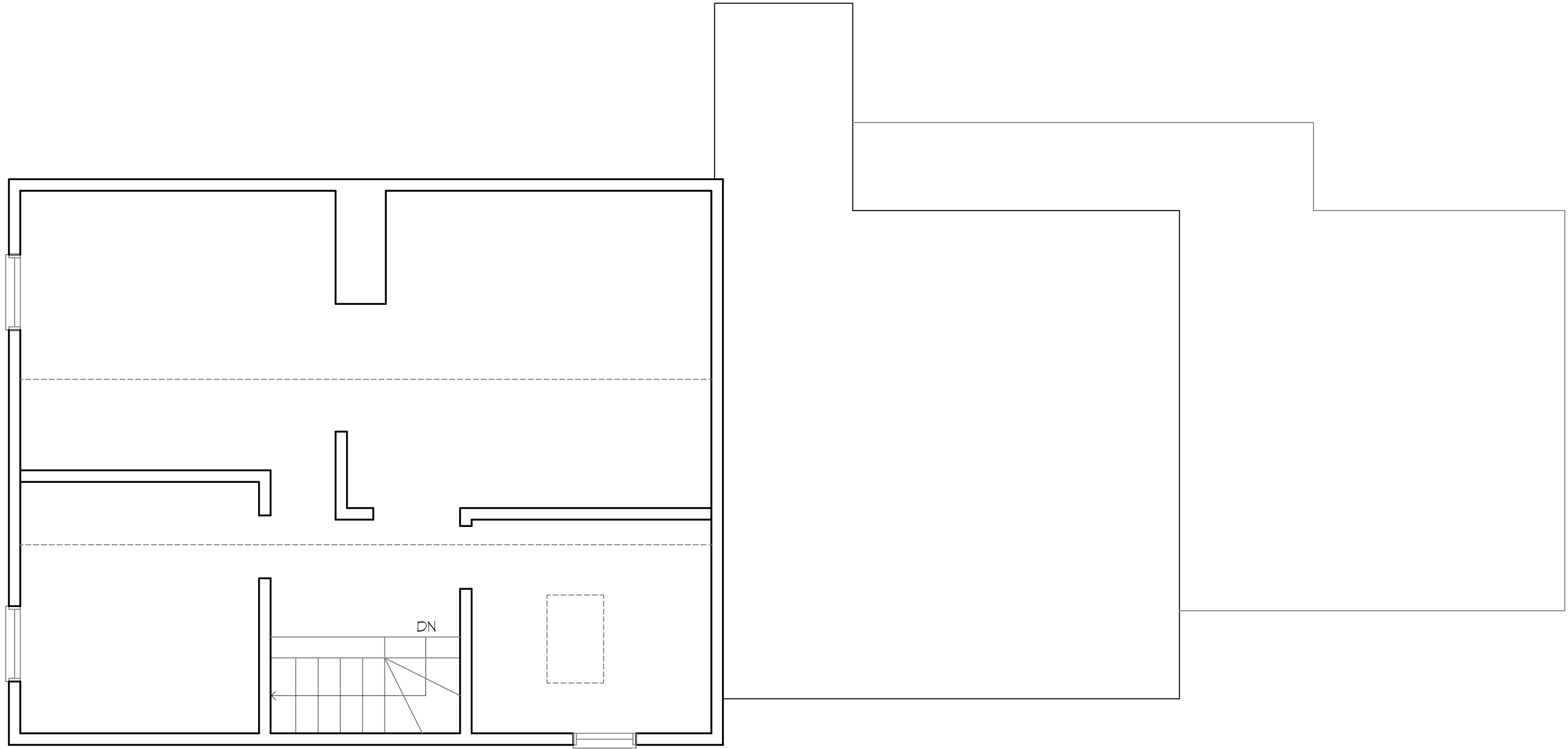
EX1

EXISTING CONDITIONS

Dimensions:
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1
EX2 EXISTING SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



2
EX2 EXISTING THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"

PROPOSED RENOVATIONS and NEW REAR ADDITION

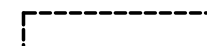
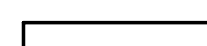
Dimensions:

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NOTES:

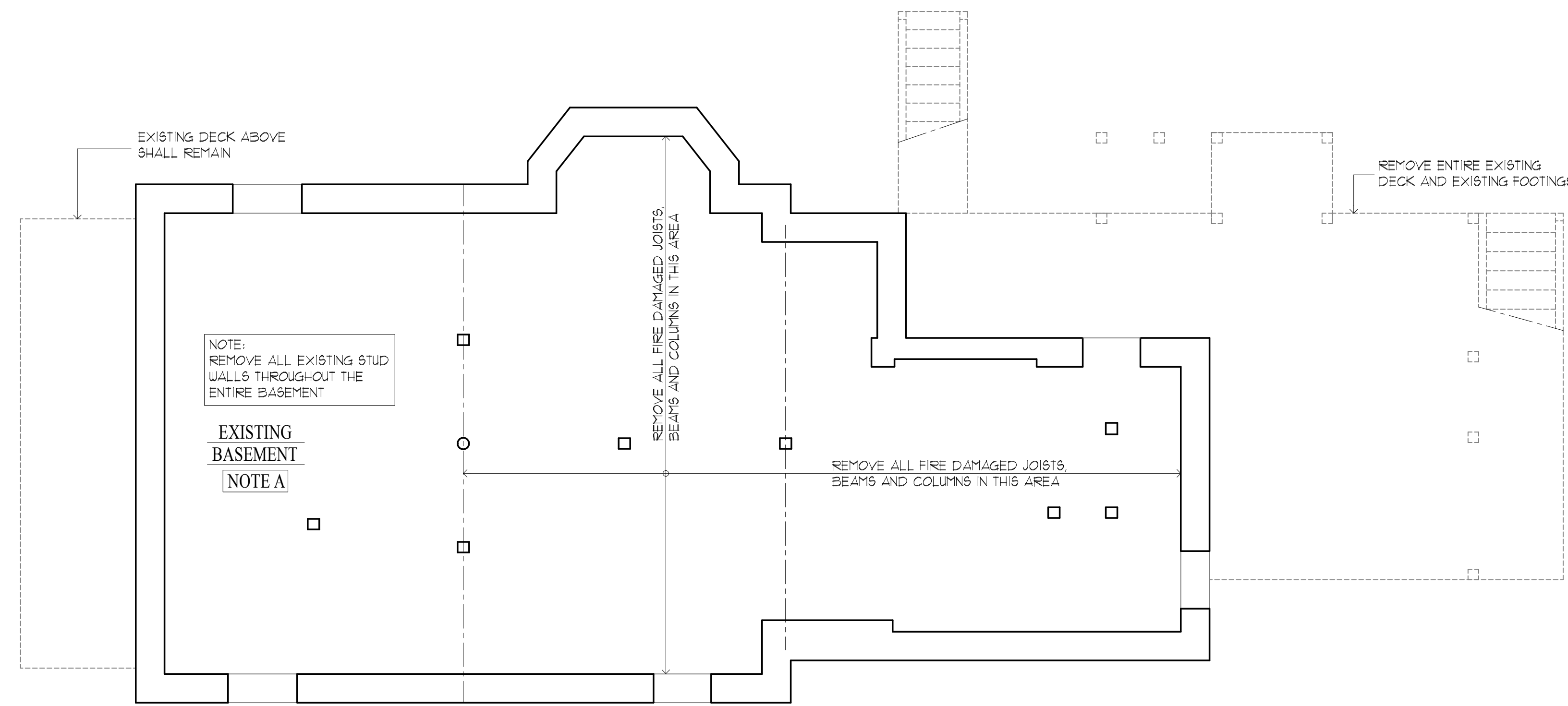
- A. EXCEPT WHERE OTHERWISE NOTED OR INDICATED ALL CONDITIONS ARE EXISTING AND SHALL REMAIN UNCHANGED
- B. THE BUILDER SHALL VERIFY ALL EXISTING LOAD BEARING WALLS IN THE FIELD AND PROVIDE ADEQUATE SUPPORT AS NECESSARY TO SUPPORT STRUCTURE BEFORE REMOVING ANY WALLS

WALL LEGEND:

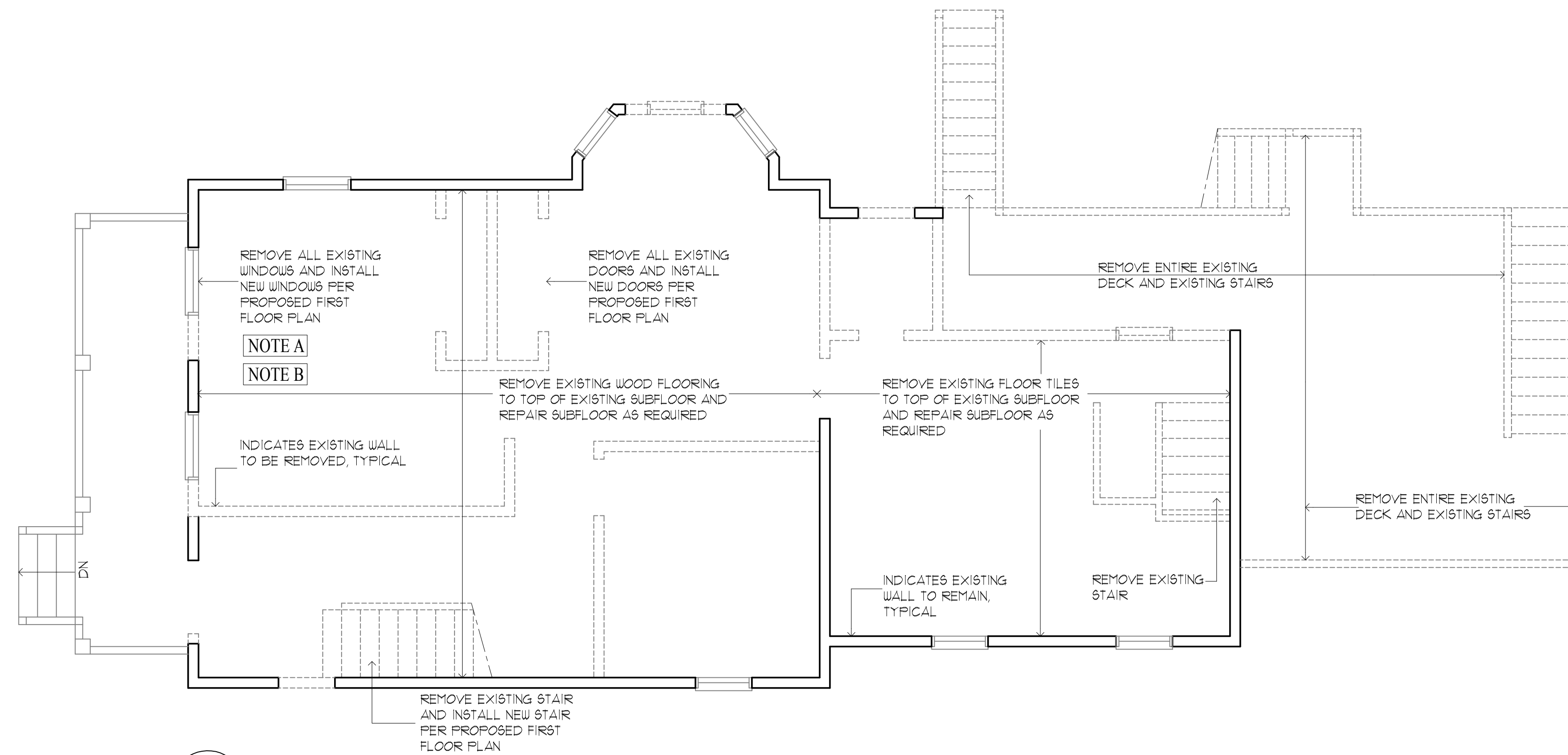
-  EXISTING WALL TO BE REMOVED
-  EXISTING WALL TO REMAIN

FIRST FLOOR DEMOLITION NOTES:

- 1. REMOVE ALL EXISTING CEILING STRAPPING TO BOTTOM OF EXISTING JOISTS.



1
D1.0 BASEMENT DEMOLITION PLAN
SCALE: 1/4"=1'-0"



2
D1.0 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"

Architect
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Project
18 LINCOLN STREET
Proposed Renovations and New Rear Addition
18 Lincoln Street, Hyde Park, MA 02136

Title:

BASEMENT & FIRST FLOOR
DEMOLITION PLANS

Scale: 1/4"=1'-0"

Revisions:

Drawn by: BLS

Approved by: HP

Project No.:

Date: 2-2-18

Drawing No.:

D1.0

PROPOSED RENOVATIONS and NEW REAR ADDITION


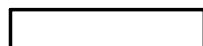
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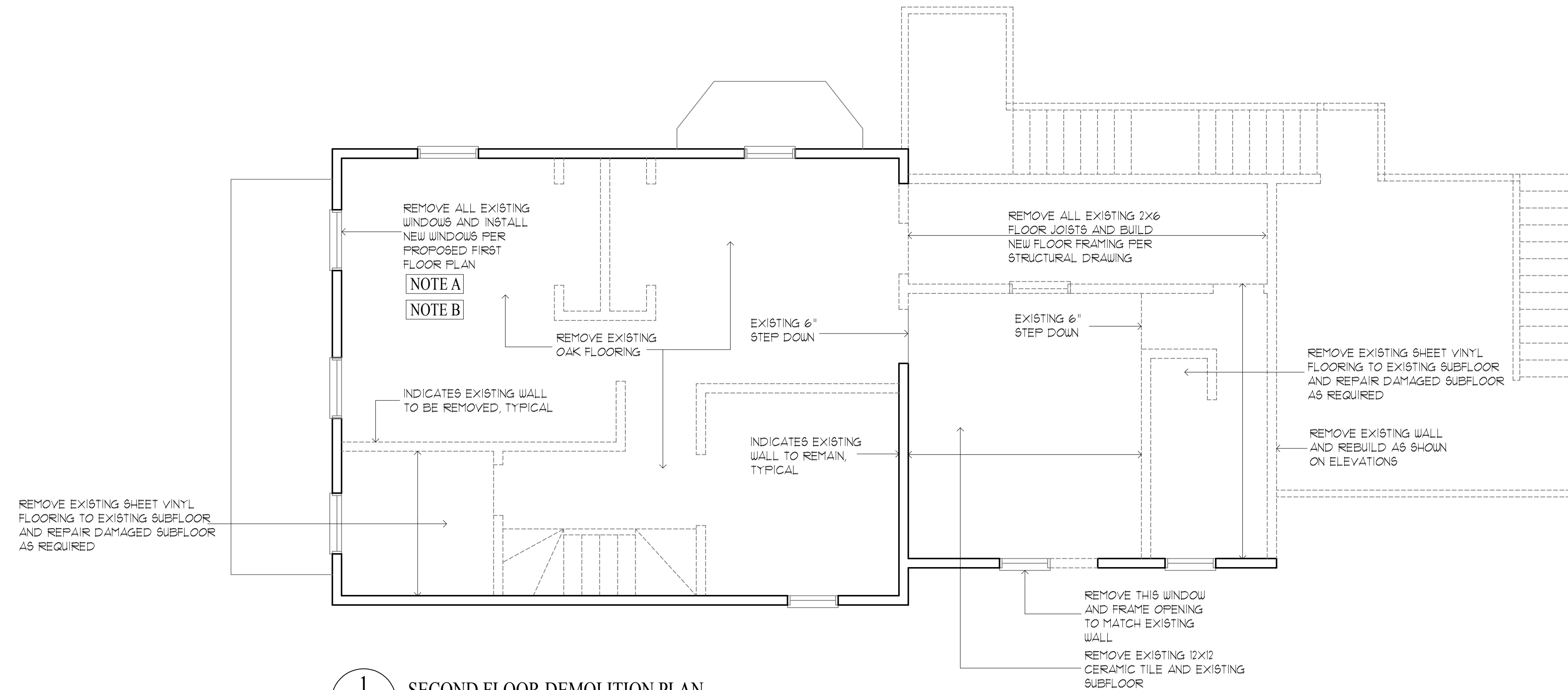
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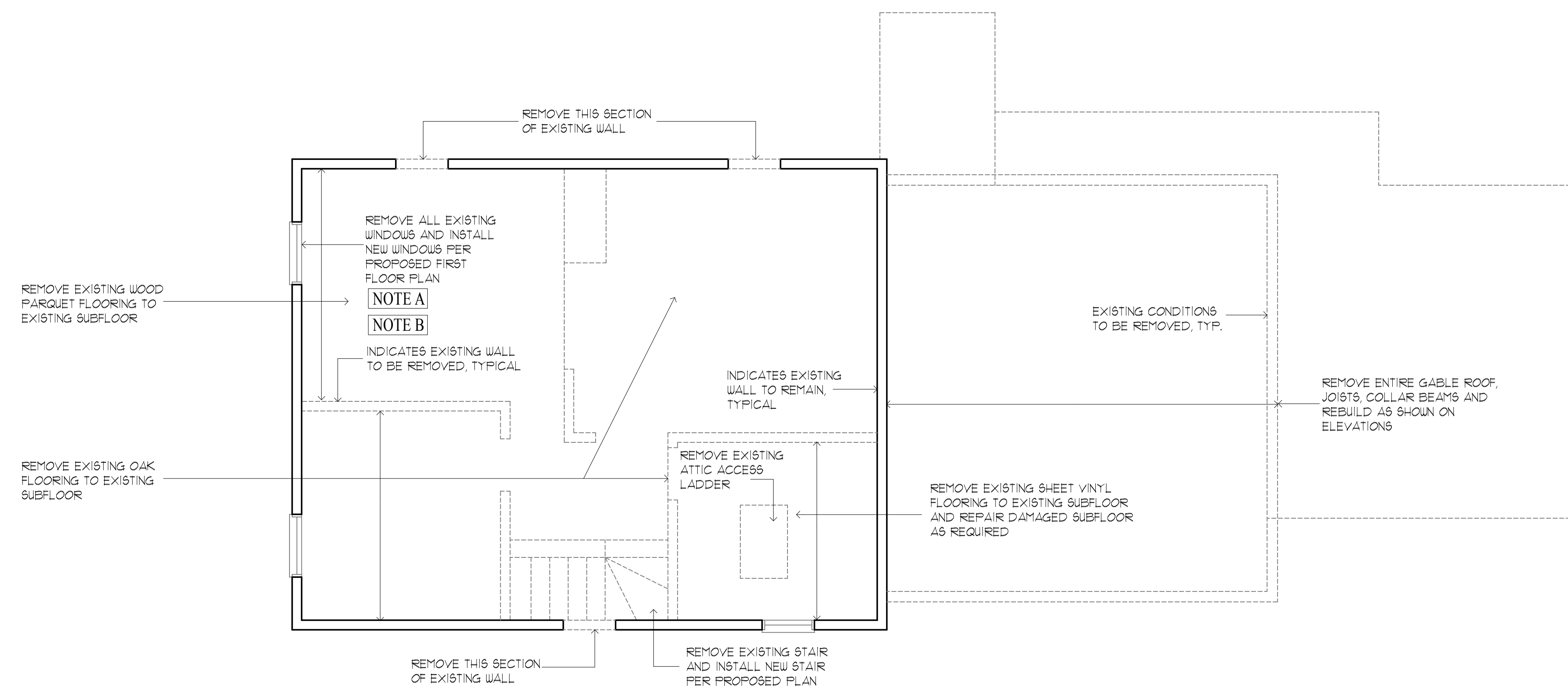
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WALL LEGEND:

-  EXISTING WALL TO BE REMOVED
-  EXISTING WALL TO REMAIN



1
D2.0
SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"



2
D2.0
THIRD FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"

Architect
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Project
18 LINCOLN STREET
Proposed Renovations and New Rear Addition
18 Lincoln Street, Hyde Park, MA 02136

Title:	SECOND & THIRD FLOOR DEMOLITION PLANS
Scale:	1/4"=1'-0"
Revisions:	
Drawn by:	BLS
Approved by:	HP
Project No.:	
Date:	2-2-18
Drawing No.:	

D2.0

PROPOSED RENOVATIONS and NEW REAR ADDITION

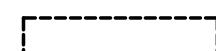
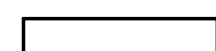

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NOTES:

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WALL LEGEND:

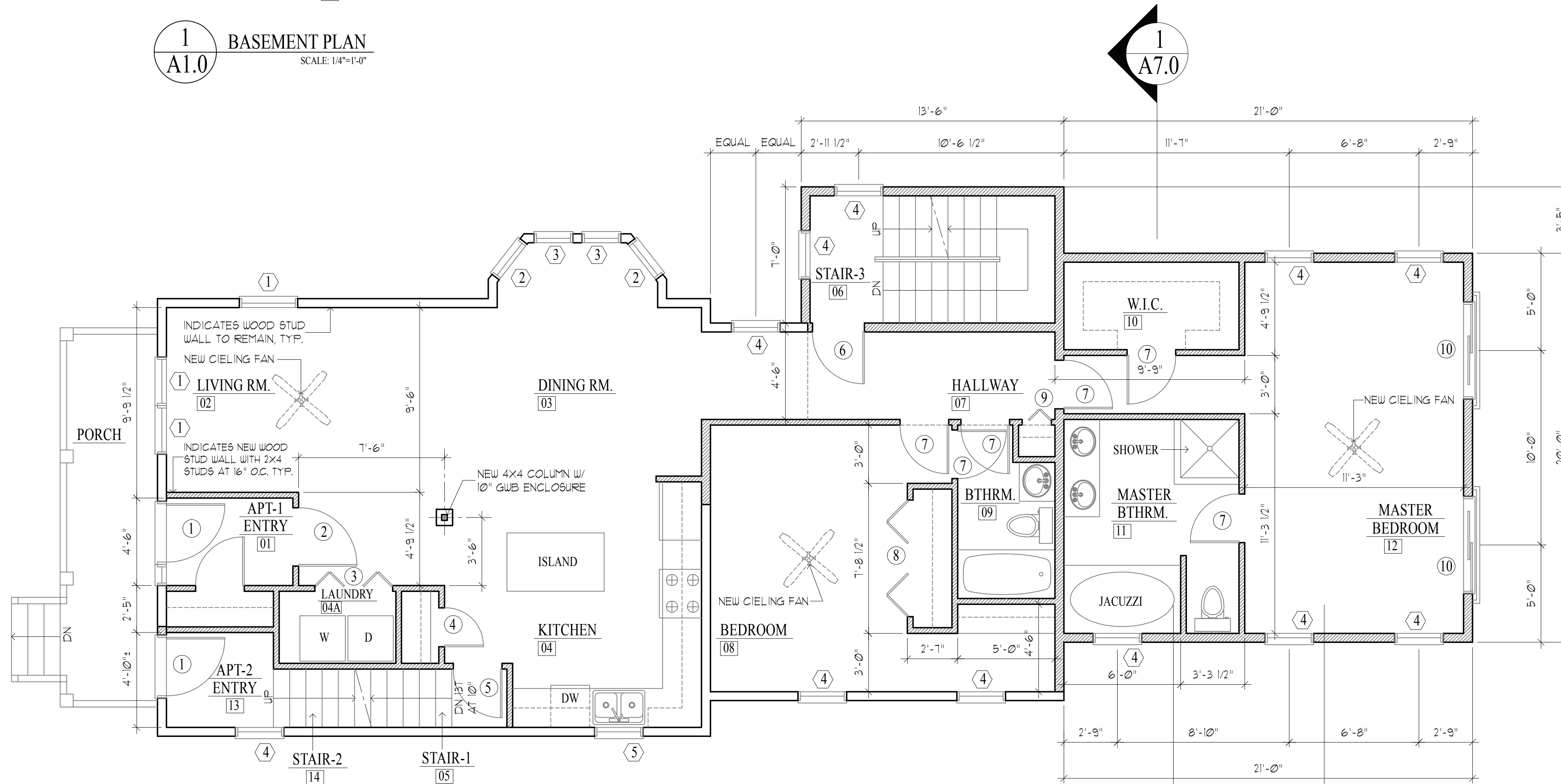
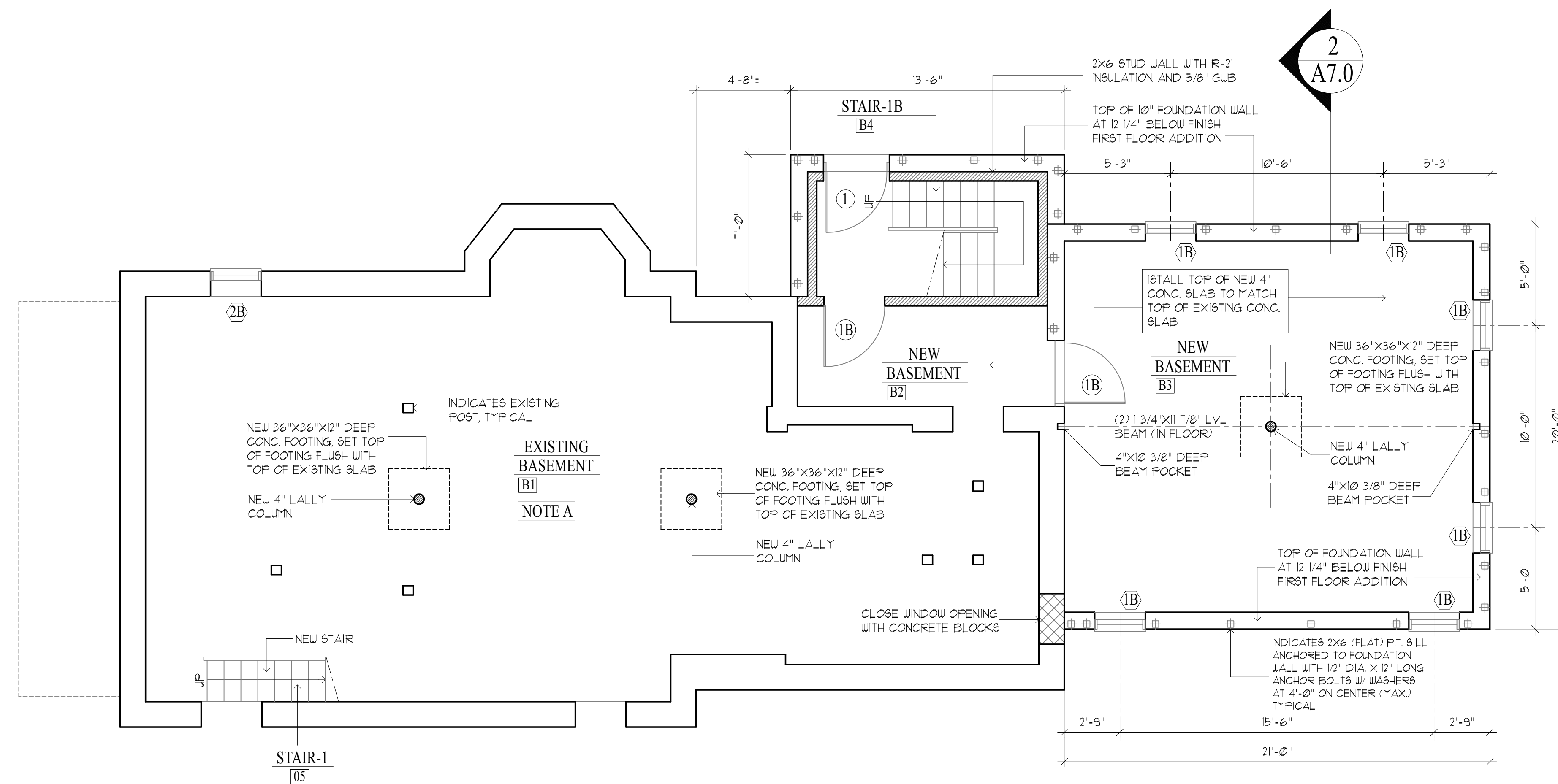
-  EXISTING WALL TO BE REMOVED
-  EXISTING WALL TO REMAIN
-  NEW STUD FRAMED WALL

FOUNDATION NOTES:

1. FOUNDATIONS SHALL BE CARRIED DOWN TO ELEVATIONS INDICATED ON DRAWINGS OR FURTHER, AS REQUIRED, TO UNDISTURB MATERIAL HAVING A MINIMUM BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
2. FOOTING ELEVATIONS SHOWN ON DRAWINGS REPRESENT ESTIMATED DEPTHS AND ARE NOT TO BE CONSTRUED AS LIMITING THE AMOUNT OF EXCAVATION REQUIRED TO REACH BEARING MATERIAL.
3. EXTERIOR CONSTRUCTION SHALL BE CARRIED DOWN BELOW FINISHED EXTERIOR GRADE TO A MINIMUM DEPTH OF 4 FEET UNLESS OTHERWISE NOTED.
4. BACKFILL UNDER ANY PORTION OF THE BUILDING SHALL BE COMPACTED IN 6" LIFTS.
5. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED UNDER SUPPORTED MEMBERS.
6. BACKFILLING SHALL BE DONE SIMULTANEOUSLY ON BOTH SIDES OF THE BUILDING IN ORDER TO MINIMIZE UNBALANCED EARTH PRESSURES.

CONCRETE:

1. CONCRETE WORK SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318) AND SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301).



Architect
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Project
18 LINCOLN STREET
Proposed Renovations and New Rear Addition
18 Lincoln Street, Hyde Park, MA 02136

Title:	BASEMENT & FIRST FLOOR PLANS
Scale:	1/4"=1'-0"
Revisions:	
Drawn by:	BLS
Approved by:	HP
Project No.:	
Date:	2-2-18
Drawing No.:	

A1.0

PROPOSED RENOVATIONS and NEW REAR ADDITION


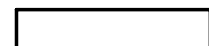

Dimensions:

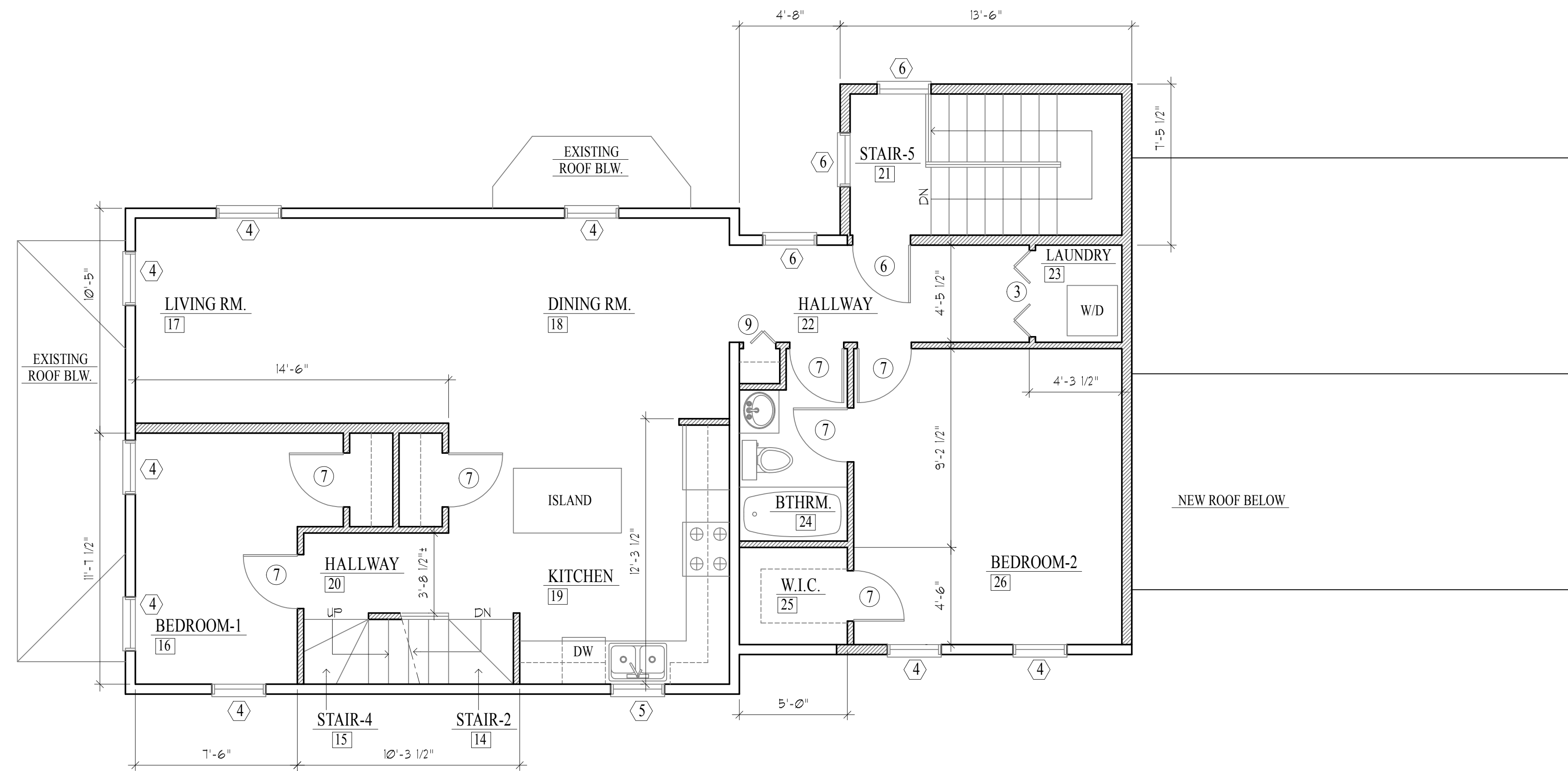
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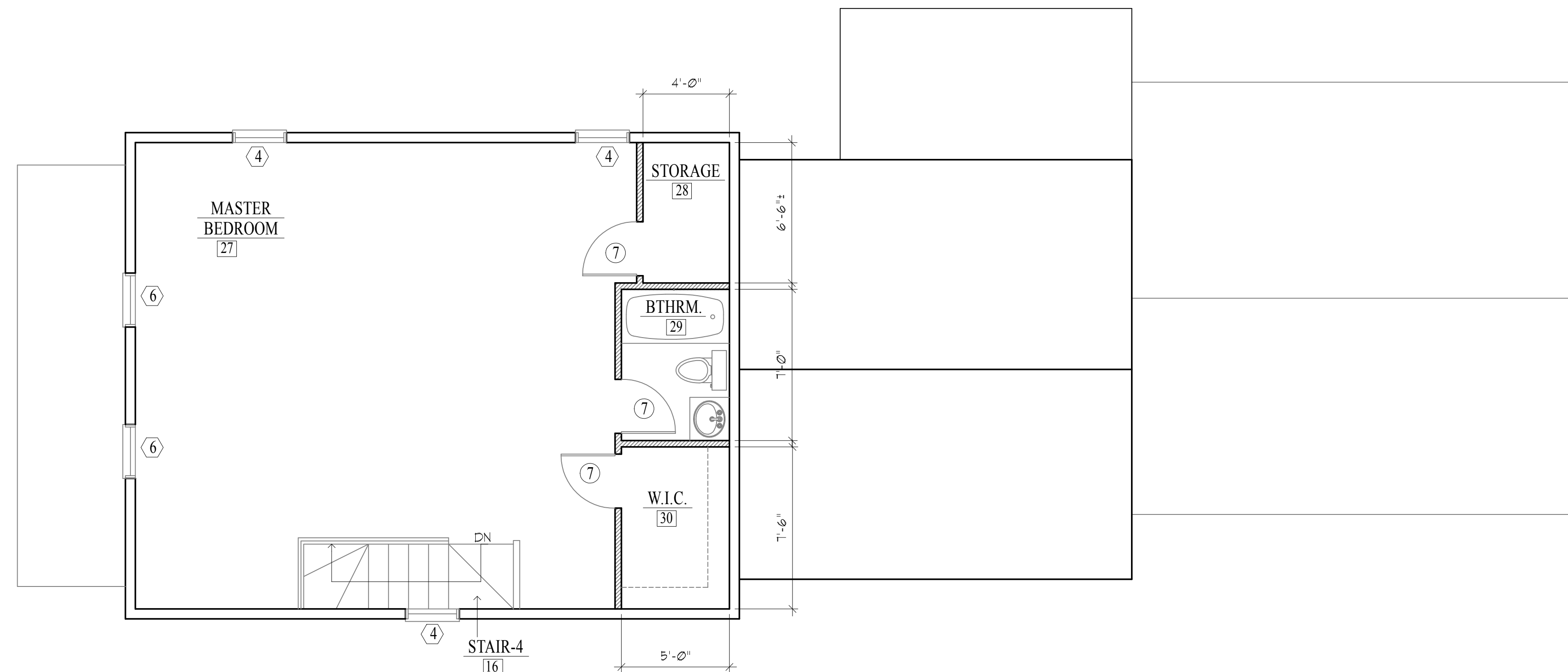
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WALL LEGEND:

-  EXISTING WALL TO BE REMOVED
-  EXISTING WALL TO REMAIN
-  NEW STUD FRAMED WALL



1
A2.0
SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



2
A2.0
THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"

Architect
HEZEKIAH PRATT ARCHITECTURE + DESIGN
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Project
18 LINCOLN STREET
Proposed Renovations and New Rear Addition
18 Lincoln Street, Hyde Park, MA 02136

Title:
SECOND & THIRD
FLOOR PLANS

Scale: 1/4"=1'-0"

Revisions:

Drawn by: BLS

Approved by: HP

Project No.:

Date: 2-2-18

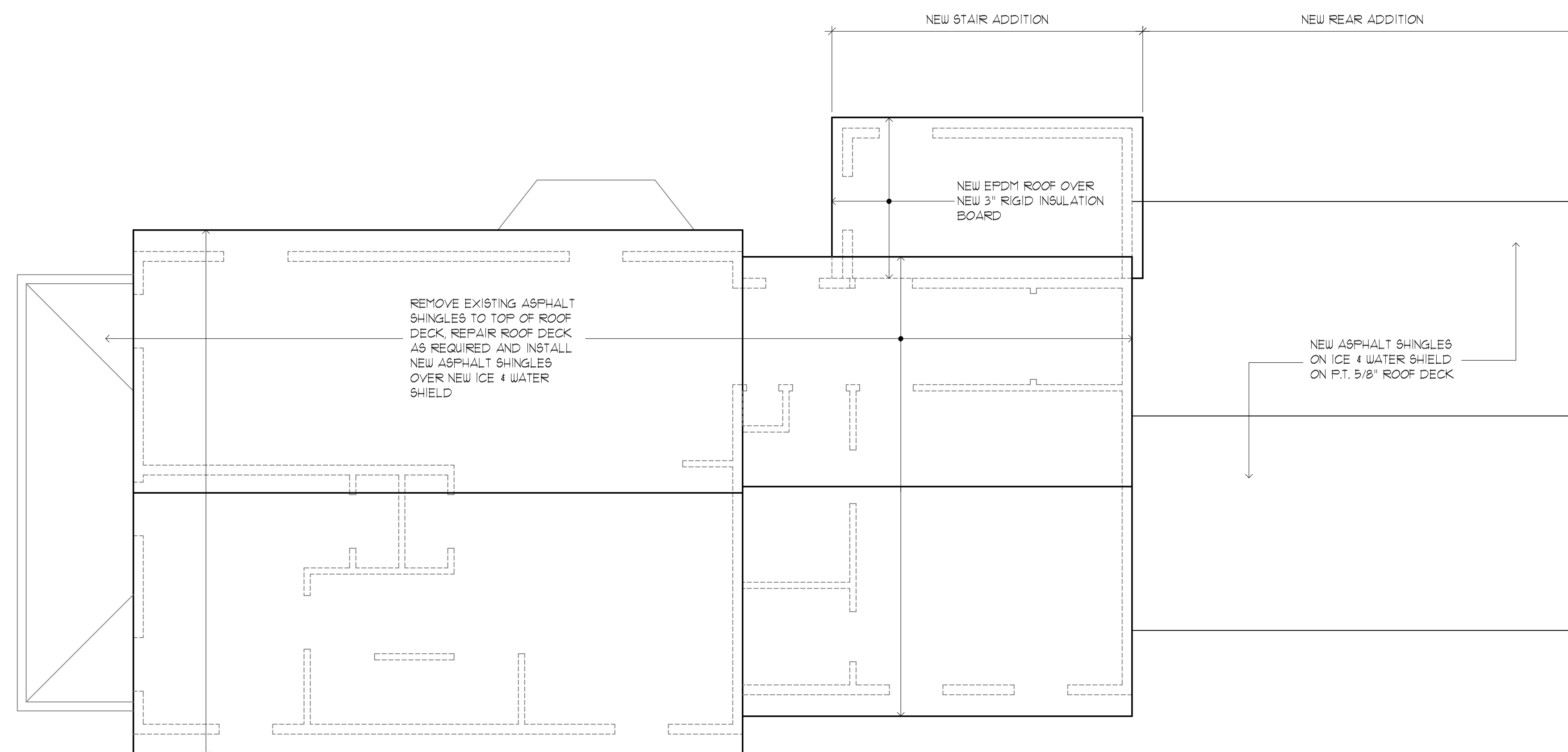
Drawing No.:

A2.0

PROPOSED RENOVATIONS and NEW REAR ADDITION

Dimensions:

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1 ROOF PLAN
A3.0 SCALE: 1/4"=1'-0"

Architect
HEZEKIAH PRATT ARCHITECTURE + DESIGN
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617.330.3749 hezpratt@gmail.com

Project
18 LINCOLN STREET
Proposed Renovations and New Rear Addition
18 Lincoln Street, Hyde Park, MA 02136

Title:	ROOF PLAN
Scale:	1/4"=1'-0"
Revisions:	
Drawn by:	BLS
Approved by:	HP
Project No.:	
Date:	2-2-18
Drawing No.:	

A3.0

PROPOSED RENOVATIONS and NEW REAR ADDITION

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FINISH ROOM SCHEDULE						
ROOM No.	ROOM NAME	FLOOR	BASE	WALL	CEILING	NOTES
B1	EXISTING BASEMENT	EXIST. CONCRETE		EXISTING		
B2	NEW BASEMENT	CONCRETE		CONCRETE		
B3	NEW BASEMENT	CONCRETE		CONCRETE		
B4	STAIR - 1B	CERAMIC TILE	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
01	APT. 1 ENTRY	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
02	LIVING ROOM	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
03	DINING ROOM	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
04	KITCHEN	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
04A	LAUNDRY	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
05	STAIR - 1	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
06	STAIR - 3	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
07	HALLWAY	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
08	BEDROOM	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
09	BATHROOM	CERAMIC TILE	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
10	WALK-IN-CLOSET	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
11	MASTER BATHROOM	CERAMIC TILE	CERAMIC TILE	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
12	MASTER BEDROOM	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
13	APT. 2 ENTRY	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
14	STAIR - 2	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
15	STAIR - 4	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
16	BEDROOM - 1	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
17	LIVING ROOM	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
18	DINING ROOM	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
19	KITCHEN	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
20	HALLWAY	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
21	STAIR - 5	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
22	HALLWAY	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
23	LAUNDRY	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
24	BATHROOM	CERAMIC TILE	CERAMIC TILE	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
25	WALK-IN-CLOSET	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
26	BEDROOM - 2	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
27	MASTER BEDROOM	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
28	STORAGE	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
29	BATHROOM	CERAMIC TILE	CERAMIC TILE	GYPSUM WALLBOARD	GYPSUM WALLBOARD	
30	WALK-IN-CLOSET	STRIP OAK	4" WOOD	GYPSUM WALLBOARD	GYPSUM WALLBOARD	

Architect
HEZEKIAH PRATT ARCHITECTURE + DESIGN
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Project
18 LINCOLN STREET
 Proposed Renovations and New Rear Addition
 18 Lincoln Street, Hyle Park, MA 02116

Title:
FINISH SCHEDULE

Scale: NOT APPLICABLE

Revisions:

Drawn by: BLS

Approved by: HP

Project No.:

Date: 2-2-18

Drawing No.:

A4.0

PROPOSED RENOVATIONS and NEW REAR ADDITION

Dimensions:

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REMOVE EXISTING WOOD SIDING TO EXISTING WOOD SHEATHING, REPAIR WOOD SHEATHING, FILL ALL VOIDS. INSTALL NEW HARDI-PLANK SIDING OVER NEW VAPOR BARRIER TYPICAL AT ALL EXISTING EXTERIOR WALLS TO REMAIN

REMOVE EXISTING RAILING AND INSTALL NEW RAILING WITH TOP & BOTTOM RAILING, TYPICAL
NEW VINYL SQUARE LATTICE, TYPICAL

1
A5.0
FRONT ELEVATION
SCALE: 1/4"=1'-0"

WINDOW SCHEDULE														
WDW #	WINDOW UNIT	TYPE	SIZE	FRONT ELEV.	RIGHT ELEV.	LEFT ELEV.	REAR ELEV.	COLOR	REMARKS	FIXED	OPERABLE	LEFT	RIGHT	TOTAL
1		DOUBLE-HUNG	2'-5"w x 4'-11"h	2	0	1	0		ANDERSEN 400 SERIES ALUM. CLAD		3			3
2		DOUBLE-HUNG	2'-4"w x 4'-11"h	1	0	0	1				2			2
3		DOUBLE-HUNG	1'-11"w x 4'-11"h	0	0	2	0				2			2
4		DOUBLE-HUNG	2'-5"w x 4'-5"h	3	10	8	0				21			21
5		DOUBLE-HUNG	2'-5"w x 2'-11"h	0	2	0	0				2			2
6		DOUBLE-HUNG	2'-5"w x 3'-11"h	3	0	2	0				5			5
1B		AWNING	2'-5"w x 1'-5"h	0	2	2	2				6			6
2B		AWNING	2'-5"w x 1'-0"h	0	0	1	0				1			1
											TOTAL			42

DOOR SCHEDULE										
DOOR No.	DOOR WIDTH	DOOR HEIGHT	THICKNESS	CONSTRUCTION TYPE	FINISH	FRAME MATERIAL	FIRE RATING	HARDWARE	NOTES	QUANTITY
1	3'-0"	6'-8"	1 3/4"	WOOD	PAINT	METAL	C		6 PANEL SOLID CORE	3
2	3'-0"	6'-8"	1 3/8"	MASONITE	PAINT	WOOD	N/A		6 PANEL	1
3	4'-0"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	N/A		FIXED LOUVRE PANELS	2
4	2'-0"	6'-8"	1 3/8"	MASONITE	PAINT	WOOD	N/A		6 PANEL	1
5	2'-6"	6'-8"	1 3/4"	WOOD	PAINT	WOOD	C		6 PANEL SOLID CORE	1
6	2'-8"	6'-8"	1 3/4"	WOOD	PAINT	WOOD	C		6 PANEL SOLID CORE	2
7	2'-6"	6'-8"	1 3/8"	MASONITE	PAINT	WOOD	N/A		6 PANEL	16
8	6'-0"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	N/A		FIXED LOUVRE PANELS	1
9	1'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	N/A		FIXED LOUVRE PANELS	2
10	5'-0"	6'-8"	1 3/4"	ALUMINUM/GLASS	PAINT	WOOD	N/A		ANDERSEN 400 SERIES ALUMINUM CLAD FLUSH PANEL SOLID CORE	2
1B	3'-0"	6'-8"	1 3/4"	WOOD	PAINT	WOOD	C		FLUSH PANEL SOLID CORE	2
										TOTAL = 33



2
A5.0
RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

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Project
18 LINCOLN STREET
Proposed Renovations and New Rear Addition
18 Lincoln Street, Hyle Park, MA 02116

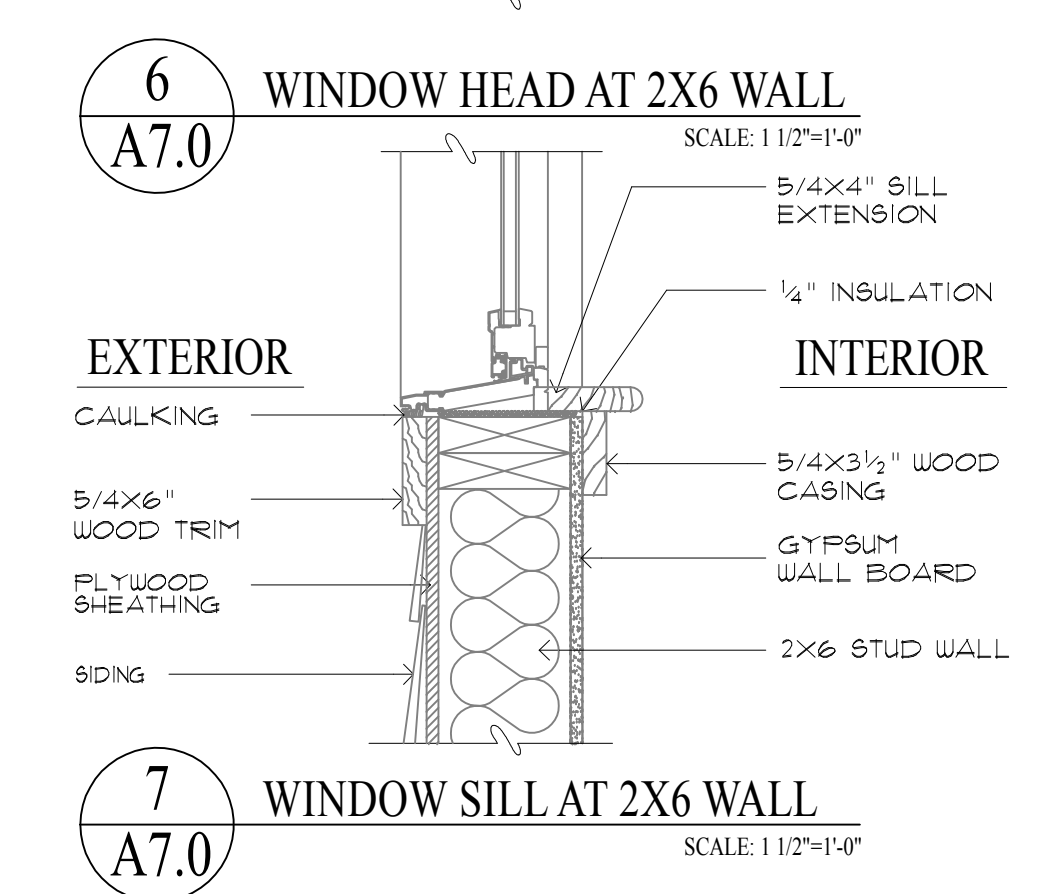
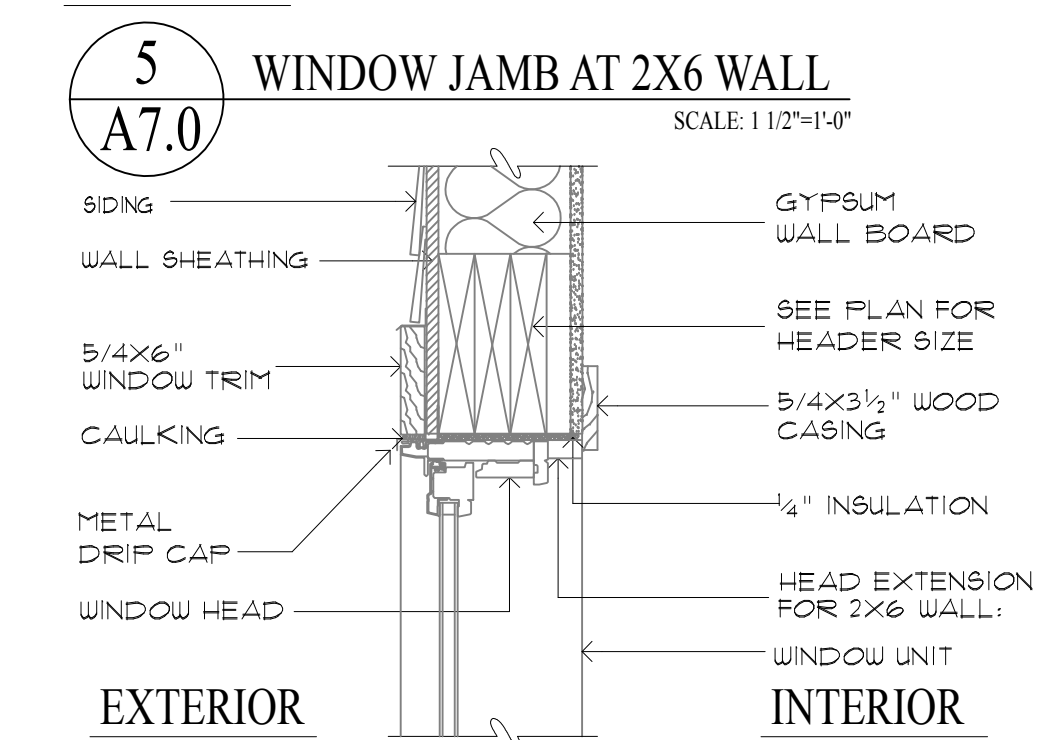
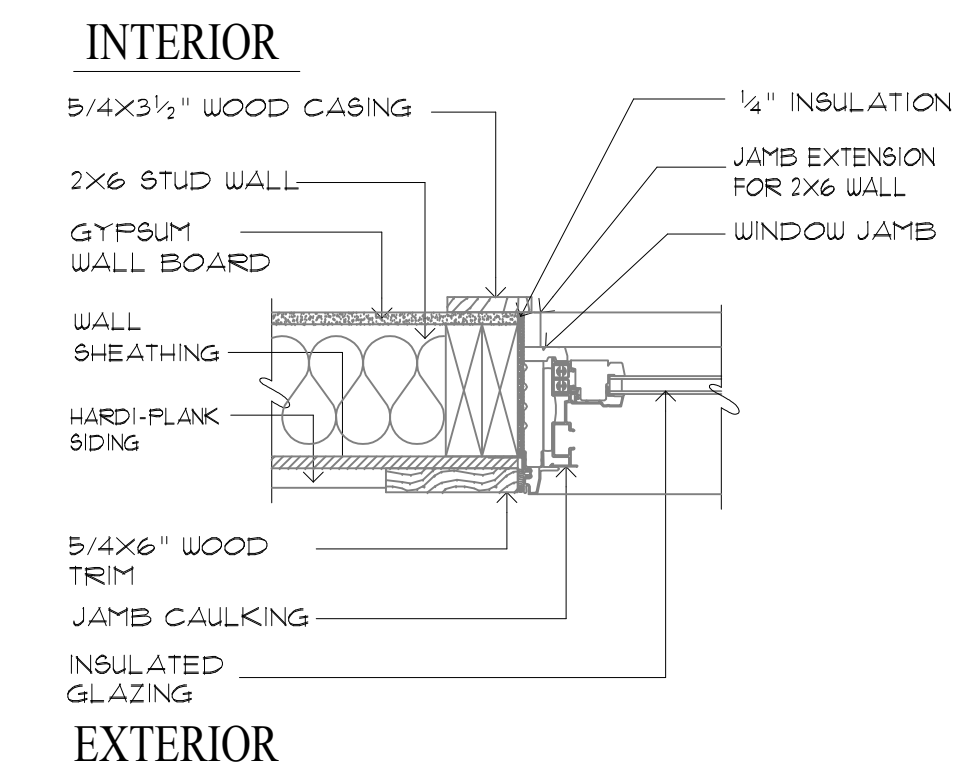
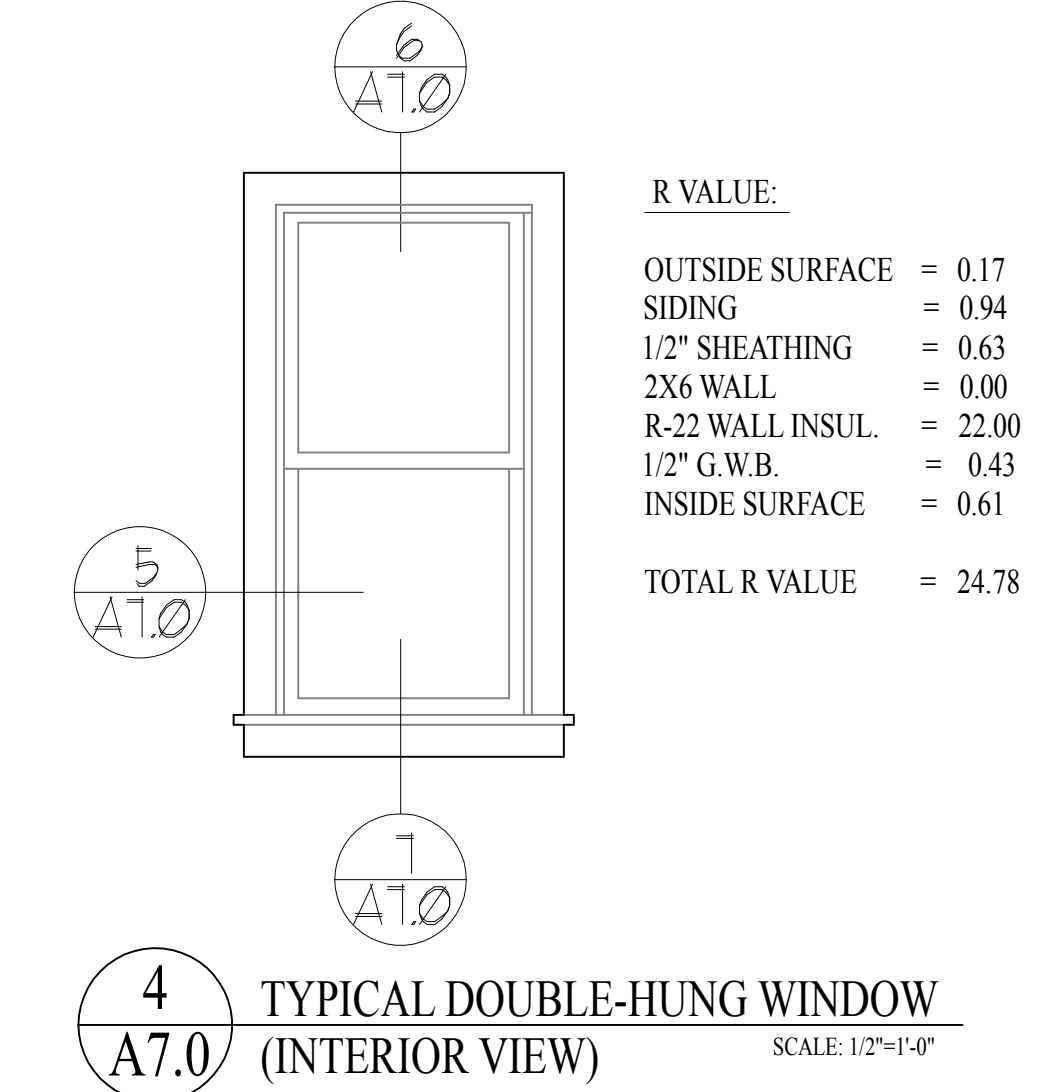
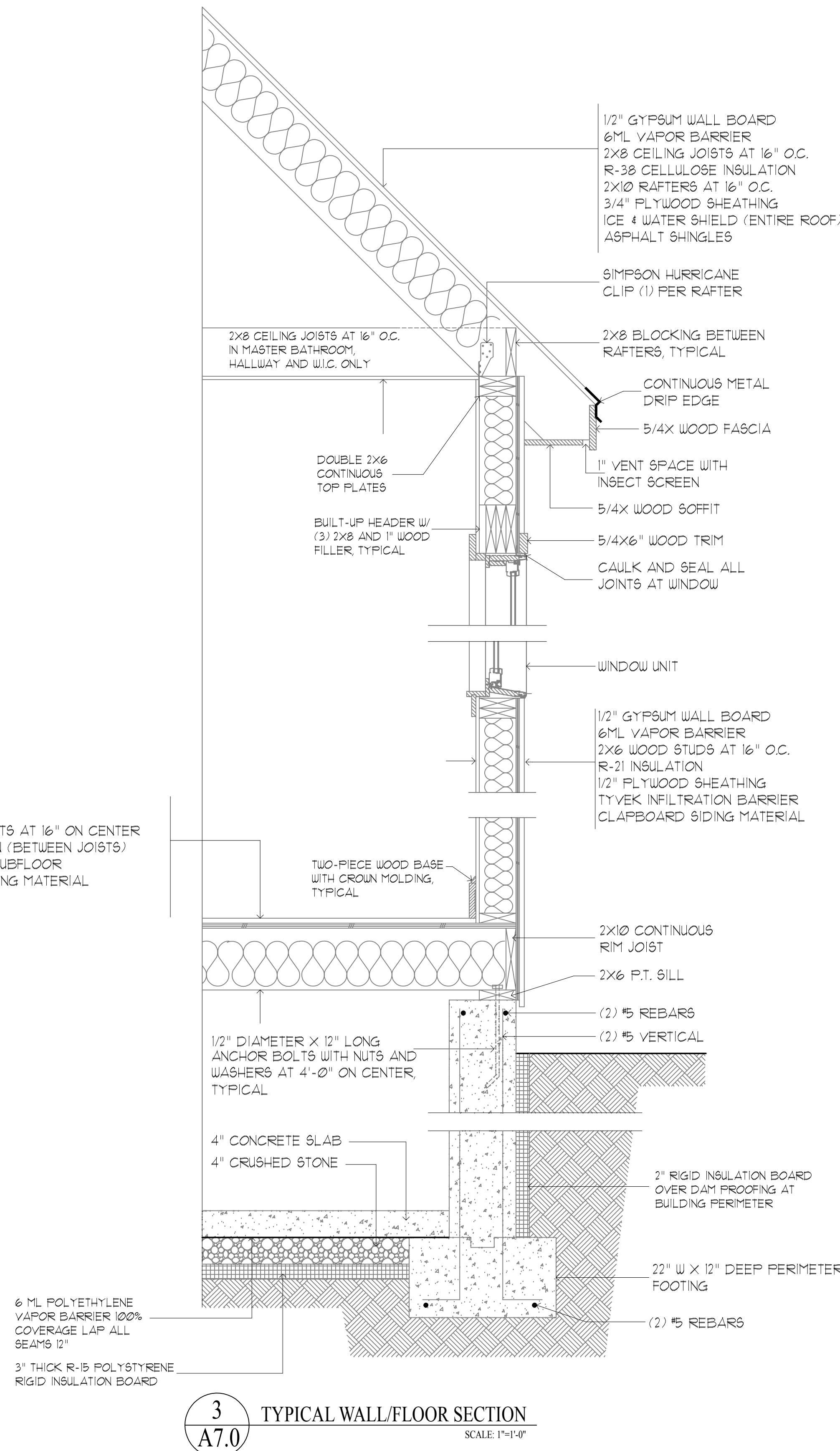
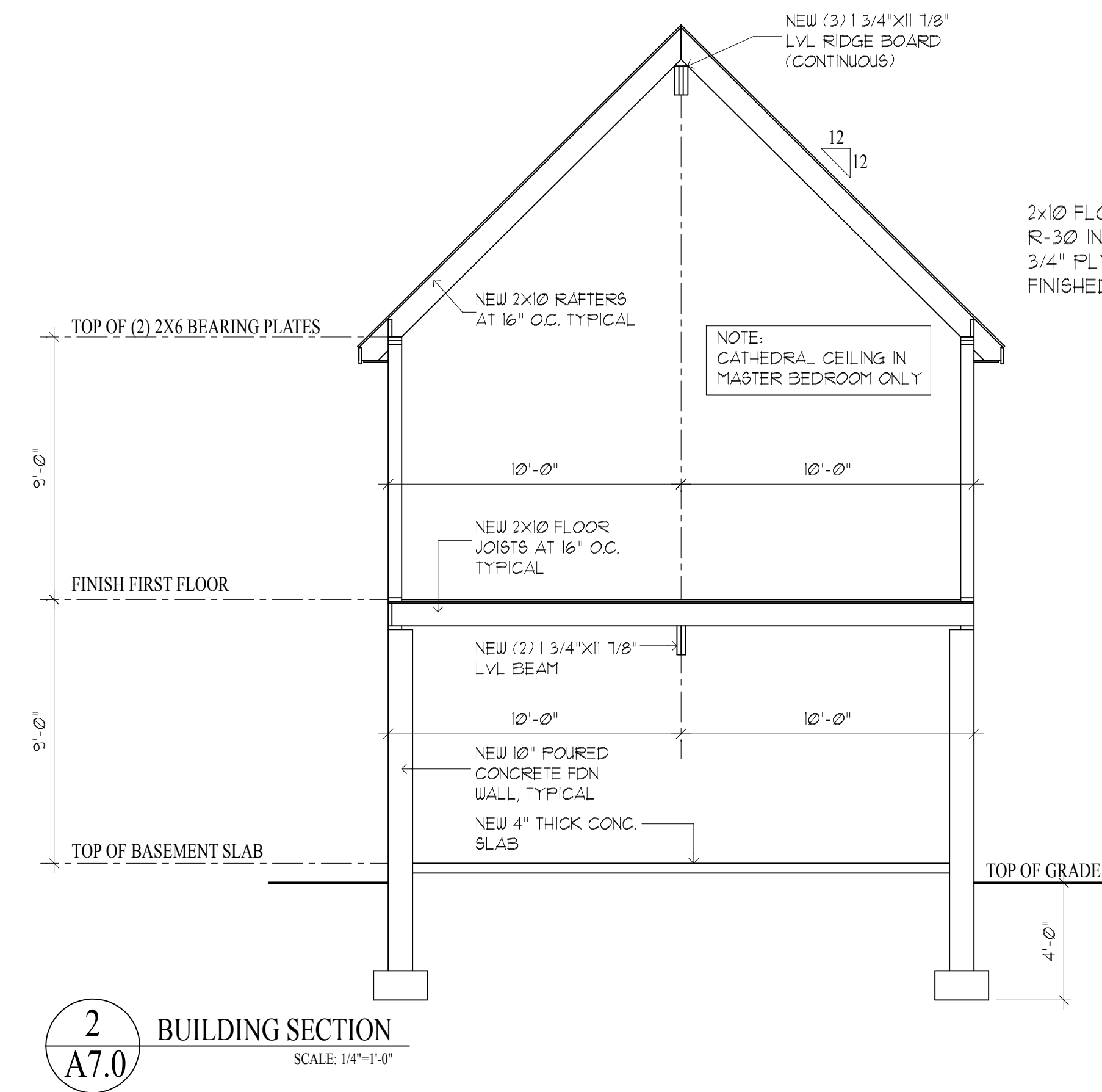
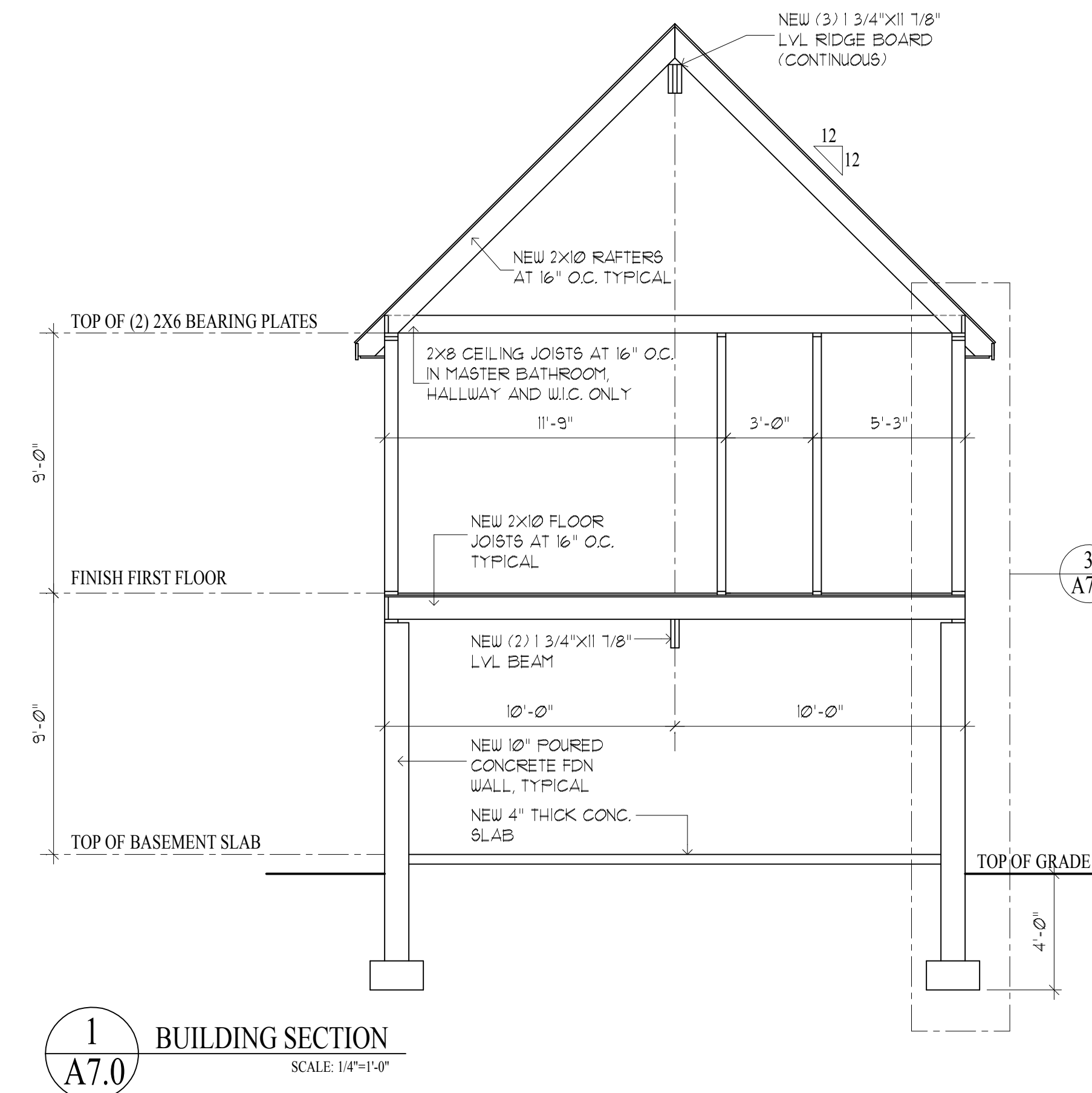
Title:	FRONT & RIGHT SIDE ELEVATIONS
Scale:	1/4"=1'-0"
Revisions:	
Drawn by:	BLS
Approved by:	HP
Project No.:	
Date:	2-2-18
Drawing No.:	

A5.0

PROPOSED RENOVATIONS and NEW REAR ADDITION

Dimensions:

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Project
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18 Lincoln Street, Hiale Park, MA 02116

Title:
BUILDING SECTIONS,
TYPICAL WALL/FLOOR
SECTION & WINDOW DETAILS

Scale: AS NOTED

Revisions:

Drawn by: BLS

Approved by: HP

Project No.:

Date: 2-2-18

Drawing No.:

A7.0

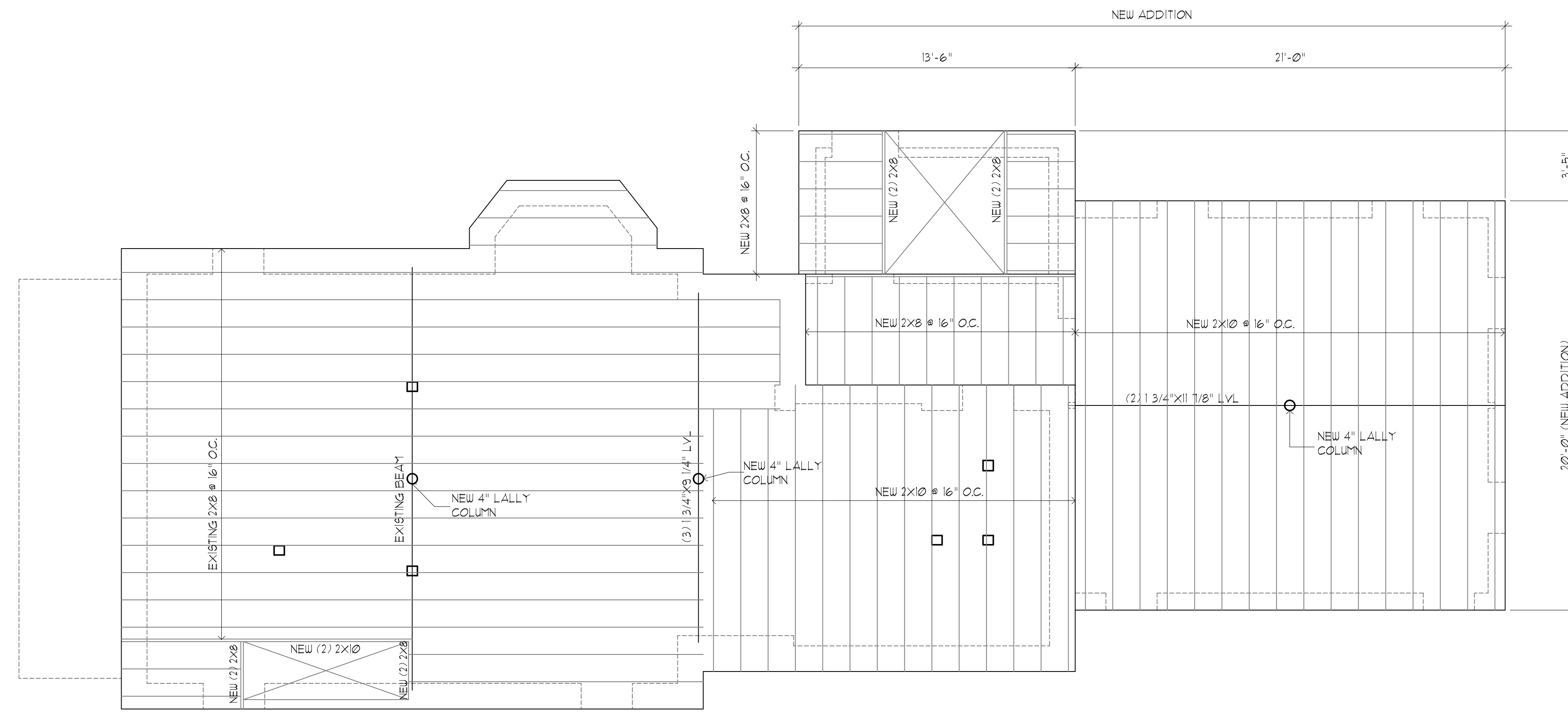
PROPOSED RENOVATIONS and NEW REAR ADDITION

Dimensions:

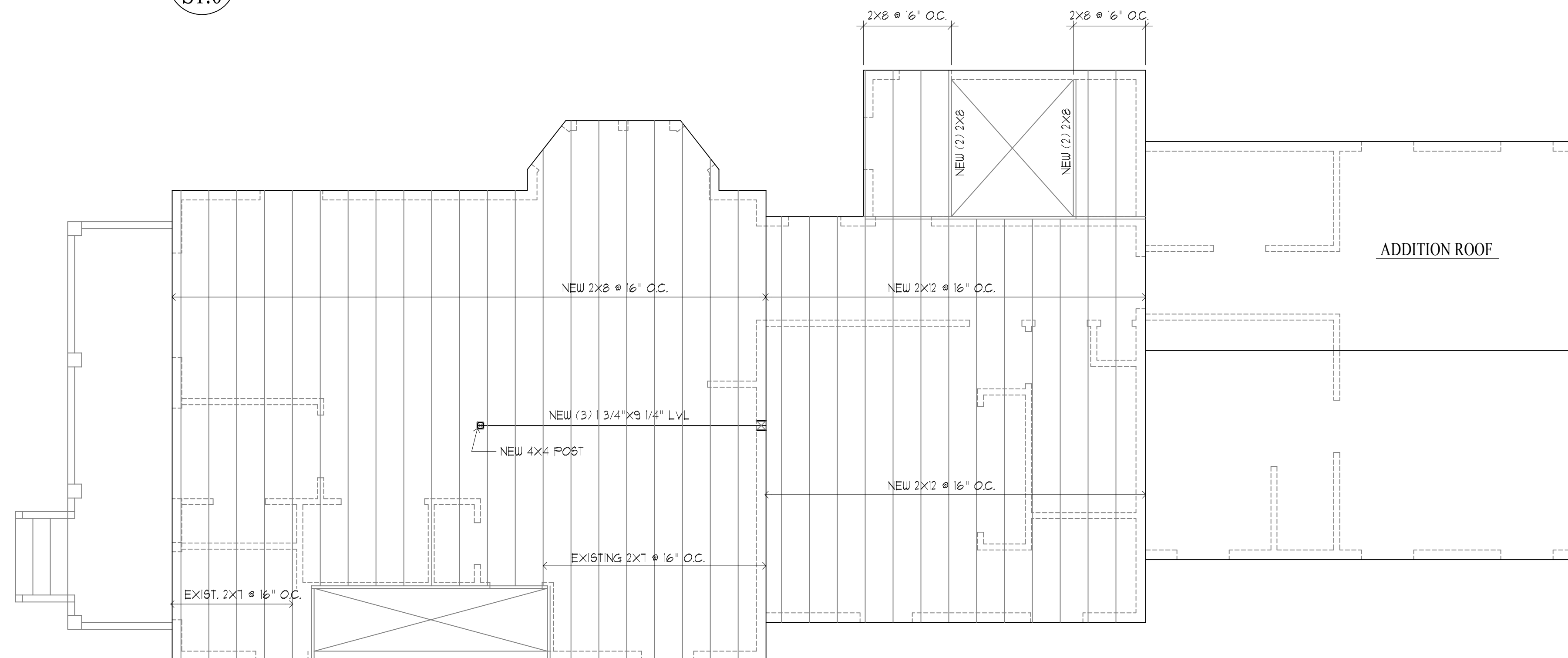
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STRUCTURAL WOOD CONSTRUCTION

- NEW WOOD FRAMING SHALL HAVE 1100 PSI (REPETITIVE) BENDING STRESS. THE MODULUS OF ELASTICITY SHALL BE A MINIMUM OF 1,200,000 PSI.
- LAMINATED VENER LUMBER BEAMS (LVL) SHALL HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 2800 PSI AND A MINIMUM MODULUS OF ELASTICITY OF 2,000,000 PSI.
- JOIST SPANNING OVER 8' MUST HAVE CROSS BRIDGING AT NO MORE THAN 8' O.C.
- NO JOIST SHALL BE NOTCHED OR DRILLED WITH HOLES WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER.
- USE DOUBLE JOISTS UNDER ALL PARTITIONS.
- BEARING WALLS WILL BE 2X6 AT 16" O.C. UNLESS OTHERWISE NOTED.
- STUDS SHALL BE NAILED TO SOLE PLATE WITH 3-10d OR 4-8d TOE NAILS.
- ORIENT STRUCTURAL SHEATHING VERTICALLY AND FASTEN TO SOLE PLATE AND ALL PANEL EDGES AT 3" MAXIMUM O.C.
- FOR OPENING UP TO 2'-0" DOUBLE JOIST AT EACH SIDE OF OPENINGS.
- LARGER OPENINGS SHALL BE CALLED TO THE ATTENTION OF THE STRUCTURAL ENGINEER.
- JAMB STUDS SHALL EXTEND IN ONE PIECE FROM HEADER TO SOLE PLATE.
- DOUBLE STUDS SHALL BE USED AT ALL OPENINGS.
- HEADERS SHALL BE SUPPORTED ON JAMB STUDS.
- ALL STUDS SHALL BE CONTINUOUS FROM FLOOR TO FLOOR OR FLOOR TO ROOF.
- SOLE PLATES SHALL BE NAILED TO SUBFLOOR AND JOISTS WITH 16d NAILS AT EACH JOIST.
- WHEN TOP PLATES ARE CUT FOR PIPING OR DUCTWORK, REINFORCE WITH STEEL STRAPS.
- WHERE BEAMS AND GIRDERS OF NOMINAL 2" MEMBERS ARE SHOWN NAIL WITH TWO ROWS OF 16d NAILS SPACED NOT MORE THAN 24" O.C.
- ALL BEAMS MUST SPLICE ONLY OVER SUPPORTS UNLESS SPECIFICALLY INSTRUCTED OTHERWISE BY THE STRUCTURAL ENGINEER.
- ALL WOOD STRUCTURES EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
- STRUCTURAL TIMBER SHALL BE PURCHASED WITH MAXIMUM MOISTURE CONTENT OF 19% WITH THE 2X6s USED AS SOLE PLATES IN STUD BEARING WALLS. ALL OTHER STRUCTURAL TIMBER SHALL BE PURCHASED WITH A MAXIMUM MOISTURE CONTENT OF 15%.
- TIMBER SHALL BE SO HANDLED AND COVERED AS TO PREVENT MARRING, AND MOISTURE ABSORPTION FROM SNOW OR RAIN.



1
S1.0 FIRST FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



2
S1.0 SECOND FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

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Project
18 LINCOLN STREET
Proposed Renovations and New Rear Addition
18 Lincoln Street, Hyde Park, MA 02136

Title:	FIRST & SECOND FLOOR FRAMING PLANS
Scale:	1/4"=1'-0"
Revisions:	
Drawn by:	BLS
Approved by:	HP
Project No.:	
Date:	2-2-18
Drawing No.:	

S1.0

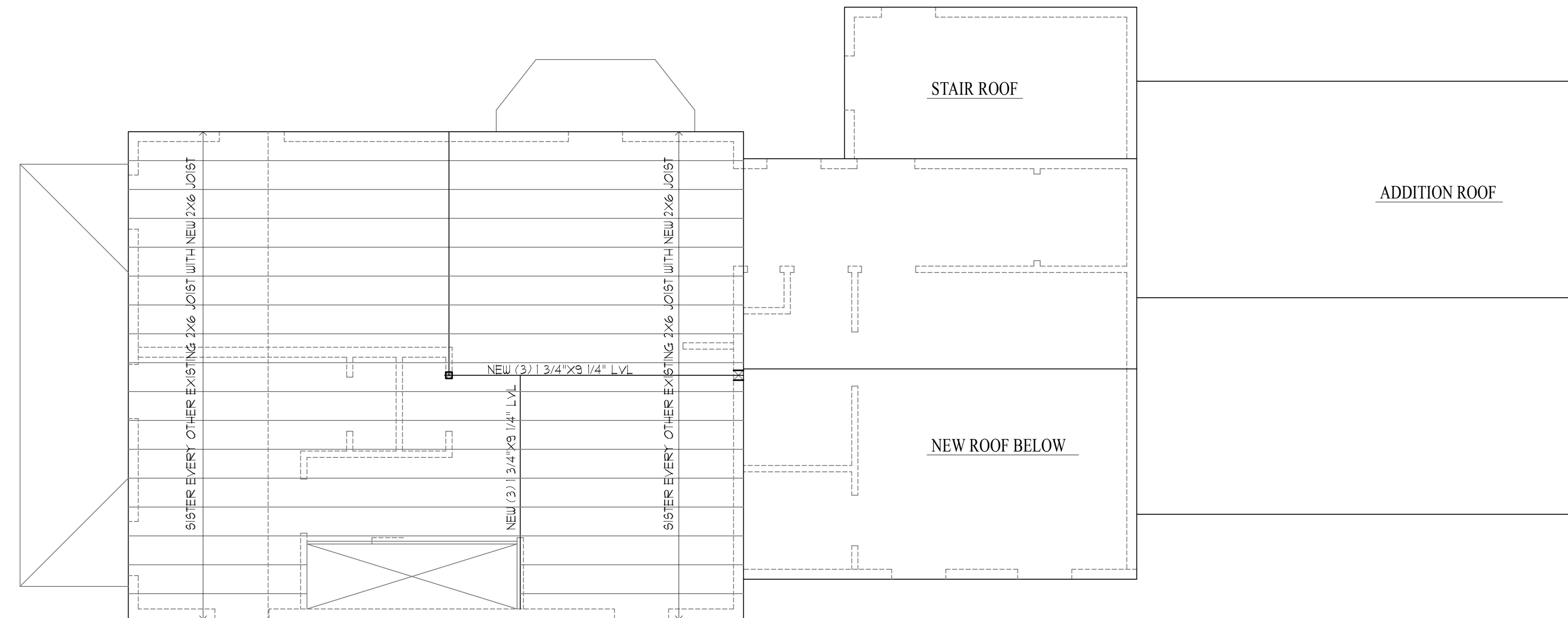
PROPOSED RENOVATIONS and NEW REAR ADDITION

Dimensions:

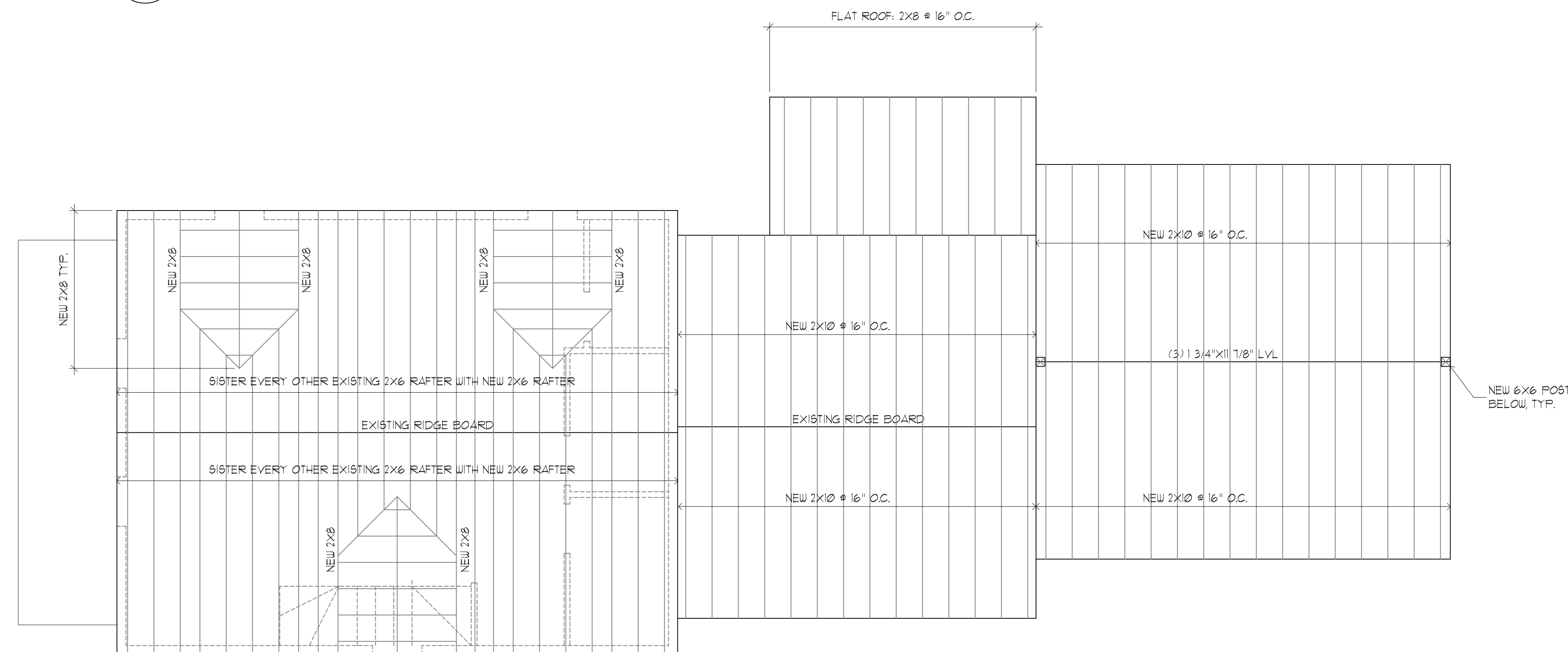
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5. USE DOUBLE JOISTS UNDER ALL PARTITIONS.
6. BEARING WALLS WILL BE 2X6 AT 16" O.C. UNLESS OTHERWISE NOTED.
7. STUDS SHALL BE NAILED TO SOLE PLATE WITH 3-16d OR 4-8d TOE NAILS.
8. ORIENT STRUCTURAL SHEATHING VERTICALLY AND FASTEN TO SOLE PLATE AND ALL PANEL EDGES AT 3" MAXIMUM O.C.
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15. SOLE PLATES SHALL BE NAILED TO SUBFLOOR AND JOISTS WITH 16d NAILS AT EACH JOIST.
16. WHEN TOP PLATES ARE CUT FOR PIPING OR DUCTWORK, REINFORCE WITH STEEL STRAPS.
17. WHERE BEAMS AND GIRDERS OF NOMINAL 2" MEMBERS ARE SHOWN NAIL WITH TWO ROWS OF 16d NAILS SPACED NOT MORE THAN 24" O.C.
18. ALL BEAMS MUST SPLICE ONLY OVER SUPPORTS UNLESS SPECIFICALLY INSTRUCTED OTHERWISE BY THE STRUCTURAL ENGINEER.
19. ALL WOOD STRUCTURES EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
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21. TIMBER SHALL BE SO HANDLED AND COVERED AS TO PREVENT MARRING, AND MOISTURE ABSORPTION FROM SNOW OR RAIN.



1
S2.0
THIRD FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



2
S2.0
ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

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18 Lincoln Street, Hyde Park, MA 02136

Title:

THIRD FLOOR & ROOF
FRAMING PLANS

Scale: 1/4"=1'-0"

Revisions:

Drawn by: BLS

Approved by: HP

Project No.:

Date: 2-2-18

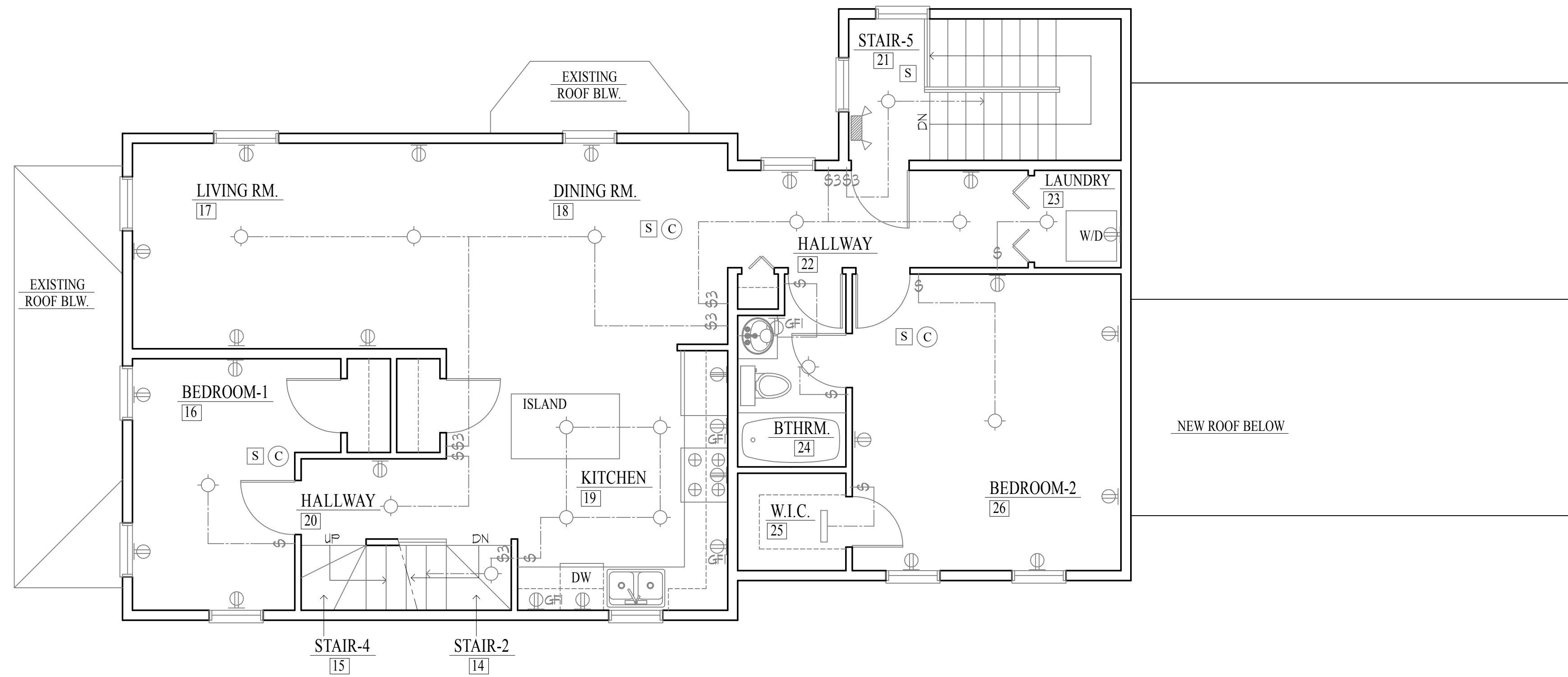
Drawing No.:

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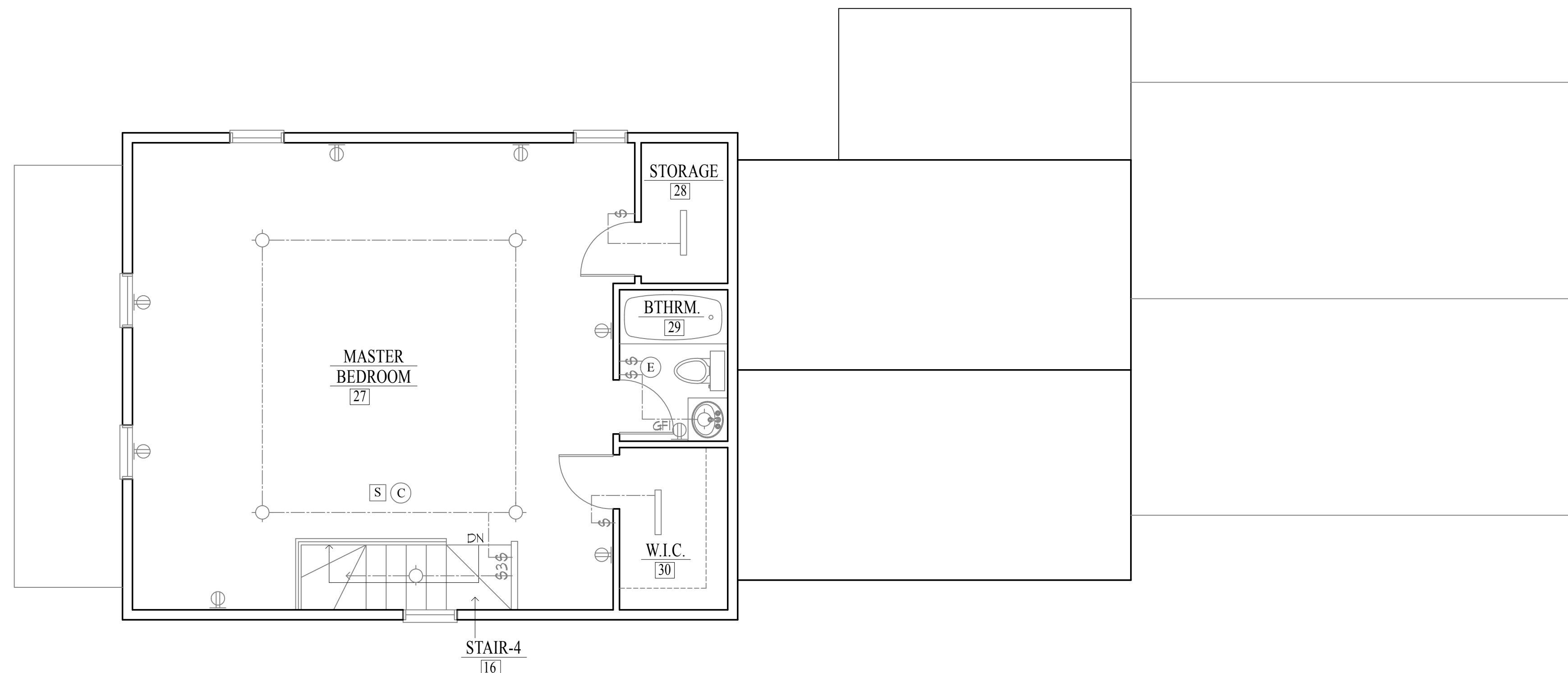
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1
E2.0 SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"



2
E2.0 THIRD FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

FIRE ALARM FIXTURE SCHEDULE	
⊗	NEW EXIT SIGN
EL	NEW EMERGENCY LIGHT
FE	NEW FIRE EXTINGUISHER
ANN	NEW ANNUCIATOR
E FACP	EXISTING FIRE ALARM CONTROL PANEL
F	NEW PULL STATION
▲	NEW STROBE/HORN
S	NEW HARD-WIRED SMOKE DETECTOR
C	NEW HARD-WIRED CARBON MONOXIDE DETECTOR
V	NEW STROBE (VISUAL ONLY)
WP	NEW EXTERIOR HORN/STROBE - EXACT LOCATION AND HEIGHT AS PER FIRE DEPARTMENT
RA	NEW REMOTE ANNUCIATOR

ELECTRICAL SYMBOLS		
RECEPTACLE OUTLET	LIGHTING OUTLETS	
⊕	RD	INCANDESCENT RECESSED DOWN LIGHT
⊕	SLF	INCANDESCENT SUSPENDED LIGHT
FL	⊕	INCANDESCENT LIGHT AND FAN
⊕	⊕	EXHAUST FAN
⊕	WWS	INCAND., WEATHERPROOF WALL SCONCE
GFI	⊕	INCAND., EXT WEATHERPROOF FLOOD
⊕	⊕	INCANDESCENT SURFACE MOUNTED LIGHT
⊕	⊕	FLUORESCENT, DOUBLE TUBE
⊕	⊕	INCAND., WEATHERPROOF LIGHT WITH MOTION DETECTOR
⊕	⊕	FLUORESCENT, "PRISMATIC", 3 SIDED
⊕	⊕	FLUORESCENT, "PRISMATIC", 2 SIDED
MISCELLANEOUS OUTLETS		
⊕	⊕	FAN
⊕	⊕	THERMOSTAT
⊕	⊕	DOOR SIGNAL PUSH BUTTON
⊕	⊕	DOOR SIGNAL BUZZER OR BELL
⊕	⊕	TELEPHONE
⊕	⊕	TELEVISION
⊕	⊕	SPEAKER
⊕	⊕	SINGLE POLE
⊕	⊕	3-WAY (FROM 2 LOCATIONS)
⊕	⊕	4-WAY (FROM 3 LOCATIONS)
⊕	⊕	SINGLE POLE MOTION DETECTOR SWITCH
⊕	⊕	SINGLE POLE DIMMER SWITCH

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Project
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Proposed Renovations and New Rear Addition
18 Lincoln Street, Hiale Park, MA 02116

Title:	SECOND & THIRD FLOOR ELECTRICAL PLANS
Scale:	1/4"=1'-0"
Revisions:	
Drawn by:	BLS
Approved by:	HP
Project No.:	
Date:	2-2-18
Drawing No.:	

E2.0