

PLAN REFERENCES:

1) "City of Boston, Stonehill Road, Hyde Park, September 22, 1954, Parts 1 & 2" recorded with the City of Boston Engineering Department (L Plan #8557)

GENERAL NOTES:

1) Utilities shown hereon represent visible improvements found at the time of survey. No representation is made of underground utilities. Contractor and/or architect to coordinate with all pertinent utility entities upon design and construction.

2) Elevations shown hereon are based on an assumed datum.

FIRM PANEL: 25025C 0069G
EFFECTIVE DATE: September 25, 2009
FLOOD ZONE: X

n/f
Julie A Pialentini
Parcel ID#
1812281100
Bk/Pg 53126/296

n/f
Charles E Todesco
Parcel ID#
1812281070
Bk/Pg 9171/398

n/f
Wallace L Burrus
Bk/Pg 26994/297
Parcel ID#
1812281090
5,271 sq ft (deed)

n/f
Krystle A Ramdhanie &
Sheldon Ramdhanie
Parcel ID #
1812281080
Bk/Pg 51767/324

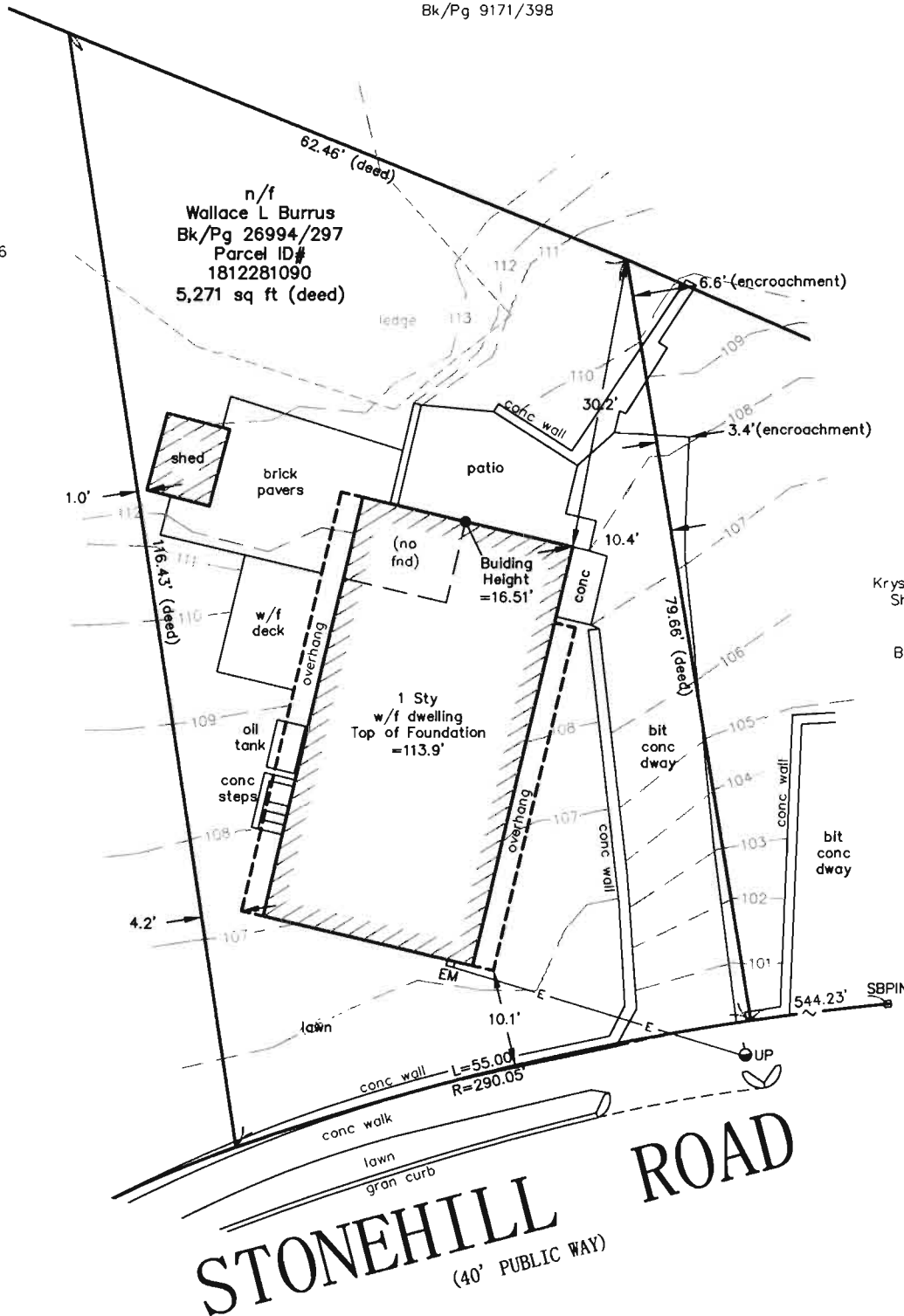
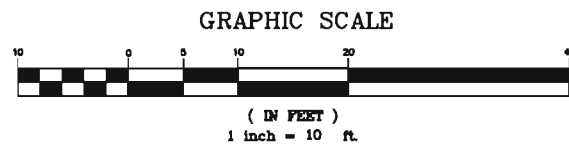
EXISTING LEGEND	
	PROPERTY LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING UTILITY POLE
	EXISTING FENCE
	EXISTING OVERHEAD ELECTRIC LINE
	MAJOR CONTOUR
	MINOR CONTOUR
	PROPOSED ELEVATION
	STONE BOUND

"I certify that the locations shown are based on an on the ground survey performed between December 16, 2015 and March 16, 2016."

[Signature]
Date: 9/29/16



[Signature]
9/29/16



Gateway Survey Associates, LLC

ph: 508-291-8991
f: 508-291-0534
PO Box 54
Wareham, MA 02571
www.gatewaysurvey.com

PROJECT TITLE:

EXISTING CONDITIONS
PLAN OF
43 STONEHILL ROAD
BOSTON (HYDE PARK), MA

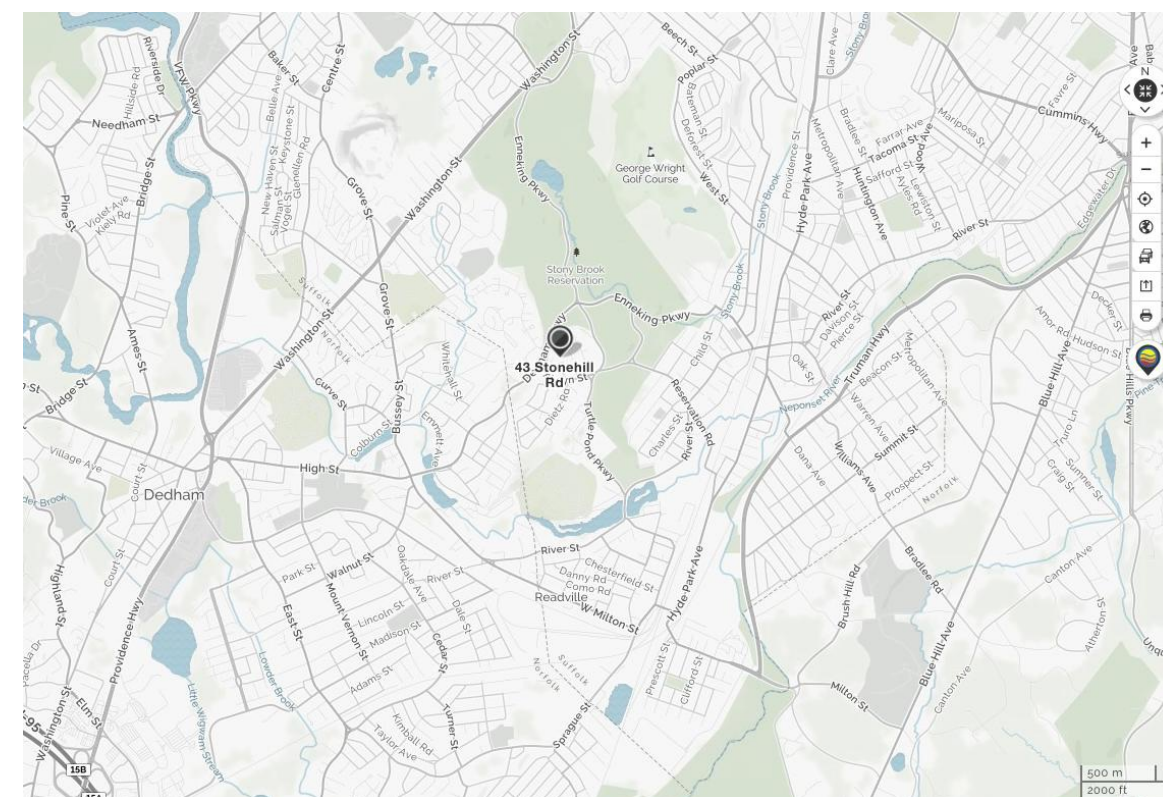
Owner of Record: Wallace L Burrus

DATE: 09/29/16
REVISED:
DRAWING NO.: 43Stonehill.dwg
SHEET: 1 OF 1
JOB NO.:
CHECKED BY: NIL
DRAWN BY: MLL

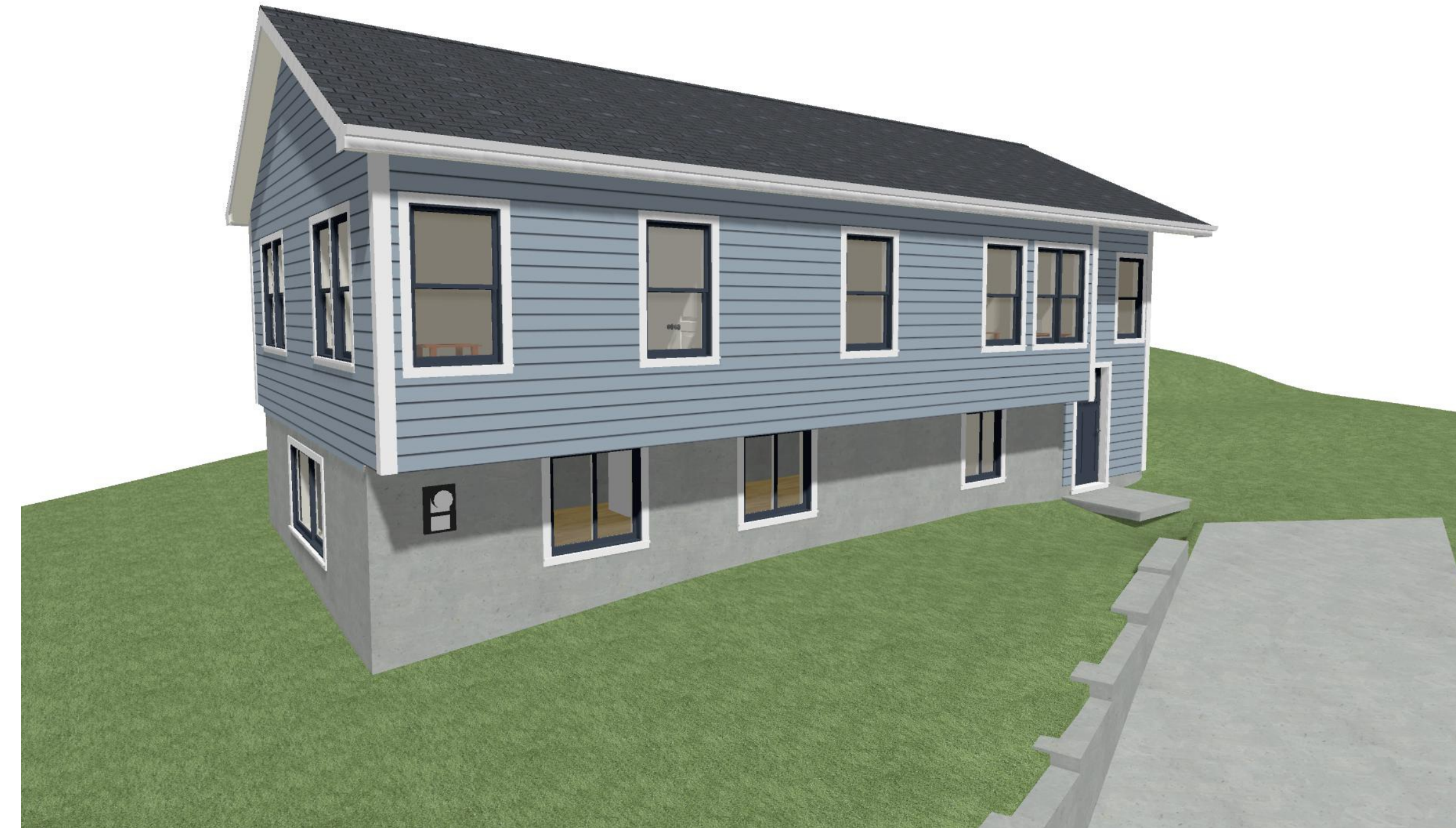
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PAGE	Title
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S2	FRAMING PLANS
S3	SECTION VIEWS
E1	ELECTRICAL PLANS



EXISTING CONDITIONS
MAP COURTESY OF GOOGLE.COM



MAP TO SITE
MAP COURTESY OF MAPQUEST.COM



RENDERING: WHOLE HOUSE REMODEL

RENDERINGS FOR ILLUSTRATION ONLY.
FURNITURE AND LANDSCAPING NOT IN CONTRACT.
FINAL FINISH MATERIAL AND COLOR MAY BE CHANGED.
SEE CONTRACT FOR DETAILS.

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK.
2. DIMENSION STANDARDS USED WITHIN DOCUMENTS ARE AS FOLLOWS, UNLESS OTHERWISE NOTED:
 - a. EXTERIOR DIMENSIONING AT BUILDING CORNERS REPRESENTS AN OUTSIDE OF STUD DIMENSION.
 - b. EXTERIOR DIMENSION @ WINDOWS AND DOORS REPRESENTS CENTER OF ANOTHER OPENING, OR THE OUTSIDE OF THE STUD.
 - c. INTERIOR DIMENSIONING AT STUD WALLS REPRESENT A DIMENSION TO THE SIDE OF THE STUD.
 - d. INTERIOR DIMENSIONING @ STAIRS REPRESENT A DIMENSION TO THE FINISHED FACED OF THE STAIR.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BUILDING CODE OF THE STATE OF MASSACHUSETTS.

CONTRACTOR
GUILLAUME SCHMITT
43 STONEHILL RD.
BOSTON, MA 02136

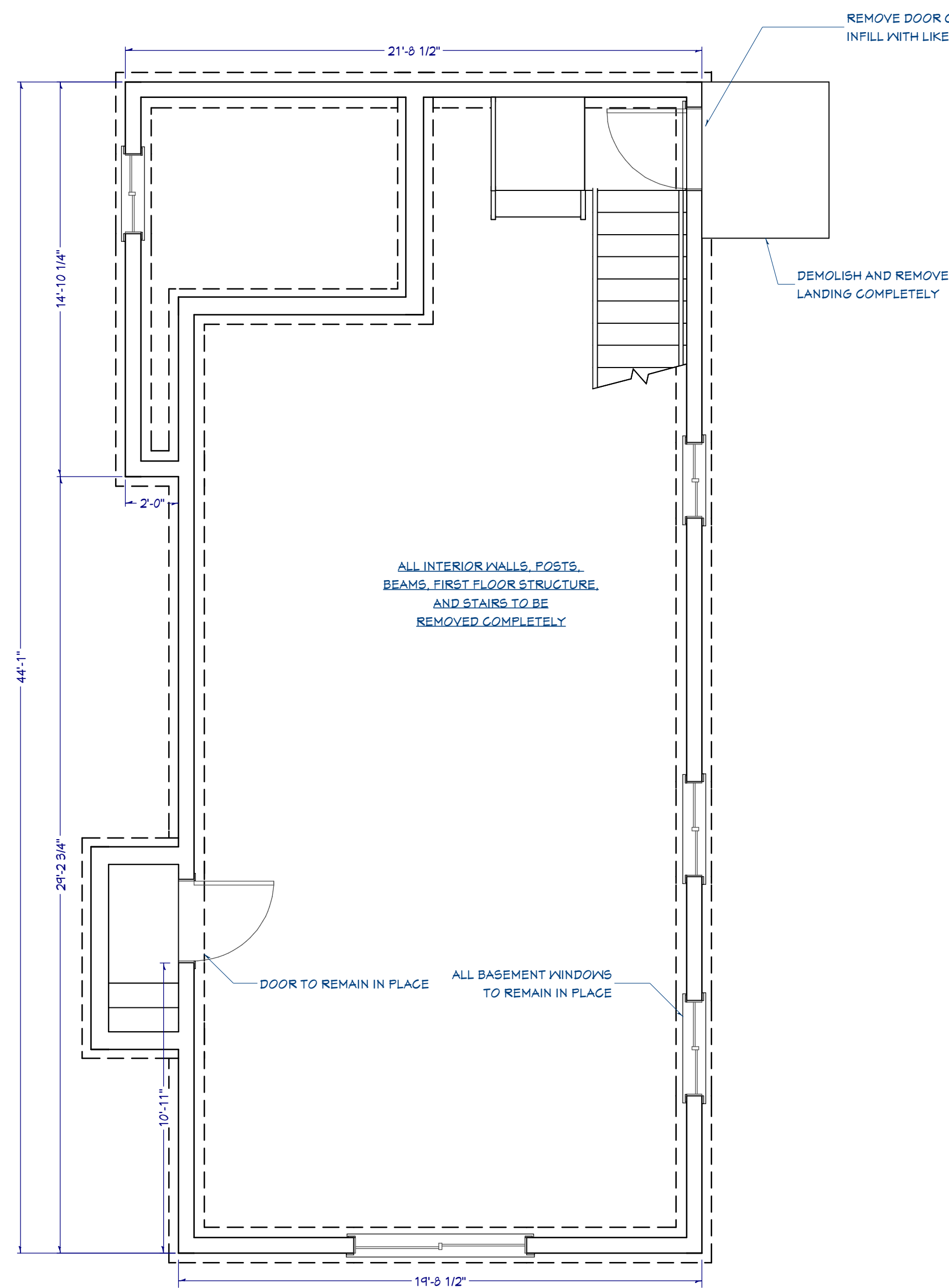
ENGINEER

TITLE
COVER PAGE

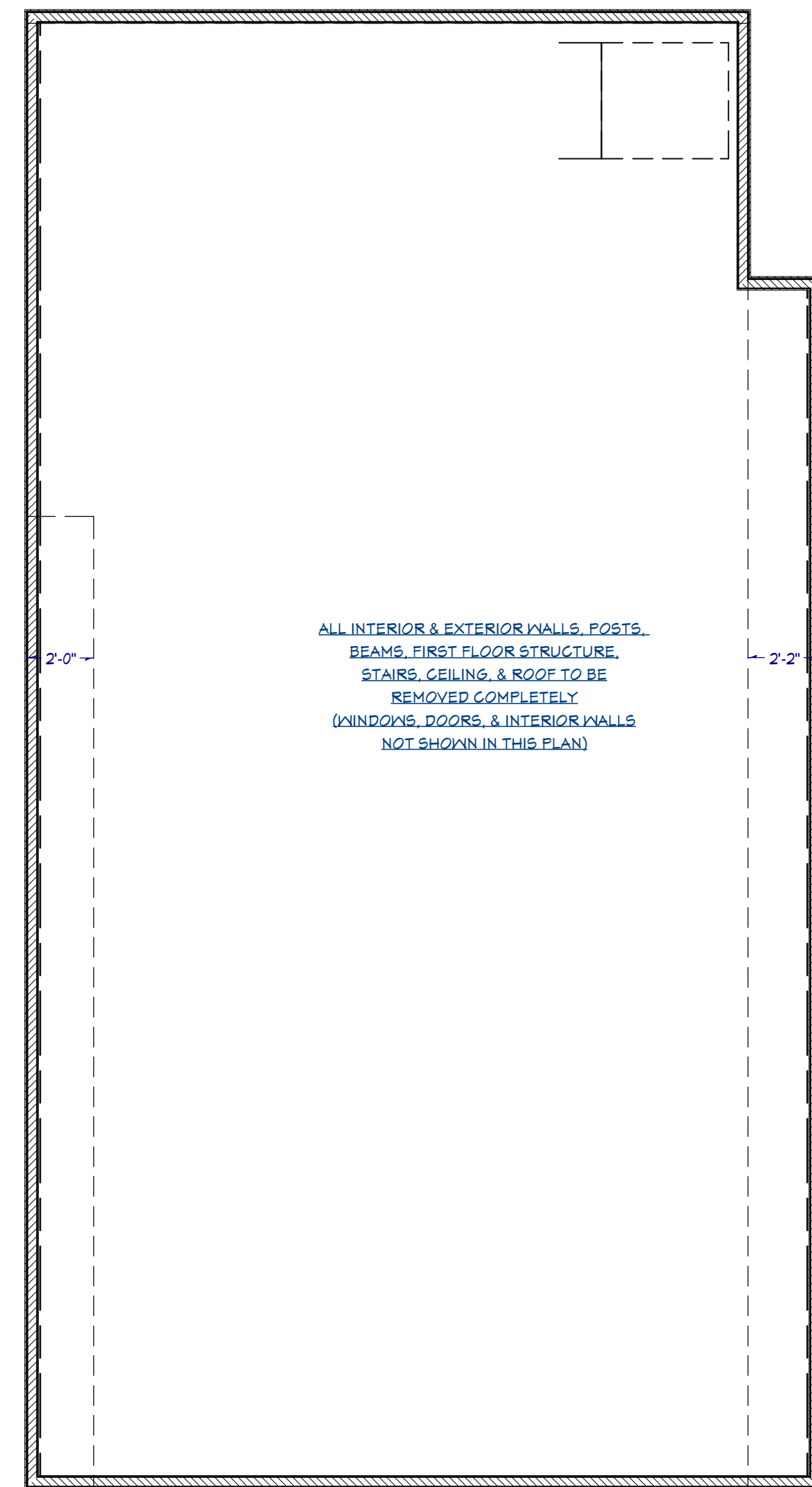
OWNER
SCHMITT RENOVATIONS
43 STONEHILL RD.
BOSTON, MA 02136

DATE
1/6/17

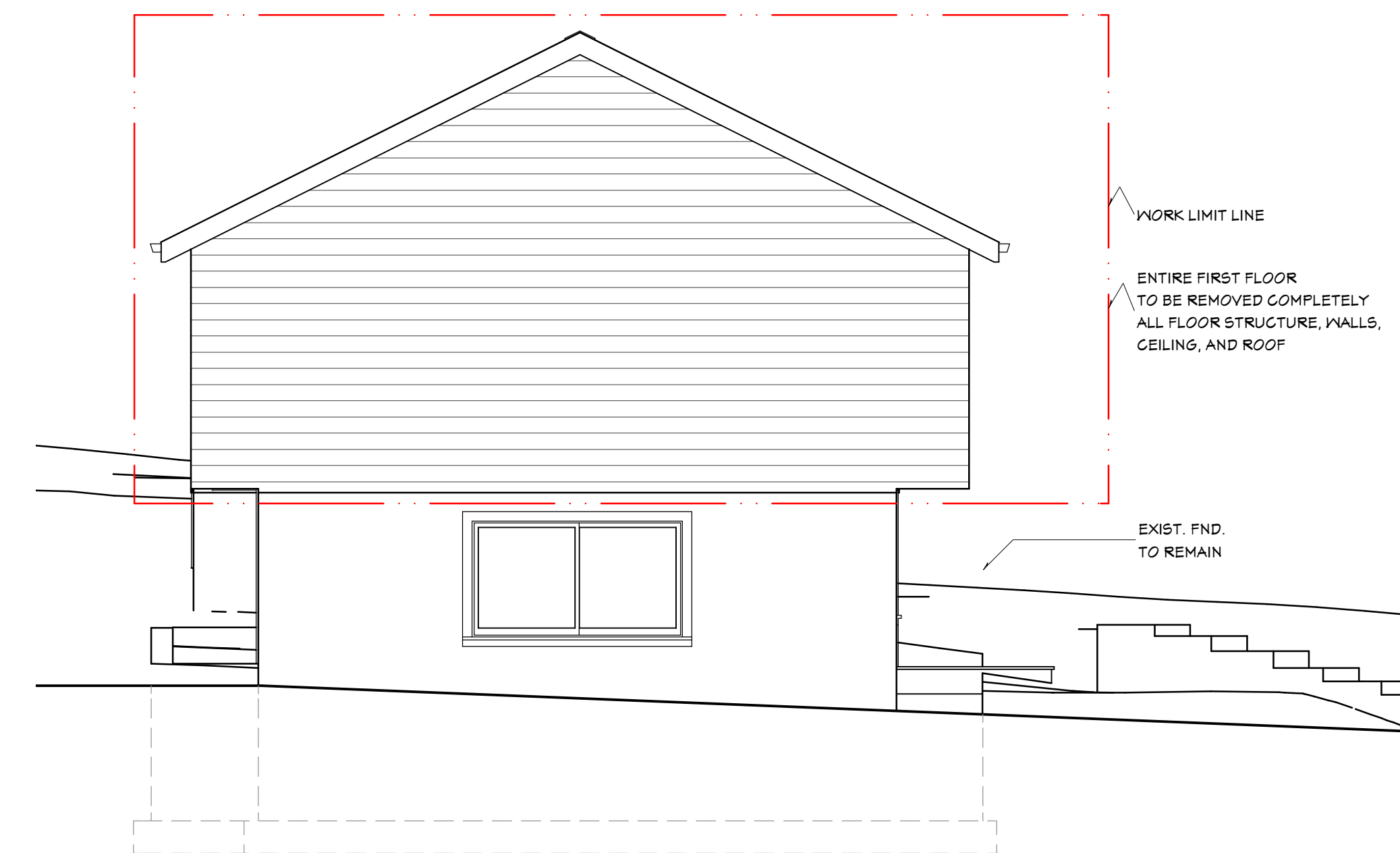
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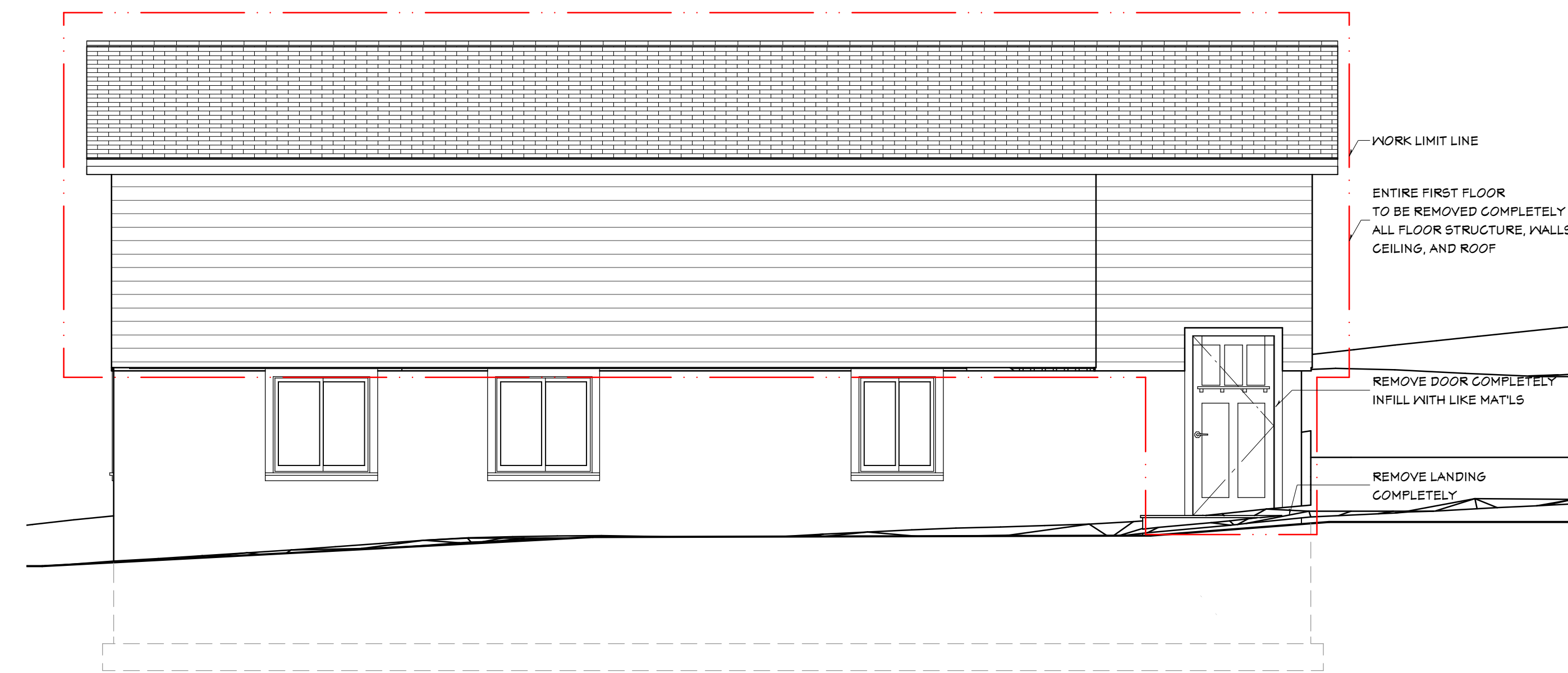
1 EXIST/DEMO BASEMENT PLAN
A2 SCALE: 1/4" = 1'-0"



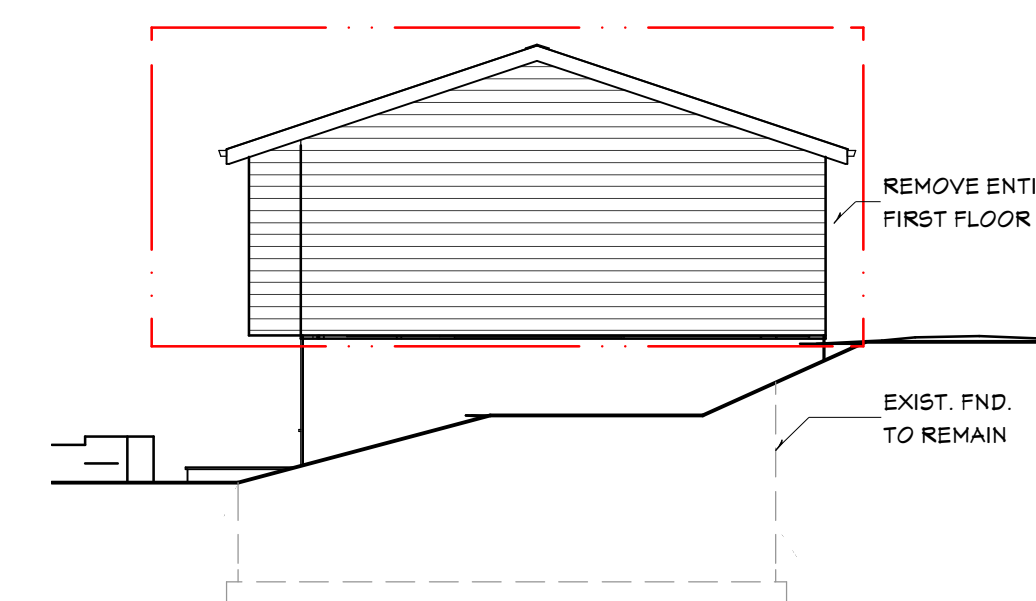
2 EXIST/DEMO FIRST FLOOR PLAN
A2 SCALE: 1/4" = 1'-0"



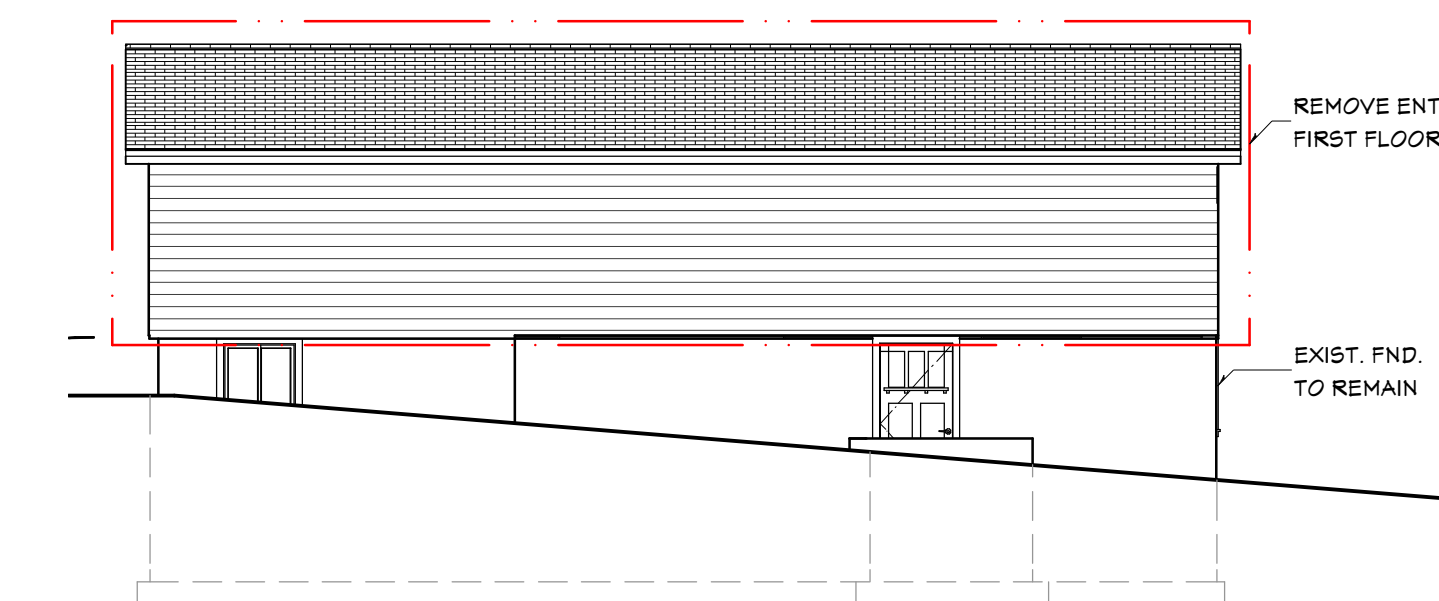
3 EXIST/DEMO FRONT ELEVATION
A2 SCALE: 1/4" = 1'-0"



4 EXIST/DEMO RIGHT ELEVATION
A2 SCALE: 1/4" = 1'-0"



5 EXIST/DEMO REAR ELEVATION
A2 SCALE: 1/8" = 1'-0"



6 EXIST/DEMO LEFT ELEVATION
A2 SCALE: 1/8" = 1'-0"

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GUILLAUME SCHMITT
43 STONEHILL RD.
BOSTON, MA 02136

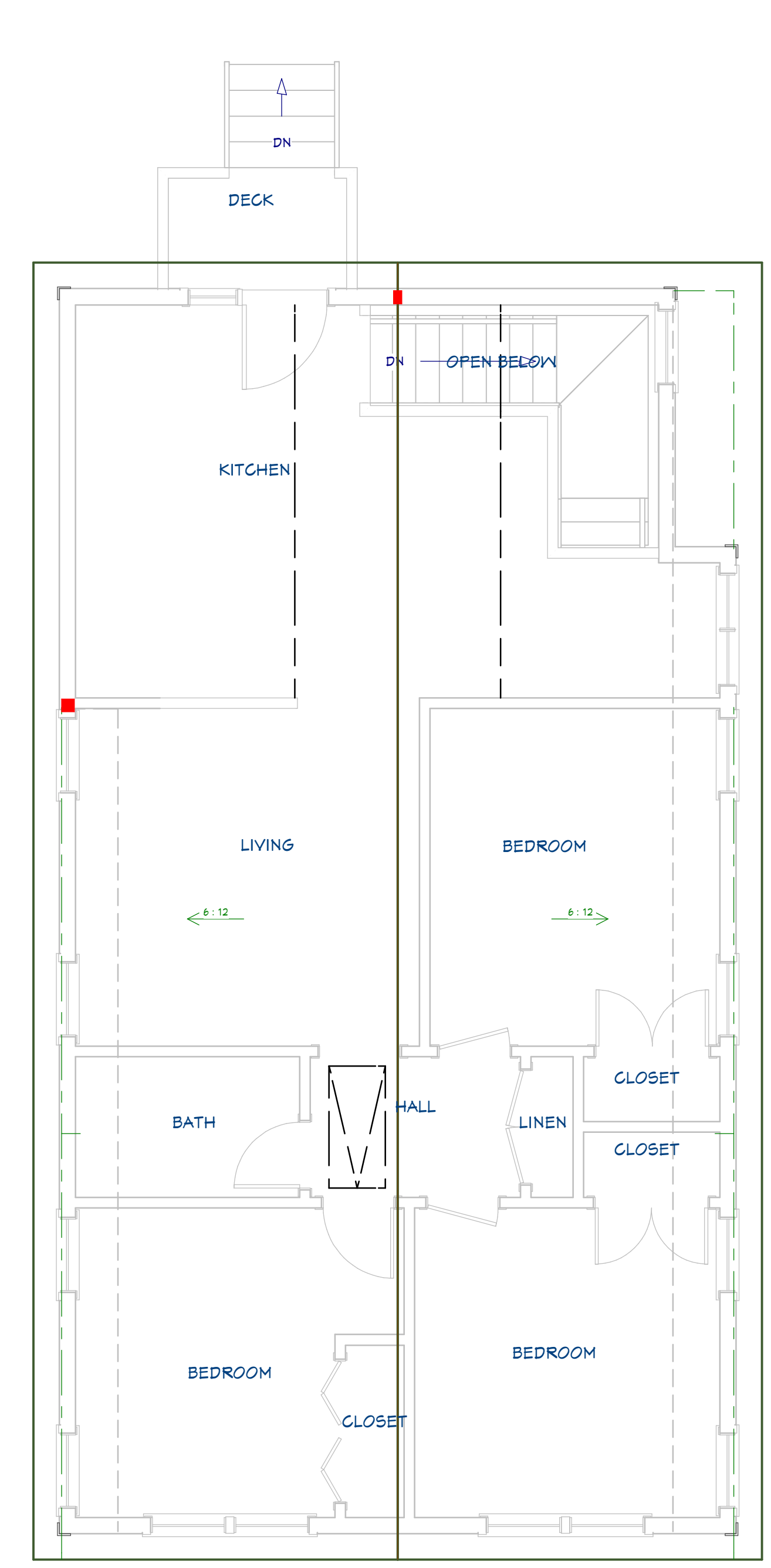
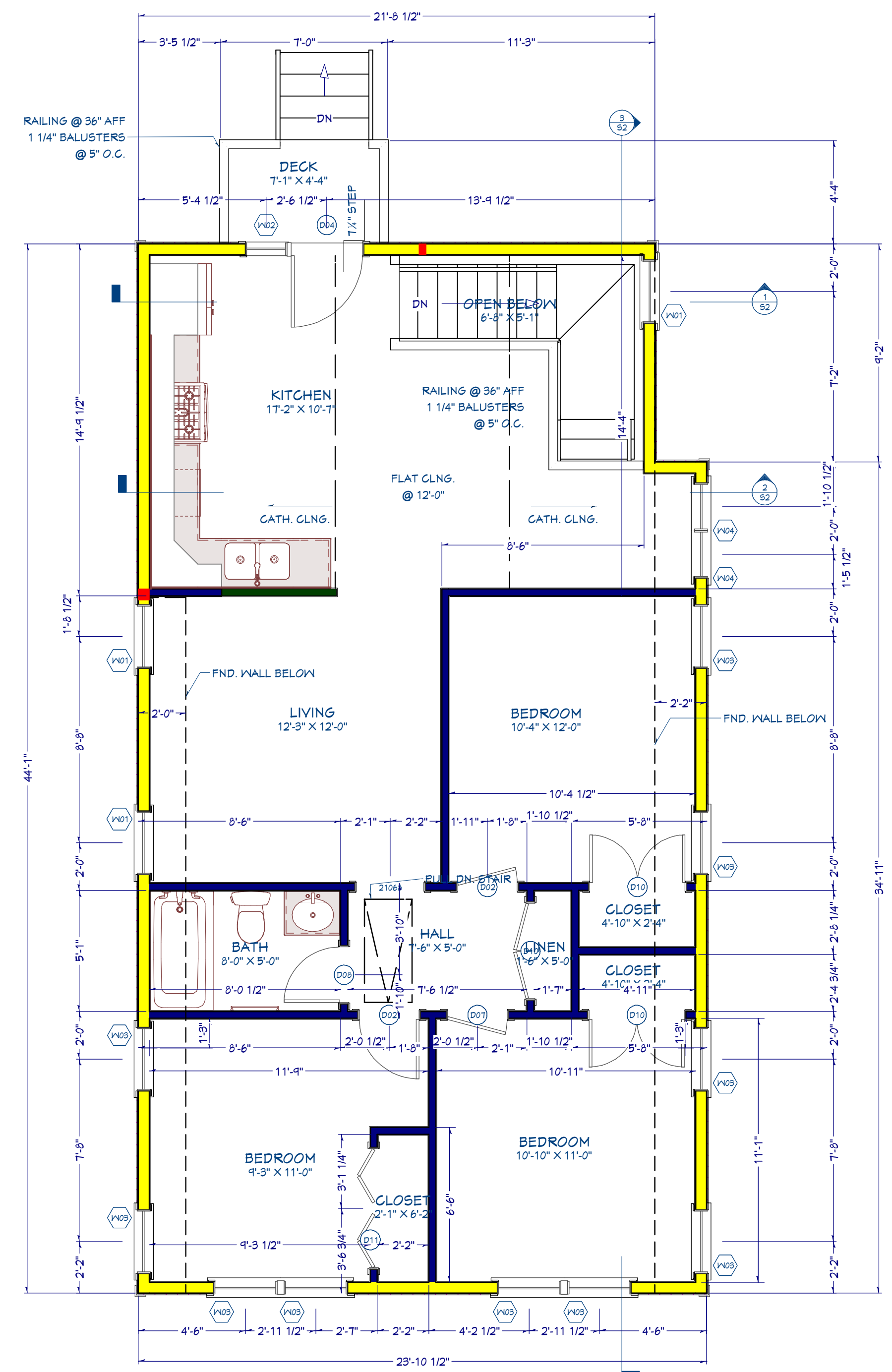
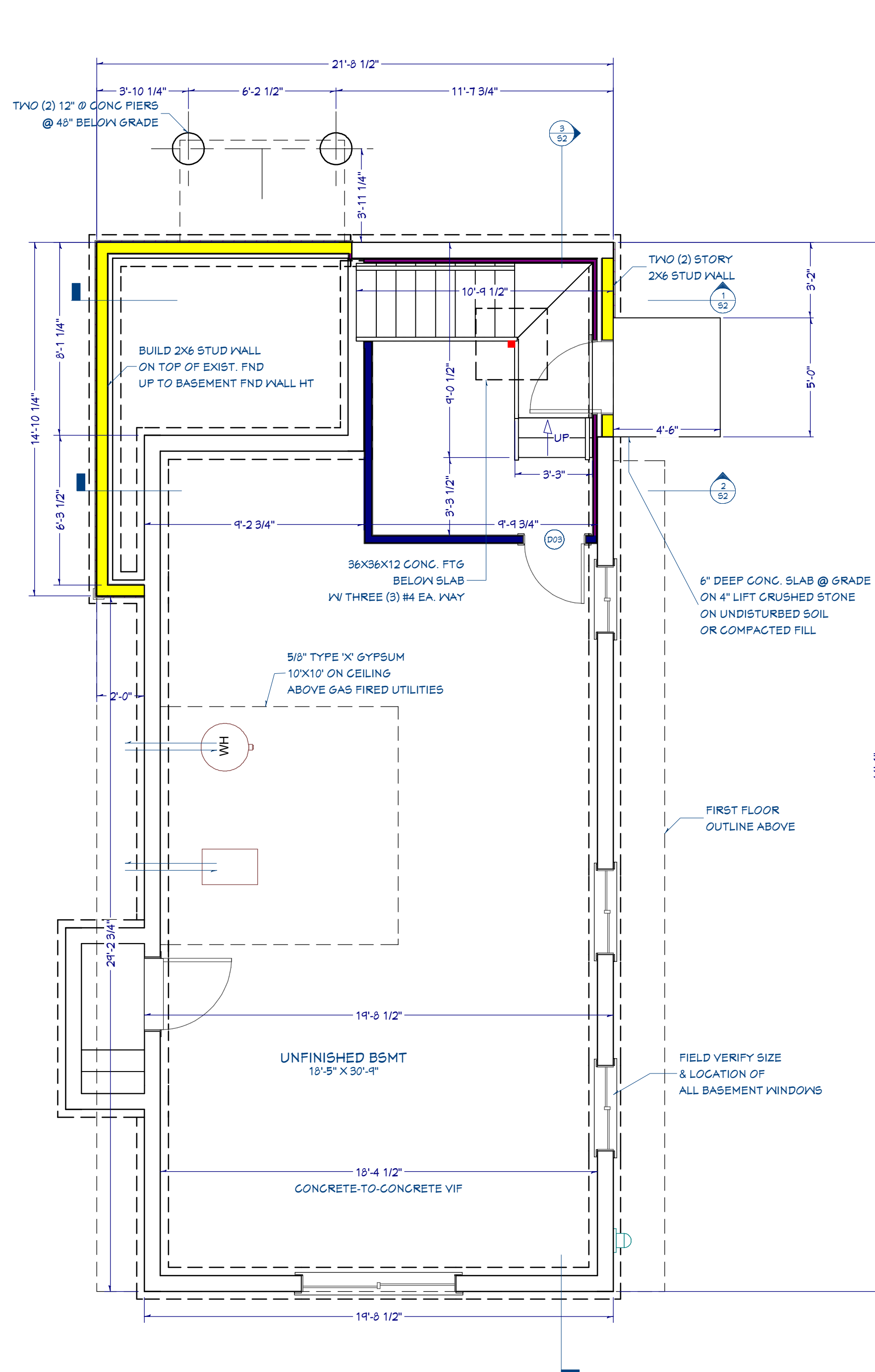
ENGINEER

TITLE
EXIST/DEMO PLANS & ELEVATIONS

OWNER
SCHMITT RENOVATIONS
43 STONEHILL RD.
BOSTON, MA 02136

DATE
1/6/17

A2



1 FOUNDATION/BASEMENT PLAN
A3 SCALE: 1/4" = 1'-0"

2 FOUNDATION/BASEMENT PLAN
A3 SCALE: 1/4" = 1'-0"

3 ROOF PLAN
A3 SCALE: 1/4" = 1'-0"

DOOR SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	SIZE	DESCRIPTION	FIRE CODE	MANUFACTURER COMMENTS
D01	3068	1	0	3068 LEX	EXT. HINGED DOOR E21		
D02	2668	2	1	2668 LIN	HINGED DOOR P04		
D03	2668	1	0	2668 LIN	HINGED DOOR P04		
D04	3068	1	1	3068 REX	EXT. HINGED GLASS		
D07	2668	1	1	2668 RIN	HINGED DOOR P04		
D09	2668	1	1	2668 LIN	HINGED DOOR P04		
D10	4068	3	1	4068 L/R IN	DOUBLE HINGED DOOR P04		
D11	5068	1	1	5068 L/R	14 DR. BIFOLD COVERED		

DOOR SIZES AND DIMENSIONS TO BE VERIFIED BY CONTRACTOR AND DOOR REP PRIOR TO ORDERING AND INSTALLING.
DOOR SINGING AND TYPE INDICATED IN SIZE COLUMN:
"L" = LEFT SINGING
"R" = RIGHT SINGING
"IN" = INTERIOR DOOR
"EX" = EXTERIOR DOOR

WINDOW SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	SIZE	DESCRIPTION	EGRESS	TEMPERED CODE	MANUFACTURER COMMENTS
W01	2840DH	3	1	2840DH	DOUBLE HUNG			
W02	1968FX	1	1	1968FX	FIXED GLASS			
W03	2840DH	10	1	2840DH	DOUBLE HUNG	YES		
W04	2840DH	2	1	2840DH	DOUBLE HUNG	YES		

WINDOW SIZES AND DIMENSIONS TO BE VERIFIED BY CONTRACTOR AND WINDOW REP PRIOR TO ORDERING AND INSTALLING.
SIZES SHOWN ARE GIVEN AS WIDTH/HEIGHT AND FEET-INCH MEASUREMENTS.
FOR EXAMPLE A WINDOW SIZE 2840DH IS 2'-8" WIDE AND 4'-0" TALL DOUBLE HUNG.

WALL TYPE LEGEND	
	EXIST. WALL (ANY TYPE)
	DEMOLISH THIS WALL
	NEW 2X4 WALL-TURN FLAT
	NEW 2X4 WALL
	2X4 PONY WALL
	NEW 2X6 WALL
	2X6 PONY WALL
	BEARING WALL
	NEW CONCRETE WALL
	NEW CMU WALL
	DEMOLISHED WALL
	REFERENCE WALL
	LOAD BEARING POST

CONTRACTOR
GUILLAUME SCHMITT
48 STONEHILL RD.
BOSTON, MA 02136

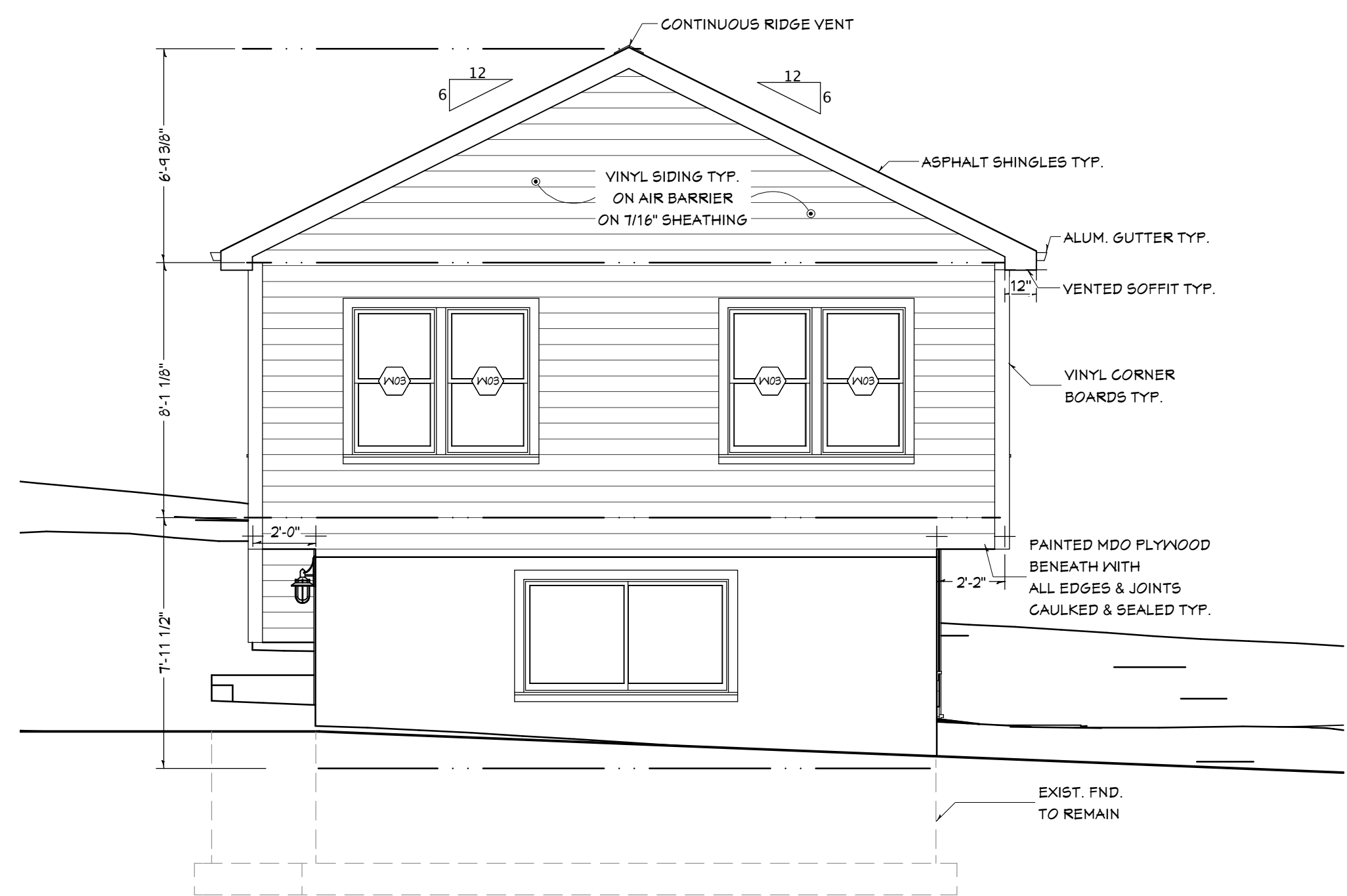
ENGINEER

TITLE
FLOOR & ROOF PLANS

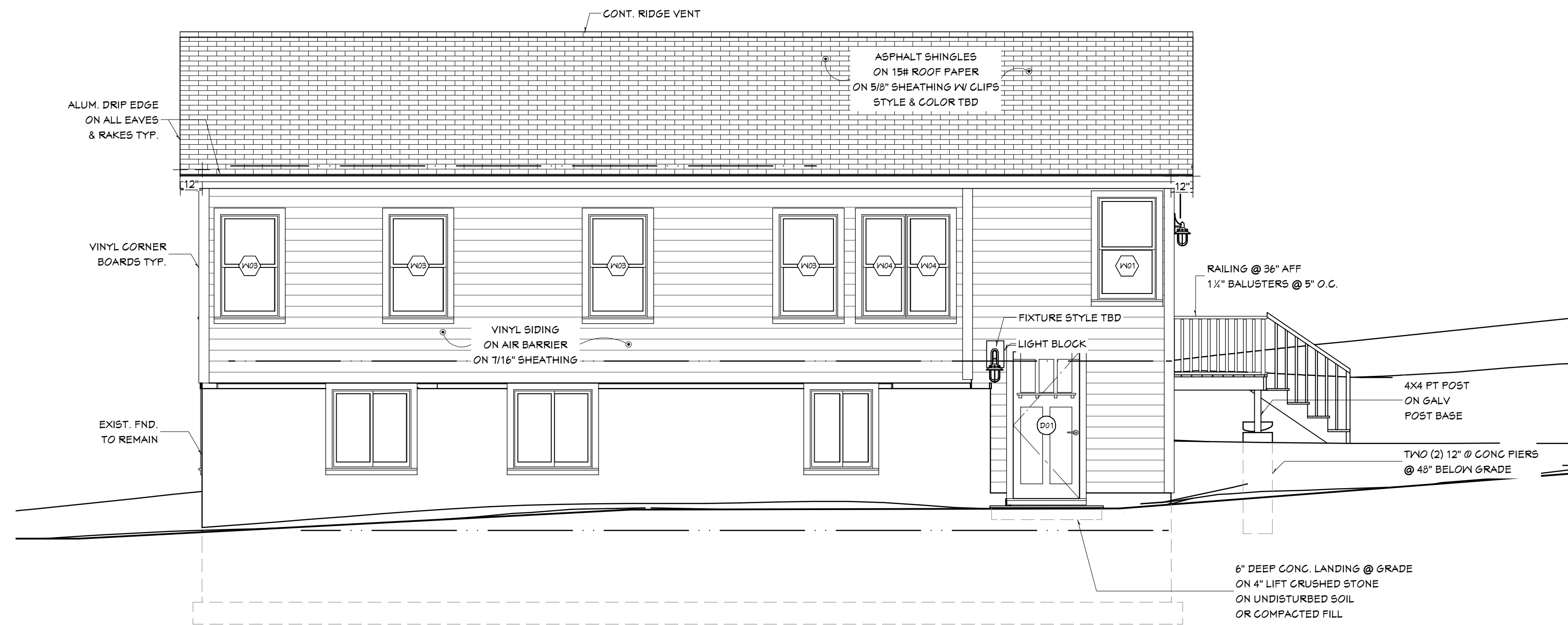
OWNER
SCHMITT RENOVATIONS
48 STONEHILL RD.
BOSTON, MA 02136

DATE
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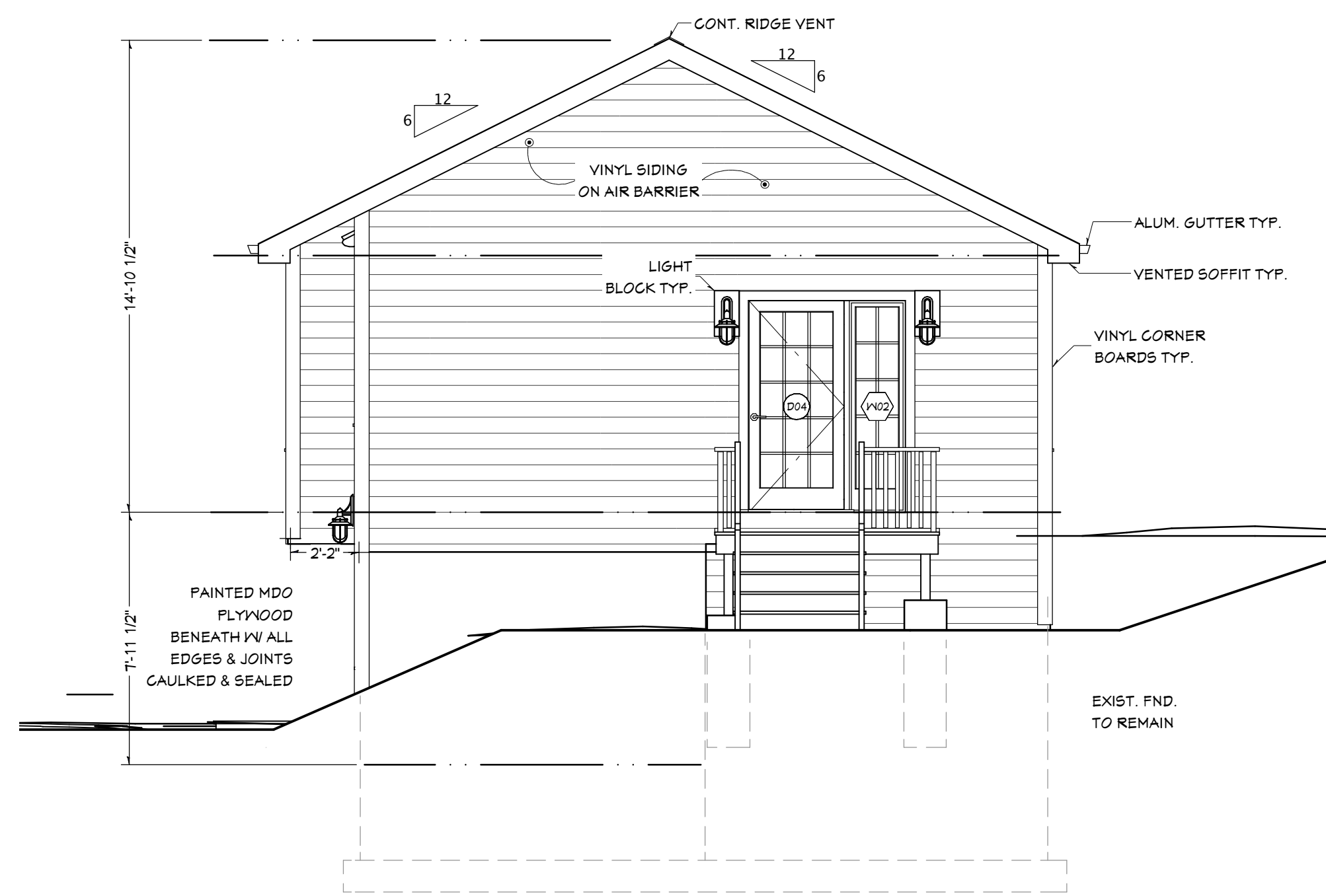
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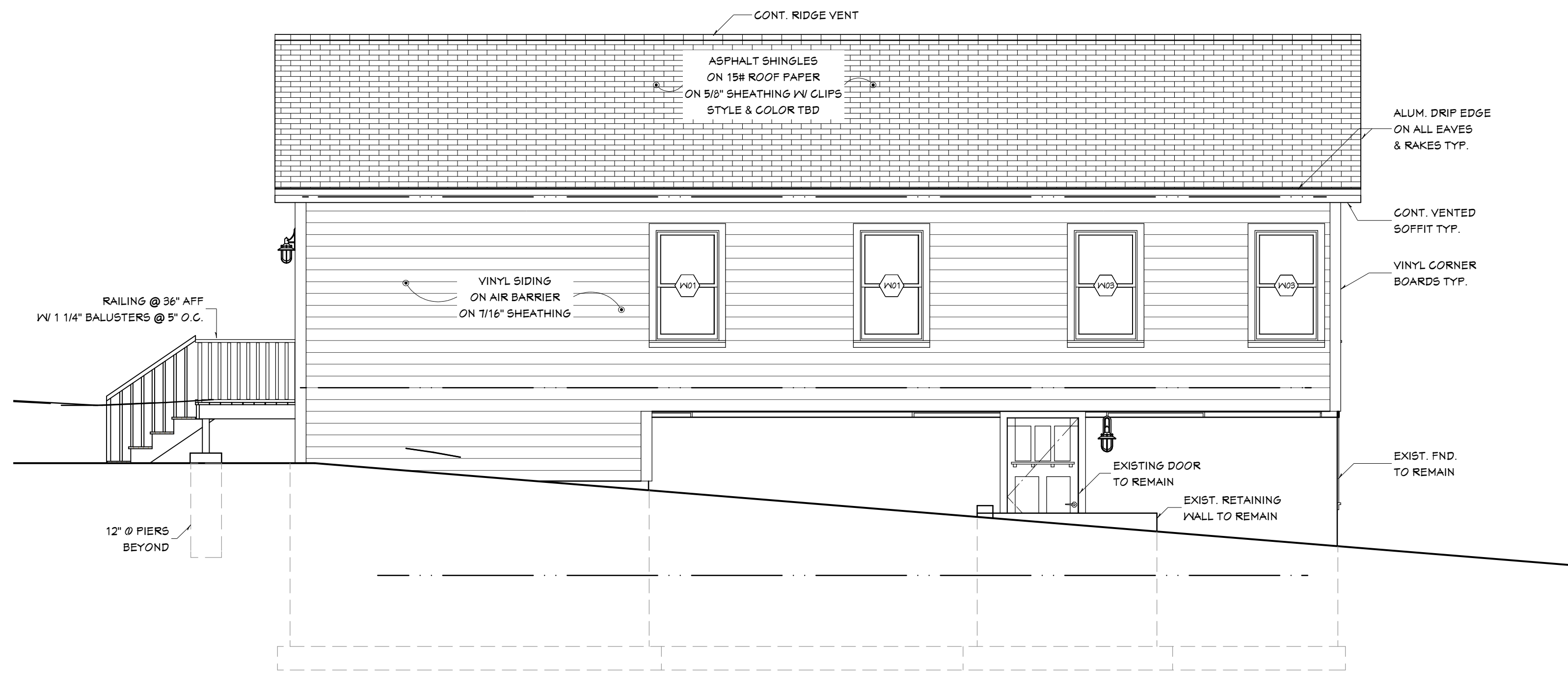
1 FRONT ELEVATION
A4 SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
A4 SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
A4 SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION
A4 SCALE: 1/4" = 1'-0"

CONTRACTOR
GUILLAUME SCHMITT
43 STONEHILL RD.
BOSTON, MA 02136

ENGINEER

TITLE
EXTERIOR ELEVATIONS

OWNER
SCHMITT RENOVATIONS
43 STONEHILL RD.
BOSTON, MA 02136

DATE
1/6/17

A4

GENERAL NOTES

- GENERAL:
- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS, AS WELL AS THE SPECIFICATIONS AND SHOP DRAWINGS OF ALL DISCIPLINES. ANY QUESTION ABOUT THE INFORMATION SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH THE AFFECTED WORK.
 - ALL WORK SHALL CONFORM TO THE PROVISIONS OF THE MASSACHUSETTS STATE BUILDING CODE, 8TH EDITION (RESIDENTIAL), INCLUDING THE 2009 INTERNATIONAL RESIDENTIAL CODE.
 - FOR DIMENSIONS NOT INDICATED, REFER TO ARCHITECTURAL DRAWINGS.
 - ALL INDICATED DETAILS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE JOB SITE DURING CONSTRUCTION IN CONFORMANCE WITH FEDERAL AND STATE LAWS. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING, AS REQUIRED BY ON-SITE CONDITIONS:
 - A. SHEETING OR SHORING OF TRENCHES AND EXCAVATIONS
 - B. TEMPORARY GUYING OR BRACING OF PARTIALLY COMPLETE STRUCTURES
 - C. SECURING PORTIONS OF PARTIALLY COMPLETE STRUCTURES FROM MOVEMENT
 - D. TEMPORARY SHORING OF FLOORS OR ROOFS
 - E. MEASURES TO PREVENT FALLS FROM EDGES OF OR OPENINGS THROUGH FLOORS OR ROOFS
 - F. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK OF ALL TRADES; THE MEANS AND METHODS OF CONSTRUCTION; AND THE FIELD VERIFICATION OF ELEVATIONS AND DIMENSIONS.
 - G. NO STRUCTURAL ELEMENTS SHALL BE PENETRATED, NOTCHED, MODIFIED, OR CUT WITHOUT THE EXPRESS APPROVAL OF THE DESIGNER.

- STRUCTURAL DESIGN LOADS:
- GROUND SNOW LOAD: $P_g = 40$ PSF
 - WIND SPEED: $V = 100$ MPH
WIND EXPOSURE: B
 - FLOOR LIVE LOAD:
 - RESIDENTIAL 1ST FLOOR: 40 PSF
 - SLEEPING ROOMS: 30 PSF
 - ATTICS WITH STORAGE: 20 PSF
 - ATTICS WITHOUT STORAGE: 10 PSF
 - EXTERIOR DECKS: 40 PSF

WOOD

- ALL WOOD CONSTRUCTION SHALL BE SECURELY AND CONTINUOUSLY FASTENED TO SUPPORTING ELEMENTS BELOW WOOD BEARING ON CONCRETE OR MASONRY FOUNDATION WALLS SHALL BE ATTACHED WITH ANCHOR BOLTS OR EXPANSION BOLTS TO PREVENT LATERAL DISPLACEMENT. ALL WOOD POSTS SHALL HAVE METAL CONNECTORS TOP AND BOTTOM. ALL FLUSH FRAMED JOISTS SHALL BE CONNECTED WITH METAL HANGERS. ALL ROOF RAFTERS SHALL BE SECURED WITH METAL HURRICANE ANCHORS AT EXTERIOR OVERHANGS.
- WOOD IN CONTACT WITH CONCRETE, OUTDOORS, OR IN MOIST CONDITIONS SHALL BE PRESERVATIVE PRESSURE-TREATED. WOOD REQUIRED TO BE NON-COMBUSTIBLE SHALL BE FIRE-RETARDANT PRESSURE-TREATED.
- STRUCTURAL LUMBER AND MANUFACTURED WOOD SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE FOLLOWING TABLE. DIMENSION LUMBER SHALL BEAR THE GRADE STAMP OF A GRADING AUTHORITY RECOGNIZED IN THE NATIONAL DESIGN SPECIFICATION OF THE AMERICAN FOREST AND PAPER ASSOCIATION.
- CUTTING AND NOTCHING OF STRUCTURAL WOOD MEMBERS IS NOT PERMITTED EXCEPT BY THE EXPRESS DIRECTION OR WRITTEN PERMISSION OF THE DESIGNER.
- STUD BEARING WALLS SHALL HAVE BLOCKING BETWEEN STUDS AT MID HEIGHT. ALL STUD WALLS ARE TO BE SHEATHED BOTH SIDES WITH PLYWOOD OR GYPSUM WALL BOARD UNLESS SPECIFICALLY NOTED OTHERWISE. INTERSECTING EXTERIOR STUD WALLS SHALL BE SECURELY FASTENED TOGETHER AND THE BOTTOM PLATES THROUGH BOLTED, ANCHOR BOLTED, OR METAL STRAP CONNECTED TO SUPPORTS BELOW THE INTERSECTION TO SAFEGUARD AGAINST UPLIFT AT EACH LEVEL.
- FASTENERS FOR WOOD CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE FOLLOWING STANDARDS UNLESS NOTED OTHERWISE:

NAILS FOR METAL CONNECTORS: MANUFACTURER'S RECOMMENDATIONS

STEEL BOLTS AND THREADED STOCK: ASTM A307

GALVANIZED OR STAINLESS STEEL FASTENERS SHALL BE USED AT EXTERIOR OR MOIST CONDITIONS

- STRUCTURAL WOOD PANEL MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE APFA ENGINEERED WOOD ASSOCIATION AND SHALL BEAR A STAMP INDICATING THICKNESS, SPAN RATINGS, AND TYPE. PLYWOOD SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE FOLLOWING TABLE AND SHALL BE ERRECTED WITH THE FACE GRAIN PERPENDICULAR TO SUPPORTS.
- LUMBER AND WOOD PANELS DELIVERED TO THE JOB SITE SHALL BE PROTECTED FROM MUD, ICE, WATER, AND SNOW, AND SHALL BE STORED OFF THE GROUND IN A MANNER TO PRESERVE THE STRAIGHTNESS OF THE PIECES.

TYPE	APPLICATION	SPECIES	GRADE	TREATMENT	FB (PSI)	PV (PSI)	FC (PSI)	E (PSI)
DIMENSION LUMBER	JOISTS, BEAMS, RAFTERS	SPRUCE-PINE-FIR	NO. 2	NONE	175	70	575	1,100,000
DIMENSION LUMBER	POSTS & STUDS	SPRUCE-PINE-FIR	NO. 2	NONE	175	70	575	1,100,000
DIMENSION LUMBER	MOIST CONDITIONS	MIXED SOUTHERN FINE	NO. 2	PRESERVATIVE PRESSURE TR.	1300	40	1400	1,400,000
LAMINATED VENEER LUMBER	BUILT-UP BEAMS	MANUFACTURED	1.0 E	NONE	2600	285	2400	1,800,000
PARALLEL STRAND LUMBER	POSTS, BEAMS	MANUFACTURED	2.0 E	NONE	2900	290	2900	2,000,000

APPLICATION	TYPE	THICKNESS	SPAN RATING	EXPOSURE CLASS	EDGE
SUBFLOORS	STURDI-FLOOR	3/4"	24 O.C.	EXPOSURE 1	T&G
EXTERIOR WALLS	RATED SHEATHING	1/2"	32 / 16	EXTERIOR	PLAIN
ROOF SHEATHING	RATED SHEATHING	5/8"	32 / 16	EXTERIOR	PLAIN

FOUNDATIONS:

- ALL FOUNDATIONS SHALL BE SUPPORTED ON UNDISTURBED GRANULAR SOIL OR COMPACTED FILL HAVING A CAPACITY OF 2000 PSF. SOIL BEARING STRATUM & GROUNDWATER CONDITIONS ARE SUBJECT TO FIELD VERIFICATION. REMOVE ALL LOAM AND ORGANIC MATERIAL BENEATH.
- THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 4'-0" BELOW THE LOWEST ADJACENT SURFACE SUBJECT TO FREEZING.
- THE GENERAL CONTRACTOR SHALL MAINTAIN CONTROL OVER GROUNDWATER TO KEEP ALL EXCAVATIONS DRY DURING CONSTRUCTION.
- CONCRETE SHALL NOT BE PLACED AGAINST WET OR FROZEN SOIL.
- COMPACTED STRUCTURAL FILL SHALL BE GRANULAR MATERIAL COMPACTED TO 95% DENSITY IN 6" LIFTS.
- NEW FOUNDATIONS SHALL NOT BE UNDERMINED FOR THE PLACEMENT OF UTILITY LINES.

CONCRETE

- ALL CONCRETE SHALL BE NORMAL WEIGHT, 3/4" AGGREGATE WITH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- STEEL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED. ALL BARS SHALL BE LAPPED 40 DIAMETERS UNLESS NOTED OTHERWISE ON THIS DRAWING. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- NO ALUMINUM CONDUIT SHALL BE CAST INTO CONCRETE.
- MINIMUM CLEAR CONCRETE COVER OVER REINFORCING STEEL (FROM TIES TO FACE OF CONCRETE):
 - FORMED CONCRETE EXPOSED TO EARTH, WEATHER, OR WATER: 2"
 - CONCRETE PLACED AGAINST EARTH: 3"
 - TOP SURFACES OF SLAB: 1"
- NEW CONCRETE SHALL BE CURED USING PLASTIC SHEETS, FREE WATER, OR SPRAY-ON CURING MEMBRANE ON UNFORMED SURFACES.
- INTERIOR SLABS SHALL RECEIVE SMOOTH TROWEL FINISH. FORMS SHALL REMAIN IN PLACE UNTIL THE CONCRETE IS SUFFICIENTLY STRONG TO TOLERATE REMOVAL OF FORMWORK WITHOUT DAMAGE.
- USE 2#5 AT ALL RE-ENTRANT CORNERS OR OPENINGS IN SLABS AND WALLS.
- ALL BASEMENT WALLS SHALL BE FULL HEIGHT CONCRETE FROM THE BASEMENT FLOOR TO THE FIRST FLOOR. WOOD CRIPPLE WALLS ARE PROHIBITED. BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT WALLS UNTIL THE BASEMENT FLOOR SLAB IS IN PLACE.
- DETAILS NOT INDICATED ON DRAWINGS SHALL CONFORM TO ACI 315 DETAILING MANUAL AND CRSI CODE OF STANDARD PRACTICE.

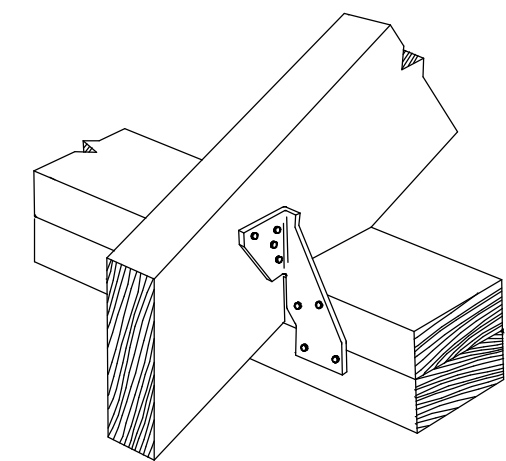
LVL FASTENING SCHEDULE

Maximum Uniform Load Allowed to Either or Both Outside Pieces (Pounds per linear foot)

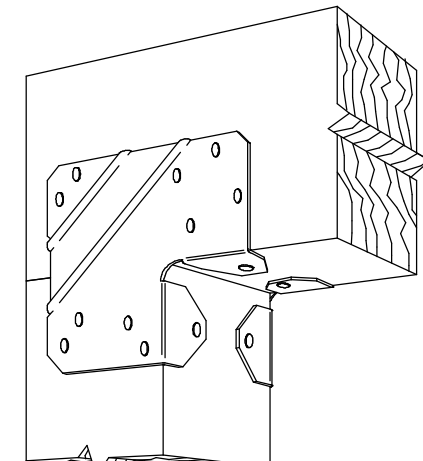
Pieces in Member	1 1/2" BOLTS				SCREWS (Note 1)			
	A	B	C	D	E	F	G	H
2	800	1600	2400	3200	800	1600	2400	3200
3	500	1000	1500	2000	500	1000	1500	2000
4	300	600	900	1200	300	600	900	1200
3	Not Permitted	340	675	1015	350	700	1050	1400

NOTES:

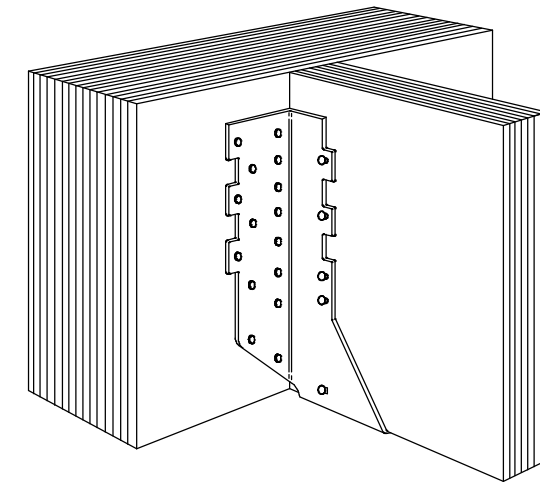
- Confirm adequacy of the beam (depth and number of pieces) for carrying the designated load.
- Stress level for nail and bolt values is 100%. Increases of 15% for snow loaded or 25% for non-snow loaded roof conditions are permitted.
- Top and bottom row of connectors should be 2" from edge.
- Both sides are to be the same diameter and both. Every bolt must extend through the full thickness of the member. Use washers under head and nut.
- For three-piece member, specified nailing is from the ends only.
- To minimize rotation, four-piece members should only be used when loads are applied to both sides, or completely across the top of the member.
- Four-piece members must be bolted or attached with plates across from both sides.
- Floor joists must be attached with approved metal hangers.
- Screws are USP #10 series or Simpson Strong-Tie SDS installed per manufacturer instructions.
- Screws for 3-ply and 4-ply members must be from both sides of beam.



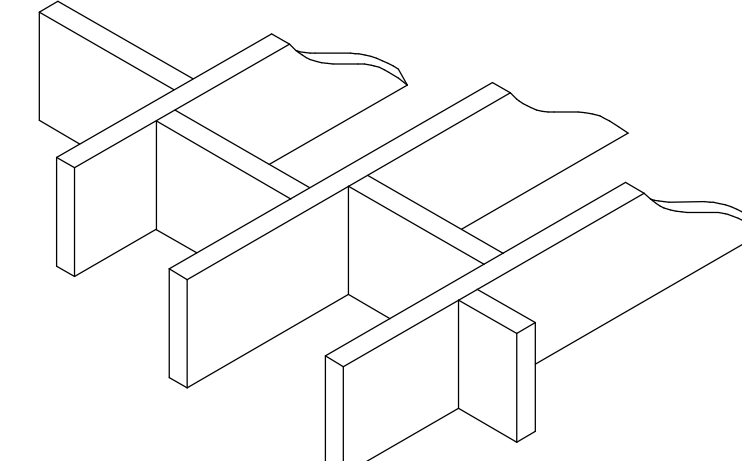
TYPICAL HURRICANE ANCHOR



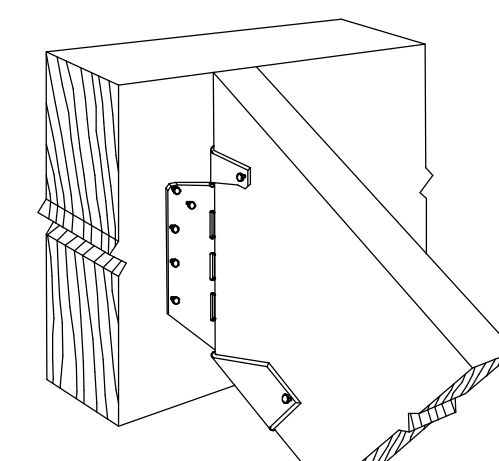
TYPICAL POST-BEAM CONNECTION



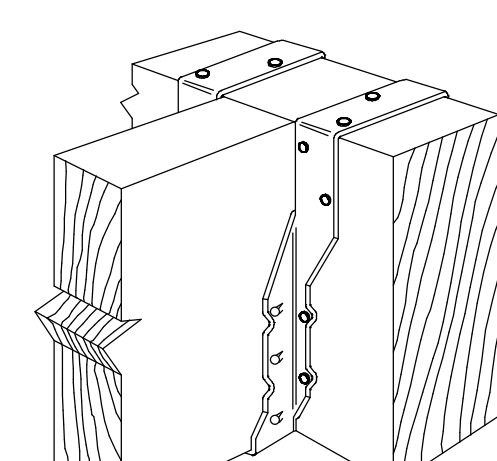
TYPICAL JOIST-BEAM CONNECTION (NOT FOR USE AT LEDGERS)



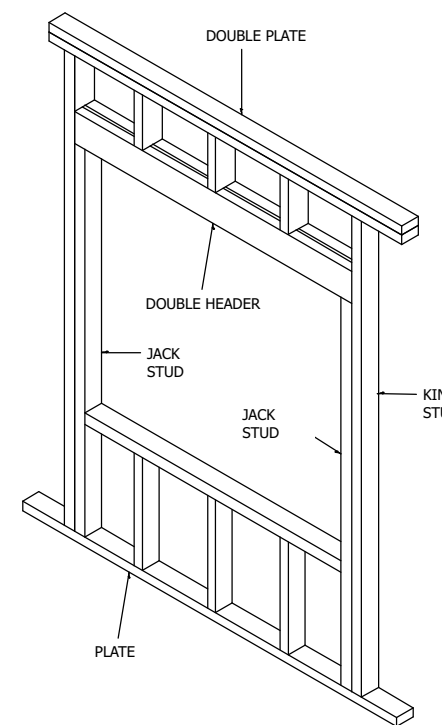
SOLID BLOCKING DETAIL



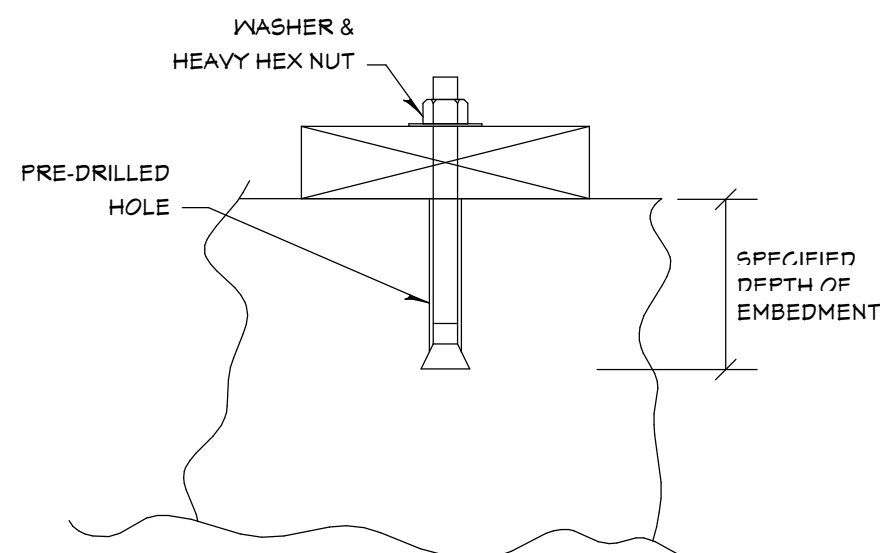
SLOPE/SKEWED HANGER



TYPICAL TOP-BEARING JOIST HANGER (TO BE USED AT LEDGERS)



TYPICAL WINDOW FRAMING



WEDGE ANCHOR

CONTRACTOR
GUILLAUME SCHMITT
48 STONEHILL RD.
BOSTON, MA 02136

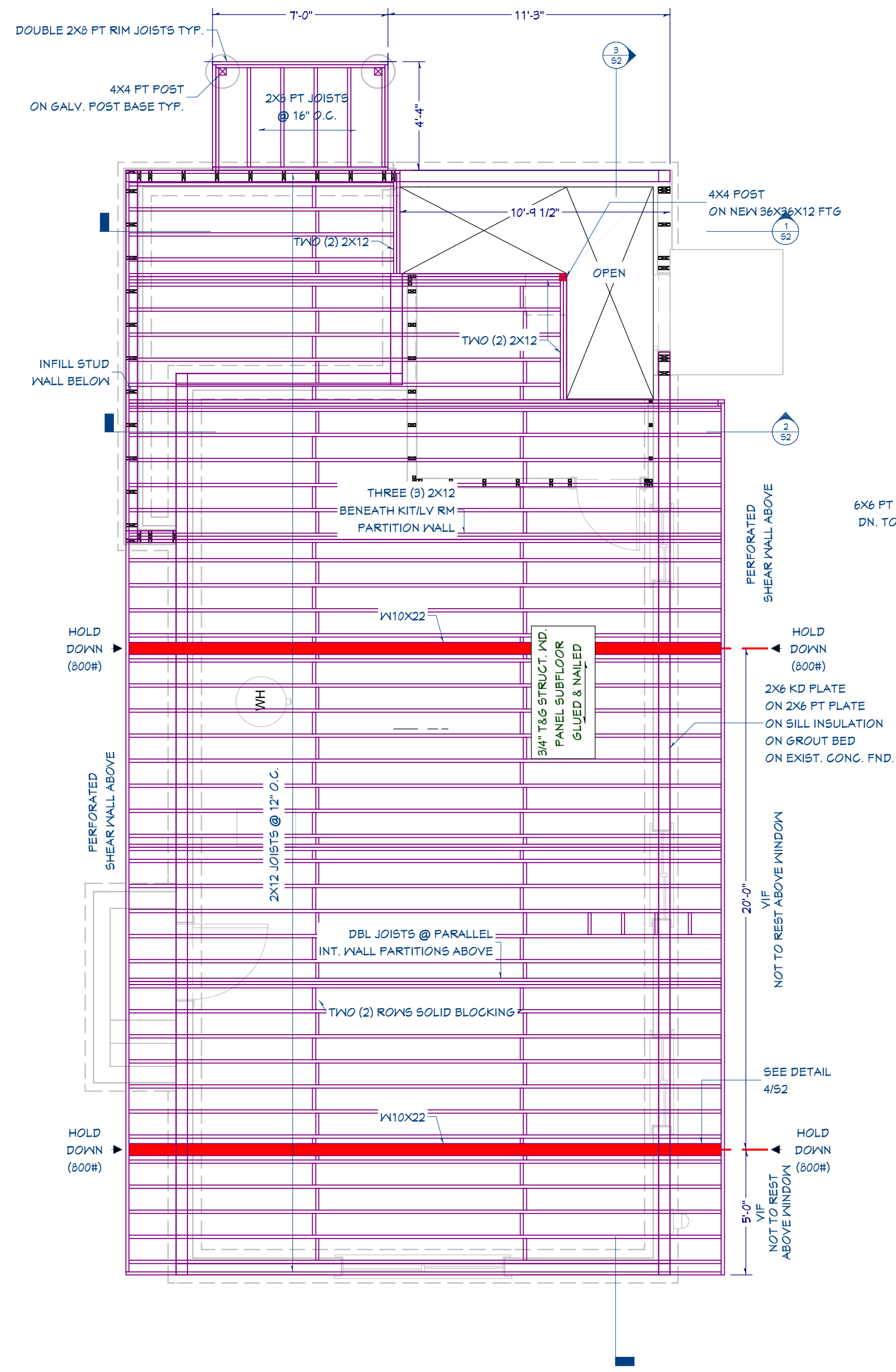
ENGINEER
Structural Integrity Engineering Group, Inc.
11 Salem St., Suite 2
Medford, MA 02155
781-991-3022

TITLE
STRUCTURAL NOTES

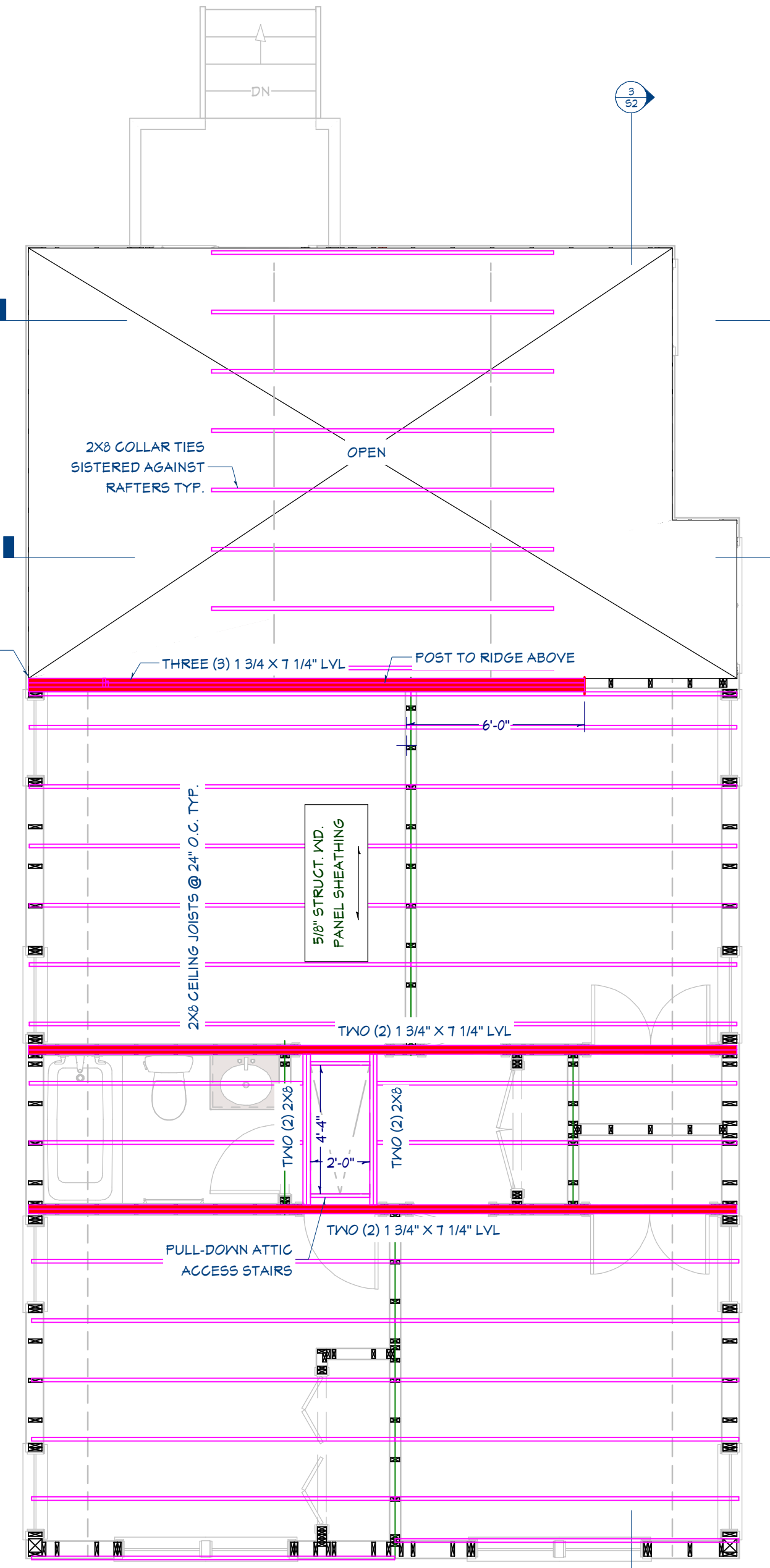
OWNER
SCHMITT RENOVATIONS
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DATE
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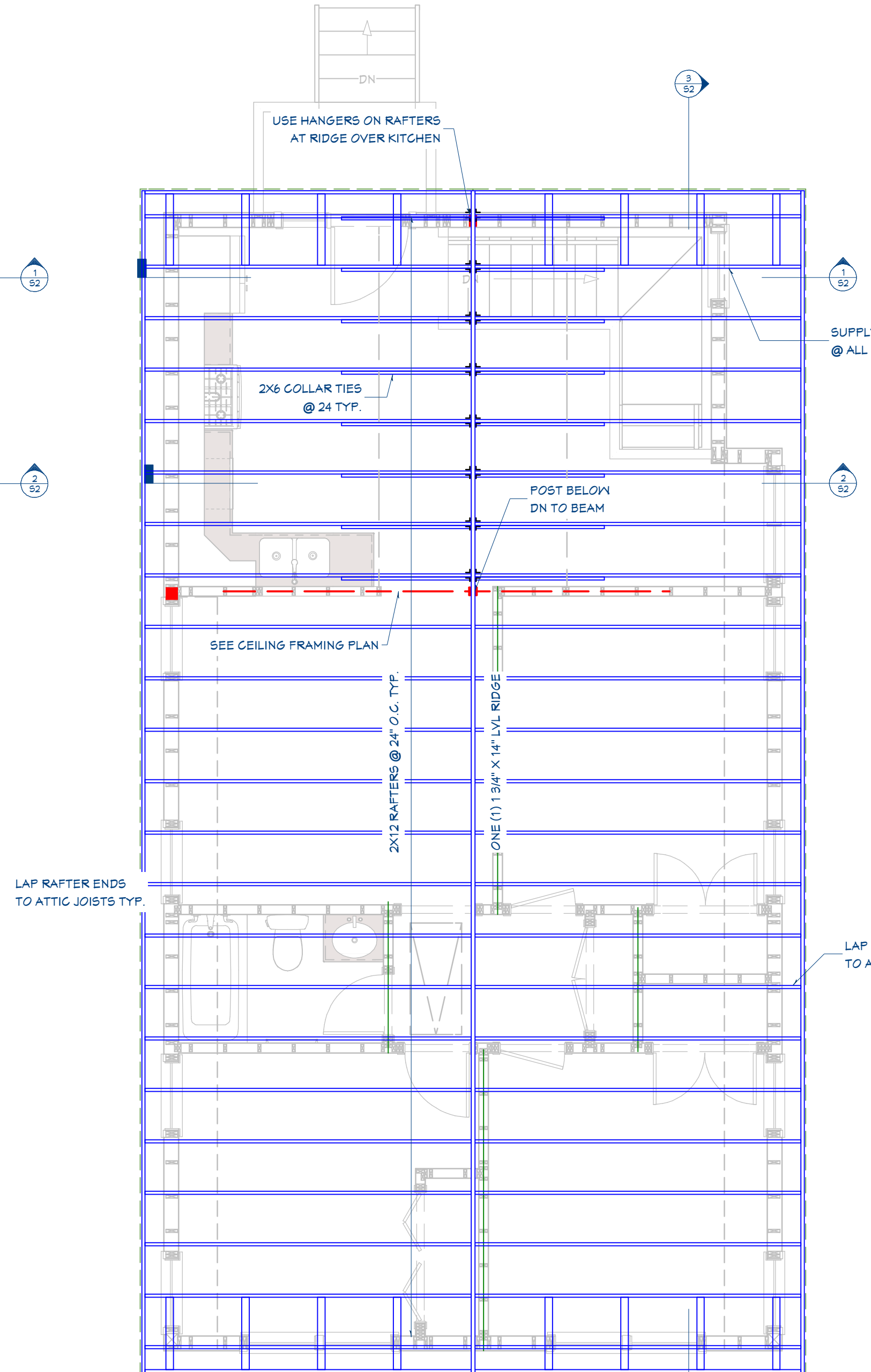
51



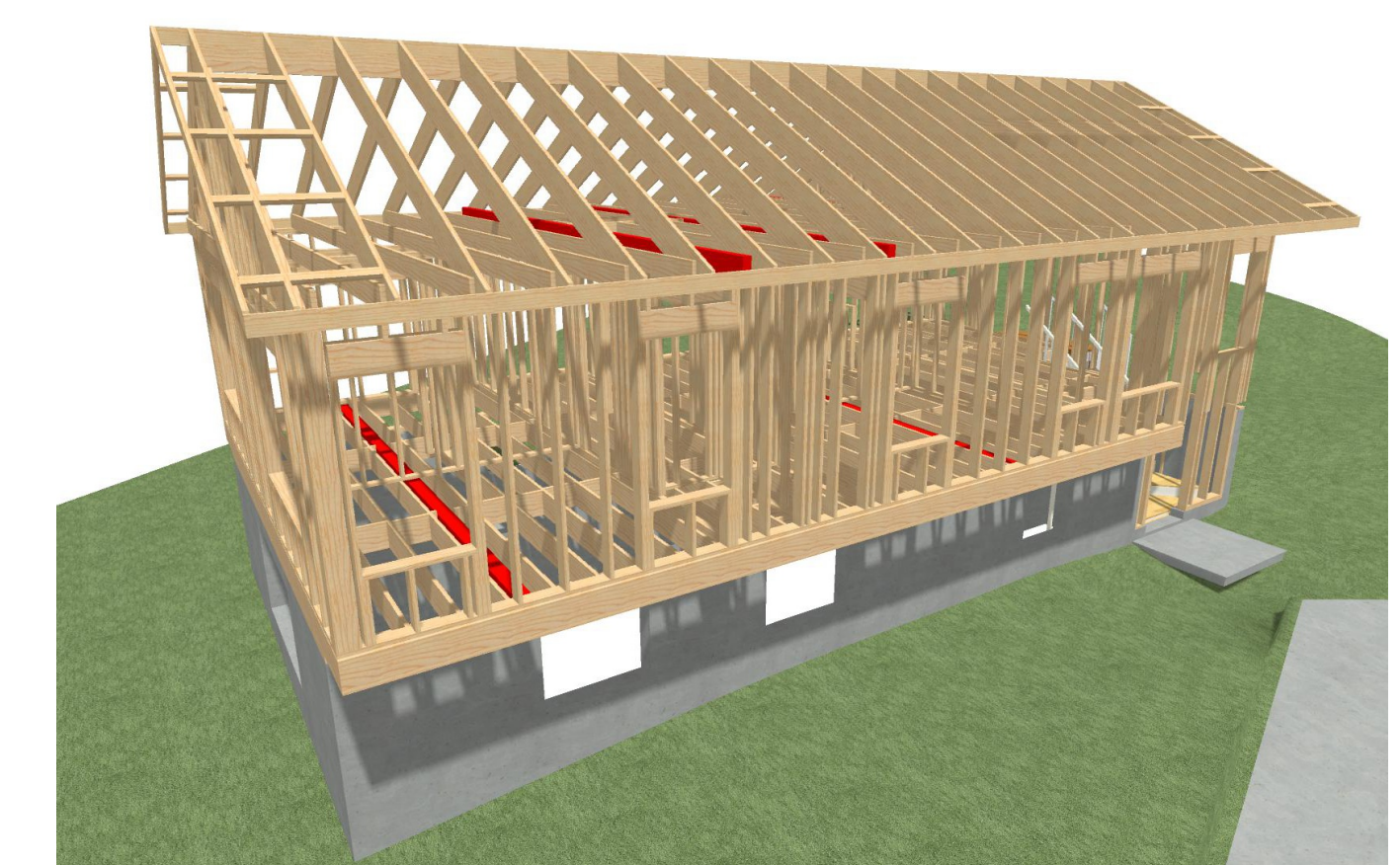
1 FLOOR FRAMING PLAN
S2 SCALE: 1/4" = 1'-0"



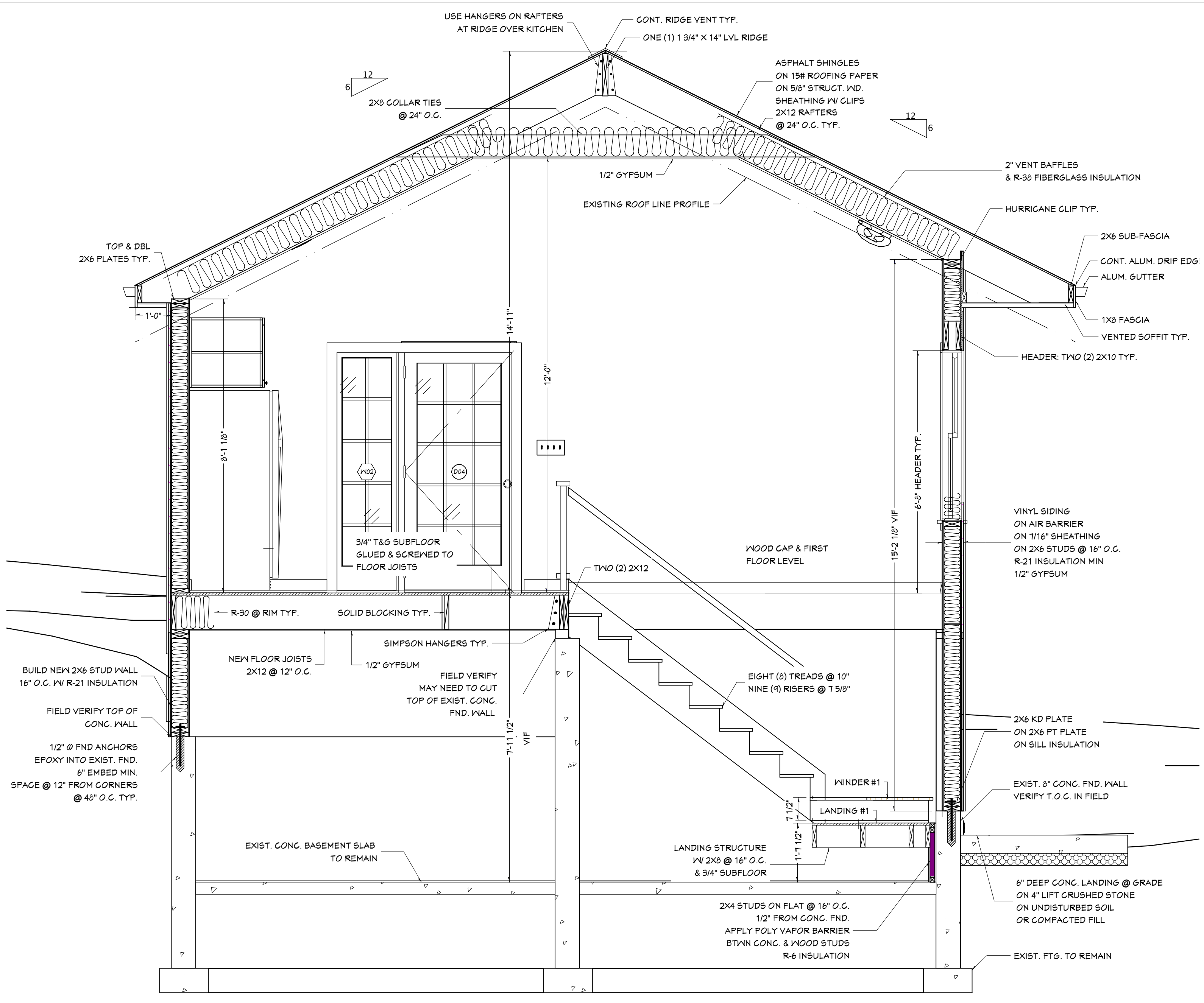
2 CEILING FRAMING PLAN
S2 SCALE: 1/4" = 1'-0"



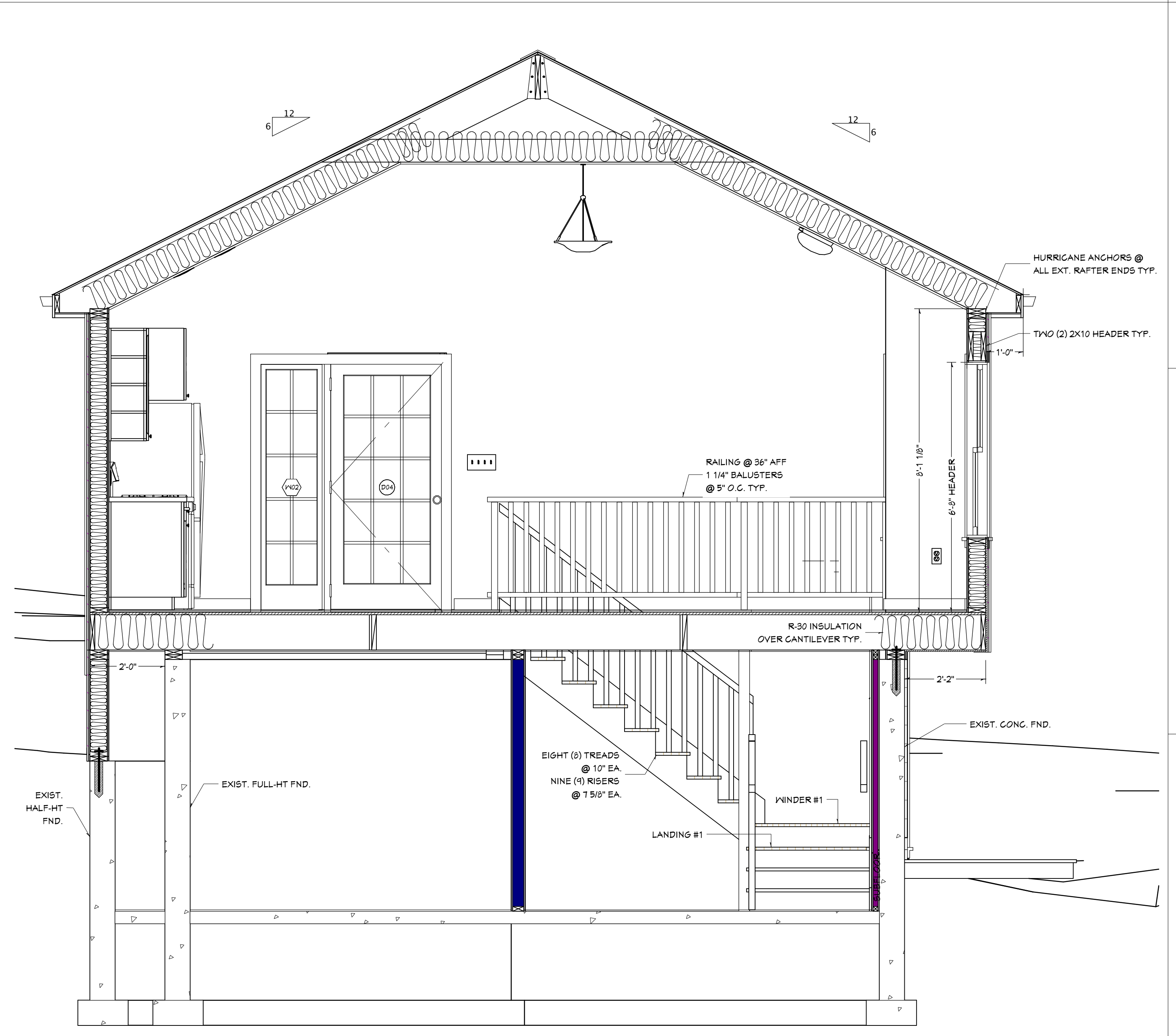
3 ROOF FRAMING PLAN
S2 SCALE: 1/4" = 1'-0"



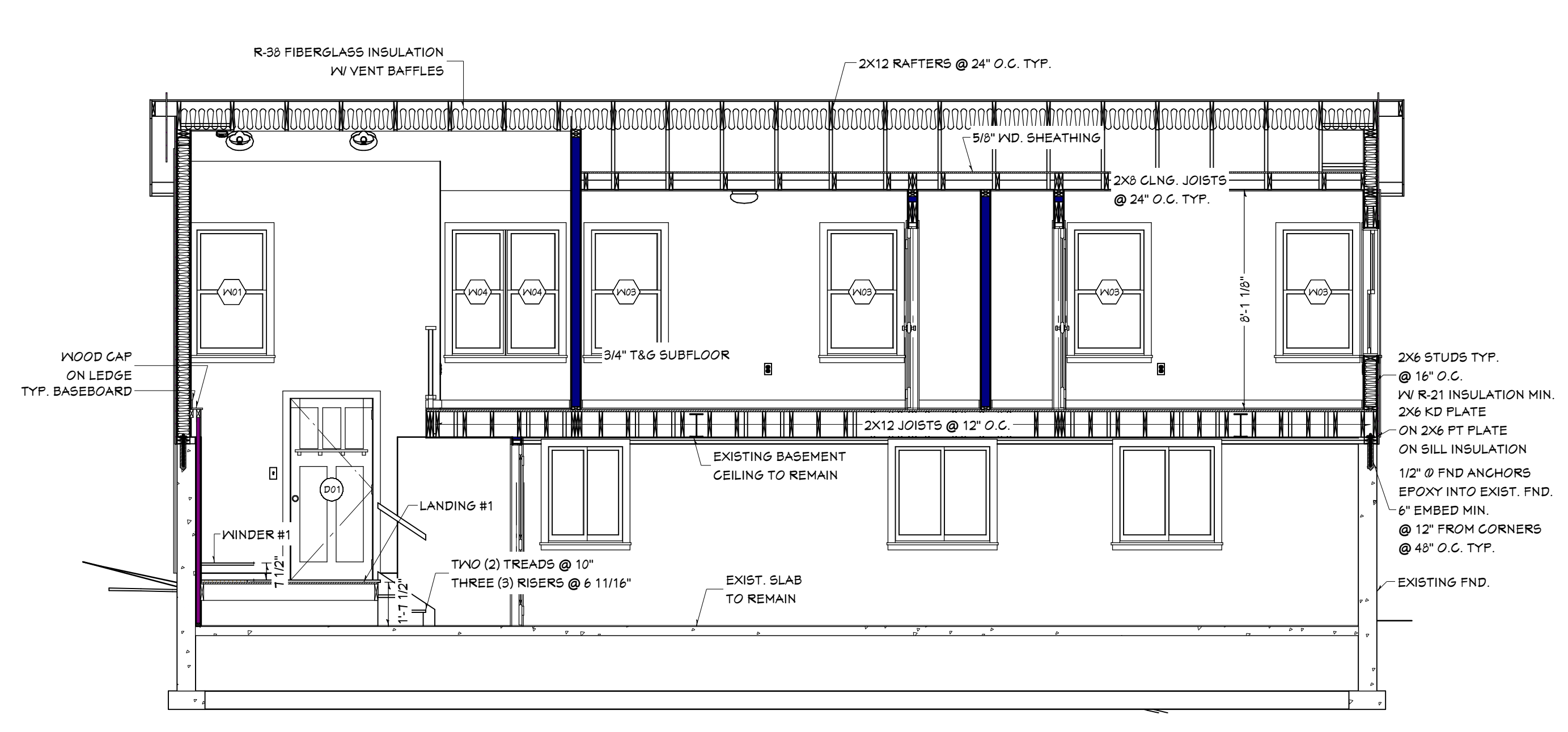
RENDERING: FRAMING
 RENDERINGS FOR ILLUSTRATION ONLY.
 FURNITURE AND LANDSCAPING NOT IN CONTRACT.
 FINAL FINISH MATERIAL AND COLOR MAY BE CHANGED.
 SEE CONTRACT FOR DETAILS.



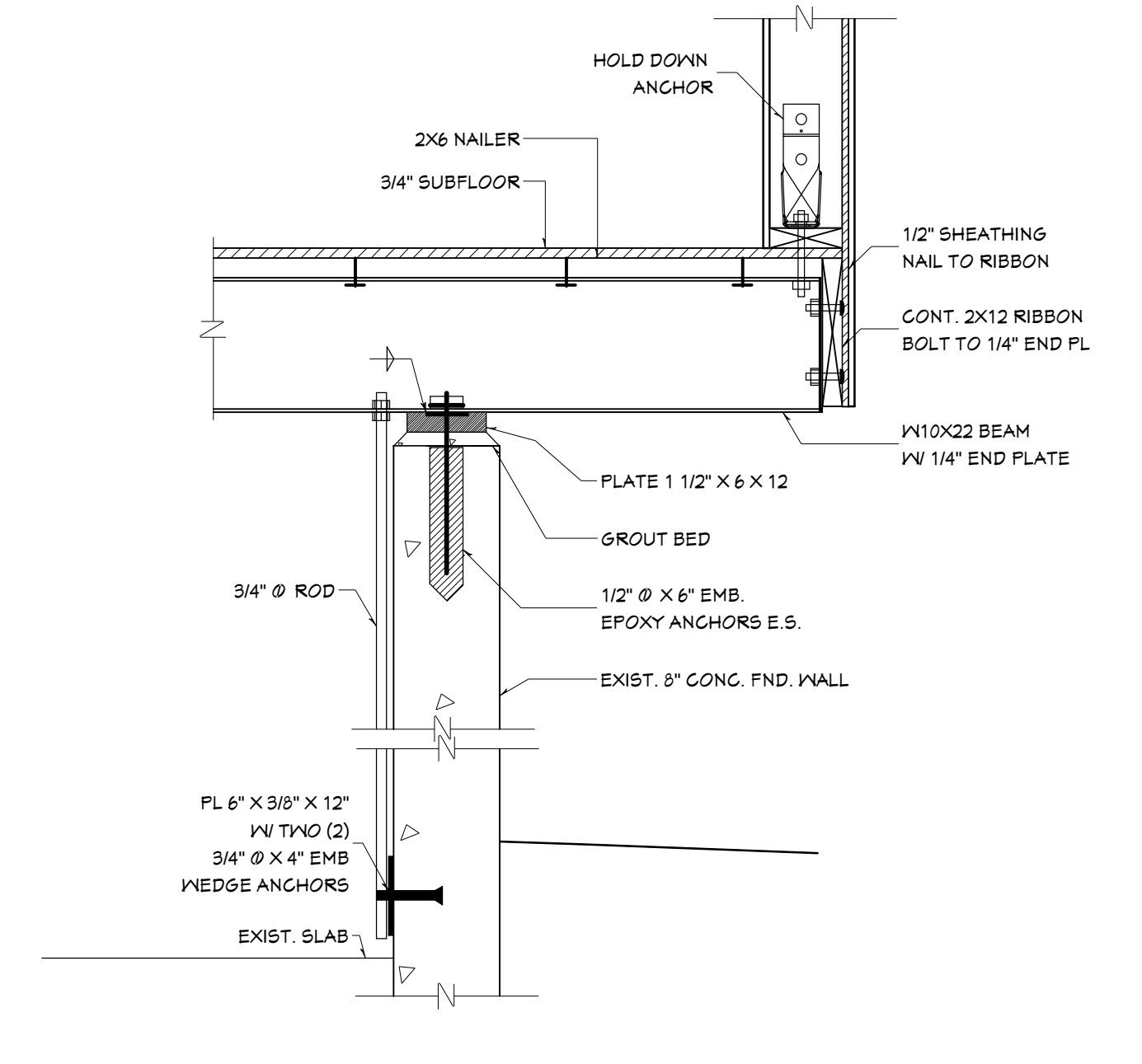
1 BUILDING SECTION
S3 SCALE: 1/2" = 1'-0"



2 BUILDING SECTION II
S3 SCALE: 1/2" = 1'-0"



3 BUILDING SECTION III
S3 SCALE: 1/4" = 1'-0"



4 STEEL HOLD-DOWN DETAIL
S3 SCALE: 1" = 1'-0"

CONTRACTOR
GUILLAUME SCHMITT
 43 STONEHILL RD.
 BOSTON, MA 02136

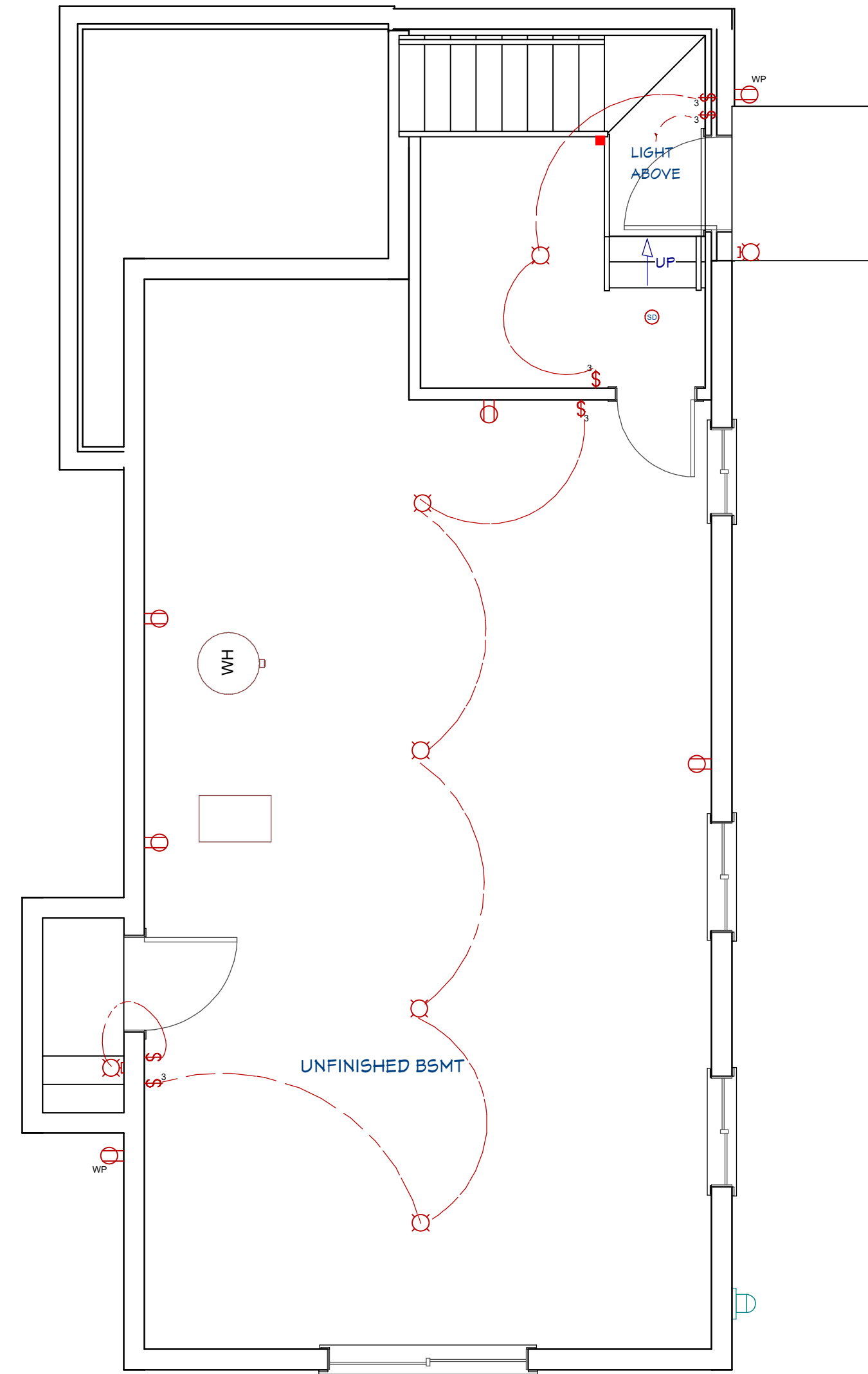
ENGINEER
 Structural Integrity Engineering Group, Inc.
 11 Salem St., Suite 2
 Medford, MA 02155
 781-391-3022

TITLE
SECTION VIEWS

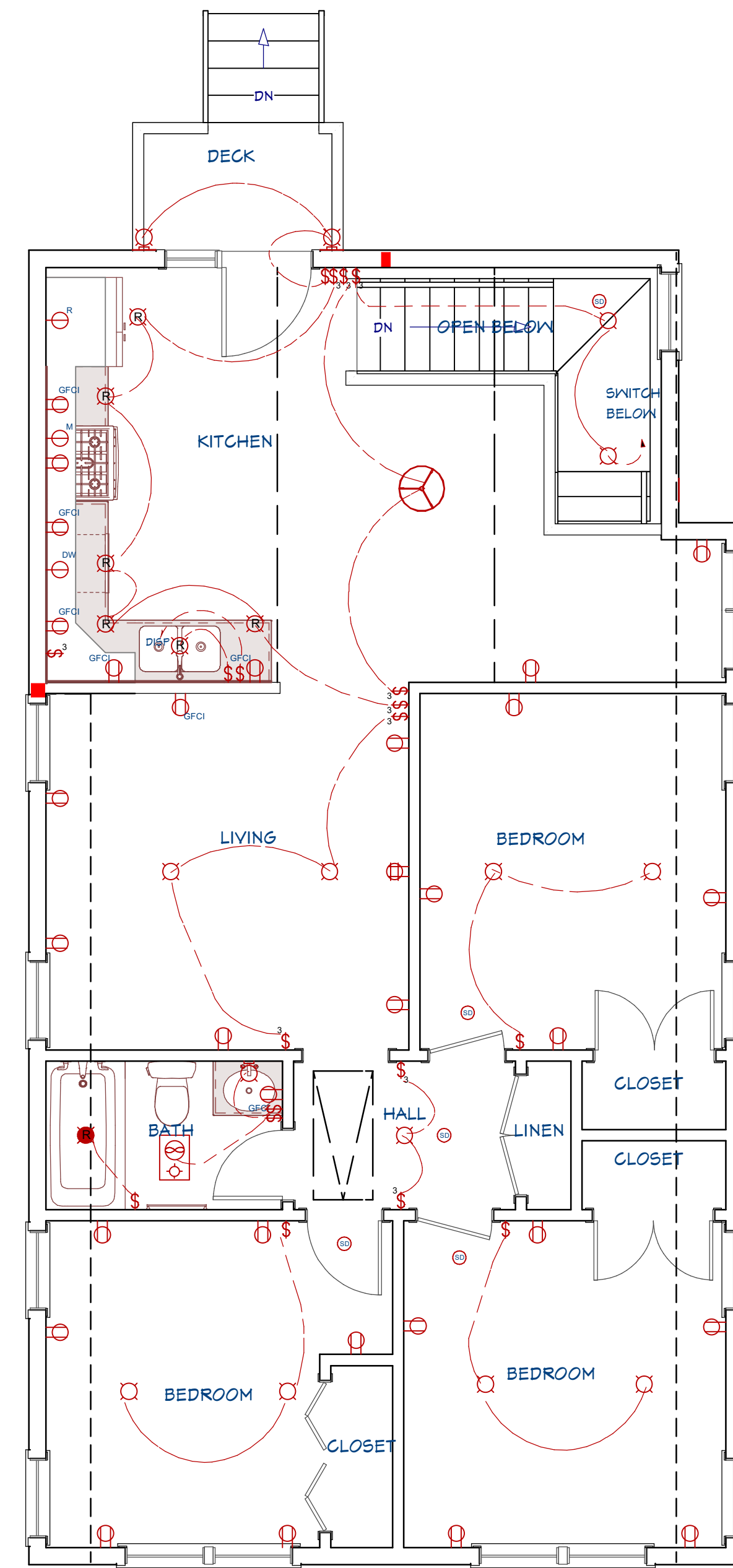
OWNER
SCHMITT RENOVATIONS
 43 STONEHILL RD.
 BOSTON, MA 02136

DATE
 1/6/17

S3



1 BASEMENT ELECTRICAL PLAN
E1 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR ELECTRICAL PLAN
E1 SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

- 1) SMOKE DETECTORS:
 - a) TO BE HARDWIRED 3% PHOTO ELECTRIC W/ BATTERY BACKUP
 - b) TO BE AT TOP & BOTTOM OF EVERY STAIRWAY
 - c) TO BE IN EVERY BEDROOM AT ENTRANCE
- 2) FINAL ELECTRICAL LAYOUT TBD WITH HOMEOWNER AND ELECTRICIAN
- 3) QUALIFIED ELECTRICIAN TO INSTALL ELECTRICAL SYSTEM
- 4) ELECTRICIAN AND CONTRACTOR TO COORDINATE INSTALLATION PHASE

ELECTRICAL LEGEND	
SWITCHES	Ⓢ SINGLE POLE SWITCH
	Ⓢ SINGLE POLE DIMMER
	Ⓢ 3-WAY SWITCH
	Ⓢ 3-WAY DIMMER
	Ⓢ 4-WAY SWITCH
	Ⓢ DOOR ACTIVATED
OUTLETS	Ⓞ DUPLEX RECEPTACLE
	Ⓞ FLOOR MOUNTED DUPLEX RECEPTACLE
	Ⓞ WATERPROOF DUPLEX
	Ⓞ G.F.C.I. DUPLEX
	Ⓞ SPLIT-WIRED DUPLEX
	Ⓞ 220V DUPLEX RECEPTACLE
	Ⓞ QUADRUPLEX RECEPTACLE
	Ⓞ RECESSED LIGHT
	Ⓞ CEILING FIXTURE
	Ⓞ CEILING MOUNTED MINI CAN LIGHT
	Ⓞ PENDANT LIGHT
LIGHT FIXTURES	Ⓞ CEILING MOUNT SURFACE FLUORESCENT
	Ⓞ UNDER-CAB FLUORESCENT
	Ⓞ EXT. WALL LIGHT FIXTURE
	Ⓞ WALL SCONCE
	Ⓞ SECURITY LIGHT
	Ⓞ EXHAUST/LIGHT COMBO
FUNCTIONAL	Ⓞ SMOKE DETECTOR
	Ⓞ WALL MOUNTED SMOKE DETECTOR
	Ⓞ CO DETECTOR
	Ⓞ THERMOSTAT
	Ⓞ DOORBELL
	Ⓞ TELEPHONE
	Ⓞ COAXIAL TV CABLE
	Ⓞ COMPUTER NETWORK CABLE