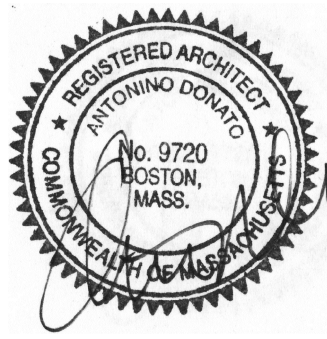


BASEMENT LEVEL PLAN
SCALE: 1/4" = 1'-0"

AD
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Hyde Park, MA

Project Number: 17.0100
Date: 04.25.2017

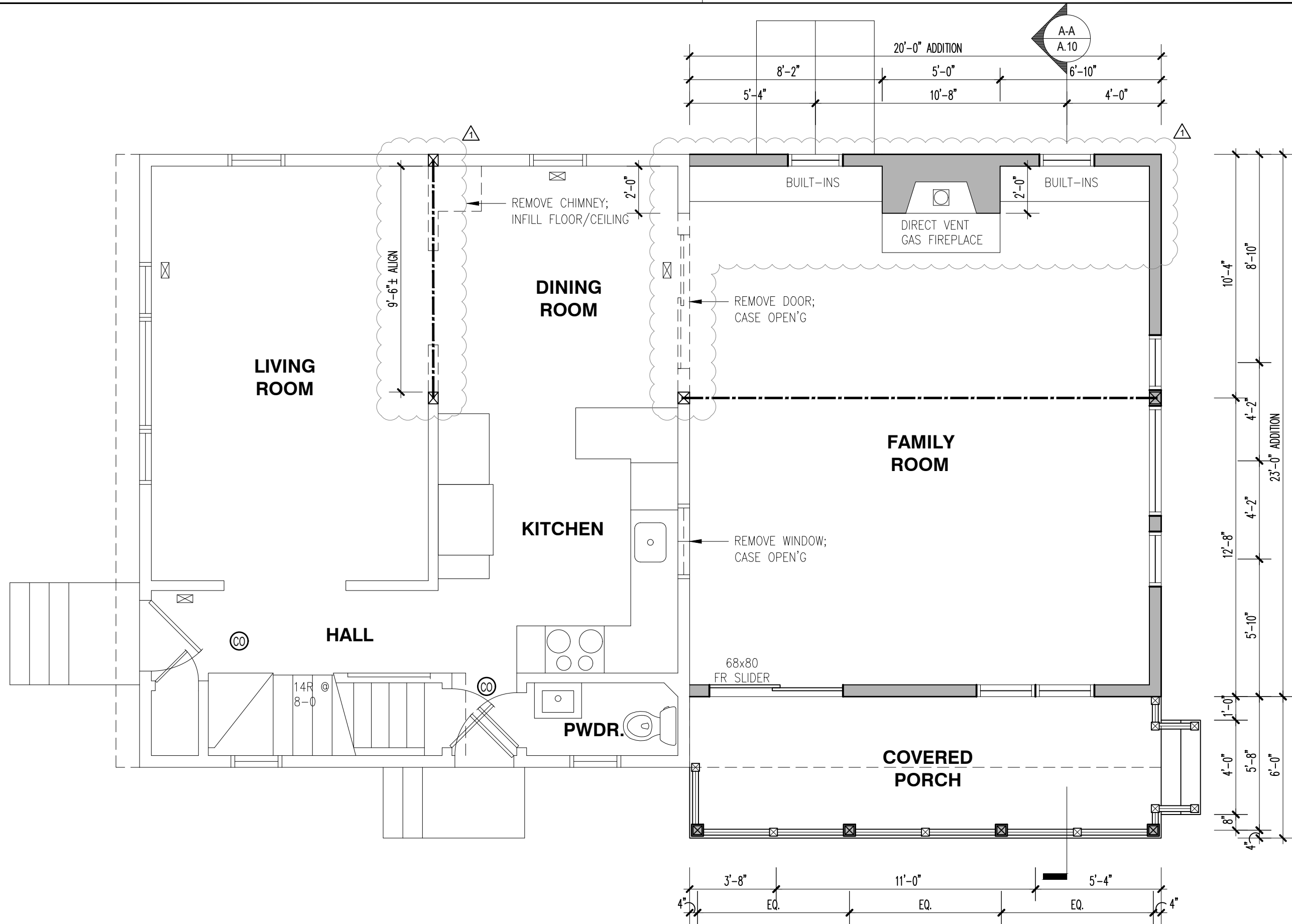
Revisions:

Number	Description	Date
0	PERMIT DRAWINGS	05/31 2017
1	ADDENDUM	06/12 2017
2	ISD RESPONSE	01/30 2018

Scale: 1/4"=1'-0"

BASEMENT LEVEL PLAN

A.01

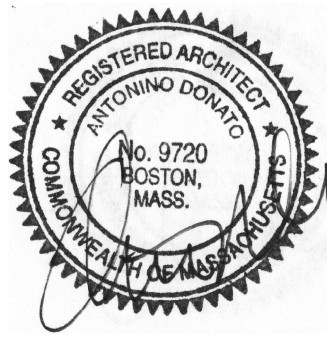


FIRST LEVEL PLAN

SCALE: 1/4" = 1'-0"

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Project Number: 17-0100
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Revisions:

Number	Description	Date
0	PERMIT	05/31
	DRAWINGS	2017
1	ADDENDUM	06/12
	DRAWINGS	2017
2	ISD	01/30
	RESPONSE	2018

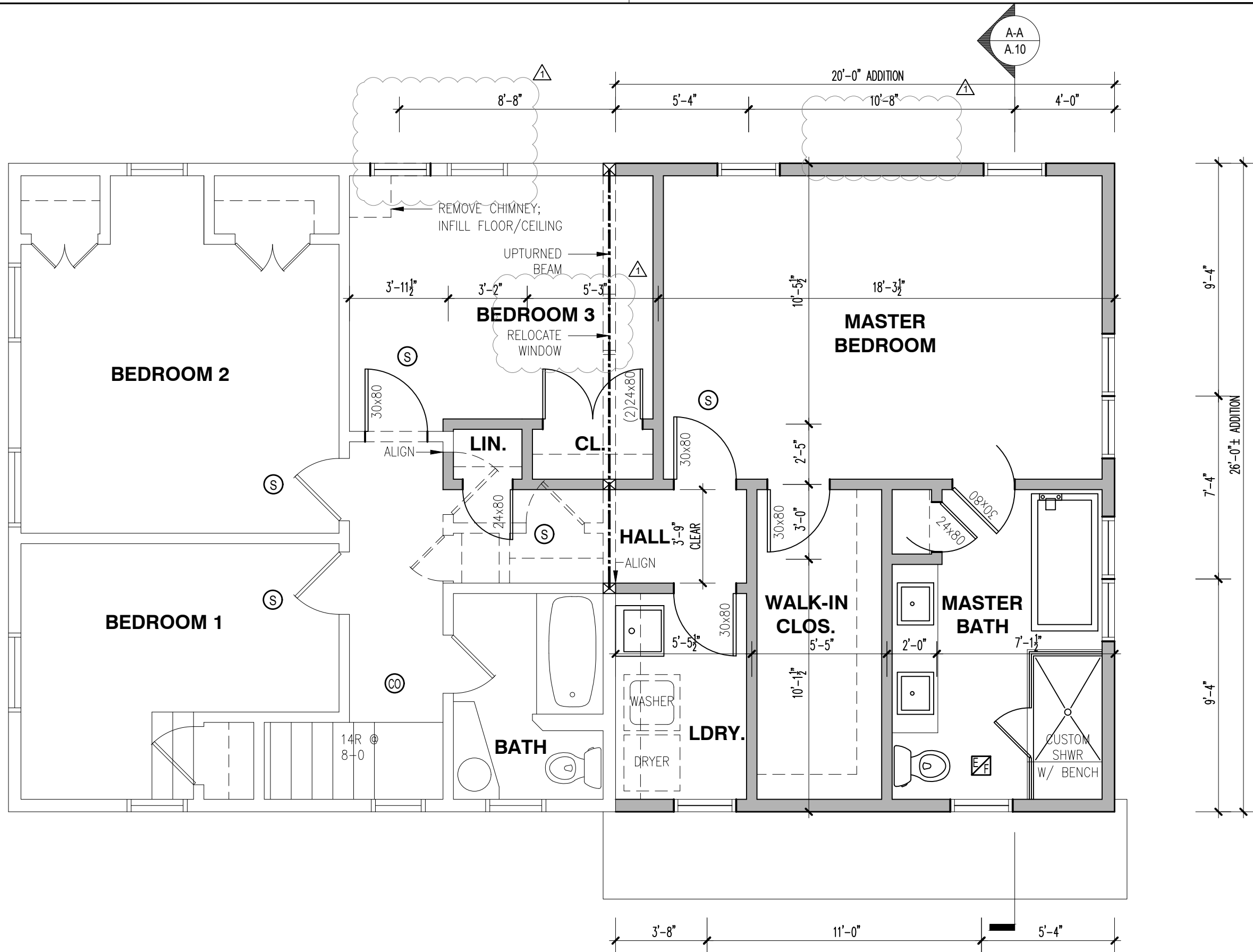
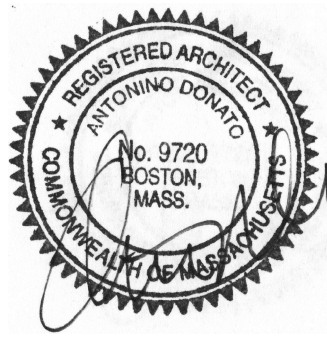
Scale: 1/4" = 1'-0"

FIRST
LEVEL
PLAN

A.02

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SECOND LEVEL PLAN
SCALE: 1/4" = 1'-0"

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Project Number: 17.0100
Date: 04.25.2017

Revisions:

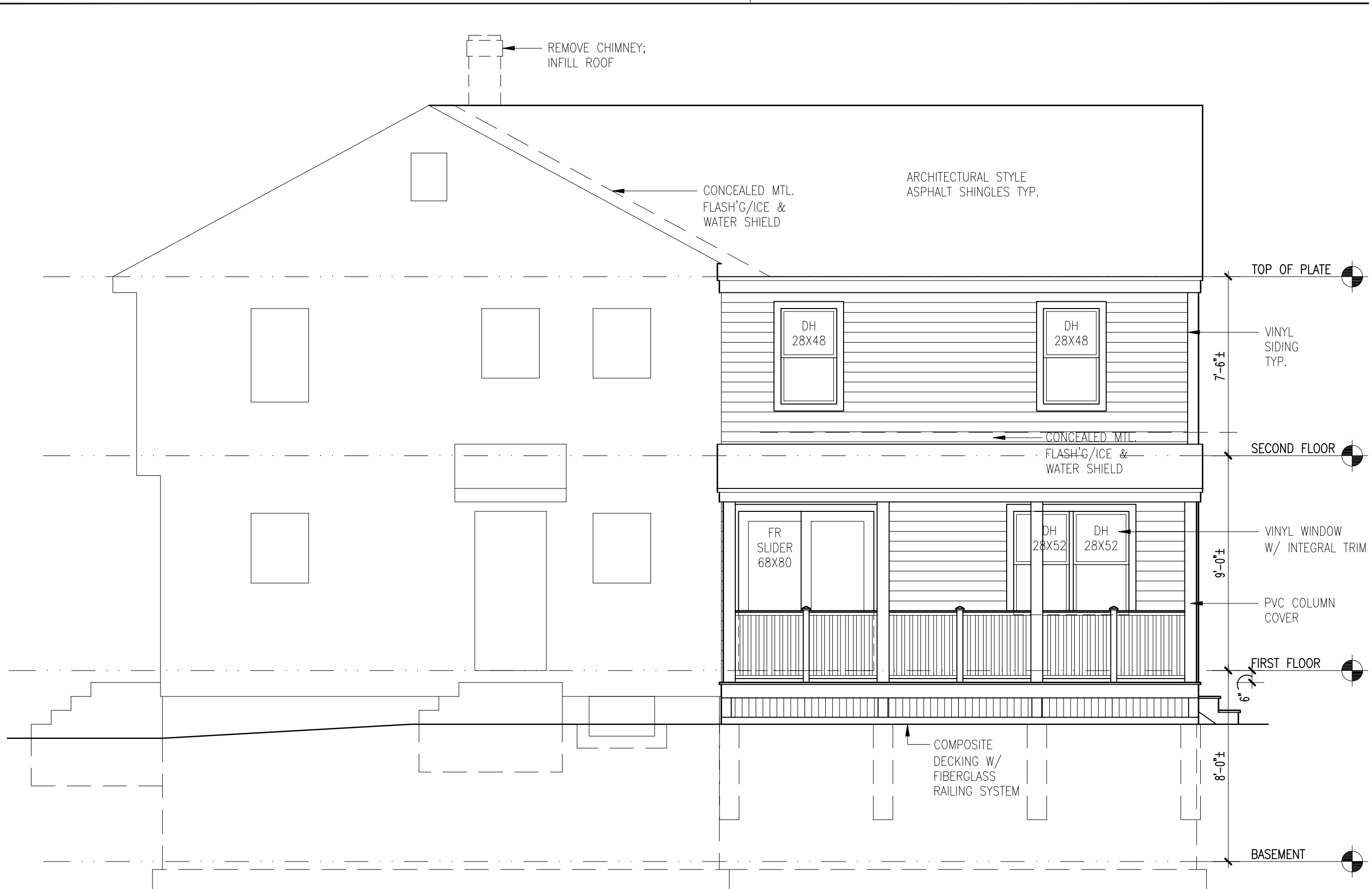
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0	PERMIT	05/31
	DRAWINGS	2017
1	ADDENDUM	06/12
	DRAWINGS	2017
2	ISD	01/30
	RESPONSE	2018

Scale: 1/4" = 1'-0"

SECOND
LEVEL
PLAN

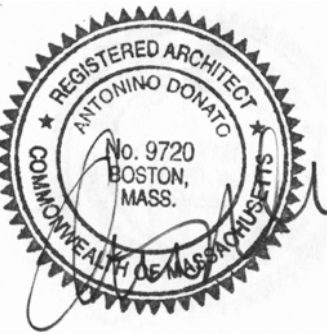
A.03

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RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

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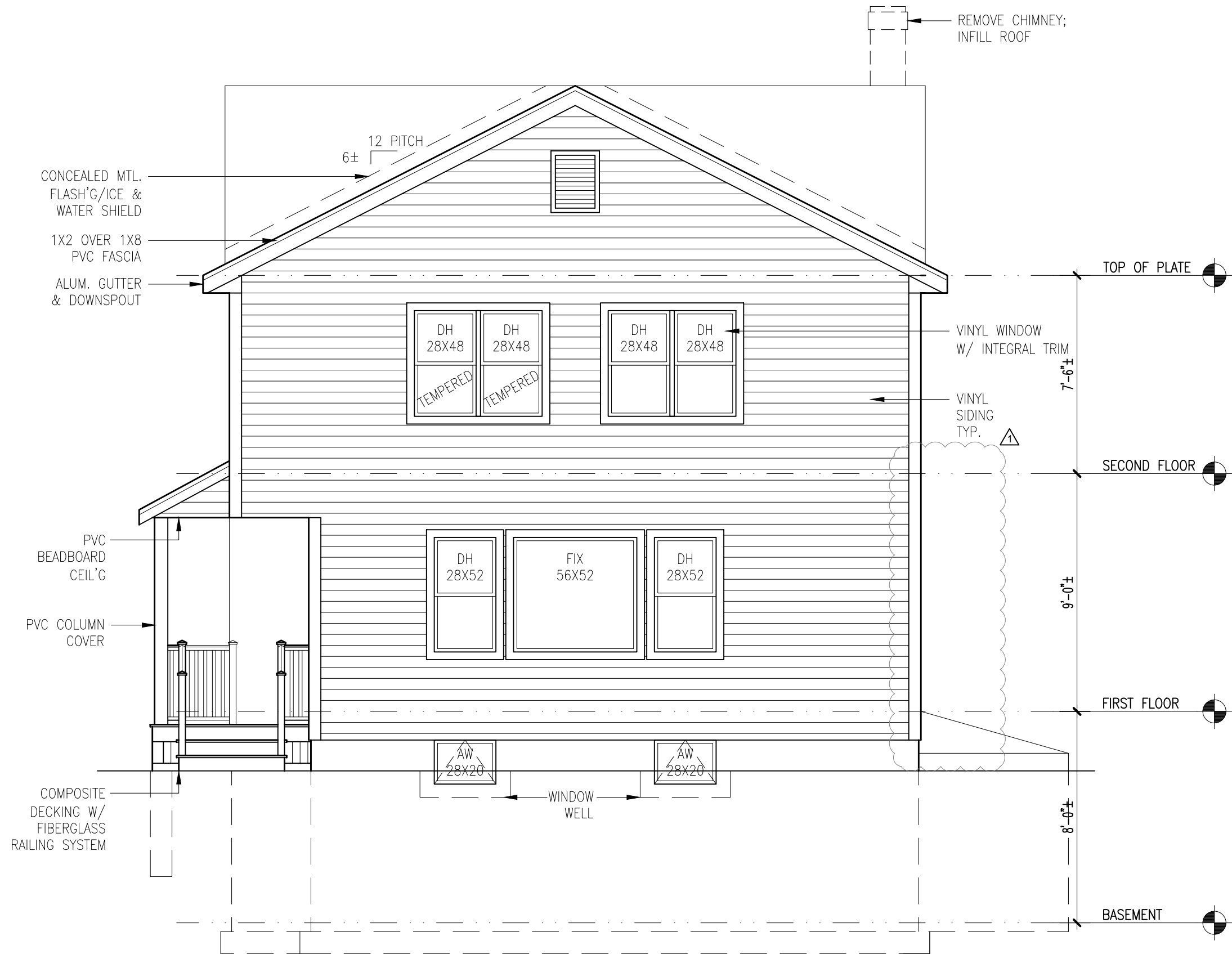
Number	Description	Date
0	PERMIT	05/31
	DRAWINGS	2017
1	ADDENDUM	06/12
	DRAWINGS	2017

Scale: 1/4"=1'-0"

**RIGHT
 SIDE
 ELEVATION**

A.04

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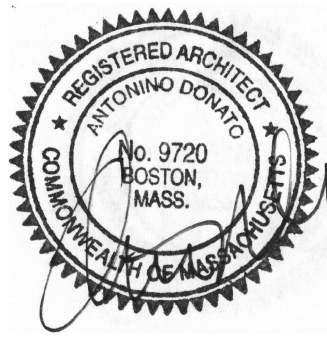


REAR ELEVATION
SCALE: 1/4"=1'-0"

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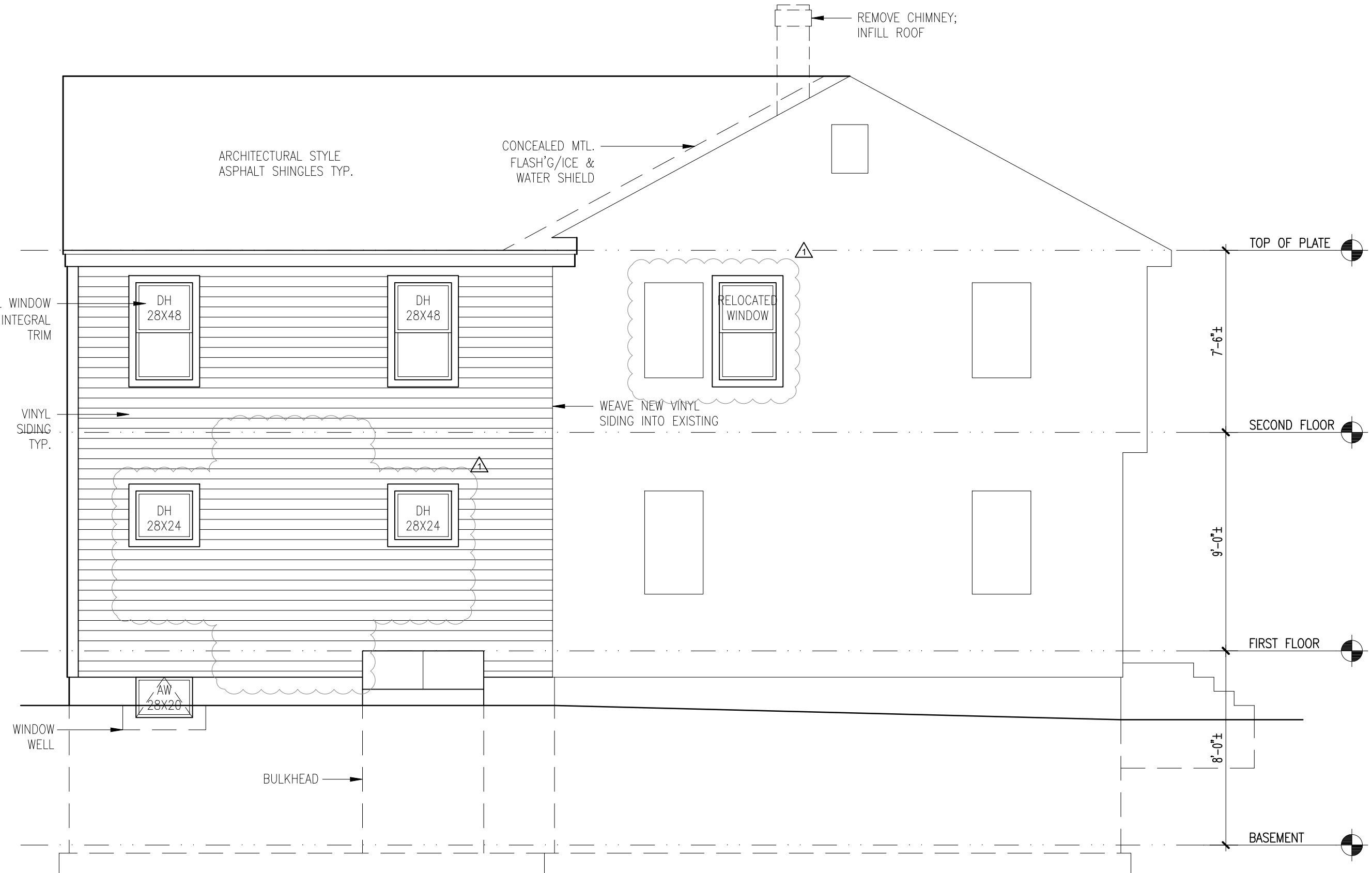
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	DRAWINGS	2017
1	ADDENDUM	06/12
	DRAWINGS	2017
2	ISD	01/30
	RESPONSE	2018

Scale: 1/4"=1'-0"

REAR
ELEVATION

A.05

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LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

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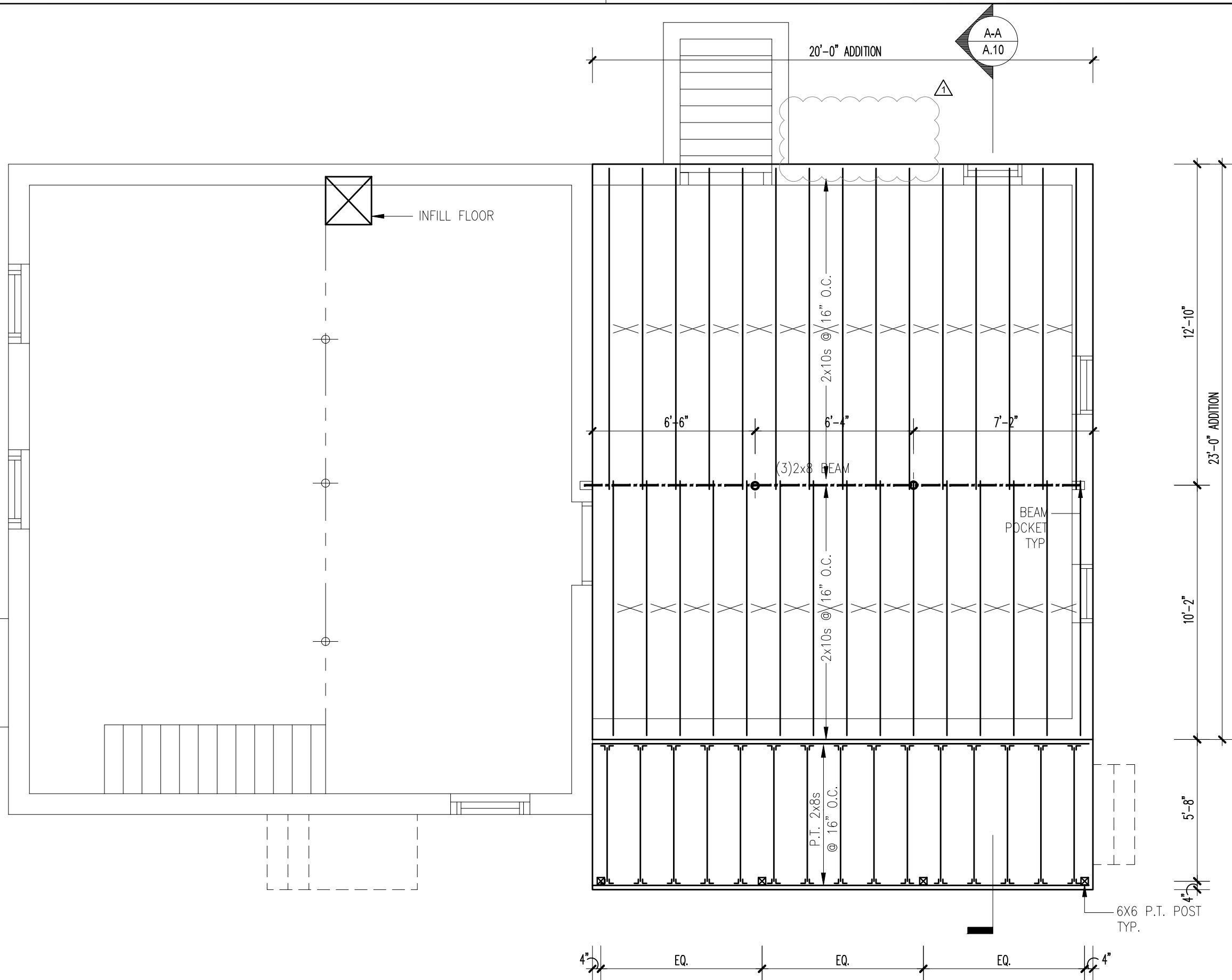
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	DRAWINGS	2017
1	ADDENDUM	06/12
	DRAWINGS	2017

Scale: 1/4"=1'-0"

LEFT
SIDE
ELEVATION

A.06

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FIRST LEVEL FRAMING PLAN
SCALE: 1/4" = 1'-0"

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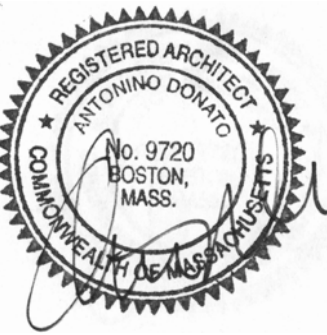
Revisions:

Number	Description	Date
0	PERMIT	05/31
	DRAWINGS	2017
1	ADDENDUM	06/12
	DRAWINGS	2017

Scale: 1/4" = 1'-0"

FIRST
LEVEL FRAMING
PLAN

A.07



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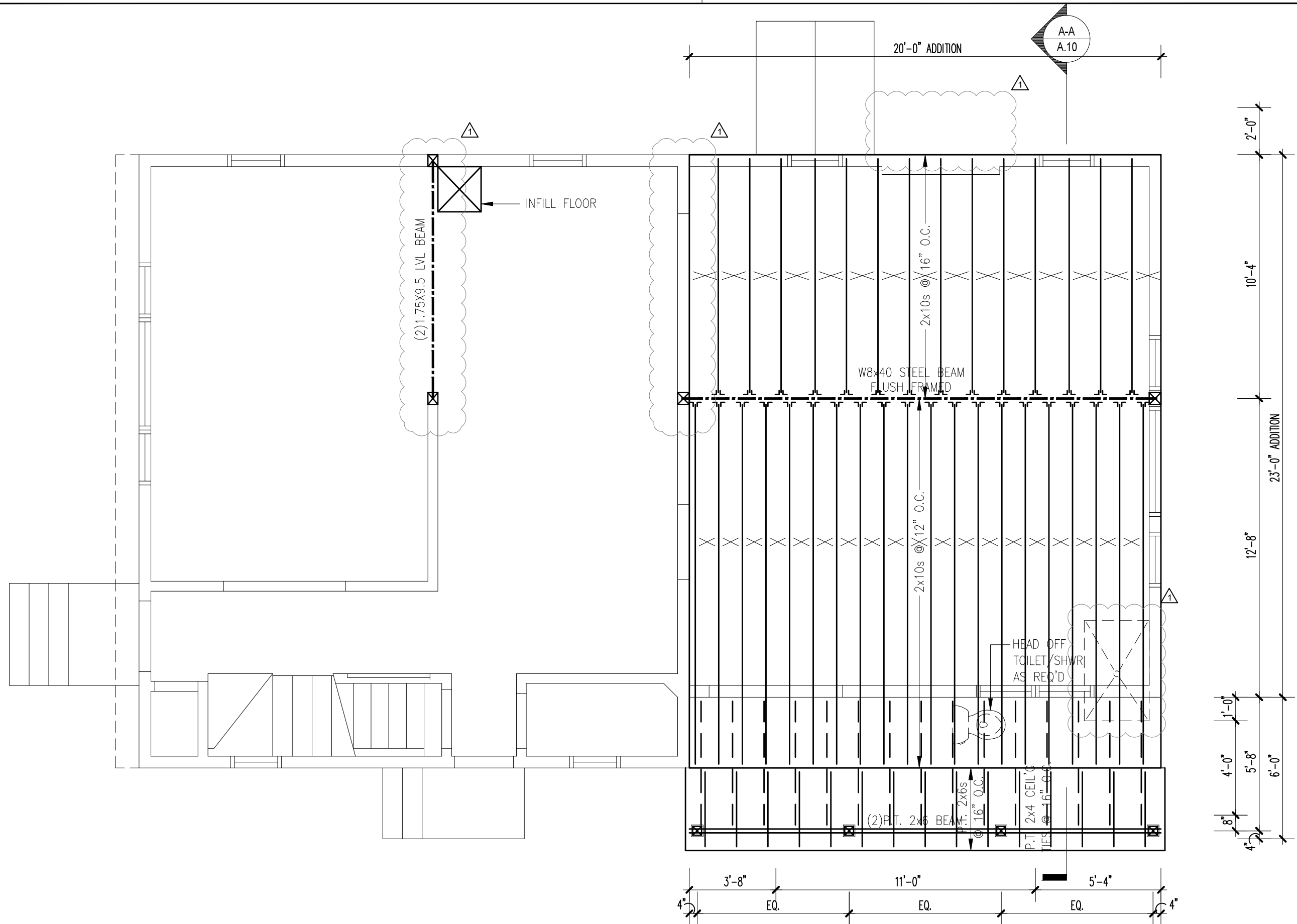
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	DRAWINGS	2017
1	ADDENDUM	06/12
	DRAWINGS	2017

Scale: 1/4"=1'-0"

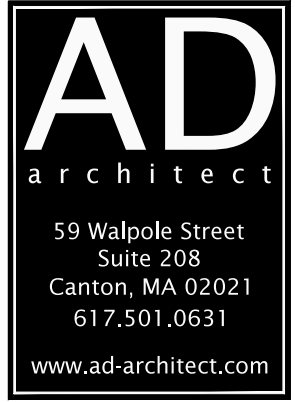
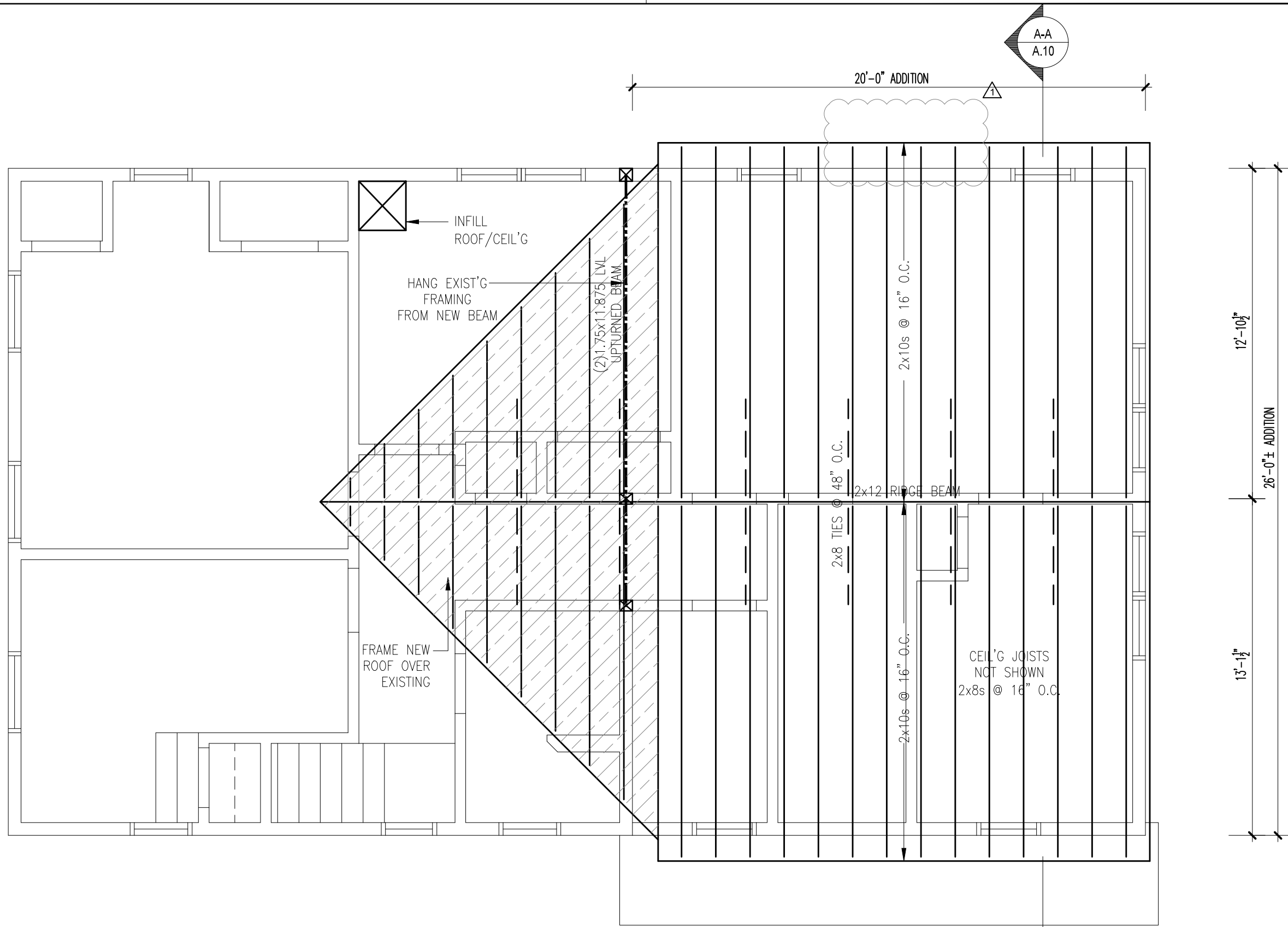
SECOND
LEVEL FRAMING
PLAN

A.08



SECOND LEVEL FRAMING PLAN

SCALE: 1/4"=1'-0"



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Date: 04.25.2017

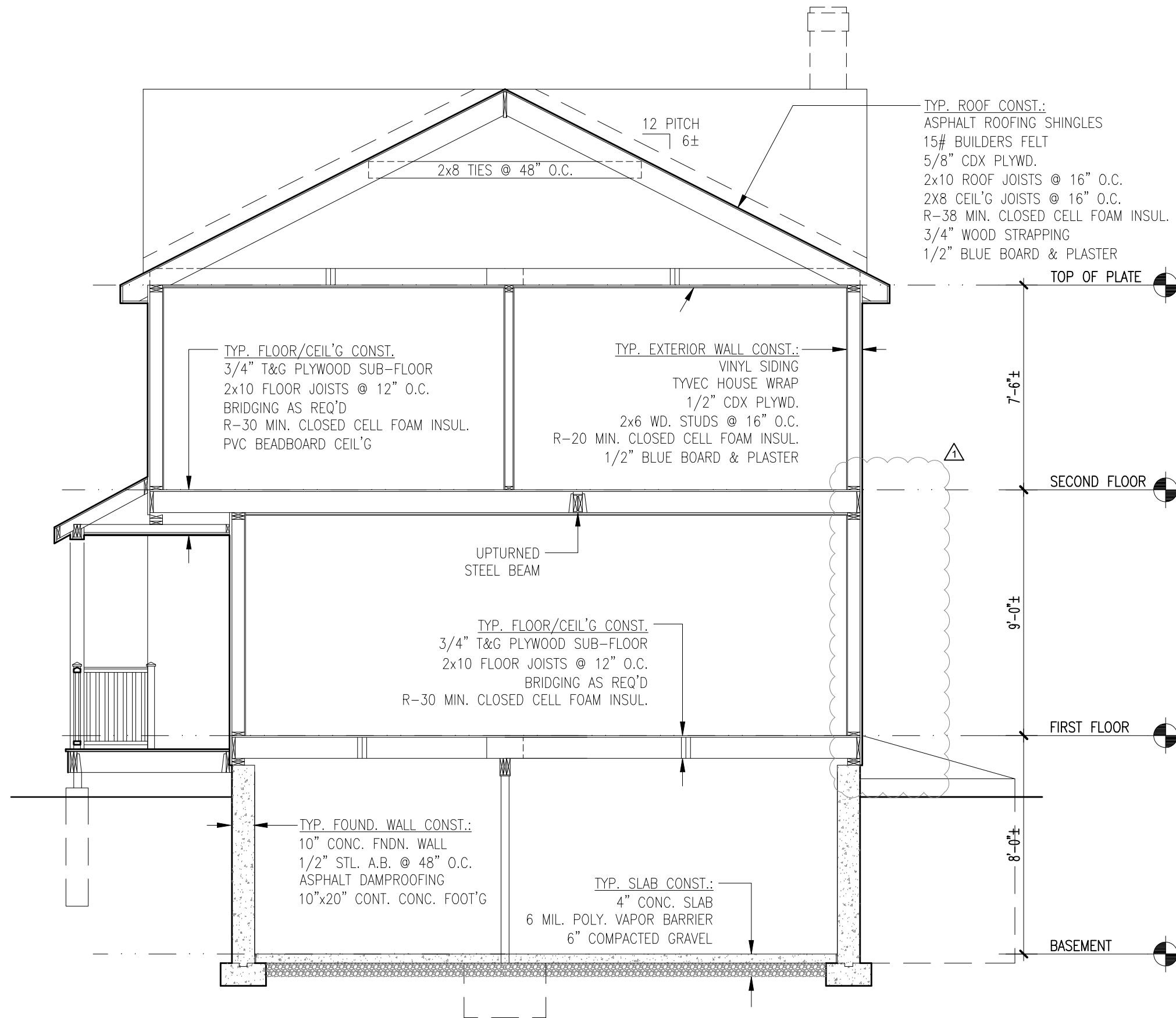
Revisions:

Number	Description	Date
0	PERMIT	05/31
	DRAWINGS	2017
1	ADDENDUM	06/12
	DRAWINGS	2017

Scale: 1/4"=1'-0"

ATTIC/ ROOF
LEVEL FRAMING
PLAN

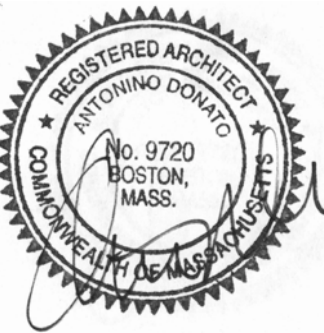
ATTIC/ROOF LEVEL FRAMING PLAN
SCALE: 1/4"=1'-0"



BUILDING SECTION A-A
 SCALE: 1/4" = 1'-0"

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	DRAWINGS	2017

Scale: 1/4" = 1'-0"

BUILDING SECTION

DEMOLITION NOTES:

1. ALL DEMOLITION SHOULD BE DONE TO MINIMIZE IMPACT TO ADJACENT AREAS OUTSIDE THE INTENDED SCOPE OF WORK.
2. REMOVE EXISTING WALLS AS INDICATED ON PLANS. PROVIDE HEADERS AS REQ'D. AT BEARING WALLS. REMOVE OR RELOCATE ANY EXISTING PLUMBING, ELECTRICAL, OR OTHER UTILITIES CONTAINED WITHIN AS WELL AS RELATED SWITCHES OR OULETS.
3. REMOVE PORTIONS OF EXISTING CEILINGS AS REQUIRED DUE TO WALL DEMOLITION. REMOVE EXISTING LIGHT FIXTURES AND RELOCATE RELATED WIRING TO CONFORM WITH PROPOSED PLANS.
4. REMOVE EXISTING PLUMBING FIXTURES AS INDICATED ON PLANS. CAP-OFF OR RELOCATE RELATED PIPING AS REQUIRED TO CONFORM WITH PROPOSED PLANS.
5. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEMOLITION RELATED DEBRIS AND GENERAL CLEANING OF THE CONSTRUCTION SITE.

CARPENTRY NOTES:

1. NEW INTERIOR WALLS AND CEILINGS TO BE 1/2" BLUE BOARD AND PLASTER OVER 2x4 STUDS AT 16" O.C. CEILING HEIGHT TO MATCH ADJACENT AREAS UNLESS SPECIFIED OTHERWISE.
2. PATCH TO MATCH ALL WALLS AND CEILINGS IN AREAS DISTURBED BY DEMOLITION.
3. PROVIDE AND INSTALL CLOTHES ROD AND SHELVES AT CLOSETS.
4. PROVIDE AND INSTALL NEW INTERIOR DOORS, TRIM, AND BASE TO MATCH EXISTING.

FINISH NOTES:

1. PROVIDE AND INSTALL HARDWOOD FLOORS AT FAMILY ROOM, MASTER BEDROOM, AND WALK-IN TO MATCH EXISTING.
2. PROVIDE AND INSTALL TILE FLOOR IN MASTER BATHROOM.
3. PAINT ALL WALLS, CEILINGS, DOORS, TRIM, AND BASE; COLORS AS SELECTED BY OWNER'S.

DESIGN CRITERIA:

GENERAL – ALL CONSTRUCTION SHALL CONFORM TO THE EIGHTH EDITION OF THE MASSACHUSETTS STATE BUILDING CODE (ONE AND TWO FAMILY DWELLING CODE).

HYDE PARK, MA

GROUND SNOW LOAD	40 PSF
WIND SPEED	100 MPH
SEISMIC DESIGN	N/A
WEATHERING	SEVERE
FROST LINE DEPTH	4 FT. MIN.
TERMITE	MODERATE TO HEAVY
DECAY	SLIGHT TO MODERATE

FOUNDATION NOTES:

SOIL CONDITIONS AND STRUCTURAL FILL – ALL FOOTINGS SHALL BE CARRIED TO A MINIMUM DEPTH OF 48" BELOW FINISHED GRADE AND SHALL REST ON BEDROCK, UNDISTURBED SOIL, OR ENGINEERED FILL WITH A MINIMUM BEARING CAPACITY OF 2,000 POUNDS PER SQUARE FOOT (PER GEOTECHNICAL EVALUATION OR TABLE 5401.4.1).

CONCRETE – CONCRETE FOUNDATION WALLS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 POUNDS PER SQUARE INCH AT 28 DAYS.

ANCHORAGE – THE WOOD SOLE PLATE SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" DIAMETER 307 STEEL ANCHOR BOLTS SET A MINIMUM OF 8" INTO CONCRETE AT 48" ON CENTER (PROTECT SOLE PLATE FROM DECAY AND TERMITES).

ROOFING NOTES:

1. FRAME NEW ROOF STRUCTURE OVER EXISTING.
2. ICE AND WATER SHIELD AT 3'-0" WIDE AT PERIMETER, RIDGES, VALLEYS, AND INTERSECTION WITH VERTICAL WALL FACES.
3. METAL DRIP EDGE AT PERIMETER. ALUMINUM GUTTERS AND DOWNSPOUTS.
4. GABLE VENT AT NEW ROOF TO MATCH EXISTING. (ADD ALTERNATE; REPLACE GABLE VENTS WITH NEW CONTINUOUS RIDGE AND SOFFIT VENTS, SOFFIT VENTS TO EQUAL 200 PERCENT OF RIDGE VENT AREA.)
5. ARCHITECTURAL STYLE ASPHALT SHINGLES.

ENERGY CONSERVATION:

1. STRETCH ENERGY CODE COMPLIANCE WILL BE DEMONSTRATED USING THE PRESCRIPTIVE OPTION OF THE BASE 2009 IECC ENERGY CODE. THIS CODE MUST BE MET FOR ALL THE SYSTEMS THAT ARE BEING REPLACED.
2. COMPLIANCE WITH THE ENERGY STAR THERMAL BYPASS INSPECTION CHECKLIST IS ALSO REQUIRED.
3. THE USE OF ENERGY STAR 5.0 (VERSION 3) FOR WINDOWS, DOORS, AND SKYLIGHTS WHERE REPLACEMENTS ARE MADE.
4. INSULATION SHALL CONFORM TO IECC 2009 CHAPTER 4. (SEE BELOW)

TABLE 402.1.1
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE:	5
FENESTRATION:	U-0.35
SKYLIGHT:	U-0.60
GLAZING SHGC:	NR
CEILING:	R-38
WOOD FRAME WALL:	R-20 OR 13+5
MASS WALL:	R-13/R-17
FLOOR:	R-30
BASEMENT WALL:	R-10/R-13
SLAB, DEPTH:	R-10, 2 FT.
CRAWL SPACE WALL:	R-10/R-13

5. DUCTS 4CFM/100SQ FT

SIDING AND TRIM NOTES:

1. VINYL SIDING WITH ALL RELATED ACCESSORIES FOR A COMPLETE INSTALLATION.
2. FASCIA, SOFFITS, CORNER BOARDS, AND TRIM TO BE PVC.
3. COMPOSITE DECKING WITH FIBERGLASS RAILING SYSTEM.

WINDOW AND DOOR NOTES:

1. NEW ENERGY STAR VINYL WINDOWS W/ INTEGRAL TRIM AND INSULATED GLAZING; TYPE, SIZE, AND MUNTIN PATTERNS AS SHOWN.
2. PROVIDE SCREENS, EXTENSION JAMBS, ETC. AS REQUIRED FOR A FULL INSTALLATION.
3. INSTAL METAL FLASHING AT WINDOW AND DOOR HEADS.
4. ALL NEW EXTERIOR DOORS TO BE KEYED ALIKE.

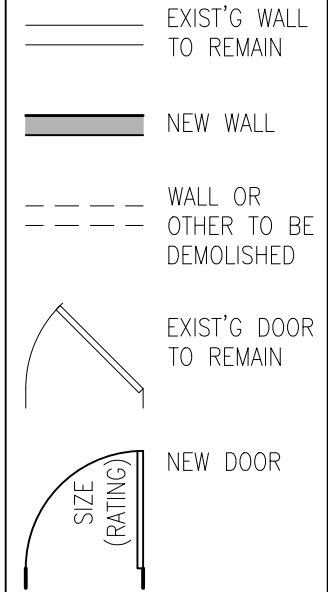
PLUMBING, HEATING, AND ELECTRICAL NOTES:

1. PROVIDE AND INSTALL PLUMBING FIXTURES AND RELATED PIPING AS INDICATED ON PLAN. OWNER TO SPECIFY MODEL, COLOR, ETC. PROVIDE RELATED SUPPLY, WASTE, VENT PIPING AND ACCESSORIES AS REQUIRED FOR A COMPLETE INSTALLATION.
2. VERIFY CAPACITY AND CONDITION/AGE OF EXISTING DOMESTIC HOT WATER HEATER; REPLACE WITH NEW HIGH EFFICIENCY SYSTEM AT OWNER'S DIRECTION.
3. VERIFY CAPACITY AND CONDITION/AGE OF EXISTING HVAC; REPLACE WITH NEW HIGH EFFICIENCY SYSTEM AT OWNER'S DIRECTION.
4. PROVIDE AND INSTALL LIGHTING FIXTURES AND RELATED WIRING PER OWNERS DIRECTION, OWNER TO SPECIFY MODEL, COLOR, ETC. PROVIDE RELATED WIRING, SWITCHES AND ACCESSORIES AS REQUIRED FOR A COMPLETE INSTALLATION. PROVIDE ELECTRICAL OUTLETS AS REQUIRED BY CODE AND PER THE OWNERS DIRECTION.
5. VERIFY CAPACITY OF EXISITNG ELECTRICAL PANEL; REPLACE WITH NEW 200 AMP CAPACITY IF REQUIRED.
6. CONNECT ALL OWNER FURNISHED APPLIANCES.

WINDOW AND DOOR NOTES:

1. NEW ENERGY STAR VINYL WINDOWS W/ INTEGRAL TRIM AND INSULATED GLAZING; TYPE, SIZE, AND MUNTIN PATTERNS AS SHOWN.
2. PROVIDE SCREENS, EXTENSION JAMBS, ETC. AS REQUIRED FOR A FULL INSTALLATION.
3. INSTAL METAL FLASHING AT WINDOW AND DOOR HEADS.
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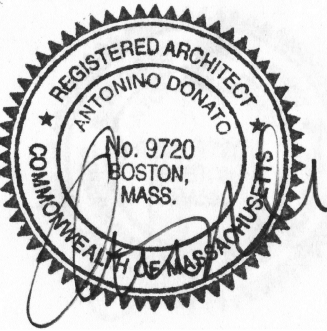
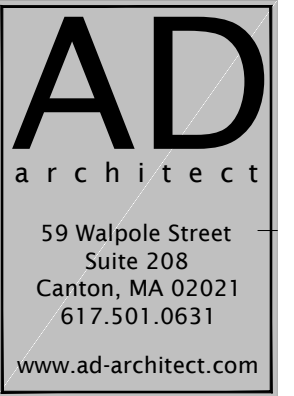
LEGEND:



LIFE SAFETY KEY:

- SMOKE DETECTOR
- COMBO SMOKE/ CO DETECTOR
- HEAT DETECTOR
- TOILET EXHAUST VENTED TO OUTSIDE

NOTE: ALL DEVICES TO BE HARDWIRED TO EXISTING SYSTEM. PHOTOELECTRIC DETECTORS WHERE REQUIRED.



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Scale: NTS

NOTES