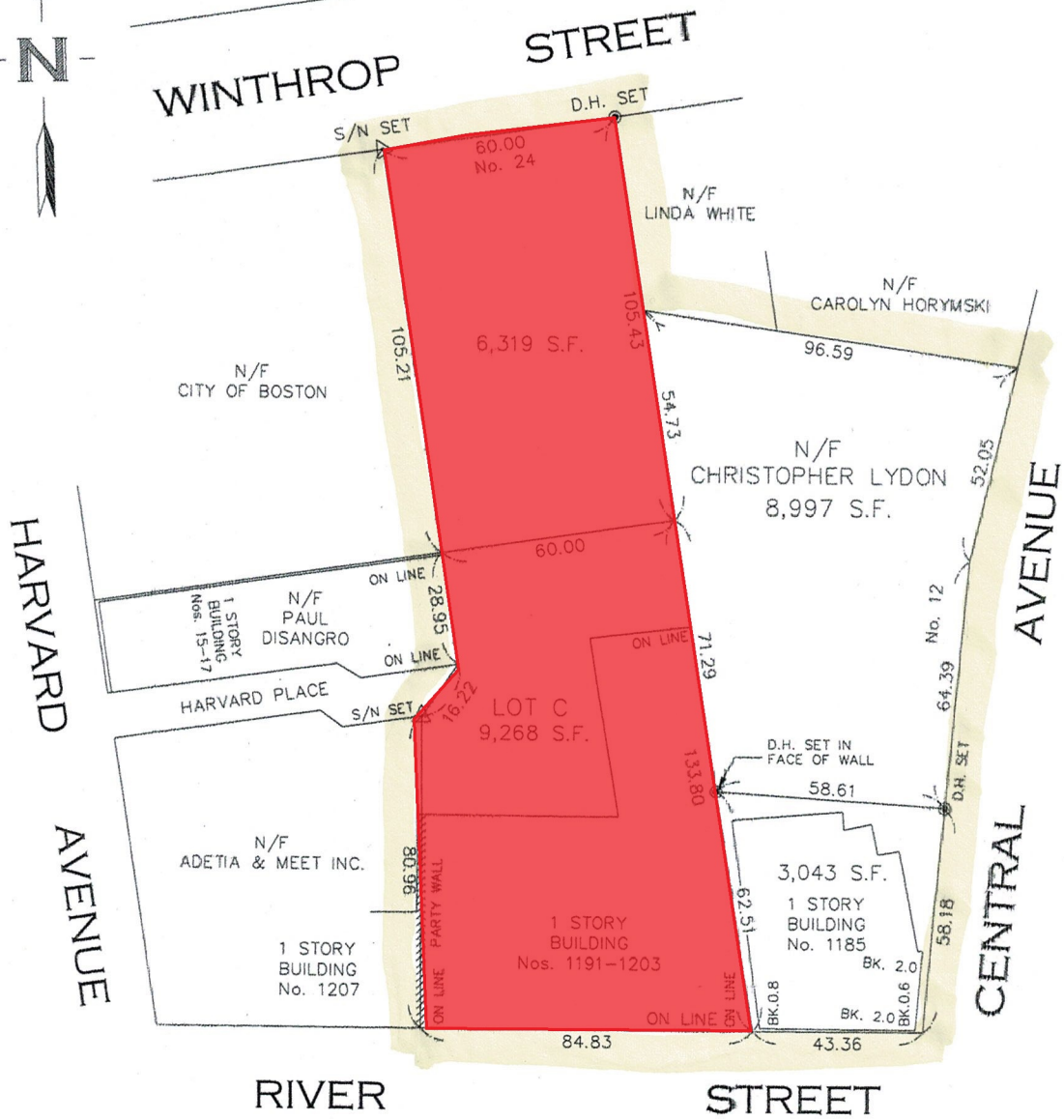




LEGEND

- S/N \triangle - STAKE AND NAIL SET
- D.H. \bullet - DRILL HOLE SET



PLOT PLAN
 AT
 1185, 1191 THRU 1203 RIVER STREET,
 12 CENTRAL AVENUE,
 AND 24 WINTHROP STREET
 IN
 BOSTON (H.P.), MASS.

PREPARED FOR:
JOHN DEFILIPPO

PREPARED BY:
NEPONSET VALLEY SURVEY ASSOC., INC.
 95 WHITE STREET
 QUINCY, MA 02169

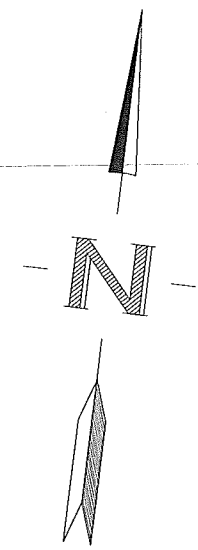
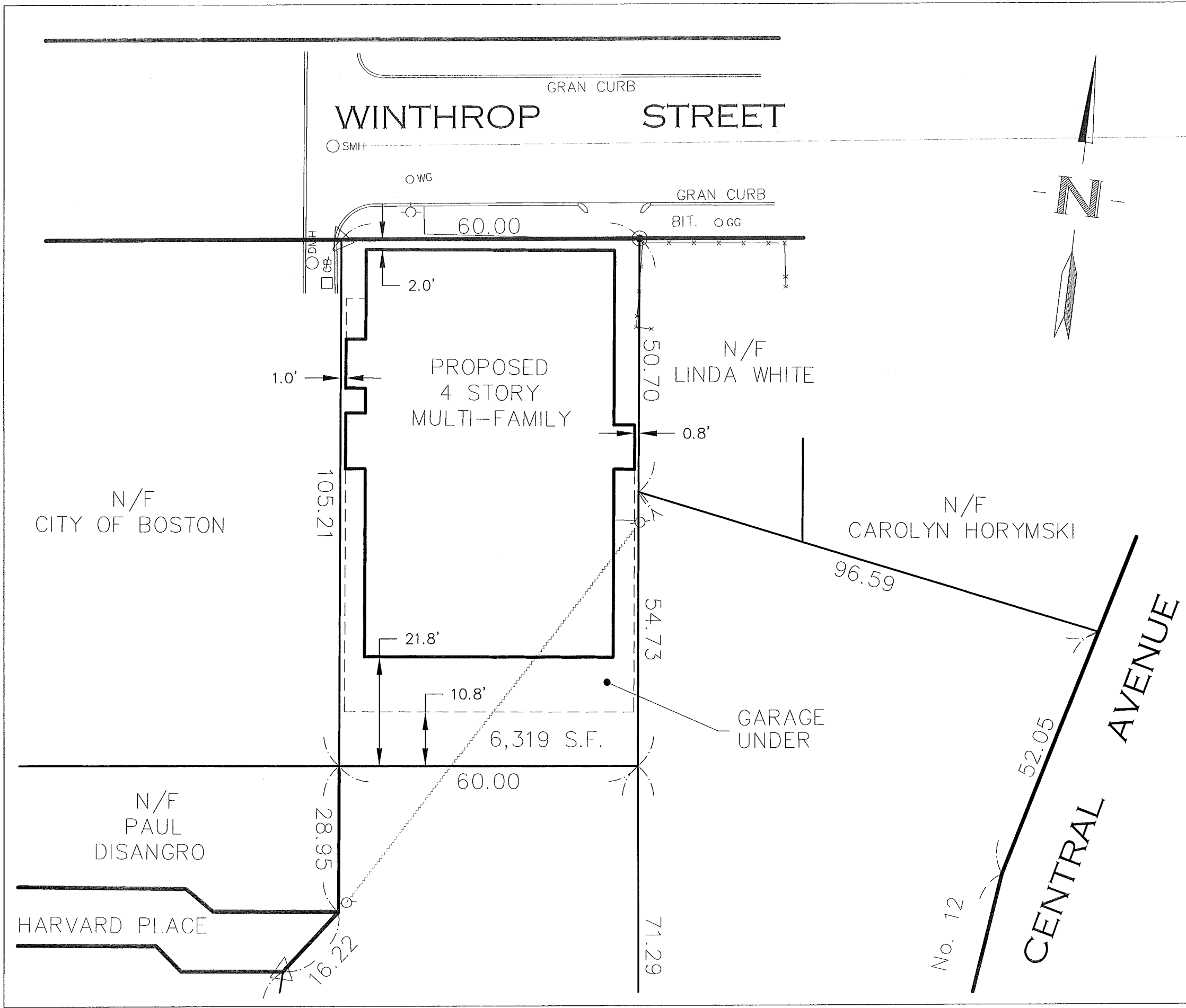
SCALE: 1"=30'	DATE: SEPTEMBER 16, 2016 FEBRUARY 14, 2017	SHEET 1 OF 1
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Stephen P. Desroche
 STEPHEN P. DESROCHE PLS No. 27699

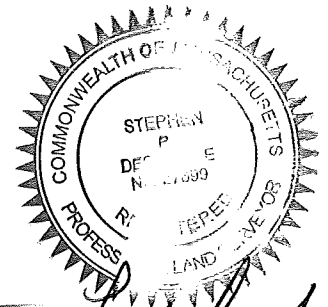


JMH (16-112)

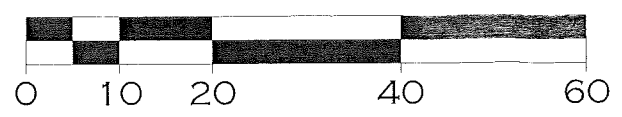


PLAN OF LAND
 SHOWING
PROPOSED BUILDING
 AT
24 WINTHROP STREET
 IN
BOSTON (HP), MASS.

PREPARED BY:
NEPONSET VALLEY SURVEY ASSOC., INC.
 95 WHITE STREET QUINCY, MASS.
 MAY 18, 2019 SCALE 1" = 20'



Stephen P. Desroche
 STEPHEN P. DESROCHE PLS No. 27699



PROPOSED MULTI-FAMILY BUILDING

**24 WINTHROP STREET
HYDE PARK, MASSACHUSETTS, 02136**

Location

PROPOSED MULTI-FAMILY
24 WINTHROP STREET
HYDE PARK, MA 02136

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
3. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY AQUATINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.
5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS OR FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY.
6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
7. THE CONTRACTOR SHALL WARRANTEE HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

KEY

- ◇ WALL TYPE (SEE A-3.1)
- ⊠ FAN
- ⊙ 45 MIN. DOOR
- 1 1 HOUR CLG. ABOVE (SEE A-3.1)
- //// NEW WALL

CODE ANALYSIS

PROPOSED
TYPE 5A CONSTRUCTION
4 STORIES
R-2 USE GROUP

FULLY SPRINKLED & ALARMED

ZONING CODE ANALYSIS

Governing Article: HYDE PARK NEIGHBORHOOD
Subdistrict: NS-2

Use Regulations: Section Table

Existing	Proposed
N/A	MULTI-FAMILY

Dimensional Regulations: Table

	Code Requirement	Existing Condition	Proposed Project	Notes
	NS-2	-	Multi-Family	-
Lot Area Minimum	NONE	-	6,319 SF	-
Min Lot Area for Additional Units	NONE	-	-	-
Total Required Lot Size	NONE	-	-	-
Min Required Lot Width and Frontage	NONE	-	-	-
Max FAR	2	-	1.98	-
Max Building Height / Stories	40'-0"	-	40'-0" +/-	-
Usable Open Space	NONE	-	-	-
Min Front Yard	NONE	-	MODAL	-
Min Side Yard	NONE	-	-	-
Min Rear Yard	10'-0"	-	10'-11" +/-	-
Max Use of Rear Yard	NONE	-	-	-

Overlays:

NEIGHBORHOOD DESIGN REVIEW

Parking:

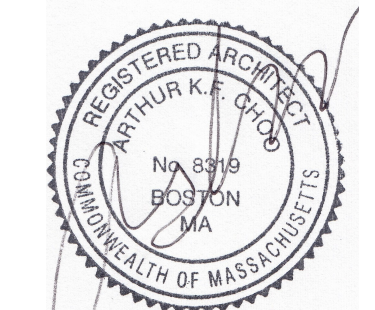
1.0 SPACE PER DWELLING UNIT
12 UNITS - 12 SPACES REQ.
12 SPACES PROVIDED

Other Non-Dimensional Zoning Issues:

Violations

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No. Revision Date

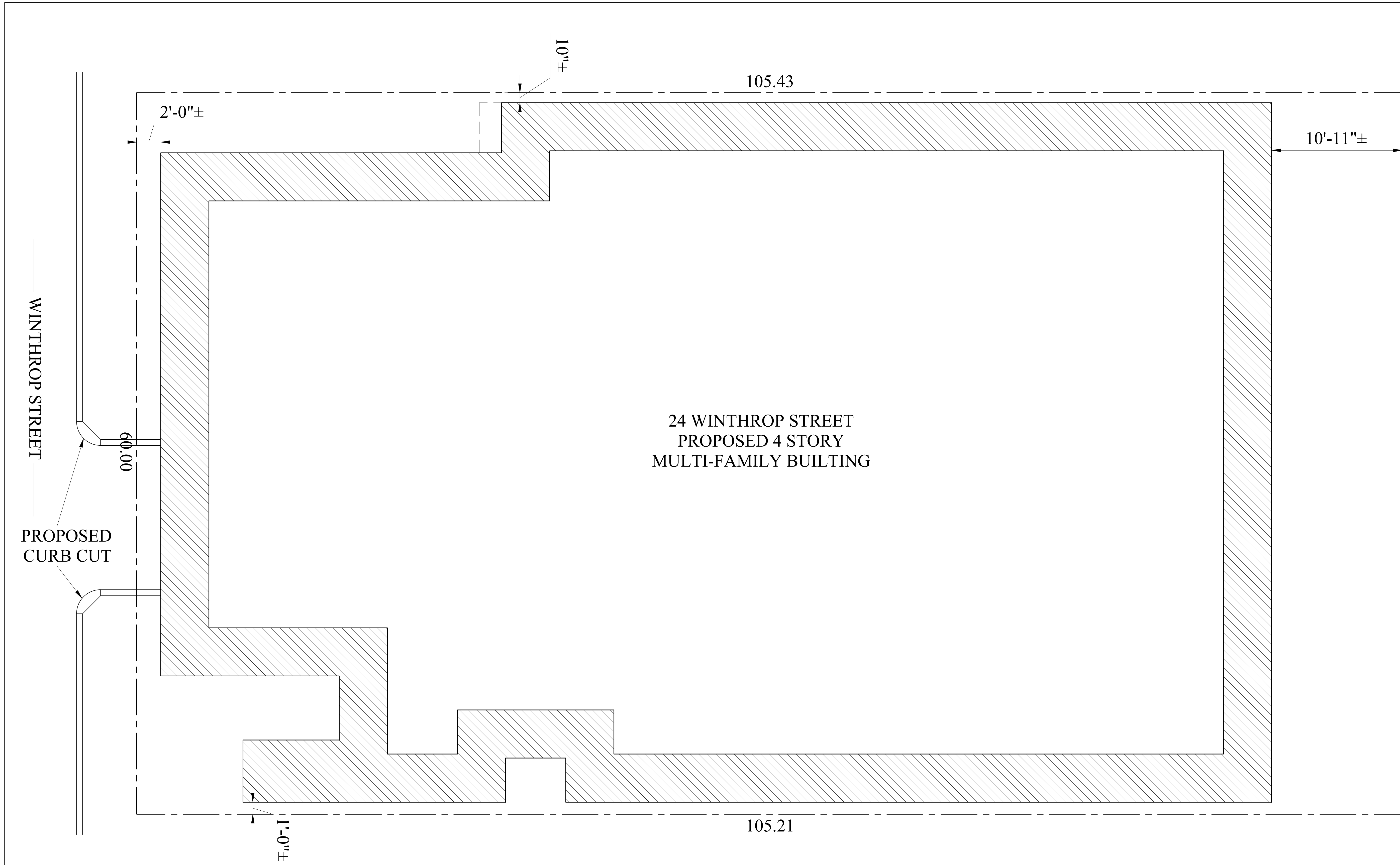
Project No: 19016
Scale: AS NOTED
Date: -
Drawn By: DRM

Drawing Name

COVER SHEET

Sheet No.

A-1.0



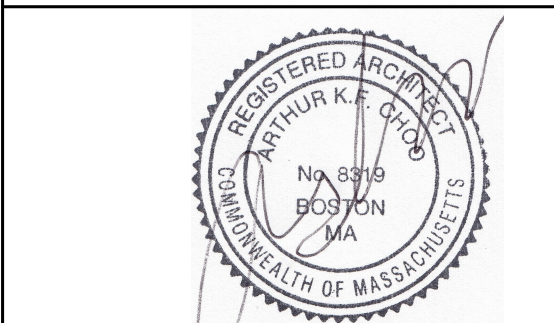
WINTHROP STREET

PROPOSED CURB CUT

24 WINTHROP STREET
PROPOSED 4 STORY
MULTI-FAMILY BUILDING

Location
**PROPOSED MULTI-FAMILY
24 WINTHROP STREET
HYDE PARK, MA 02136**

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
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No.	Revision Date

Project No: 19016
Scale: AS NOTED
Date: -
Drawn By: DRM

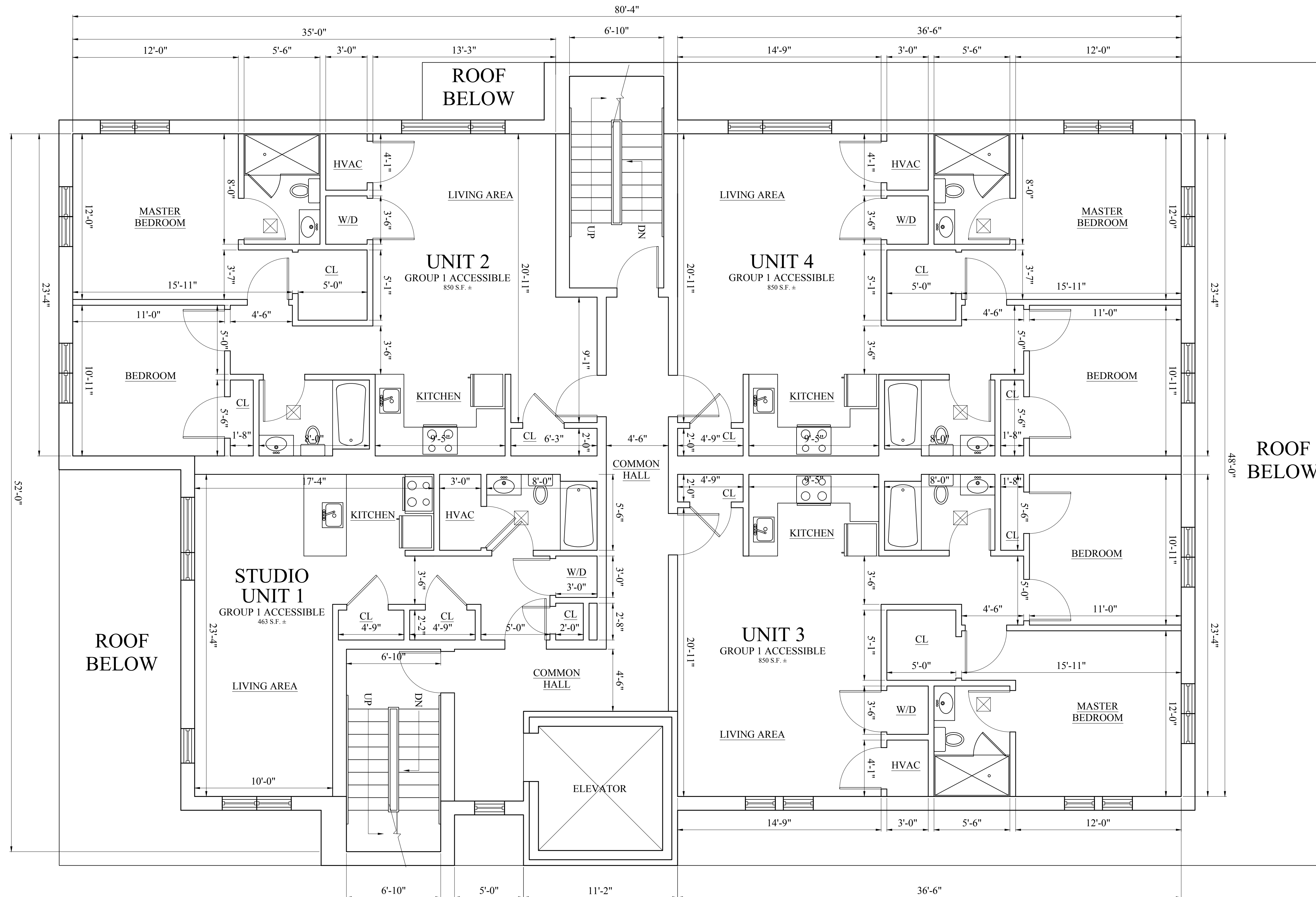
Drawing Name
PROPOSED ARCHITECT LANDSCAPE PLAN

Sheet No.
A-1.0

DRAWING NOT TAKEN FROM INSTRUMENTAL SURVEY. INFORMATION TAKEN FROM CERTIFIED PLOT PLAN BY NEPONSET VALLEY SURVEY FEBRUARY 14, 2017

1 PROPOSED ARCHITECTURAL LANDSCAPE PLAN
1/4" = 1'-0"

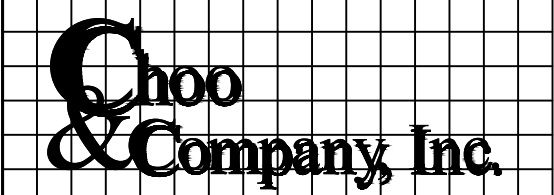
WINTHROP STREET



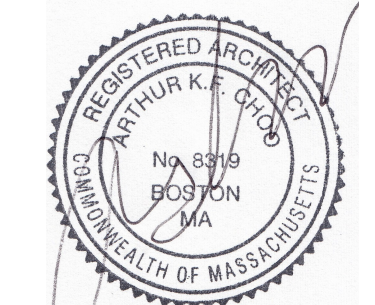
1 PROPOSED FIRST LEVEL PLAN
1/4" = 1'-0"

Location

PROPOSED MULTI-FAMILY
24 WINTHROP STREET
HYDE PARK, MA 02136



One Billings Road Quincy, MA 02171
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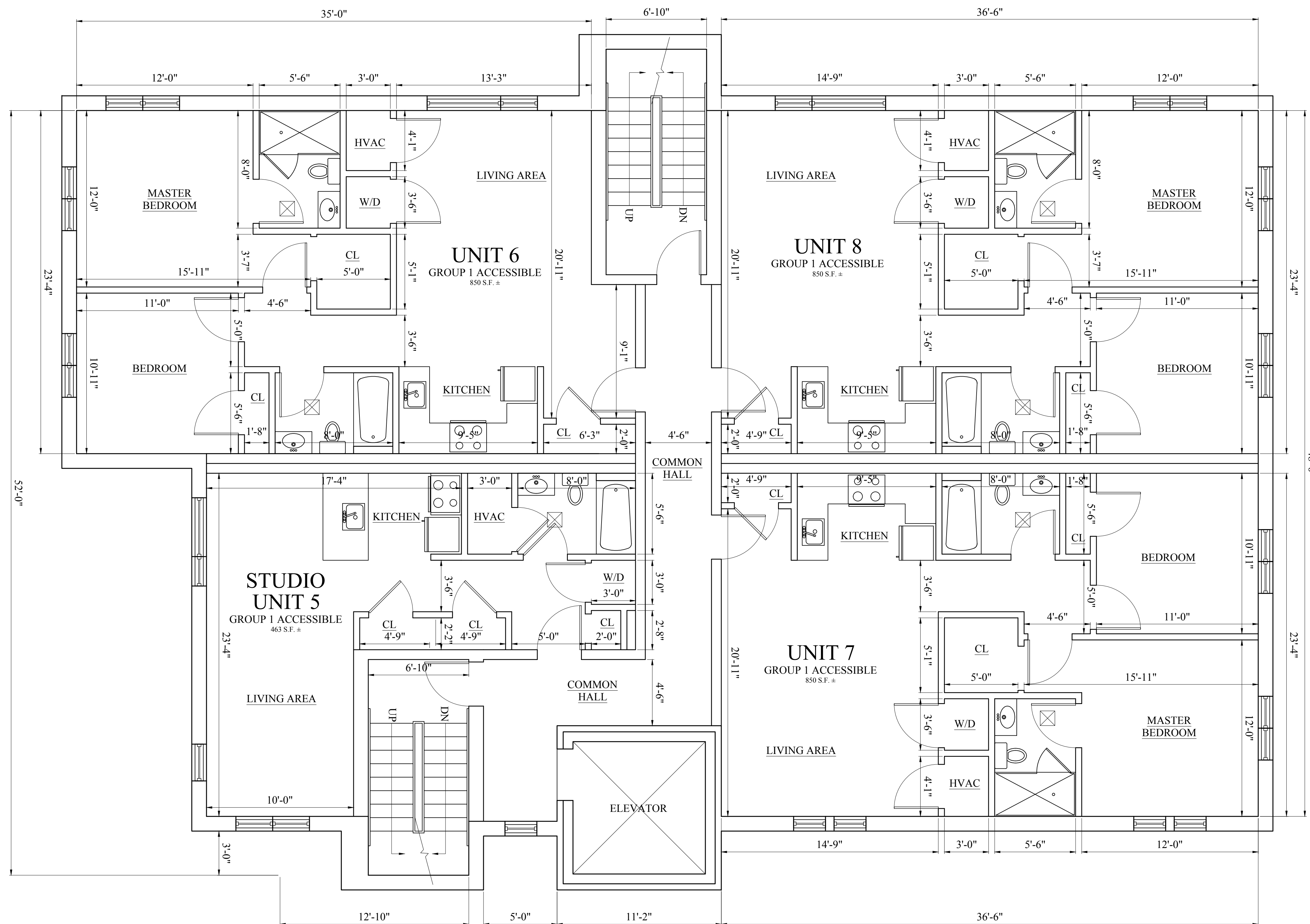
No.	Revision Date

Project No: 19016
Scale: AS NOTED
Date: -
Drawn By: DRM

Drawing Name
**PROPOSED
FIRST LEVEL
FLOOR PLAN**

Sheet No.
A-1.2

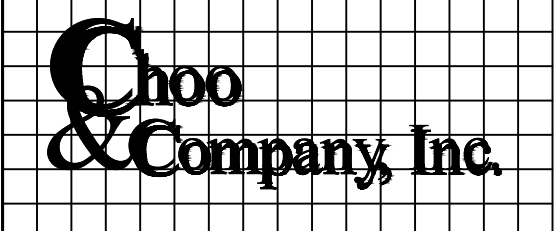
WINTHROP STREET



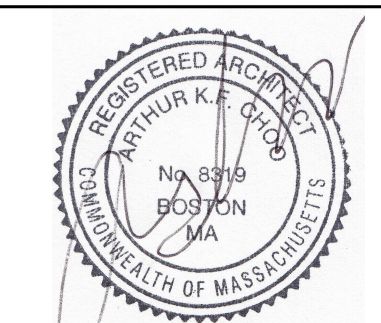
1 PROPOSED SECOND LEVEL PLAN
1/4" = 1'-0"

Location

PROPOSED MULTI-FAMILY
24 WINTHROP STREET
HYDE PARK, MA 02136



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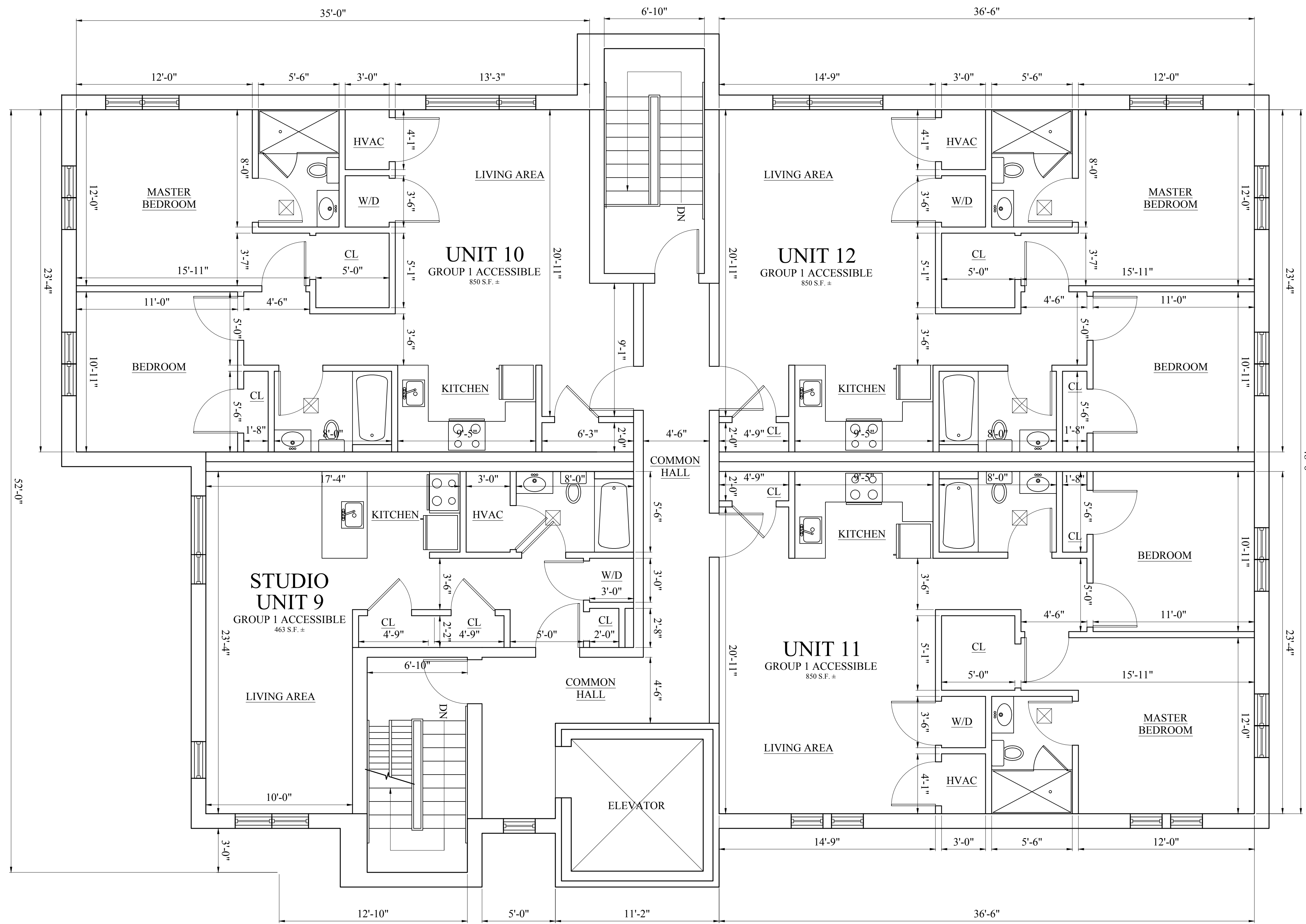
No.	Revision Date

Project No: 19016
Scale: AS NOTED
Date: -
Drawn By: DRM

Drawing Name
**PROPOSED
SECOND LEVEL
FLOOR PLAN**

Sheet No.
A-1.3

WINTHROP STREET



1 PROPOSED THIRD LEVEL PLAN
1/4" = 1'-0"

Location

**PROPOSED MULTI-FAMILY
24 WINTHROP STREET
HYDE PARK, MA 02136**

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

REGISTERED ARCHITECT
ARTHUR K.E. CHOO
No. 8319
BOSTON
MA
COMMONWEALTH OF MASSACHUSETTS

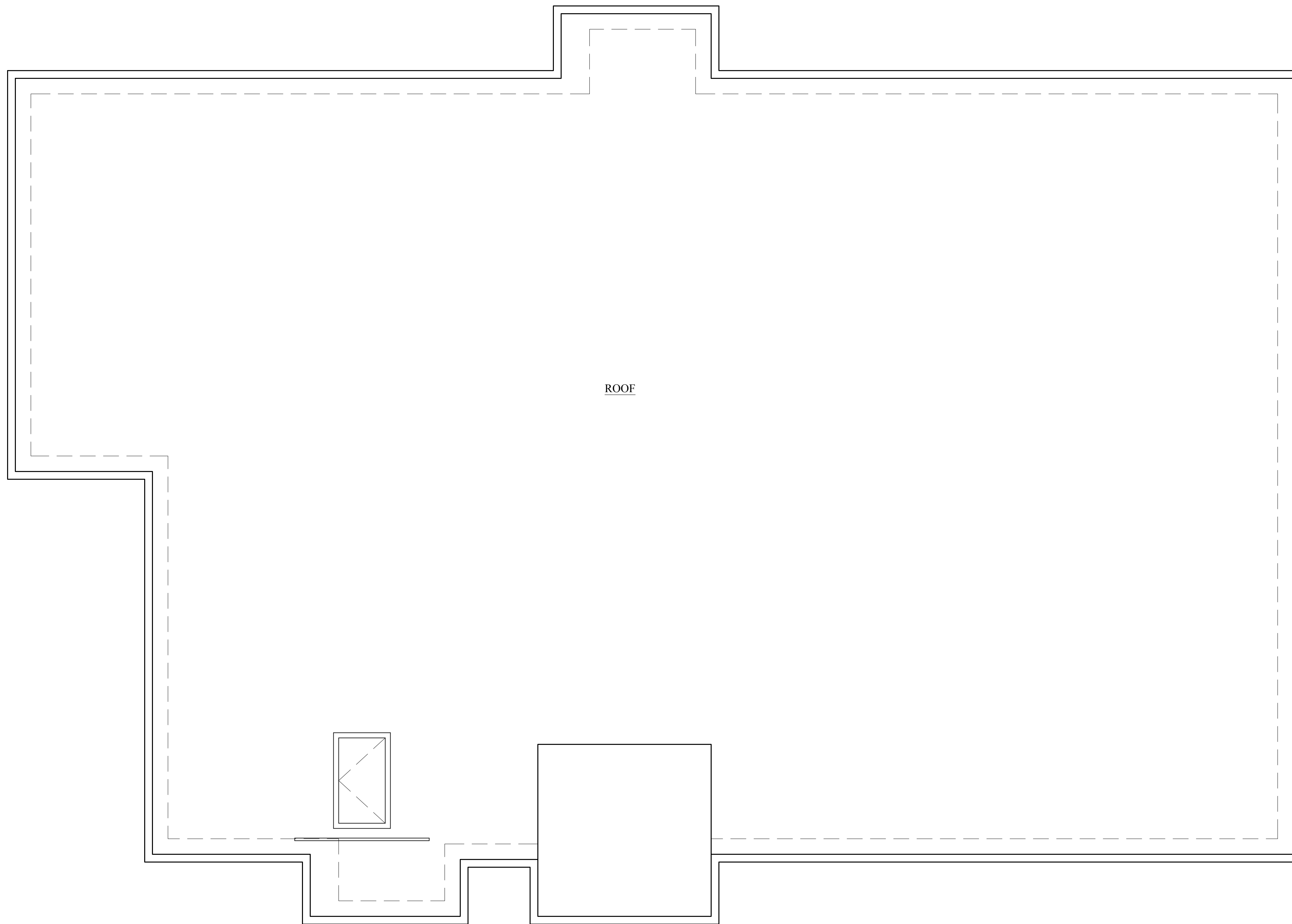
No.	Revision Date

Project No: 19016
Scale: AS NOTED
Date: -
Drawn By: DRM

Drawing Name
**PROPOSED
THIRD LEVEL
FLOOR PLAN**

Sheet No.
A-1.4

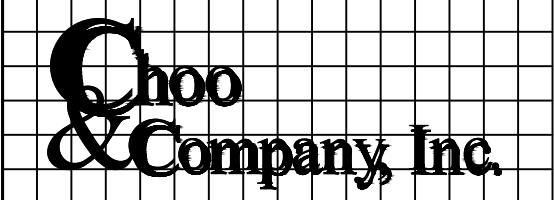
WINTHROP STREET



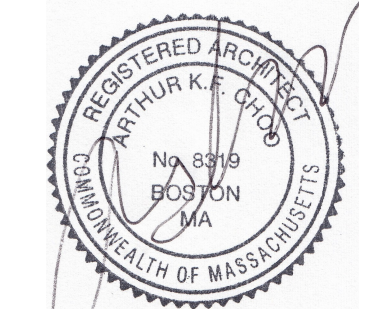
1 PROPOSED THIRD LEVEL PLAN
1/4" = 1'-0"

Location

PROPOSED MULTI-FAMILY
24 WINTHROP STREET
HYDE PARK, MA 02136



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No.	Revision Date

Project No: 19016
Scale: AS NOTED
Date: -
Drawn By: DRM

Drawing Name
**PROPOSED
ROOF PLAN**

Sheet No.
A-1.5



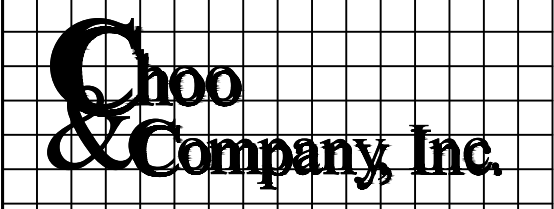
1 PROPOSED FRONT ELEVATION
5/16 - 1'-0"



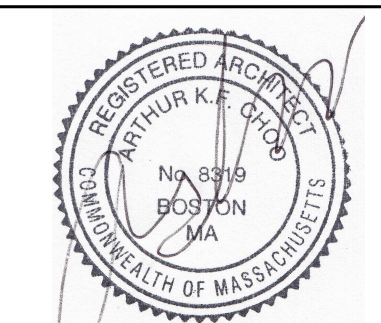
2 PROPOSED WEST ELEVATION
5/16 - 1'-0"

Location

PROPOSED MULTI-FAMILY
24 WINTHROP STREET
HYDE PARK, MA 02136



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No.	Revision Date

Project No: 19016
Scale: AS NOTED
Date: -
Drawn By: DRM

Drawing Name
PROPOSED ELEVATIONS

Sheet No.
A-2.1



ROOF ELEV
40'-0"

CLAD WINDOWS
10'-0"

CEDAR BOARDS W/
CLEAR STAIN

3RD FLOOR F.F. ELEV
29'-8"
METAL PANEL OR FIBER
CEMENT WITH GLOSS FINISH

2ND FLOOR F.F. ELEV
19'-8"

FIBER CEMENT TRIM
10'-0"

CLAPBOARD SIDING 6"
REVEAL

1ST FLOOR F.F. ELEV
9'-8"

BRICK VENEER
10'-0"

GARAGE F.F. ELEV
0'-0"

1 PROPOSED FRONT ELEVATION
5/16 - 1'-0"



ROOF ELEV
40'-0"

3RD FLOOR F.F. ELEV
29'-8"

2ND FLOOR F.F. ELEV
19'-8"

1ST FLOOR F.F. ELEV
9'-8"

GARAGE F.F. ELEV
0'-0"

CLAD WINDOWS

CEDAR BOARDS W/
CLEAR STAIN

METAL PANEL OR FIBER
CEMENT WITH GLOSS FINISH

FIBER CEMENT TRIM

CLAPBOARD SIDING 6"
REVEAL

BRICK VENEER

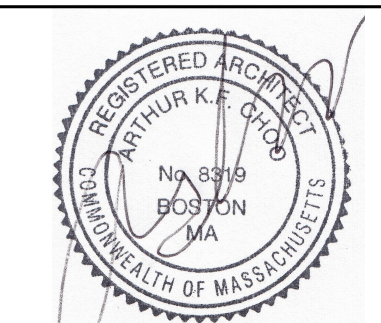
2 PROPOSED EAST ELEVATION
5/16 - 1'-0"

Location

PROPOSED MULTI-FAMILY
24 WINTHROP STREET
HYDE PARK, MA 02136

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No.	Revision Date

Project No: 19016
Scale: AS NOTED
Date: -
Drawn By: DRM

Drawing Name
PROPOSED ELEVATIONS

Sheet No.
A-2.2