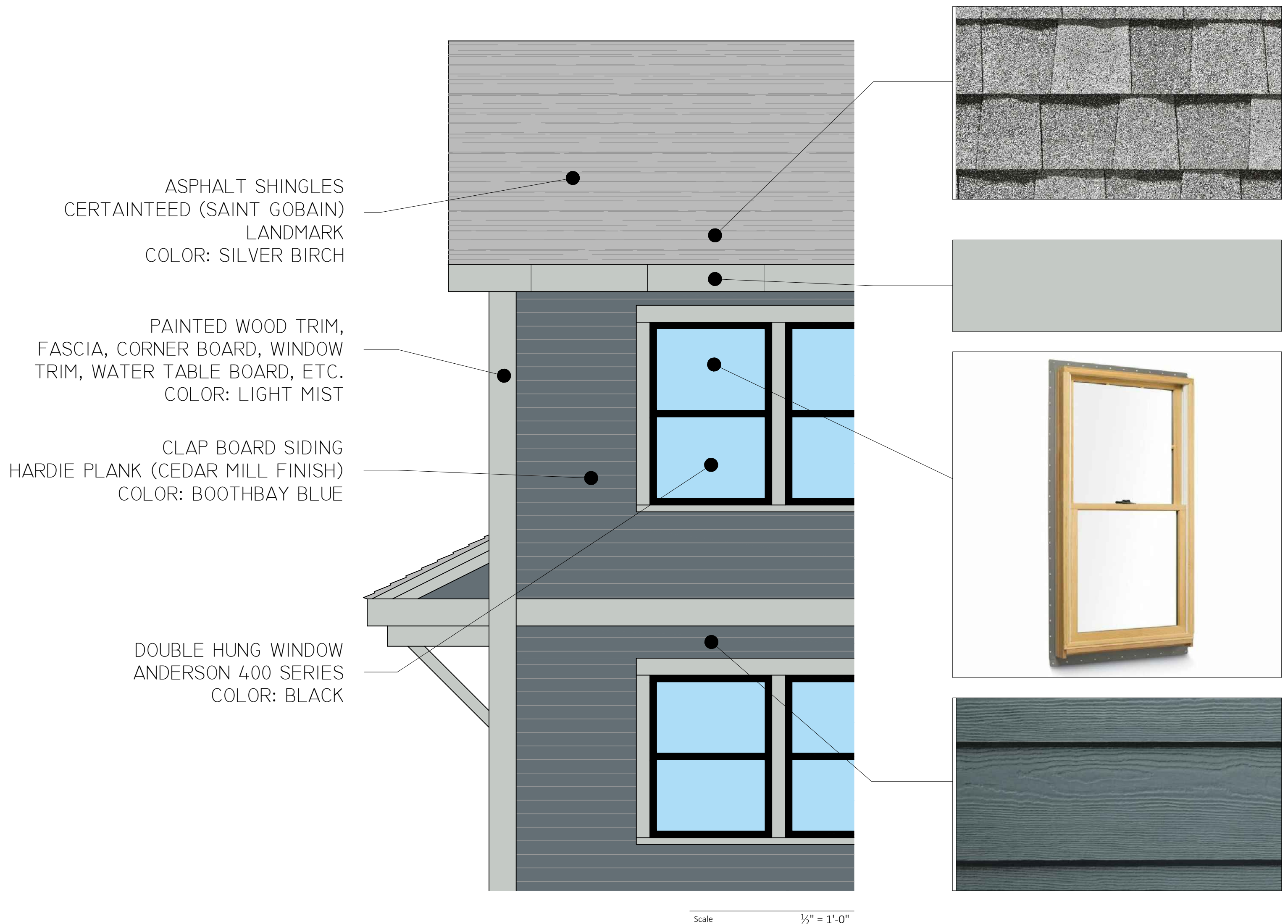


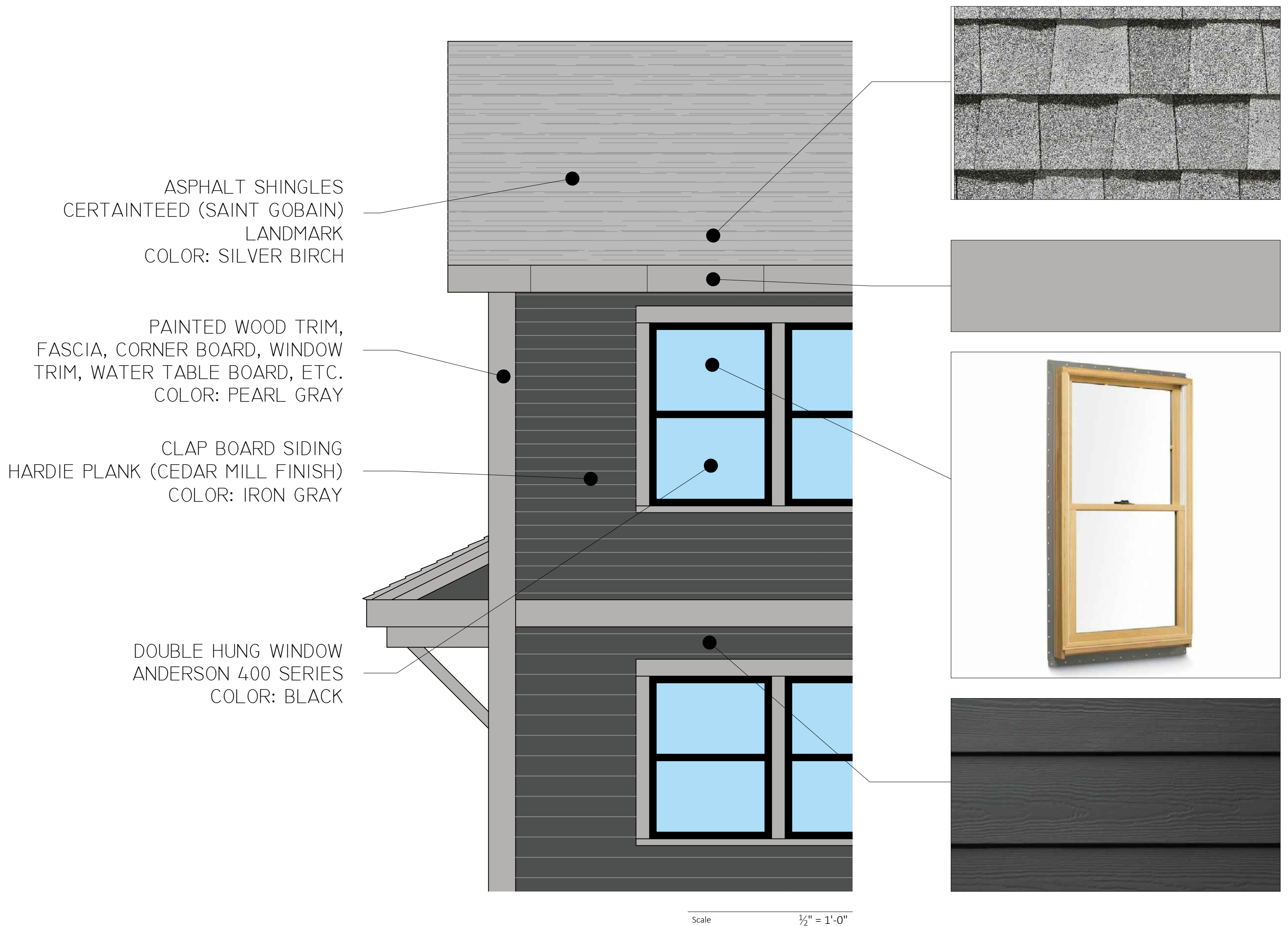
25 RUSKINDALE ROAD

EXTERIOR COLOR SCHEME A



25 RUSKINDALE ROAD

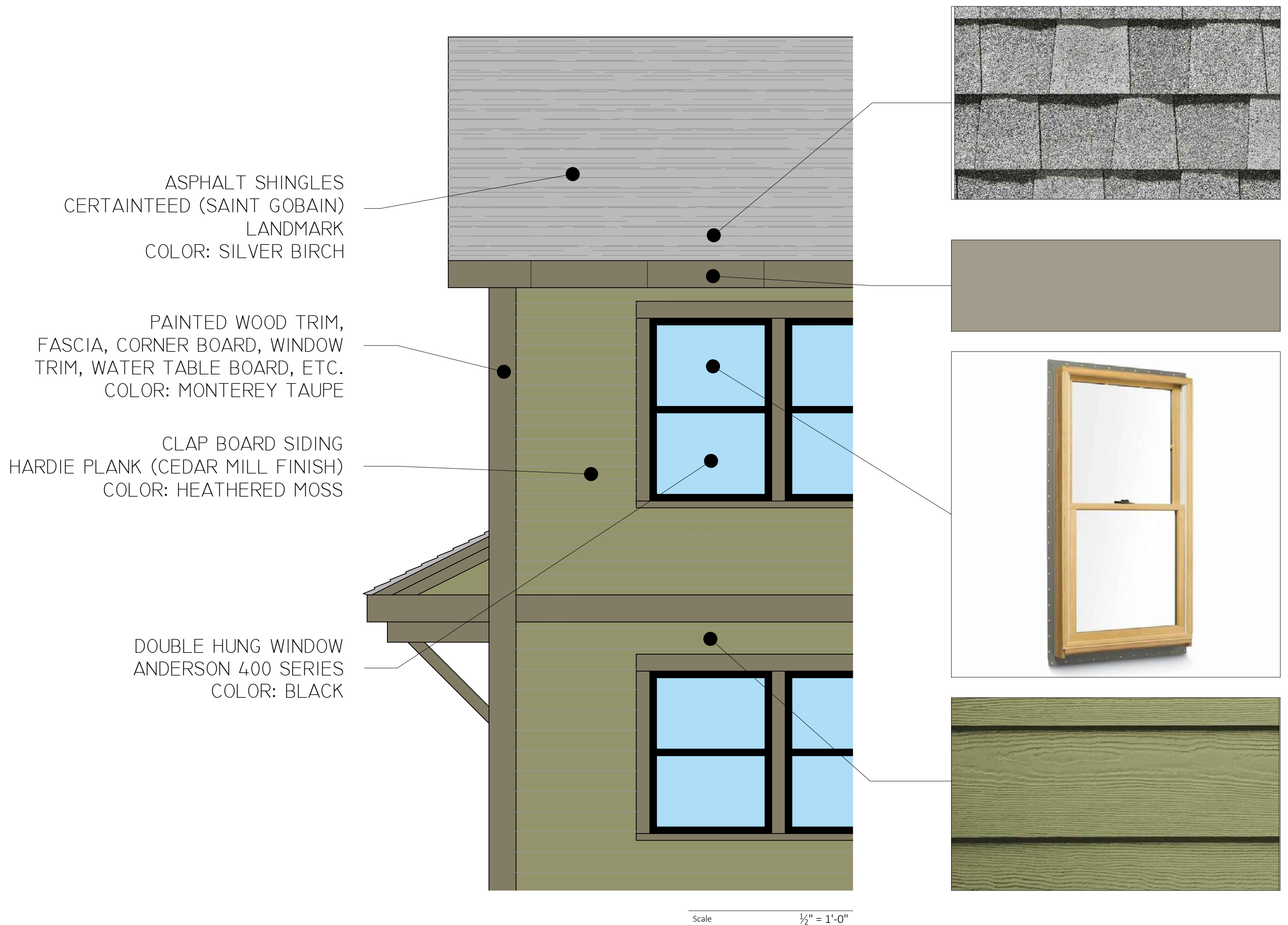
EXTERIOR COLOR SCHEME B



A FRONT ELEVATION

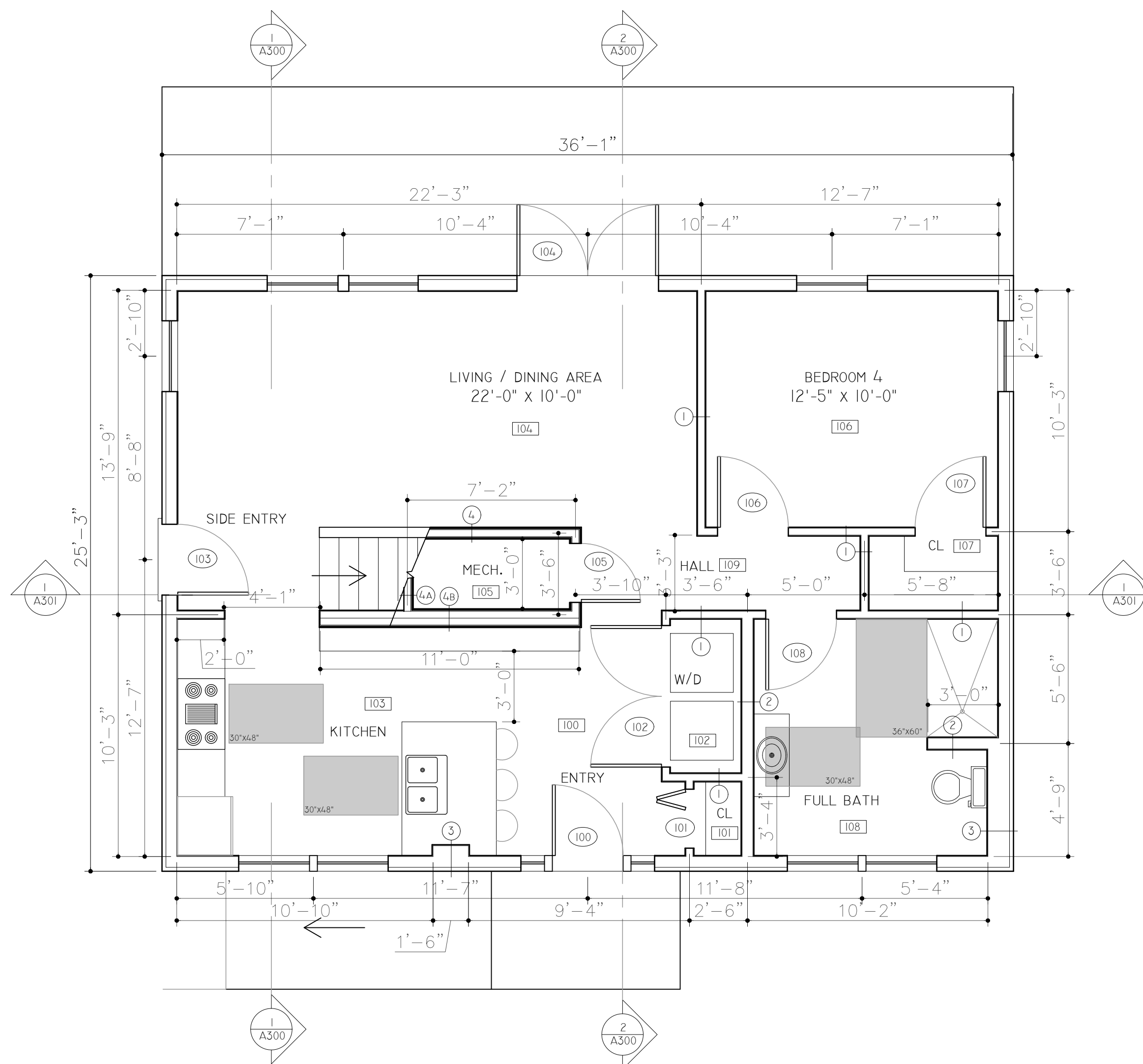
25 RUSKINDALE ROAD

EXTERIOR COLOR SCHEME C



Construction Supervisor:

Joseph Diaz
CS License Number:
HIC License Number:
Office: (617) 445-8887
Cell: (617) 592-8259



1 FIRST FLOOR PLAN

- INTERIOR DIMENSIONS ARE TO FACE OF STUD
- REFER TO A700 FOR PARTITION TYPE DETAILS

SUBMISSIONS:

No.	Description	dd/mm/yy
001	Project Proposal	14/19/2016

RUSKINDALE RESIDENCE
23 Ruskindale Road
Boston, Ma
02126

FIRST FLOOR PLAN

Project number	1603
Date	31/10/2017
Drawn by	AH
Checked by	AH

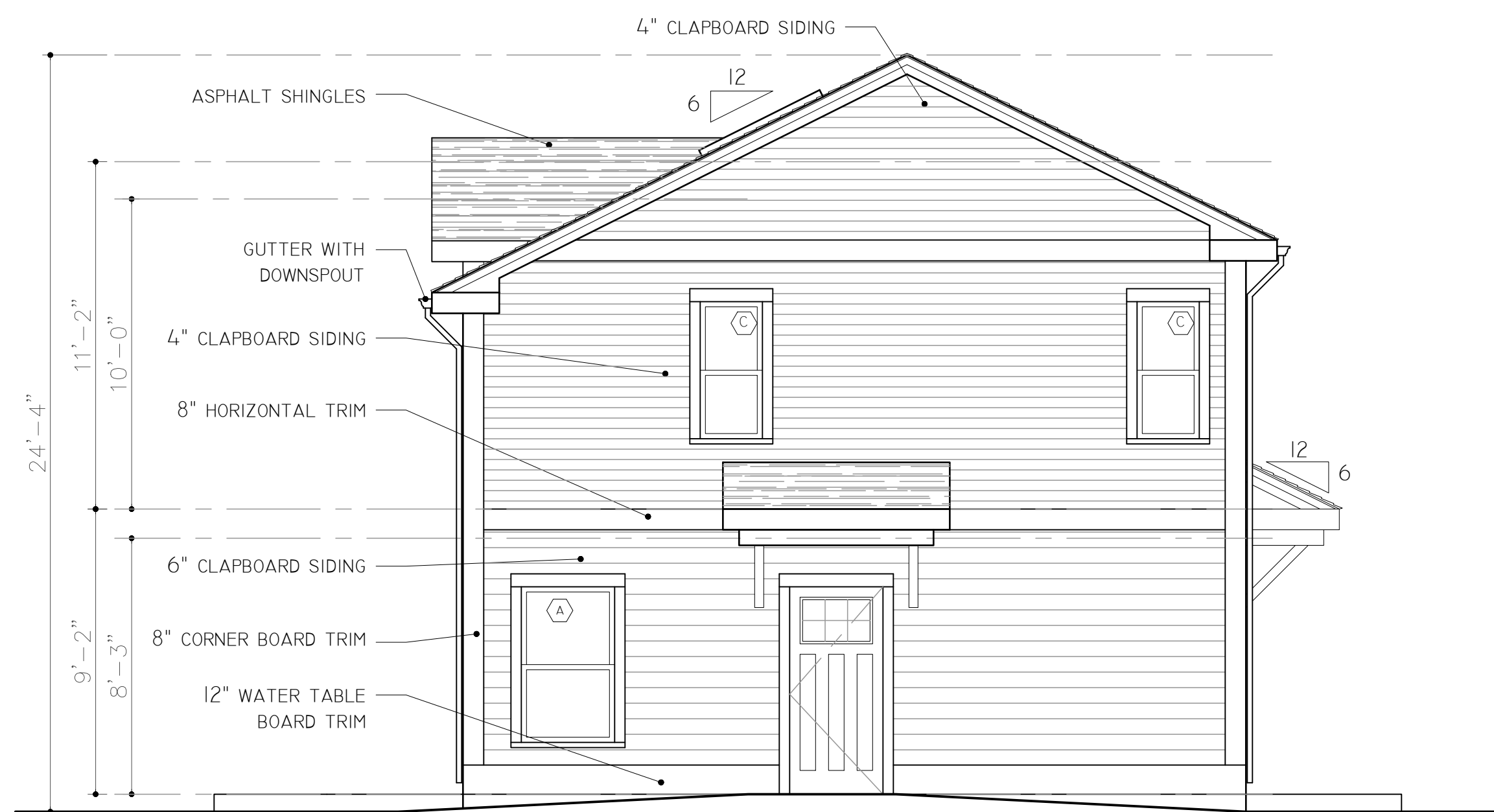
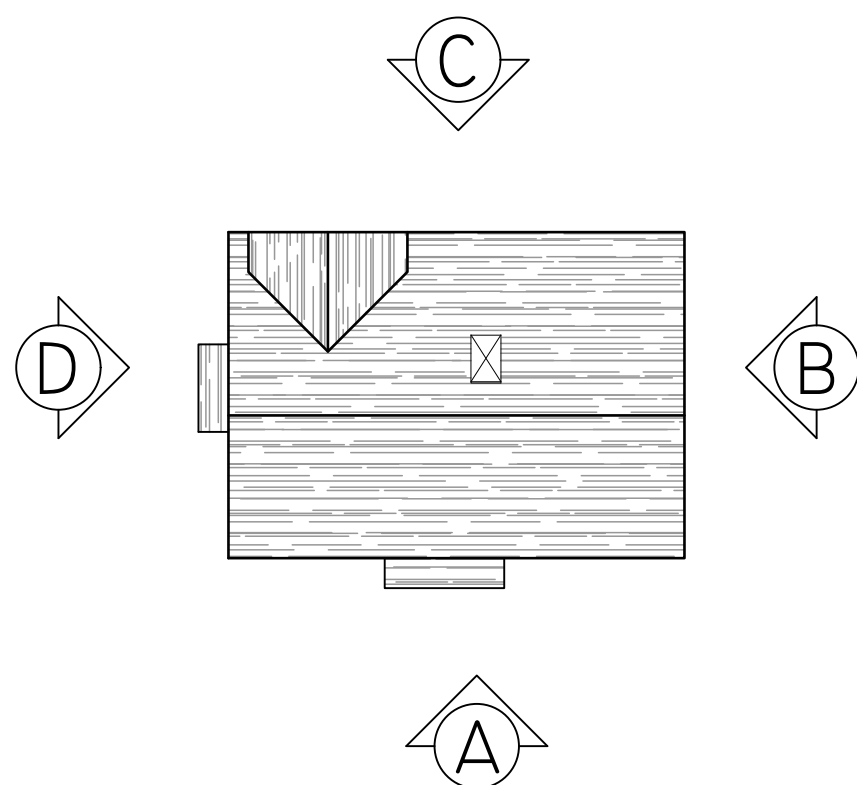
A100

Construction Supervisor:

Joseph Diaz
CS License Number:
HIC License Number:
Office: (617) 445-8887
Cell: (617) 592-8259



C REAR ELEVATION



D REAR ELEVATION

SUBMISSIONS:

No.	Description	dd/mm/yy
001	Project Proposal	14/19/2016

RUSKINDALE RESIDENCE
23 Ruskindale Road
Boston, Ma
02126

SIDE AND REAR
ELEVATION

Project number	1603
Date	31/10/2017
Drawn by	AH
Checked by	AH

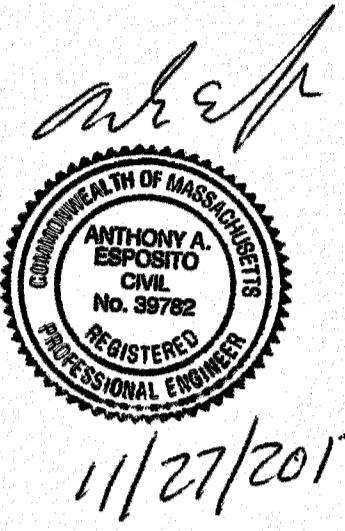
A201

**BENCHMARK: X-CUT; DRAIN MANHOLE
ELEVATION: 86.54' = (BOSTON CITY BASE)**

NEW WATER ACCOUNT REQUIRED
PROJECT LOCATION: 23 RUSKINDALE ROAD HYDEPARK, MA
 02136 2-VACANT LOTS
APPLICANT: YOUTHBUILD BOSTON
 27 CENTRE ST.
 ROXBURY, MA. 02119
 MIKE CHAVEZ 617-445-8887
OWNER: CITY OF BOSTON
 62 BRADFIELD AVE.
 ROSLINDALE, MA. 02131

PROPOSED: 1- FAMILY DWELLING W/ 3 BEDROOMS EACH
 3 BRS X 110 GPD = 330 GPD

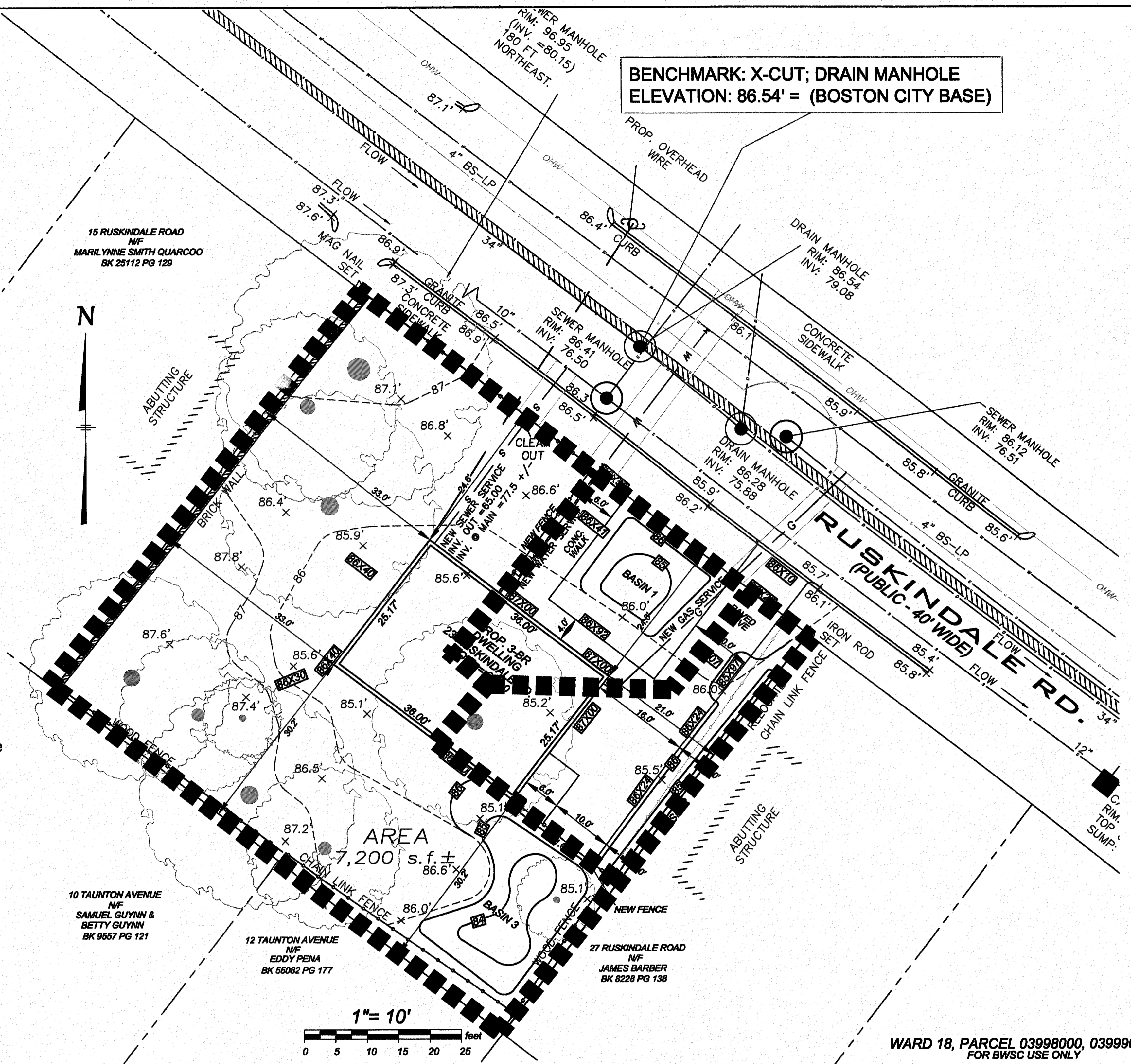
I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE BOSTON WATER AND SEWER REGULATIONS
 ANTHONY A. ESPOSITO, PE 11/27/2017 DATE



TRENCH CALCULATIONS, (PUBLIC WAY)

- 1 **WATER CALCULATIONS**
 AREA REQUIRED: 29'L X 5'W = 145 SF
 INCLUDES 45 SF FOR SIDEWALK AREA
 PLUS 30 SF FOR TAP MACHINE
- 2 **SEWER CALCULATIONS**
 AREA REQUIRED: 1 SERVICES X 11'L X 4'W = 44 SF
 INCLUDES 28 SF FOR SIDEWALK AREA
- 3 **GAS CALCULATIONS**
 AREA REQUIRED: 1 SERVICES X 25'L X 3'W = 75 SF
 INCLUDES 24 SF FOR SIDEWALK AREA

DESCRIPTION OF AS-BUILT BLOCK	LAYER	BLOCK NAME
	BWSC-Water	Water Main Valve
	BWSC-Water	Small Valve
	BWSC-Water	Hydrant
	BWSC-Water	Water Meter
	BWSC-Drain	Drain Manhole
	BWSC-Drain	Catch Basin
	BWSC-Sewer	Sewer Cleanout
	BWSC-Sewer	Sewer Manhole
-100-	EXCONTOURS	Existing Contour
-702-	PR-GR	Proposed Contour



INSPECTION SIGN OFF

A) 1-1/2 INCH TYPE K COPPER	INSPECTOR	DATE
B) 6 INCH SDR 35 PVC SEWER	INSPECTOR	DATE
C) RECHARGE SYSTEM	INSPECTOR	DATE
D) DYE TEST SEWER	INSPECTOR	DATE
E) AS-BUILT DWGS	INSPECTOR	DATE
F) DOWNSPOUT OVERFLOW	INSPECTOR	DATE

COBUCS CLEARANCE #151094022265
 Parcel ID: 1803998000, 1803999000
 23 Ruskindale Rd., Hyde Park, Massachusetts

PREPARED FOR
YOUTHBUILD BOSTON
 27 CENTRE ST.
 ROXBURY, MA 02119

TITLE
WATER SHED PLAN

PREPARED BY:
 Anthony A. Esposito
 Professional Engineer
 SOUTH MEADOW VILLAGE
 Unit 55-7
 CARVER, MA 02330
 508-369-4783
 ltespo12@yahoo.com

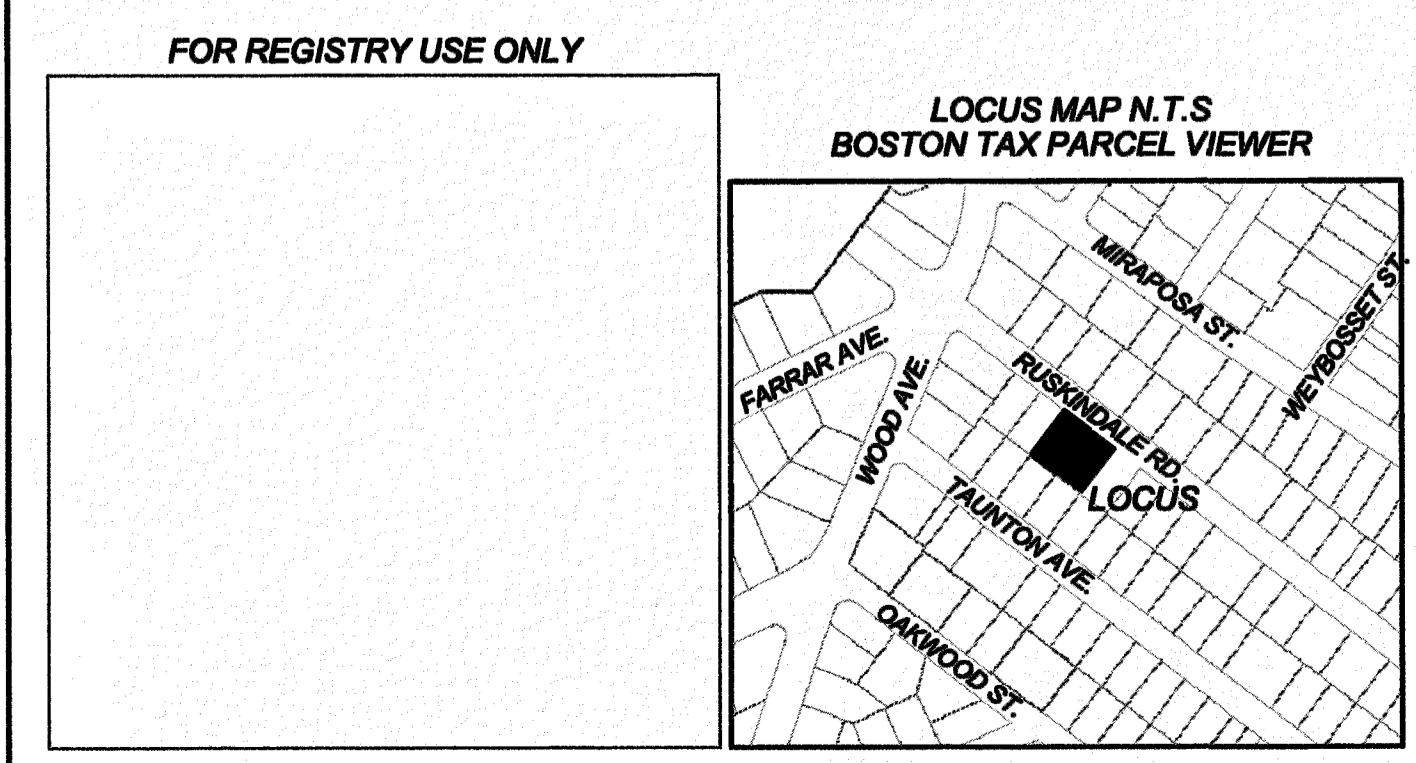
ZONING ANALYSIS

PROJECT ADDRESS	23-25 RUSKINDALE ROAD		
NEIGHBORHOOD	HYDE PARK		
ZONING AREA CODE	IF-6000		
ZONING ARTICLE	69		
BUILDING USE TYPE (FROM TABLE A)	ONE FAMILY DETACHED - ALLOWED		
GROSS FLOOR AREA	REQUIRED	EXISTING	PROPOSED
	1,634 sq.ft.		
MINIMUM LOT FRONTAGE	60'-0"	90'-0"	NO CHANGE
MINIMUM LOT SIZE	6000 sq.ft.	7200 sq.ft.	NO CHANGE
MINIMUM LOT WIDTH	60'-0"	90'-0"	NO CHANGE
MAXIMUM FLOOR AREA RATIO	0.5	0.23	
MAXIMUM BUILDING HEIGHT	2 1/2 STORIES	2 STORIES	
	35'-0"	24'-4"	
USABLE OPEN SPACE	1,800 sq.ft.	4,772 sq.ft.	
FRONT YARD SET BACK	20'-0"	20'-3"	
SIDE YARD SET BACK	10'-0"	10'-0"	
REAR YARD SET BACK	30'-0" **	30'-3"	
OFF STREET PARKING / DWELLING UNIT	2	2	

* ARTICLE 69.30.1 CONFORMITY WITH EX. BUILDING ALIGNMENT
 ** ARTICLE 69.30.10 REAR YARD OF CERTAIN SHALLOW LOTS.
 PERMITTED AS OF RIGHT YES

- SCHEDULE OF DRAWINGS**
- SHEET 1 SITE PLAN
 - SHEET 2 DETAILS
 - SHEET 3 DETAILS
 - SHEET 4 WATER SHED PLAN

WARD 18, PARCEL 03998000, 03999000
 FOR BWSC USE ONLY



LOCUS OWNERS
 CITY OF BOSTON
 62 BRADFIELD AVE.
 ROSLINDALE, MA. 02131
 BK 56724 PG 63

PLAN REFERENCES
 BK 5 PG 178

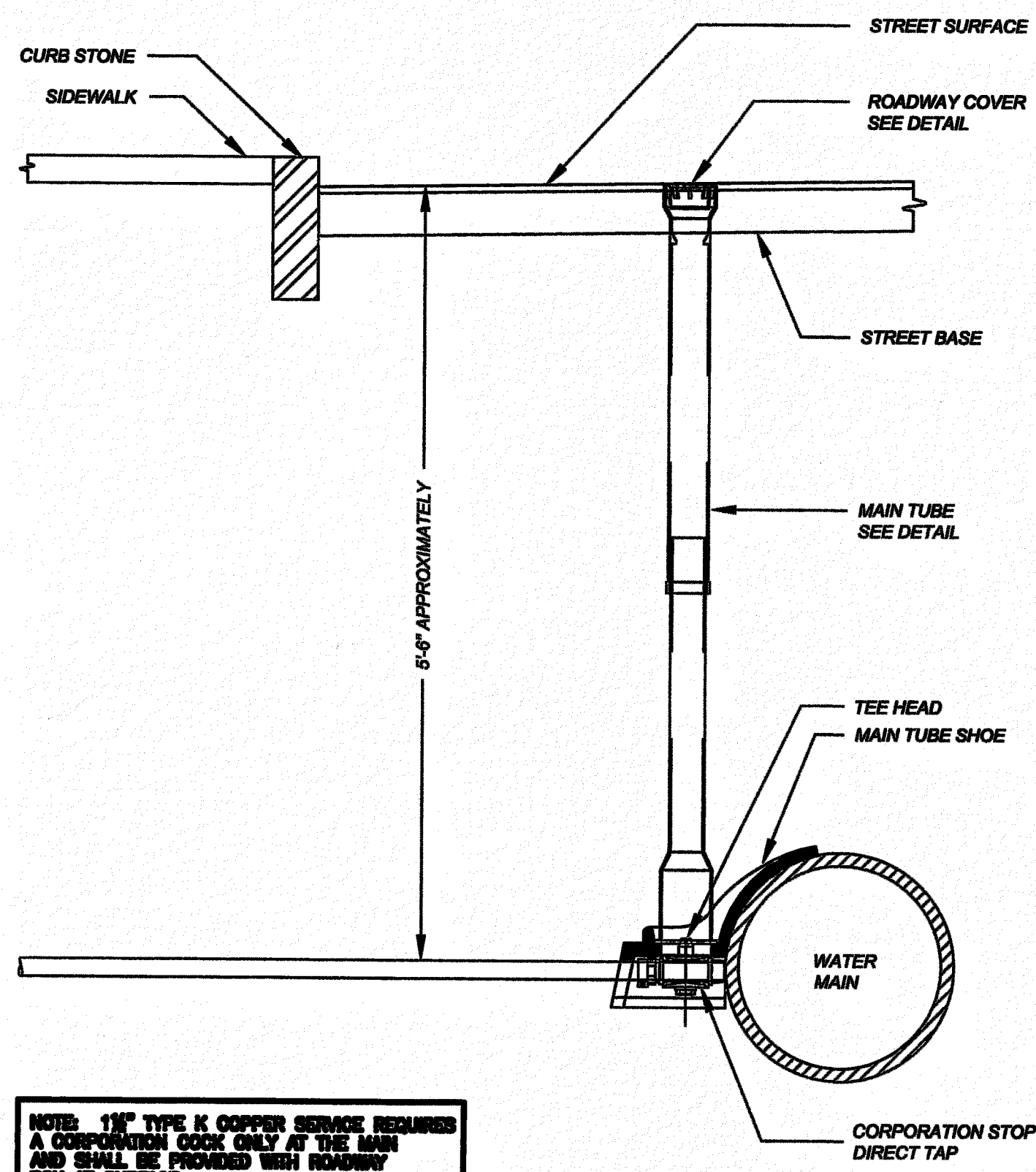
"EASEMENT PLAN IN BOSTON, MA"
 (HYDEPARK DISTRICT)
 TOOMEY-MUNSON & ASSOCIATES, MARCH 28, 2006
 John F. Toomey, Surveyor

CITY OF BOSTON SURVEY FIELD NOTES:
 Book 989 Page 2
 Book 981 Page 12

SCALE: AS SHOWN DATE: 11/23/2017

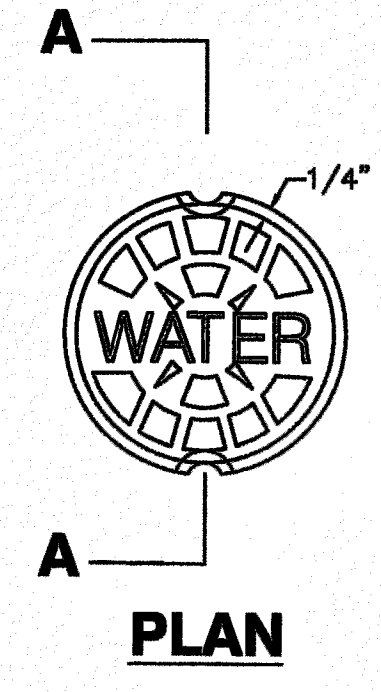
NO.	BY	DATE	REMARKS

JOB # 19883
 19883-SITE PLAN
 BWSC DRAWING NUMBER: ?

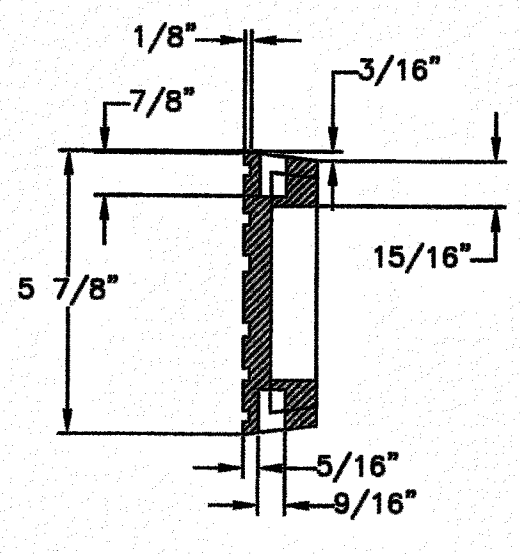


NOTE: 1 1/2\"/>

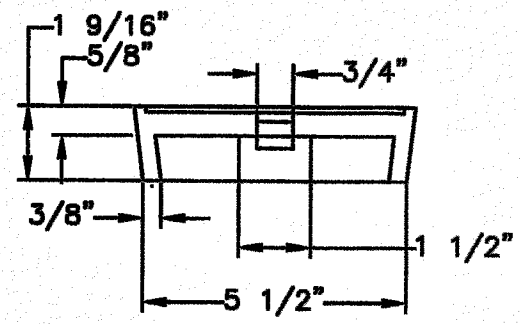
WATER SERVICE DETAIL:
NOT TO SCALE



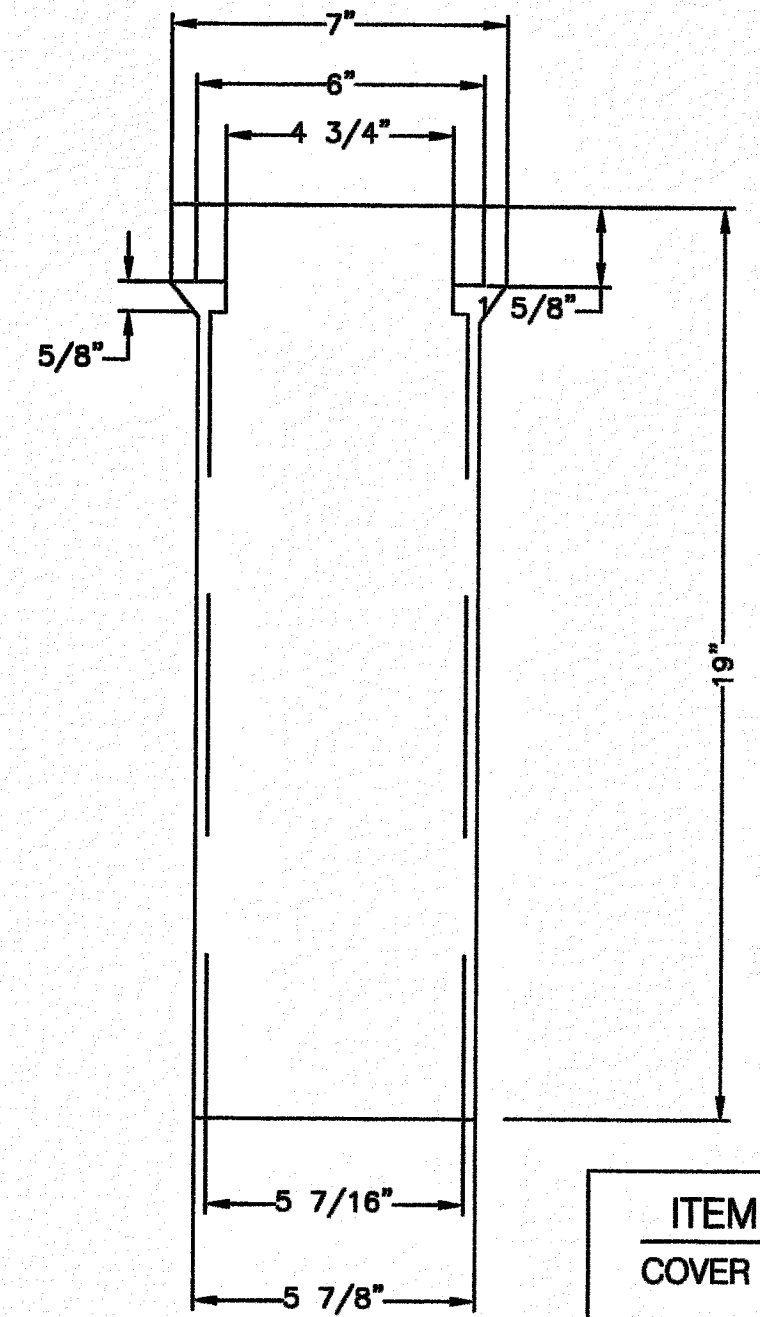
PLAN



SECTION A-A

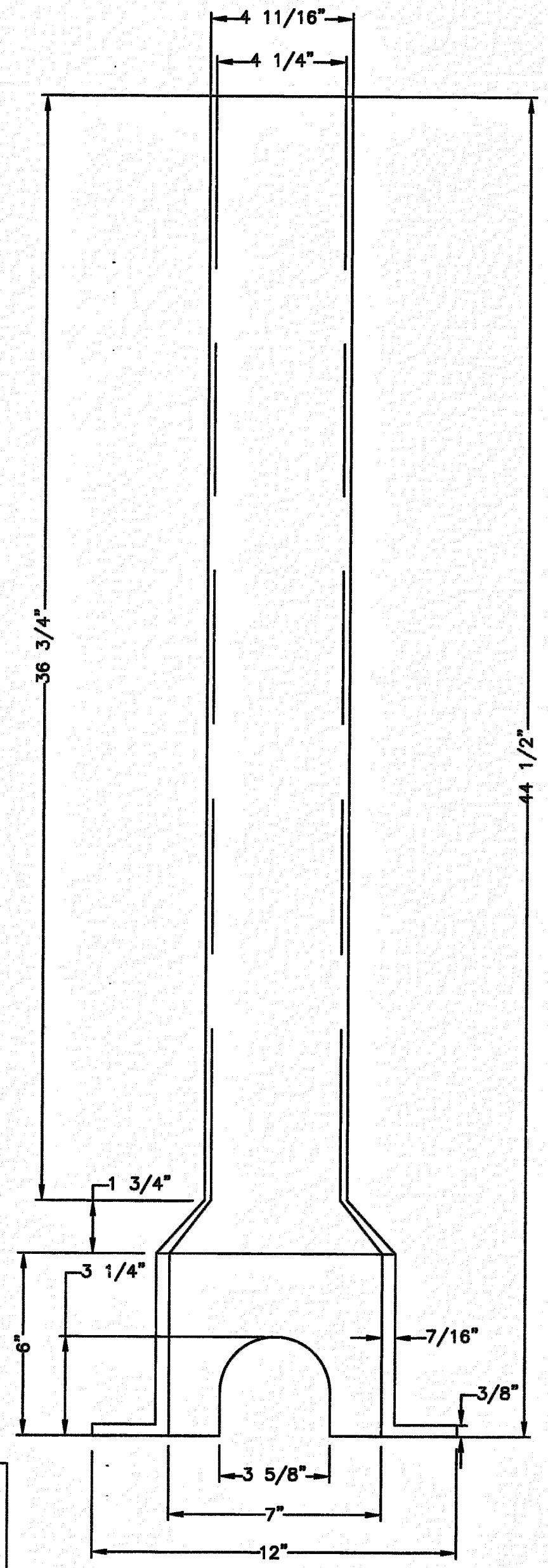


COVER



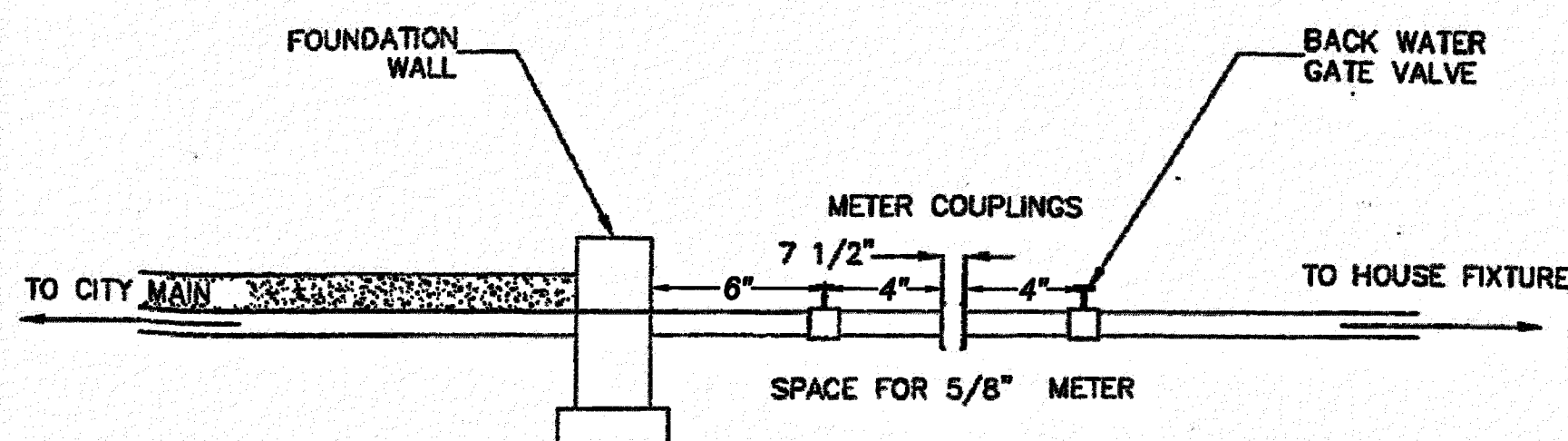
TOP SECTION

ITEM	NUMBER
COVER	99460000
TOP SECTION	99460001
BOTTOM SECTION	99460002

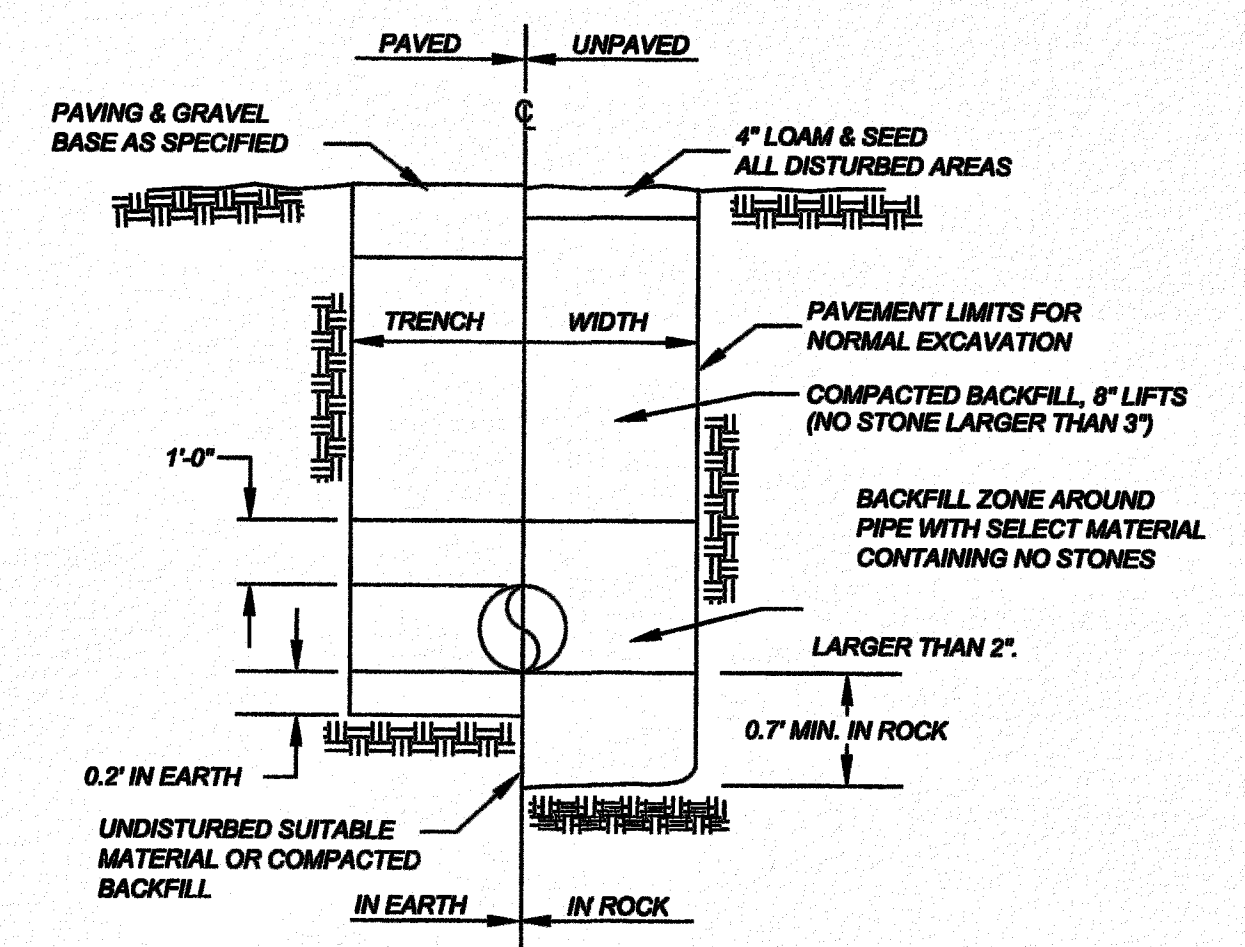


BOTTOM SECTION

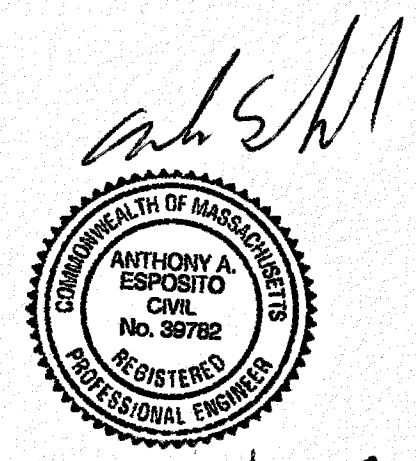
MAIN TUBE DETAIL:
NOT TO SCALE



5/8\"/>



UTILITY TRENCH DETAIL:
NOT TO SCALE



WARD 18, PARCEL 1803998000, 1803999000
FOR BWS USE ONLY

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE BOSTON WATER AND SEWER REGULATIONS.
ANTHONY A. ESPOSITO, PE
DATE: 11/27/2017

Parcel ID: 1803998000, 1803999000
23 Ruskindale Rd., Hyde Park, Massachusetts

PREPARED FOR
YOUTHBUILD BOSTON
27 CENTRE ST.
ROXBURY, MA 02119

DETAILS

PREPARED BY:
Anthony A. Esposito
Professional Engineer
SOUTH MEADOW VILLAGE
Unit 55-7
CARVER, MA 02330
508-369-4783
ltespo12@yahoo.com

SCALE: AS SHOWN			DATE: 11/23/2017
NO. BY DATE REMARKS			C-3 DRAWING NUMBER
JOB # 19883			
19883-SITE PLAN			BWS DRAWING NUMBER: ?

DRAINAGE CALCULATIONS

RECHARGE VOLUME CALCULATIONS

VOLUME REQUIRED: 1,734 SF IMPERVIOUS X 1" / 12" = 144.5 CF

STORAGE PROPOSED BASIN 1: @ ELEV. 86 = 218.5 SF

@ ELEV. 85 = 77.3 SF
 TOTAL VOLUME IN THE BASIN: (218.5+77.3)/2 X 1 FT = 147.9 CF
 TOTAL VOLUME IMPERVIOUS IN THE BASIN: 540 SF X 1" / 12" = 45 CF
 TOTAL VOLUME PERVIOUS IN THE BASIN: 430 SF X 0.30 X 1" / 12" = 10.7 CF
 TOTAL VOLUME IN THE BASIN: 45 CF + 10.7 CF = 55.7 CF OK

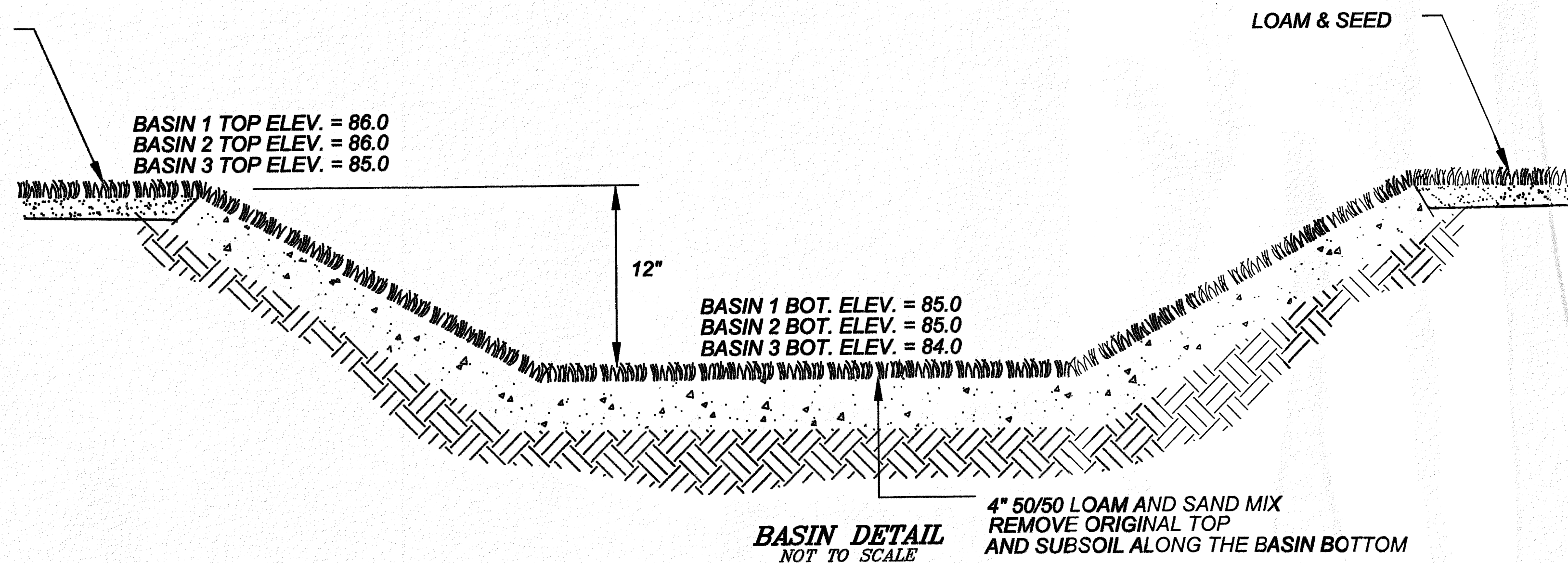
STORAGE PROPOSED BASIN 2: @ ELEV. 86 = 290.8 SF

@ ELEV. 85 = 29.2 SF
 TOTAL VOLUME IN THE BASIN: (290.8+29.2)/2 X 1 FT = 160 CF
 TOTAL VOLUME IMPERVIOUS IN THE BASIN: 869 SF X 1" / 12" = 72.4 CF
 TOTAL VOLUME PERVIOUS IN THE BASIN: 250 SF X 0.30 X 1" / 12" = 6.2 CF
 TOTAL VOLUME IN THE BASIN: 72.4 CF + 6.2 CF = 78.8 CF OK

STORAGE PROPOSED BASIN 3: @ ELEV. 85 = 364.3 SF

@ ELEV. 84 = 122.6 SF
 TOTAL VOLUME IN THE BASIN: (364.3+122.6)/2 X 1 FT = 243.4 CF
 TOTAL VOLUME IMPERVIOUS IN THE BASIN: 451 SF X 1" / 12" = 37.6 CF
 TOTAL VOLUME PERVIOUS IN THE BASIN: 4,660 SF X 0.30 X 1" / 12" = 116.5 CF
 TOTAL VOLUME IN THE BASIN: 116.5 CF + 37.6 CF = 154.1 CF OK

LOAM & SEED



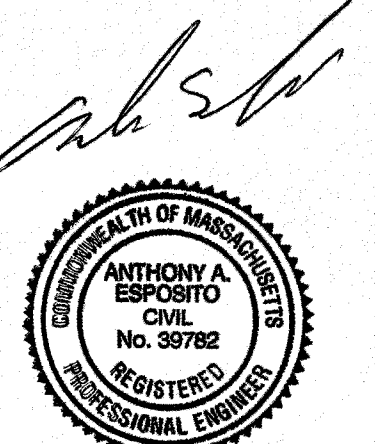
BASIN DETAIL
NOT TO SCALE

4" 50/50 LOAM AND SAND MIX
REMOVE ORIGINAL TOP
AND SUBSOIL ALONG THE BASIN BOTTOM

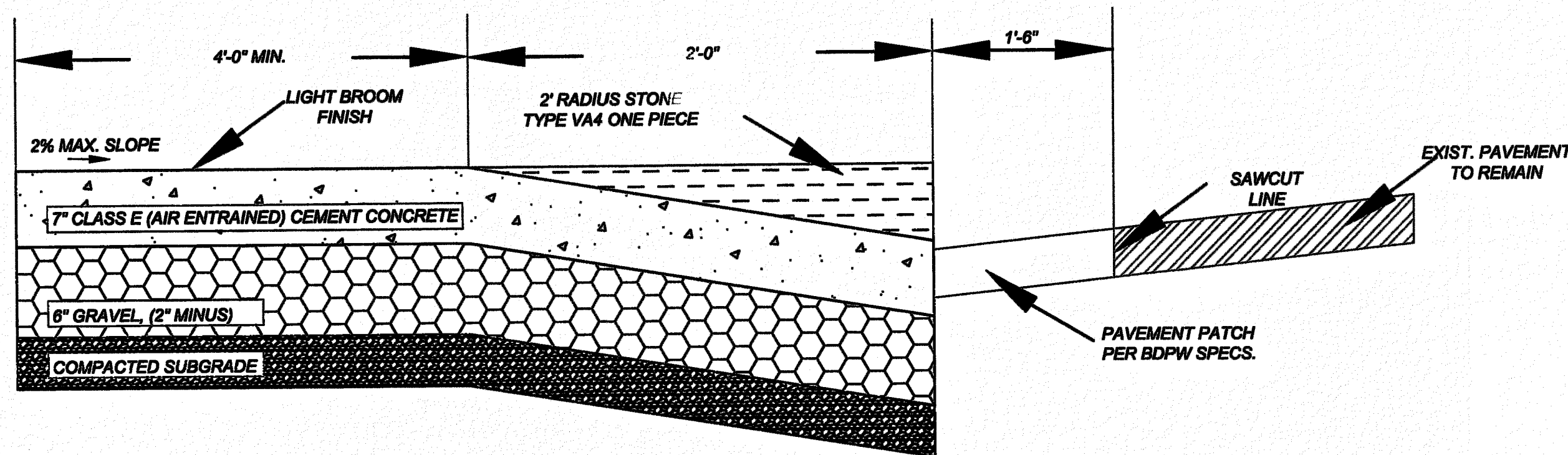
WARD 18, PARCEL 1803998000, 1803999000
FOR BWSC USE ONLY

NOTES:

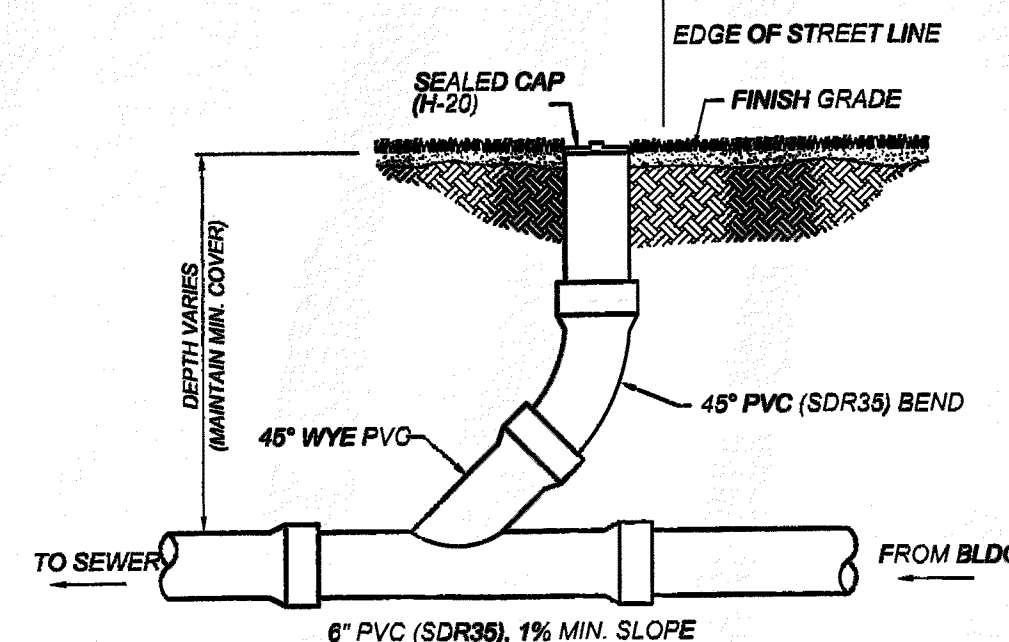
1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE, OR IRON PIPE.
2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
3. FULL WYE CONNECTION FITTINGS MAY BE USED
4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED



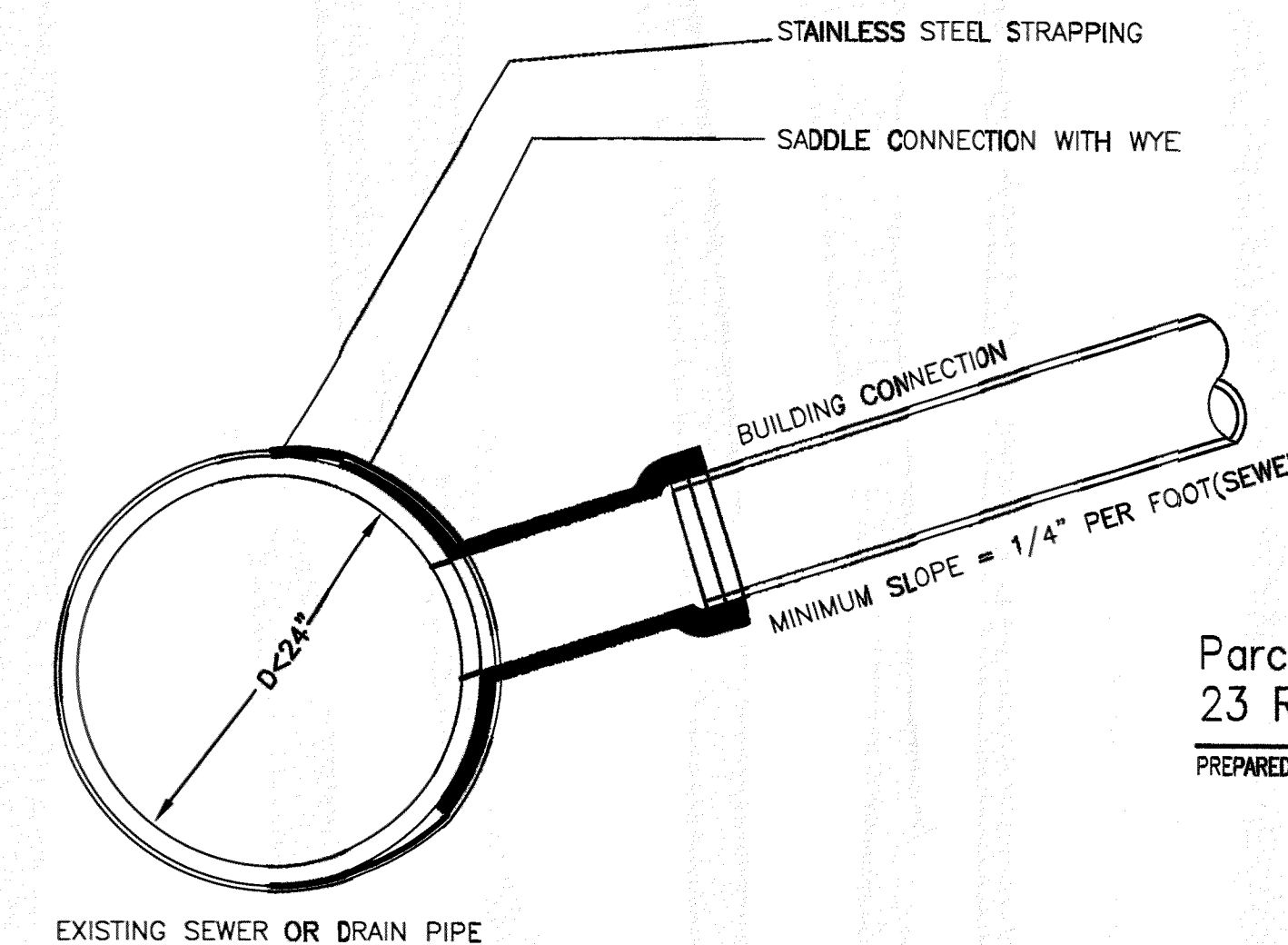
I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE BOSTON WATER AND SEWER REGULATIONS.
 ANTHONY A. ESPOSITO, PE
 DATE 11/27/2017



CURB CUT DETAIL
NOT TO SCALE



SEWER CLEANOUT DETAIL
NOT TO SCALE



SADDLE CONNECTOR DETAIL
NOT TO SCALE

DESIGN & CONSTRUCTION NOTES

1. Locations of all utilities and underground structures are from survey and records of the City, utility companies and are considered approximate as to size and location and may be incomplete. Call Digsafe (1-888-DIG-SAFE) to obtain clearance before excavating in each area.
 2. Project Surveyor - J. K. Holmgren Engineering, Scott Faria 508-583-2595
 3. Notify the MWRA for any work in the vicinity of utility lines within 30 feet and/or operated by the MWRA without written permission from the MWRA prior to work.
 4. All work shall be performed in accordance with the City of Boston Water & Sewer Commission, Boston Department of Public Works, (DPW) and Boston Traffic and Parking, (BTP) Rules and Regulations.
 5. Utilities: In the City of Boston, the contractor shall be licensed by the Boston Water & Sewer Commission, (BWSC) and obtain permit in writing for the project and make arrangements for inspections by the BWSC. All existing lines for inspection, opening, etc. shall be inspected by BWSC staff.
- All pipe materials, fittings, catch basins etc. shall be of BWSCs specifications and standards.
 Water and sewer/drain shall have a minimum 10 foot separation or the sewer/drain should be below the water by 18 inches clear separation vertically between the pipes. All utility trenches shall be repaired with infra-red bonding process or as stated in the Road Opening Permit.
 All sewer pipe shall be tested for leaks cleaned and flushed prior to use. Leak test shall be by water or by low pressure air.
 Water service shall be Type K copper tubing. Water service shall be tested, pressurized, flushed and bacteria tested per the BWSC.
 Backflow prevention and fire protection services, if needed, shall be designed by a licensed fire protection engineer.
 While constructing one utility line, provide protection for all other utility lines and the contractor shall be responsible for any damage, repair and other liabilities.

6. All trenches shall be backfilled in layers of 12 inches, well compacted and allowed to settle prior to applying asphalt base course or as stated in the road opening permit.
7. Contractor shall assume the risk of dewatering and ledge blasting. Obtain all blasting permits if needed.
8. All disturbed areas shall be restored to their original condition.
9. Within 1 foot of utility mains dig by hand only.
10. Any and all piping work of the building and within the building must comply with the legal jurisdiction of the plumbing code requirements of local, state and federal rules and regulations. Pipes shown shall comply with the minimum pipe size and pipe material needed per the current Plumbing Code for the type of construction. Plumbing work shall be by a currently licensed plumber registered in Massachusetts. The Code shall supercede the proposed pipe size and material if needed.
11. Take adequate safety at the work at all times, follow the latest OSHA regulations, take proper traffic safety procedures, order police details where needed and designate a person as a safety inspector.
12. A prerequisite for filing a General Service Application with the BWSC for new construction is a Rough Construction Sign-Off document from the City of Boston's Inspectional Service Department.

Parcel ID: 1803998000, 1803999000
 23 Ruskindale Rd., Hyde Park, Massachusetts

PREPARED FOR
 YOUTHBUILD BOSTON
 27 CENTRE ST.
 ROXBURY, MA 02119

TITLE

DETAILS

PREPARED BY:
 Anthony A. Esposito
 Professional Engineer
 SOUTH MEADOW VILLAGE
 Unit 55-7
 CARVER, MA 02330
 508-369-4783
 ltespo12@yahoo.com

SCALE: AS SHOWN

DATE: 11/23/2017

NO.	BY	DATE	REMARKS

C-2
 DRAWING NUMBER

JOB # 19883

19883-SITE PLAN

BWSC DRAWING NUMBER: ?

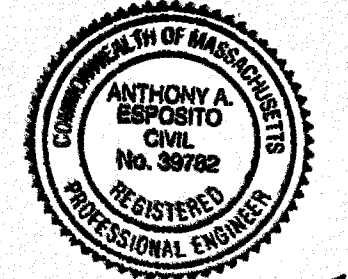
NEW WATER ACCOUNT REQUIRED
PROJECT LOCATION: 23 RUSKINDALE ROAD HYDEPARK, MA
 02136 2-VACANT LOTS
APPLICANT: YOUTHBUILD BOSTON
 27 CENTRE ST.
 ROXBURY, MA. 02119
 MIKE CHAVEZ 617-445-8887
OWNER: CITY OF BOSTON
 62 BRADFIELD AVE.
 ROSLINDALE, MA. 02131

PROPOSED: 1- FAMILY DWELLING W/ 3 BEDROOMS EACH
 3 BRS X 110 GPD = 330 GPD

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE BOSTON WATER AND SEWER REGULATIONS.

ANTHONY A. ESPOSITO, PE
 ANTHONY A. ESPOSITO, PE

11/27/2017
 DATE

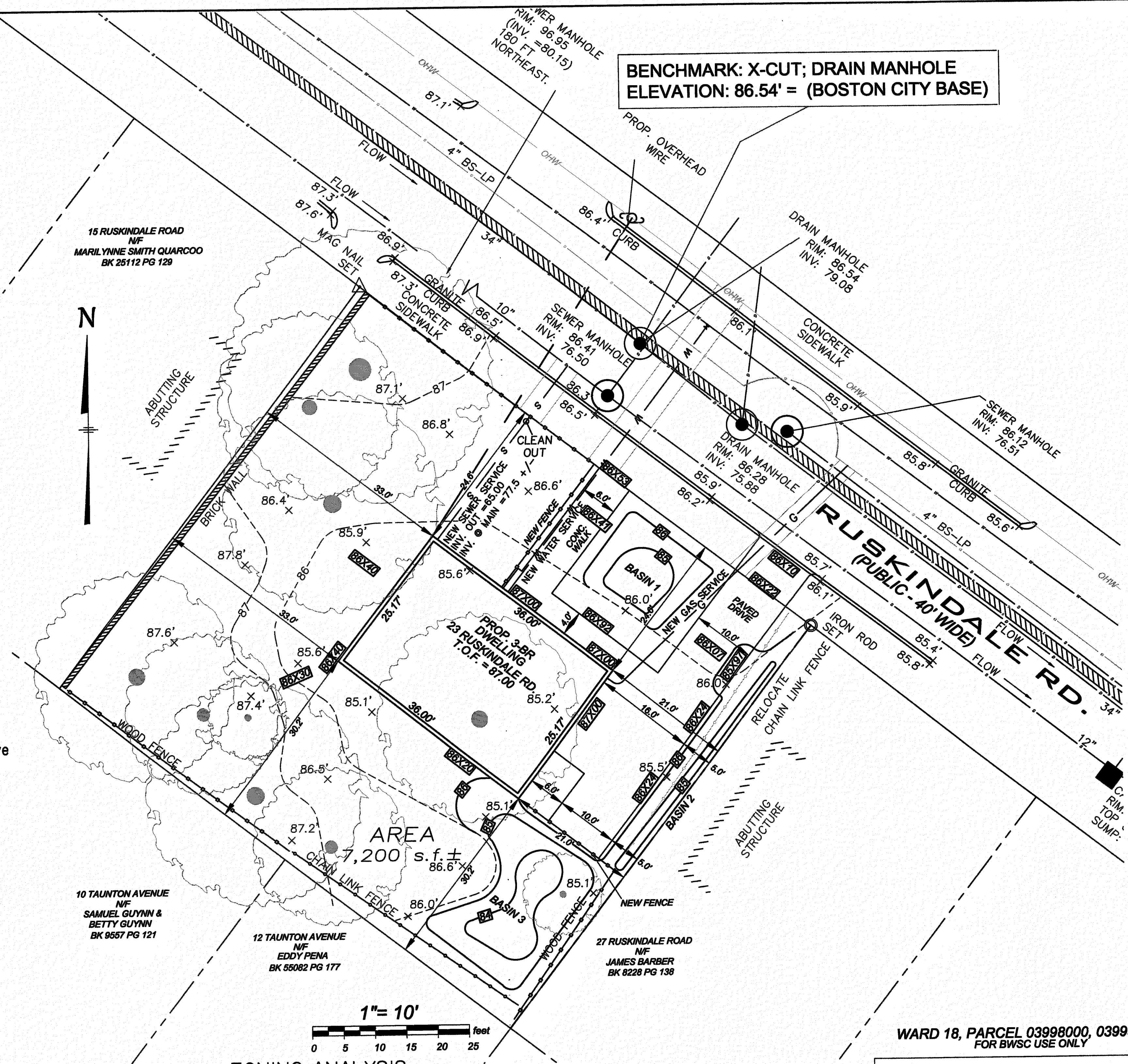


11/27/2017

TRENCH CALCULATIONS, (PUBLIC WAY)

- 1 **WATER CALCULATIONS**
 AREA REQUIRED: 29'L X 5'W = 145 SF
 INCLUDES 45 SF FOR SIDEWALK AREA
 PLUS 30 SF FOR TAP MACHINE
- 2 **SEWER CALCULATIONS**
 AREA REQUIRED: 1 SERVICES X 11'L X 4'W = 44 SF
 INCLUDES 28 SF FOR SIDEWALK AREA
- 3 **GAS CALCULATIONS**
 AREA REQUIRED: 1 SERVICES X 25'L X 3'W = 75 SF
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DESCRIPTION OF AS-BUILT BLOCK	LAYER	BLOCK NAME
	BWSC-Water	Water Main Valve
	BWSC-Water	Small Valve
	BWSC-Water	Hydrant
	BWSC-Water	Water Meter
	BWSC-Drain	Drain Manhole
	BWSC-Drain	Catch Basin
	BWSC-Sewer	Sewer Cleanout
	BWSC-Sewer	Sewer Manhole
-100-	EXCONTOURS	Existing Contour
-702-	PR-GR	Proposed Contour



INSPECTION SIGN OFF

A) 1-1/2 INCH TYPE K COPPER	INSPECTOR	DATE
B) 6 INCH SDR 35 PVC SEWER	INSPECTOR	DATE
C) RECHARGE SYSTEM	INSPECTOR	DATE
D) DYE TEST SEWER	INSPECTOR	DATE
E) AS-BUILT DWGS	INSPECTOR	DATE
F) DOWNSPOUT OVERFLOW	INSPECTOR	DATE

COBUCS CLEARANCE #151094022265
 Parcel ID: 1803998000, 1803999000
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PREPARED FOR
YOUTHBUILD BOSTON
 27 CENTRE ST.
 ROXBURY, MA 02119

TITLE
SITE PLAN

PREPARED BY:
Anthony A. Esposito
 Professional Engineer
 SOUTH MEADOW VILLAGE
 Unit 55-7
 CARVER, MA 02330
 508-369-4783
 ltespol2@yahoo.com

SCALE: AS SHOWN DATE: 11/23/2017

NO.	BY	DATE	REMARKS

JOB # 19883
 19883-SITE PLAN BWSC DRAWING NUMBER: ?

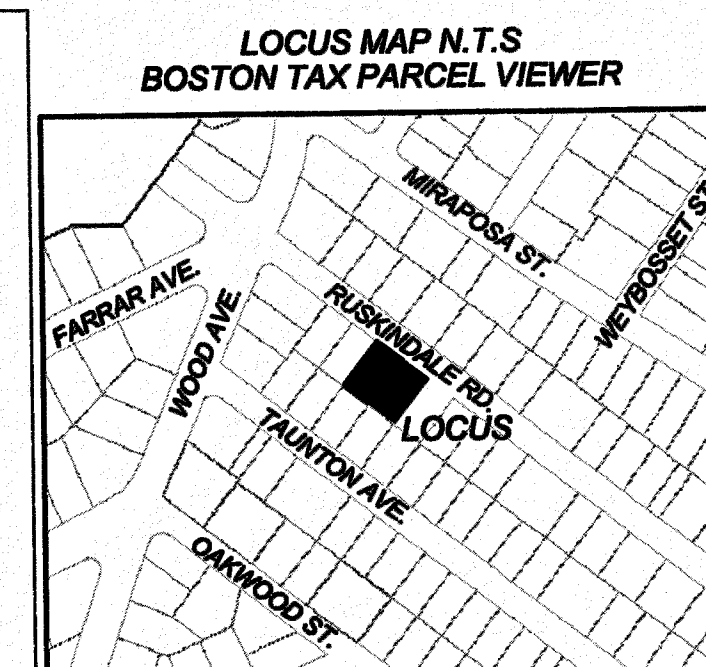
ZONING ANALYSIS

PROJECT ADDRESS	23-25 RUSKINDALE ROAD		
NEIGHBORHOOD	HYDE PARK		
ZONING AREA CODE	IF-6000		
ZONING ARTICLE	69		
BUILDING USE TYPE (FROM TABLE A)	ONE FAMILY DETACHED - ALLOWED		
GROSS FLOOR AREA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT FRONTAGE	60'-0"	90'-0"	NO CHANGE
MINIMUM LOT SIZE	6000 sq.ft.	7200 sq.ft.	NO CHANGE
MINIMUM LOT WIDTH	60'-0"	90'-0"	NO CHANGE
MAXIMUM FLOOR AREA RATIO	0.5	0.25	
MAXIMUM BUILDING HEIGHT	2 1/2 STORIES	2 STORIES	
USABLE OPEN SPACE	1,800 sq.ft.	4,772 sq.ft.	
FRONT YARD SET BACK	20'-0"	20'-3"	
SIDE YARD SET BACK	10'-0"	10'-0"	
REAR YARD SET BACK	30'-0" **	30'-3"	
OFF STREET PARKING / DWELLING UNIT	2	2	
* ARTICLE 69.30.1 CONFORMITY WITH EX. BUILDING ALIGNMENT			
** ARTICLE 69.30.10 REAR YARD OF CERTAIN SHALLOW LOTS.			
PERMITTED AS OF RIGHT	YES		

- SCHEDULE OF DRAWINGS
- SHEET 1 SITE PLAN
 - SHEET 2 DETAILS
 - SHEET 3 DETAILS
 - SHEET 4 WATER SHED PLAN

WARD 18, PARCEL 03998000, 03999000
 FOR BWSC USE ONLY

FOR REGISTRY USE ONLY



LOCUS OWNERS
 CITY OF BOSTON
 62 BRADFIELD AVE.
 ROSLINDALE, MA. 02131
 BK 56724 PG 63

PLAN REFERENCES
 BK 5 PG 176

"EASEMENT PLAN IN BOSTON, MA"
 (HYDEPARK DISTRICT)
 TOOMEY-MUNSON & ASSOCIATES, MARCH 28, 2006
 John F. Toomey, Surveyor

CITY OF BOSTON SURVEY FIELD NOTES:
 Book 960 Page 2
 Book 981 Page 12