



Boston Inspectional Services Department

Planning and Zoning Division

1010 Massachusetts Avenue, 5th Floor, Boston, MA 02118 Telephone: (617) 635-5300

Kim Janey
Mayor

MORE INFORMATION REQUEST LETTER

Marc Joseph
Inspector of Buildings

June 25, 2021

FLORRIE MAHONEY
11 HILTON ST
HYDE PARK, MA 02136

RE: Application #: **ERT1197720**
Location: 77A W Milton St, Ward 18
Zoning District: Hyde Park Neighborhood, 1F-6000
Purpose: Erect new single family home on a vacant lot consisting of 7972 sq ft of land.
eplan

The following information shall be provided to Inspectional Services Department to complete the Building Permit Plan Review:

1. City Agencies' Approvals:

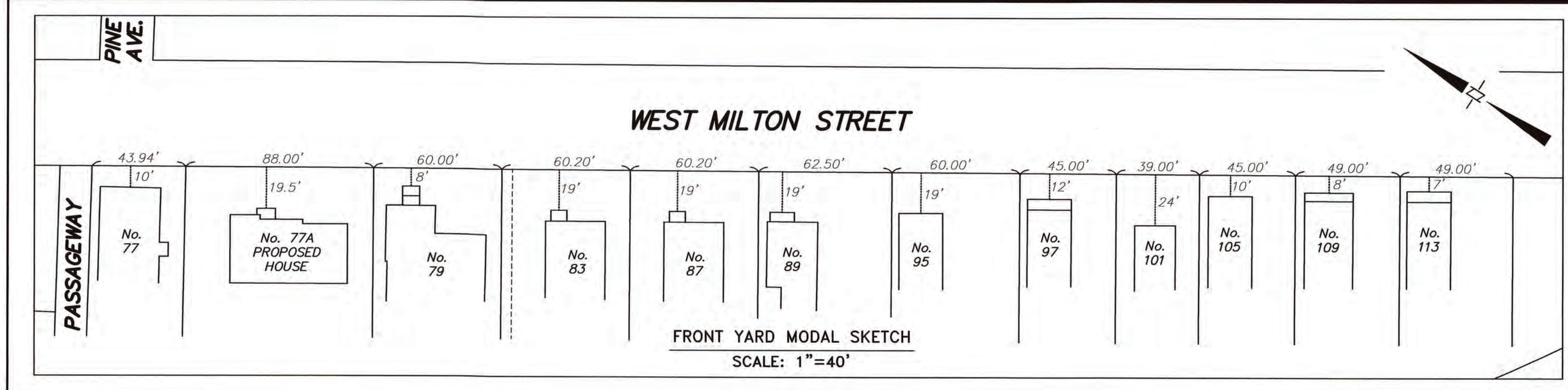
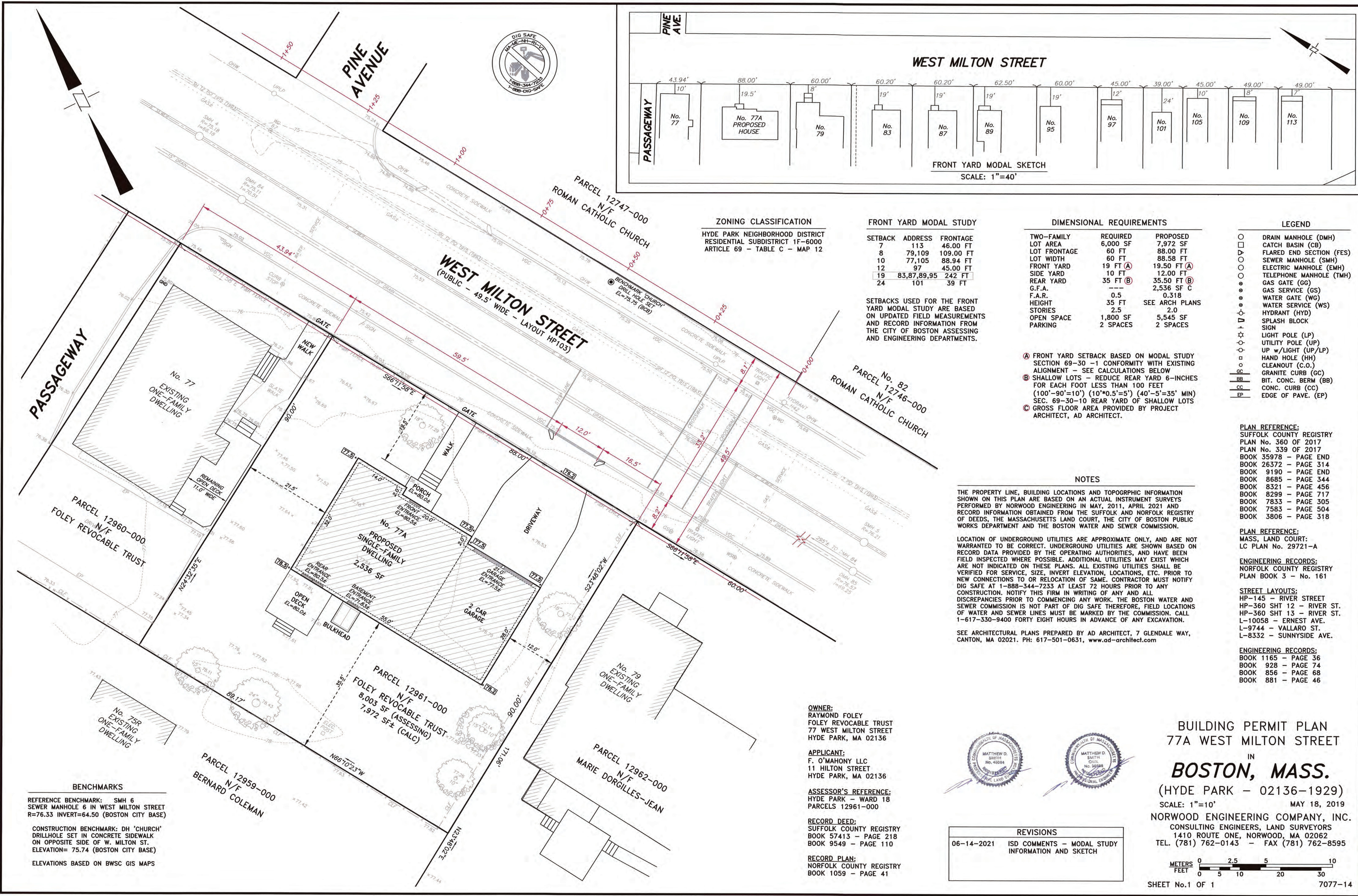
- Boston Planning and Development Agency: Two Sets of Approved Drawings: 1 electronic copy. NDOD
- Department of Public Works: curb cut review.
- Environmental Sanitation Department

2. Additional Information/Comments:

- The applicant shall e-mail ISDPZReview@boston.gov copying Jordi.segalesperez@boston.gov after uploading all the requested information and obtaining all the necessary approvals (if requested). Please don't email until **everything** requested here is ready. We don't do partial reviews to be more efficient. If you have any questions, the best way to reach me is through email.

All construction documents shall be organized in two sets, submitted together (no partial information will be accepted), and dropped off at Inspectional Services Department with the above referenced application number or re-uploaded on the portal if it is an ePlan application. More information may be required. Please be advised that the time limitation of your application shall be 180 days, otherwise it shall be deemed abandoned per 780 CMR. Thank you for your assistance.

Jordi Segales-Perez, Plans Examiner
jordi.segalesperez@boston.gov / (617) 961-3280



ZONING CLASSIFICATION
 HYDE PARK NEIGHBORHOOD DISTRICT
 RESIDENTIAL SUBDISTRICT 1F-6000
 ARTICLE 69 - TABLE C - MAP 12

FRONT YARD MODAL STUDY

SETBACK	ADDRESS	FRONTAGE
7	113	46.00 FT
8	79, 109	109.00 FT
10	77, 105	88.94 FT
12	97	45.00 FT
19	83, 87, 89, 95	242 FT
24	101	39 FT

SETBACKS USED FOR THE FRONT YARD MODAL STUDY ARE BASED ON UPDATED FIELD MEASUREMENTS AND RECORD INFORMATION FROM THE CITY OF BOSTON ASSESSING AND ENGINEERING DEPARTMENTS.

DIMENSIONAL REQUIREMENTS

	REQUIRED	PROPOSED
TWO-FAMILY LOT AREA	6,000 SF	7,972 SF
LOT FRONTAGE	60 FT	88.00 FT
LOT WIDTH	60 FT	88.58 FT
FRONT YARD	19 FT (A)	19.50 FT (A)
SIDE YARD	10 FT	12.00 FT
REAR YARD	35 FT (B)	35.50 FT (B)
G.F.A.	---	2,536 SF C
F.A.R.	0.5	0.318
HEIGHT	35 FT	SEE ARCH PLANS
STORIES	2.5	2.0
OPEN SPACE	1,800 SF	5,545 SF
PARKING	2 SPACES	2 SPACES

- LEGEND**
- DRAIN MANHOLE (DMH)
 - CATCH BASIN (CB)
 - ▭ FLARED END SECTION (FES)
 - SEWER MANHOLE (SMH)
 - ELECTRIC MANHOLE (EMH)
 - TELEPHONE MANHOLE (TMH)
 - GAS GATE (GG)
 - GAS SERVICE (GS)
 - WATER GATE (WG)
 - WATER SERVICE (WS)
 - HYDRANT (HYD)
 - SPLASH BLOCK
 - SIGN
 - ☆ LIGHT POLE (LP)
 - UTILITY POLE (UP)
 - UP w/LIGHT (UP/LP)
 - HAND HOLE (HH)
 - CLEANOUT (C.O.)
 - ▭ GRANITE CURB (GC)
 - ▭ BIT. CONC. BERM (BB)
 - ▭ CONC. CURB (CC)
 - ▭ EDGE OF PAVE. (EP)

- (A) FRONT YARD SETBACK BASED ON MODAL STUDY SECTION 69-30 - 1 CONFORMITY WITH EXISTING ALIGNMENT - SEE CALCULATIONS BELOW
- (B) SHALLOW LOTS - REDUCE REAR YARD 6-INCHES FOR EACH FOOT LESS THAN 100 FEET (100'-90'=10') (10'*0.5'=5') (40'-5'=35' MIN) SEC. 69-30-10 REAR YARD OF SHALLOW LOTS
- (C) GROSS FLOOR AREA PROVIDED BY PROJECT ARCHITECT, AD ARCHITECT.

PLAN REFERENCE:
 SUFFOLK COUNTY REGISTRY
 PLAN No. 360 OF 2017
 PLAN No. 339 OF 2017
 BOOK 35978 - PAGE END
 BOOK 26372 - PAGE 314
 BOOK 9190 - PAGE END
 BOOK 8685 - PAGE 344
 BOOK 8321 - PAGE 456
 BOOK 8299 - PAGE 717
 BOOK 7833 - PAGE 305
 BOOK 7583 - PAGE 504
 BOOK 3806 - PAGE 318

PLAN REFERENCE:
 MASS. LAND COURT:
 LC PLAN No. 29721-A

ENGINEERING RECORDS:
 NORFOLK COUNTY REGISTRY
 PLAN BOOK 3 - No. 161

STREET LAYOUTS:
 HP-145 - RIVER STREET
 HP-360 SHT 12 - RIVER ST.
 HP-360 SHT 13 - RIVER ST.
 L-10058 - ERNEST AVE.
 L-9744 - VALLARO ST.
 L-8332 - SUNNYSIDE AVE.

ENGINEERING RECORDS:
 BOOK 1165 - PAGE 36
 BOOK 928 - PAGE 74
 BOOK 856 - PAGE 68
 BOOK 881 - PAGE 46

NOTES

THE PROPERTY LINE, BUILDING LOCATIONS AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN ARE BASED ON AN ACTUAL INSTRUMENT SURVEYS PERFORMED BY NORWOOD ENGINEERING IN MAY, 2011, APRIL 2021 AND RECORD INFORMATION OBTAINED FROM THE SUFFOLK AND NORFOLK REGISTRY OF DEEDS, THE MASSACHUSETTS LAND COURT, THE CITY OF BOSTON PUBLIC WORKS DEPARTMENT AND THE BOSTON WATER AND SEWER COMMISSION.

LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, AND HAVE BEEN FIELD INSPECTED WHERE POSSIBLE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. THE BOSTON WATER AND SEWER COMMISSION IS NOT PART OF DIG SAFE THEREFORE, FIELD LOCATIONS OF WATER AND SEWER LINES MUST BE MARKED BY THE COMMISSION. CALL 1-617-330-9400 FORTY EIGHT HOURS IN ADVANCE OF ANY EXCAVATION.

SEE ARCHITECTURAL PLANS PREPARED BY AD ARCHITECT, 7 GLENDALE WAY, CANTON, MA 02021. PH: 617-501-0631, www.ad-architect.com

OWNER:
 RAYMOND FOLEY
 FOLEY REVOCABLE TRUST
 77 WEST MILTON STREET
 HYDE PARK, MA 02136

APPLICANT:
 F. O'MAHONY LLC
 11 HILTON STREET
 HYDE PARK, MA 02136

ASSESSOR'S REFERENCE:
 HYDE PARK - WARD 18
 PARCELS 12961-000

RECORD DEED:
 SUFFOLK COUNTY REGISTRY
 BOOK 57413 - PAGE 218
 BOOK 9549 - PAGE 110

RECORD PLAN:
 NORFOLK COUNTY REGISTRY
 BOOK 1059 - PAGE 41



REVISIONS

DATE	DESCRIPTION
06-14-2021	ISD COMMENTS - MODAL STUDY INFORMATION AND SKETCH

BUILDING PERMIT PLAN
77A WEST MILTON STREET
 IN
BOSTON, MASS.

(HYDE PARK - 02136-1929)

SCALE: 1"=10' MAY 18, 2019

NORWOOD ENGINEERING COMPANY, INC.
 CONSULTING ENGINEERS, LAND SURVEYORS
 1410 ROUTE ONE, NORWOOD, MA 02062
 TEL. (781) 762-0143 - FAX (781) 762-8595



BENCHMARKS
 REFERENCE BENCHMARK: SMH 6
 SEWER MANHOLE 6 IN WEST MILTON STREET
 R=76.33 INVERT=64.50 (BOSTON CITY BASE)
 CONSTRUCTION BENCHMARK: DH 'CHURCH'
 DRILLHOLE SET IN CONCRETE SIDEWALK
 ON OPPOSITE SIDE OF W. MILTON ST.
 ELEVATION= 75.74 (BOSTON CITY BASE)
 ELEVATIONS BASED ON BWSC GIS MAPS

LEGEND

- DRAIN MANHOLE (DMH)
○ CATCH BASIN (CB)
▽ FLARED END SECTION (FES)
○ SEWER MANHOLE (SMH)
○ ELECTRIC MANHOLE (EMH)
○ TELEPHONE MANHOLE (TMH)
● GAS GATE (GG)
● GAS SERVICE (GS)
● WATER GATE (WG)
● WATER SERVICE (WS)
○ HYDRANT (HYD)
▽ SPLASH BLOCK SIGN
○ LIGHT POLE (LP)
○ UTILITY POLE (UP)
○ UP w/LIGHT (UP/LP)
○ HAND HOLE (HH)
○ CLEANOUT (C.O.)
○ GRANITE CURB (GC)
○ BIT. CONC. BERM (BB)
○ CONC. CURB (CC)
○ EDGE OF PAVE. (EP)



PROPOSED STORMWATER INFILTRATION NOTES

THERE IS 1,214 SQUARE FEET OF IMPERVIOUS AREA ON THE EXISTING LOT. THE PROPOSED IMPERVIOUS AREA ON THE LOT WILL BE APPROXIMATELY 2,337 SQUARE FEET, AN INCREASE 1,123 SQUARE FEET. TO COMPLY WITH THE COMMISSION'S REQUIRED MINIMUM 1" OF STORMWATER STORAGE PER SQUARE FOOT OF IMPERVIOUS AREA THE PROPOSED INFILTRATION SYSTEMS MUST HAVE A COMBINED MINIMUM STORAGE CAPACITY OF 194 CUBIC FEET (1,451 GALLONS) (2337 SF x 0.083 FT = 193.97 CF REQ'D, USE 194 CF).

BENCHMARKS

REFERENCE BENCHMARK: SMH 6 SEWER MANHOLE 6 IN WEST MILTON STREET - RIM=76.33 - INVERT=64.50 (BCB)
CONSTRUCTION BENCHMARK: DH 'CHURCH' DRILLHOLE SET IN CONCRETE SIDEWALK ON OPPOSITE SIDE OF WEST MILTON STREET ELEVATION= 75.74 (BOSTON CITY BASE)
THE ELEVATIONS BASED ON THE BOSTON WATER AND SEWER COMMISSION GIS MAPS

ZONING CLASSIFICATION

HYDE PARK NEIGHBORHOOD DISTRICT RESIDENTIAL SUBDISTRICT 1F-6000 ARTICLE 69 - TABLE C - MAP 12

PLAN NOTES

THE PROPERTY LINE, BUILDING LOCATIONS AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN ARE BASED ON AN ACTUAL INSTRUMENT SURVEYS PERFORMED BY NORWOOD ENGINEERING IN MAY, 2011, APRIL 2021 AND RECORD INFORMATION OBTAINED FROM THE SUFFOLK AND NORFOLK REGISTRY OF DEEDS, THE MASSACHUSETTS LAND COURT, THE CITY OF BOSTON PUBLIC WORKS DEPARTMENT AND THE BOSTON WATER AND SEWER COMMISSION.

THE EXISTING WATER AND SEWER SERVICE LOCATIONS SHOWN ARE FROM AVAILABLE BWSR RECORD DATA AND ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACCURATELY LOCATE THE EXISTING WATER AND SEWER LINES. IF THE EXISTING SEWER SERVICE IS TO BE USED THE CONTRACTOR SHALL VISUALLY INSPECT THE LINE BY EXCAVATION AND OR BY VIDEO OF THE PIPE AS REQUIRED BY THE COMMISSION.

BWSC USE ONLY

BOSTON WATER AND SEWER COMMISSION LOCATION APPROVED UNDER THE FOLLOWING CONDITIONS
No masonry, concrete, duct or pipe shall be placed nearer than one foot of water or sewer pipe.
No structure shall be laid on the same grade as a water or sewer pipe thereby blanketing the water and sewer pipe and preventing service pipes to be installed.
No structure shall be laid over a water or sewer pipe and running parallel with said water or sewer pipe, thereby preventing access to it from the surface of the street.
The bending of any water and sewer pipe is absolutely forbidden.
No interference with any water and sewer structure shall occur.
Reviewed and approved as to proposed connection(s) to existing Water and Sewer facilities as shown, for issue of Building Permit Only. Additional Permits must be obtained from B.W.S.C. prior to connection to B.W.S.C. facilities. Site Plans are valid for a period of one (1) year from date of approval.

JOHN P. SULLIVAN, JR. P.E. Chief Engineer

ALL WATER, SEWER AND DRAIN SERVICE CONNECTIONS TO BOSTON WATER AND SEWER COMMISSION FACILITIES MUST BE PERFORMED BY A BONDED DRAIN LAYER LICENSED BY THE BOSTON WATER AND SEWER COMMISSION.

EXISTING VACANT LOT

WEST MILTON STREET (EXISTING) HYDE PARK DISTRICT
LAND USE VACANT ASSESSORS No. 20-12916-000

PROPOSED DEVELOPED LOT

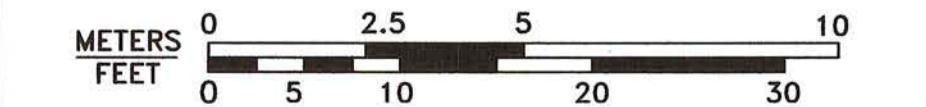
77A WEST MILTON STREET (NEW) BWSR ACCT No.
WATER METER No. LAND USE R1 (1-FAMILY)
GSA No. ASSESSORS PARCEL No. 20-12916-000

BWSC INSPECTIONS

- 1 1" TYPE K COPPER WATER CONNECTION AT MAIN (STA 0+49±) INSPECTOR DATE
2 5/8" WATER METER & MTU (INSIDE) INSPECTOR DATE
3 6" SDR-35 PVC SEWER CONNECTION AT MAIN (STA 0+59±) INSPECTOR DATE
4 INFILTRATION SYSTEM 'A' (CULTEC 280HD CHAMBER OR EQUAL) INSPECTOR DATE
5 J&R CONCRETE TRENCH DRAIN (OUTLET FOR INFIL. SYSTEM 'A') INSPECTOR DATE
6 INFILTRATION SYSTEM 'B' (CULTEC 280HD CHAMBER OR EQUAL) INSPECTOR DATE
7 SPLITFLOW DIVERTER DRAIN (OUTLET FOR INFIL. SYSTEM 'B') INSPECTOR DATE
8 ROOF DRAIN DOWNSPOUT LOCATIONS INSPECTOR DATE
9 BWSR AS-BUILT FEE INSPECTOR DATE

BWSC SITE PLAN No. 21
77A WEST MILTON STREET
BOSTON, MASS.
(HYDE PARK - 02136-1929)
SCALE: 1"=10' MAY 24, 2021

NORWOOD ENGINEERING CO., INC.
CIVIL ENGINEERS & LAND SURVEYORS
1410 ROUTE ONE, NORWOOD, MA 02062
PHONE: 781-762-0143 FAX 781-762-8595



ASSESSOR'S REFERENCE: HYDE PARK - WARD 18 PARCELS 12961-000
RECORD DEED: SUFFOLK COUNTY REGISTRY BOOK 57413 - PAGE 218 BOOK 9549 - PAGE 110
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ENGINEERING RECORDS: NORFOLK COUNTY REGISTRY PLAN BOOK 3 - No. 161
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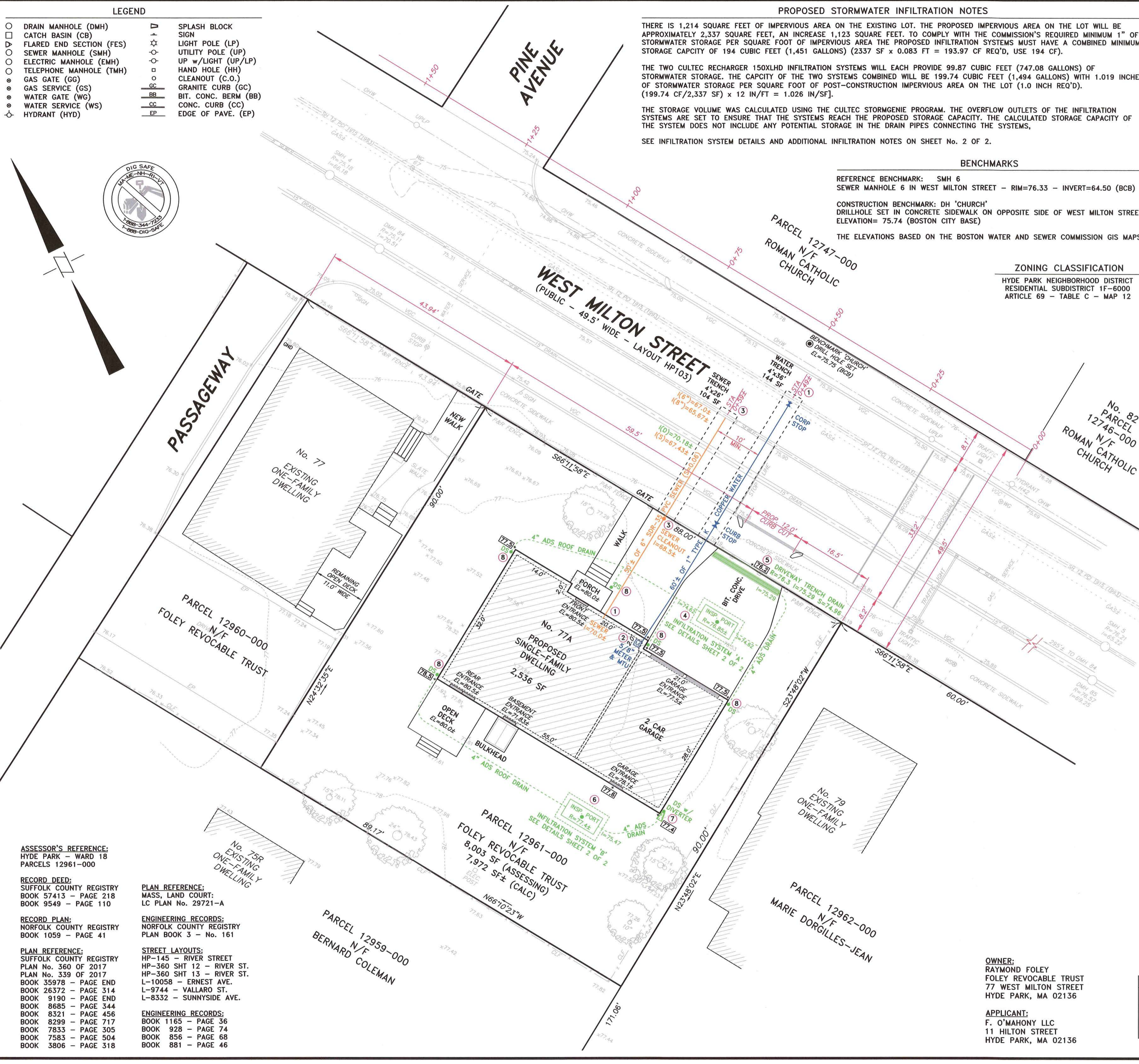
OWNER: RAYMOND FOLEY FOLEY REVOCABLE TRUST 77 WEST MILTON STREET HYDE PARK, MA 02136

APPLICANT: F. O'MAHONY LLC 11 HILTON STREET HYDE PARK, MA 02136



REVISIONS

Table with 2 columns: No., Description. Currently empty.



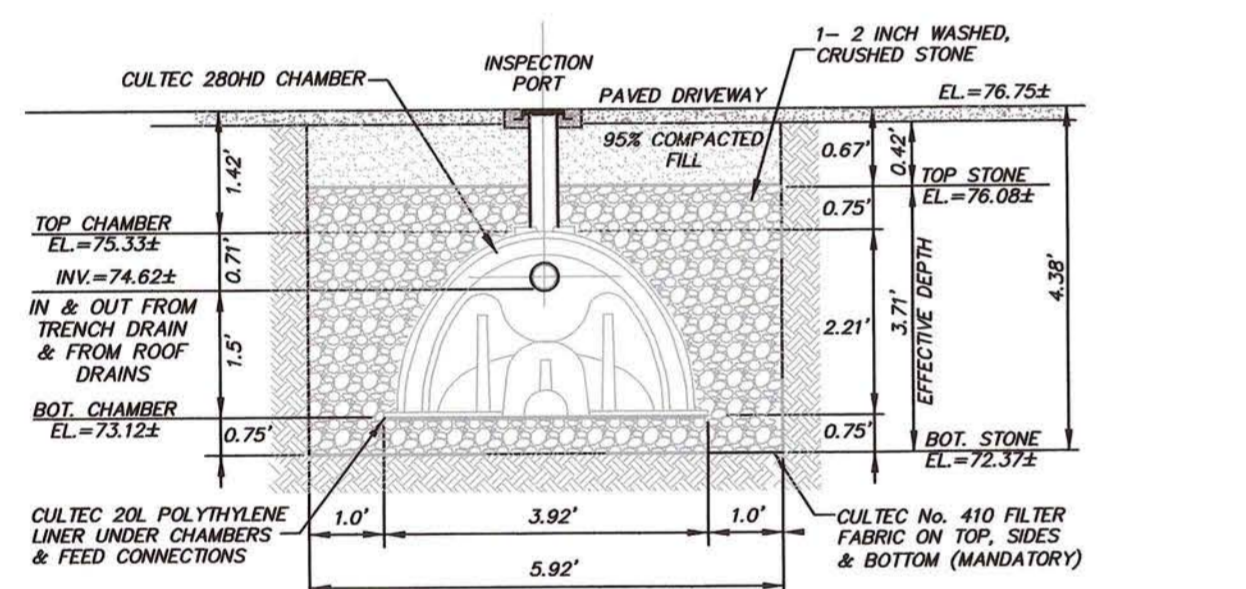
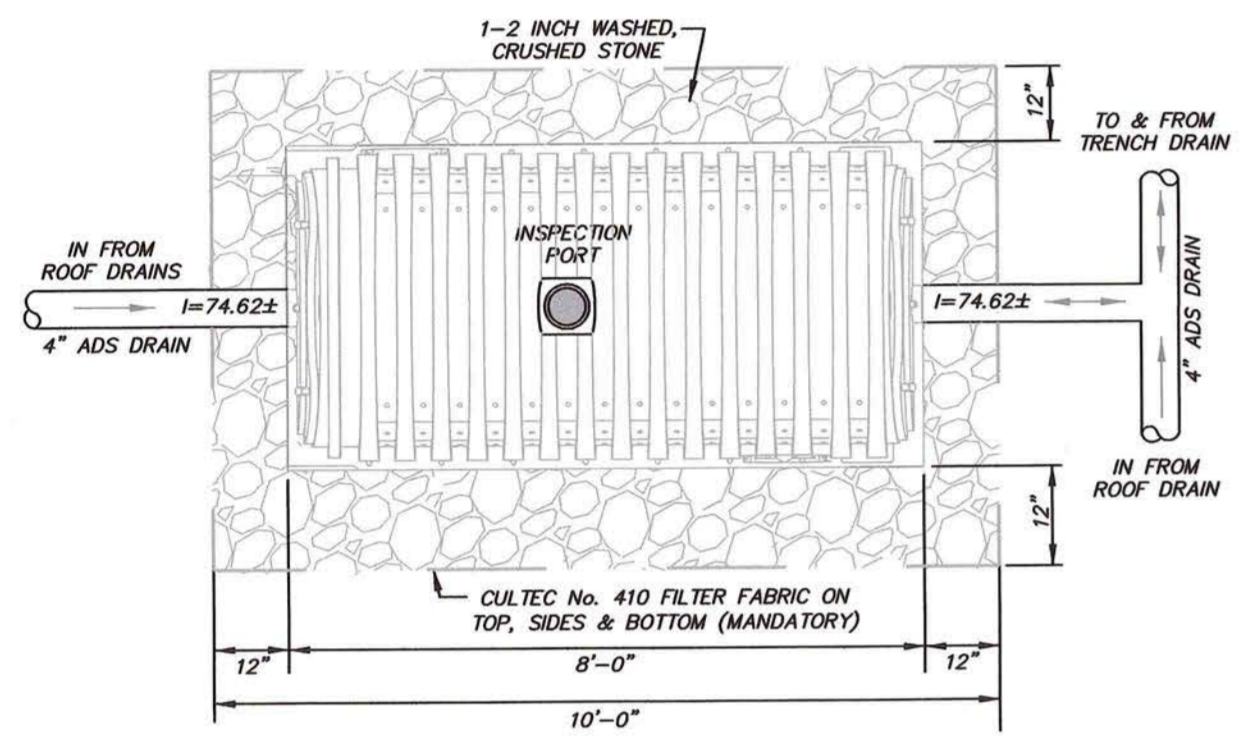
THERE IS 1,214 SQUARE FEET OF IMPERVIOUS AREA ON THE EXISTING LOT. THE PROPOSED IMPERVIOUS AREA ON THE LOT WILL BE APPROXIMATELY 2,337 SQUARE FEET, AN INCREASE 1,123 SQUARE FEET. TO COMPLY WITH THE COMMISSION'S REQUIRED MINIMUM 1" OF STORMWATER STORAGE PER SQUARE FOOT OF IMPERVIOUS AREA THE PROPOSED INFILTRATION SYSTEMS MUST HAVE A COMBINED MINIMUM STORAGE CAPACITY OF 194 CUBIC FEET (1,451 GALLONS). (2337 SF x 0.083 FT = 193.97 CF REQ'D, USE 194 CF).

THE TWO CULTEC RECHARGER 150XLHD INFILTRATION SYSTEMS WILL EACH PROVIDE 99.87 CUBIC FEET (747.08 GALLONS) OF STORMWATER STORAGE. THE CAPACITY OF THE TWO SYSTEMS COMBINED WILL BE 199.74 CUBIC FEET (1,494 GALLONS) WITH 1.019 INCHES OF STORMWATER STORAGE PER SQUARE FOOT OF POST-CONSTRUCTION IMPERVIOUS AREA ON THE LOT (1.0 INCH REQ'D). (199.74 CF/2,337 SF) x 12 IN/FT = 1.026 IN/SF.

THE STORAGE VOLUME WAS CALCULATED USING THE CULTEC STORMGENIE PROGRAM. THE OVERFLOW OUTLETS OF THE INFILTRATION SYSTEMS ARE SET TO ENSURE THAT THE SYSTEMS REACH THE PROPOSED STORAGE CAPACITY. THE CALCULATED STORAGE CAPACITY OF THE SYSTEM DOES NOT INCLUDE ANY POTENTIAL STORAGE IN THE DRAIN PIPES CONNECTING THE SYSTEMS.

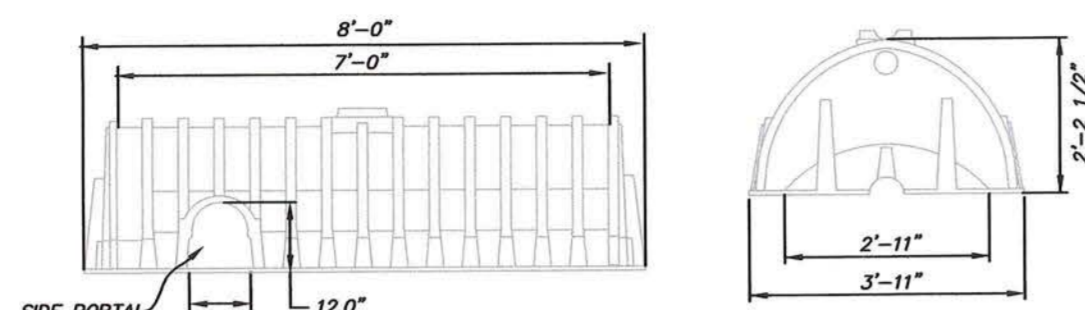
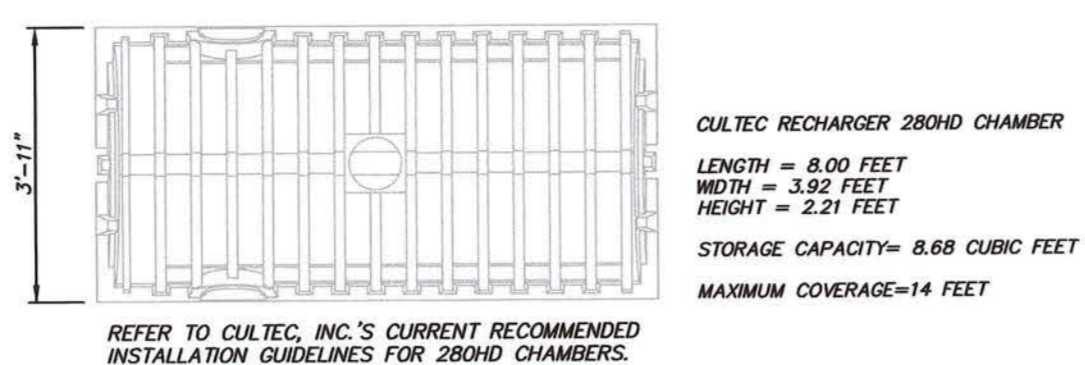
SEE INFILTRATION SYSTEM DETAILS AND ADDITIONAL INFILTRATION NOTES ON SHEET No. 2 OF 2.

PROPOSED STORMWATER INFILTRATION NOTES



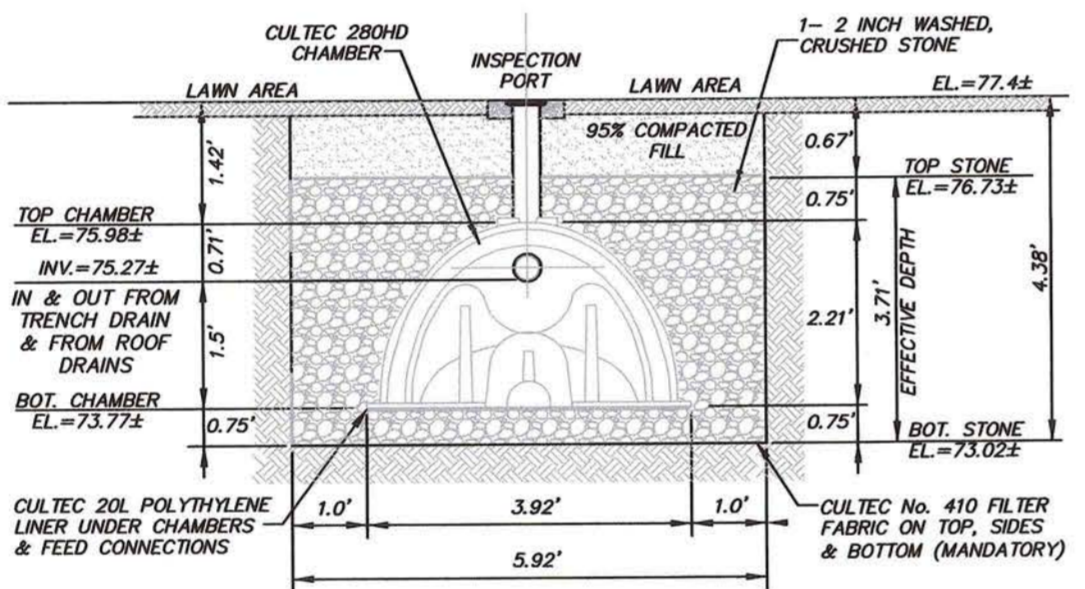
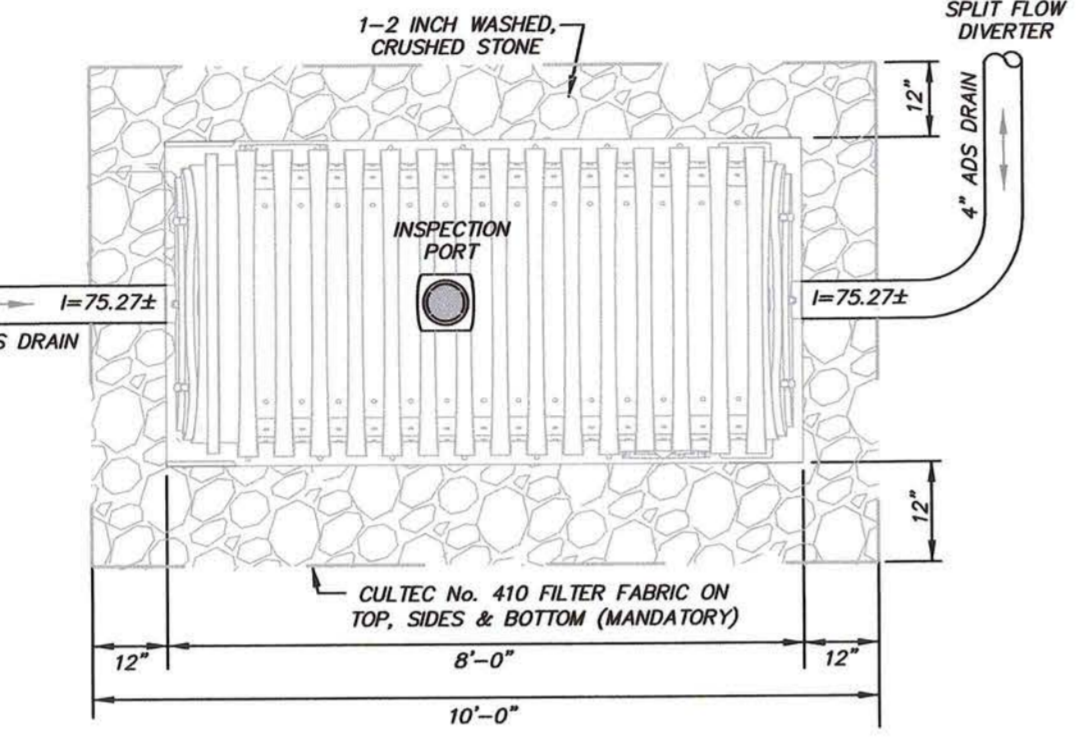
**INFILTRATION SYSTEM A
CULTEC 280HD CHAMBER (OR EQUAL)**

NOT TO SCALE



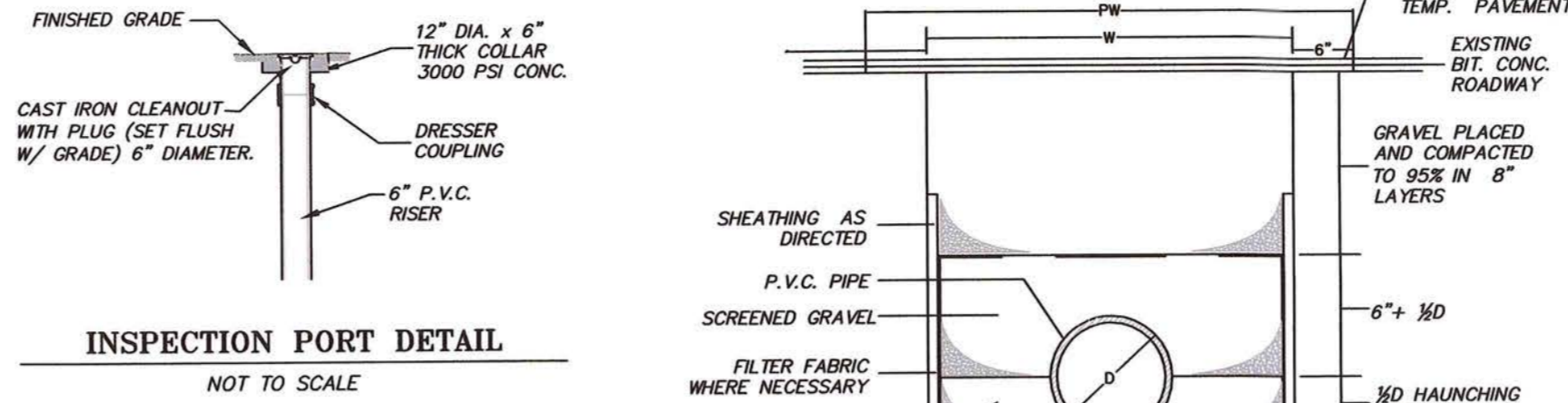
CULTEC 280HD CHAMBER DETAIL

NOT TO SCALE



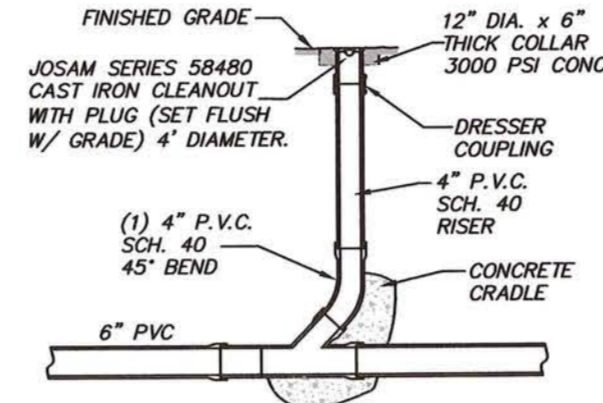
**INFILTRATION SYSTEM B
CULTEC 280HD CHAMBER (OR EQUAL)**

NOT TO SCALE



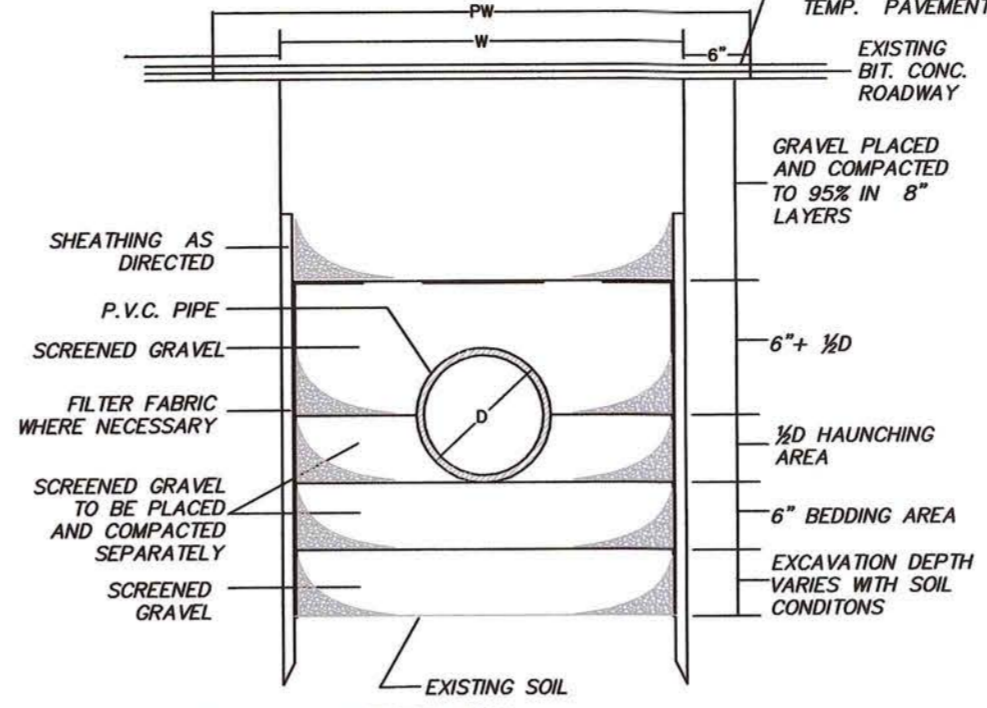
INSPECTION PORT DETAIL

NOT TO SCALE



CLEANOUT DETAIL

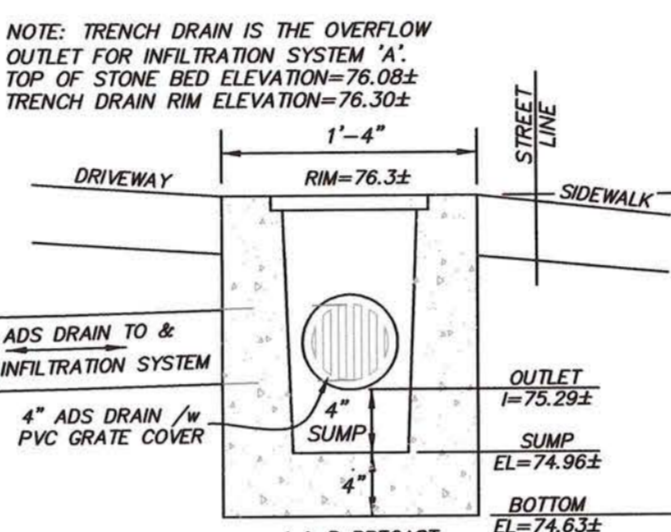
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TRENCH DETAIL FOR P.V.C. PIPE

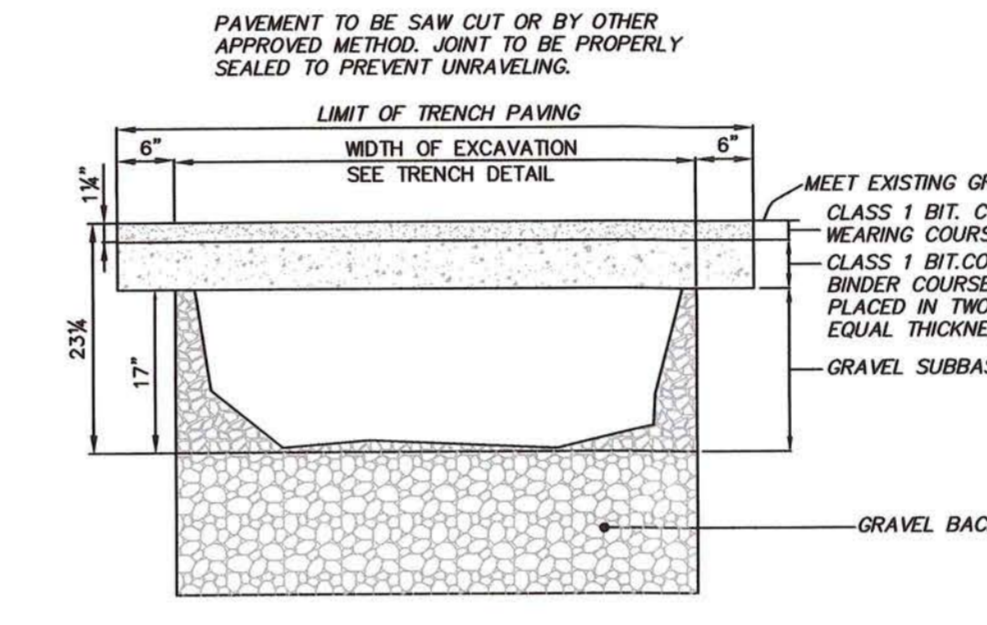
NOT TO SCALE

(BWSC DETAIL)



TRENCH DRAIN DETAIL

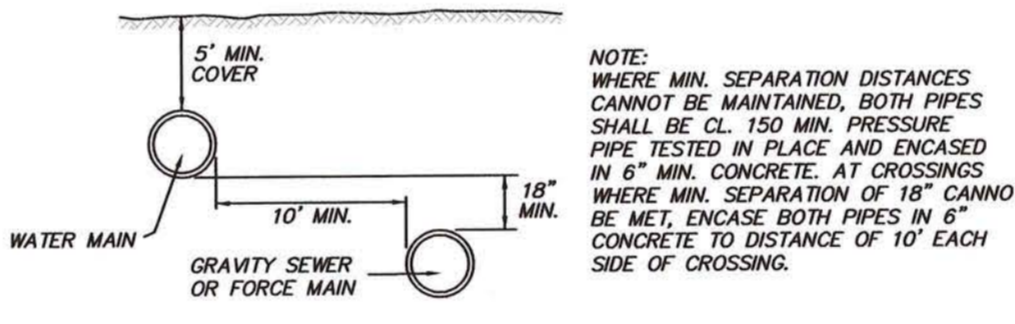
NOT TO SCALE



PERMANENT TRENCH REPAIR

NOT TO SCALE

(BWSC DETAIL)



SEWER/WATER SEPARATION DETAIL

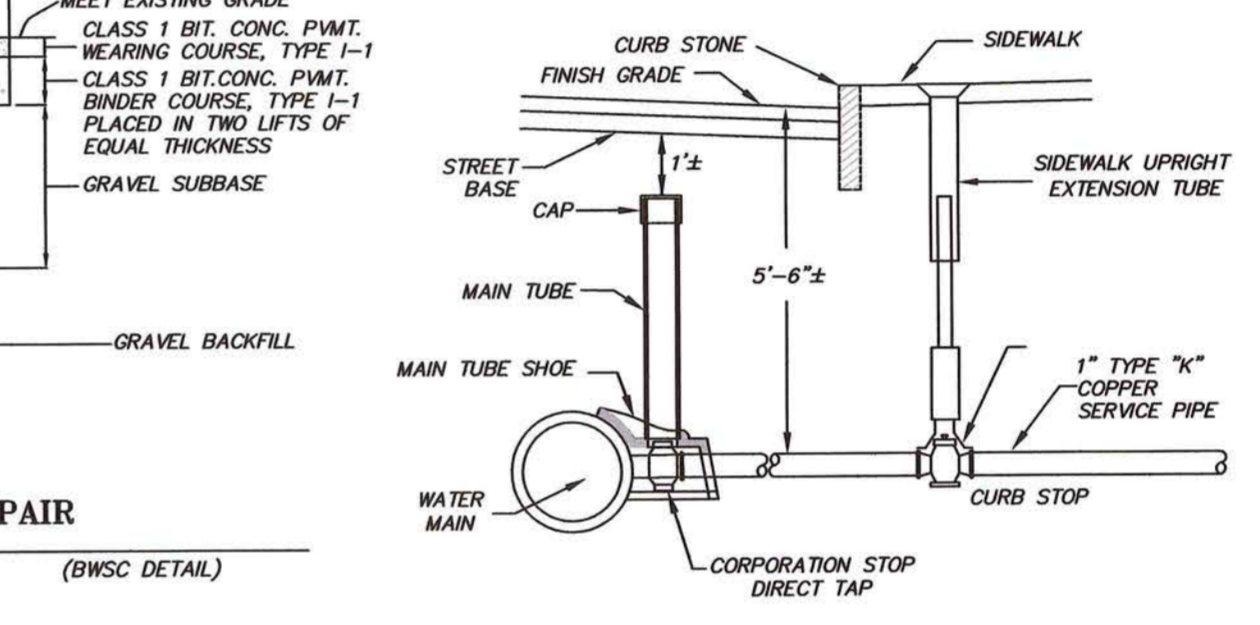
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METER SPACING DETAIL

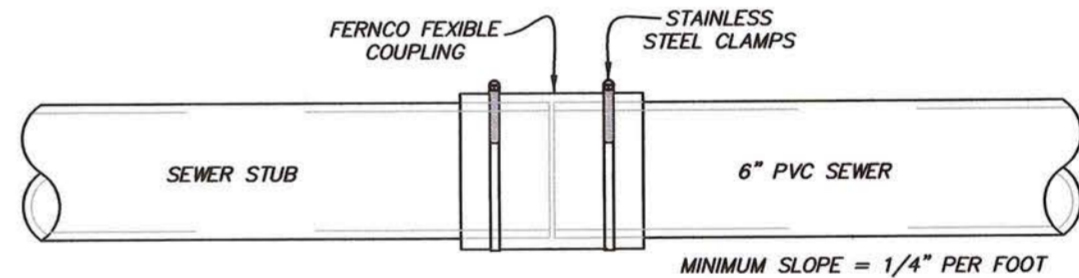
NOT TO SCALE

(BWSC DETAIL)



WATER SERVICE CONNECTION

NOT TO SCALE



FERNCO FLEXIBLE COUPLING INSTALLATION

NOT TO SCALE

MATERIAL SPECIFICATIONS

THE PROPOSED WATER SERVICE SHALL BE 1-INCH TYPE K COPPER PIPE AND FITTINGS.
THE PROPOSED SEWER SERVICE AND CLEANOUT SHALL BE 6-INCH SDR-35 PVC PIPE AND FITTINGS.

THE DRAIN PIPES SHALL CONSIST OF 4" ADS PIPE FITTINGS CONNECTING THE ROOF DRAINS AND DRIVEWAY TRENCH DRAIN TO THE PROPOSED INFILTRATION SYSTEMS AS SHOWN ON THE PLANS.

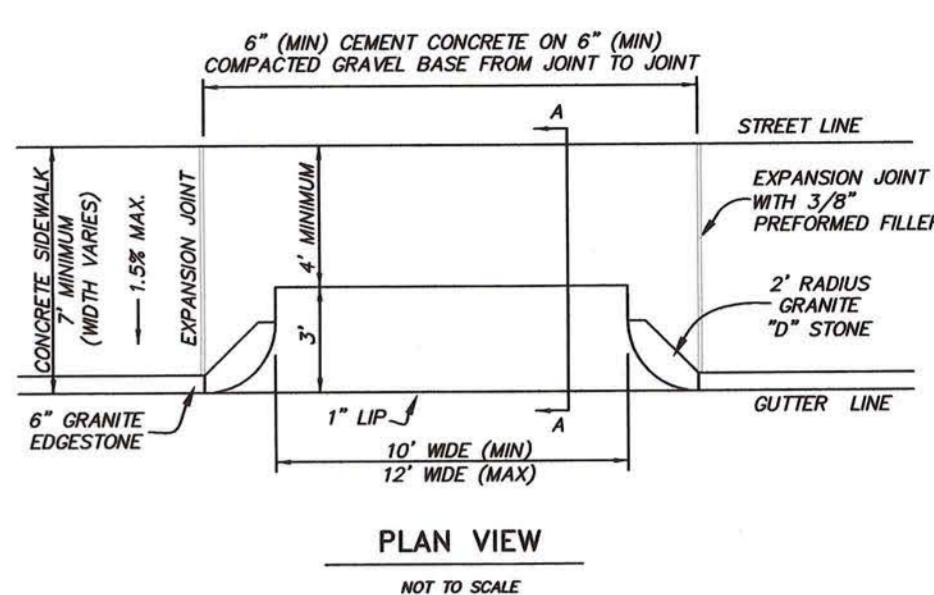
THE INFILTRATION SYSTEMS AND APPURTENANCES SHALL CONSIST OF TWO (2) SEPARATE CULTEC RECHARGER 280HD CHAMBERS MANUFACTURED BY CULTEC INC. OF BROOKFIELD CT OR APPROVED EQUAL. EACH SYSTEM WILL REQUIRE 28.89 SQUARE FEET OF CULTEC No. 410 FILTER FABRIC, 5.92 FEET OF CULTEC No. 20L POLYETHYLENE LINER, AND 6.33 CUBIC YARDS OF STONE.



REVISIONS

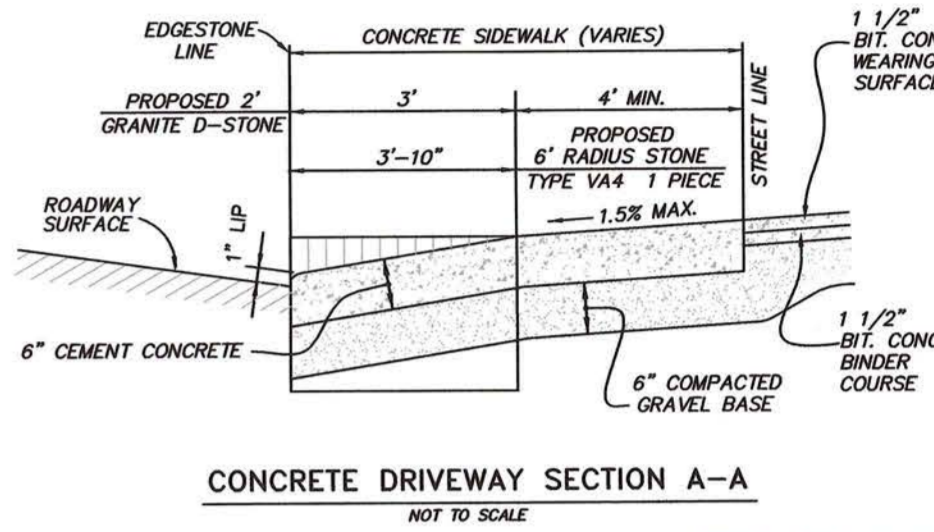
NO.	DESCRIPTION

TYPICAL RESIDENTIAL DRIVEWAY DETAIL



PLAN VIEW

NOT TO SCALE



CONCRETE DRIVEWAY SECTION A-A

NOT TO SCALE

CONDITIONS OF THE CURB CUT PERMIT

THE PERMITEE AGREES TO SAVE AND HOLD HARMLESS THE CITY OF BOSTON FROM ALL LIABILITY ARISING FROM THE CONSTRUCTION ASSOCIATED WITH PERMIT. THIS PERMIT IS NON-TRANSFERABLE.

THIS PERMIT IS CONDITIONAL AND ONLY BECOMES VALID UPON THE ISSUANCE OF A USE OF PREMISES PERMIT BY THE CITY OF BOSTON INSPECTIONAL SERVICES DEPARTMENT ("ISD") FOR THE SAME PLAN SUBMITTED WITH THIS PERMIT. THIS PERMIT IS NOT VALID IF THE PLAN ASSOCIATED WITH THE USE OF PREMISES PERMIT HAS BEEN ALTERED IN ANY WAY FROM THE PLAN SUBMITTED WITH THIS PERMIT.

UNLESS OTHERWISE NOTED, THIS PERMIT AUTOMATICALLY EXPIRES 18 MONTHS FROM THE DATE OF THE ISSUANCE UNLESS EXTENDED IN WRITING BY THE CHIEF ENGINEER OF THE PUBLIC WORKS DEPARTMENT. AN EXTENSION MAY BE GRANTED AFTER A REQUEST IS MADE IN WRITING AND THE APPROPRIATE FEES ARE PAID PRIOR TO THE 30 DAYS PRIOR TO THE EXPIRATION DATE OF THE PERMIT.

THE PROPOSED SIDEWALK SHALL CONFORM TO THE RULES AND REGULATIONS OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (521 CMR).

ALL WORK DONE UNDER THIS PERMIT SHALL COMPLY WITH WRITTEN REQUIREMENTS OR DIRECTIONS WHICH MAY BE ISSUED BY THE COMMISSIONER OF PUBLIC WORKS RELATING TO THE PARTICULAR PROJECT. IF ANY OF THE CONDITIONS OF THIS PERMIT ARE VIOLATED, THIS PERMIT MAY BE REVOKED BY THE COMMISSIONER OF PUBLIC WORKS.

THE WORK, MATERIALS, PLANS AND SPECIFICATIONS SHALL BE AVAILABLE AT ALL TIMES FOR INSPECTION BY DULY AUTHORIZED OFFICIALS OF THE CITY OF BOSTON.

DRIVEWAY APRON(S) CONSTRUCTED UNDER THIS PERMIT ARE FOR THE PURPOSE OF PROVIDING ACCESS TO LOTS ADJACENT TO THE RIGHT OF WAY. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

PRIOR TO THE ISSUANCE OF ANY PERMIT FOR THE CONSTRUCTION OF A DRIVEWAY, A PERMIT FROM THE CITY OF BOSTON PARKS & RECREATION DEPARTMENT IS REQUIRED FOR THE REMOVAL AND/OR PLANTING OF ANY TREES ON OR ALONG A PUBLIC WAY. THE OPENING FOR THE DRIVEWAY MUST BE AT LEAST FIVE FEET AWAY FROM ANY TREE, POLE, STREET LIGHT, OR OTHER EXISTING APPURTENANCES. CONTACT (617) 635-4500 TO BE DIRECTED TO THE PARKS DEPARTMENT.

THE RELOCATION AND/OR ADJUSTMENT OF ANY PUBLIC OR PRIVATE UTILITY SHALL BE THE RESPONSIBILITY OF THE PERMITEE PRIOR TO ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.

COORDINATE THE RELOCATION OF ANY TRAFFIC CONTROL SIGNS, PARKING METERS OR SIGNALIZATION DEVICES WITH THE TRANSPORTATION DEPARTMENT. CONTACT (617) 635-4500 FOR THE TRANSPORTATION DEPARTMENT.

PRIOR TO THE RELEASE OF THIS PERMIT, COMPLETE REPAIR (RESTORATION OF RIGHT OF WAY) SHALL BE MADE OF ANY AND ALL DAMAGES DONE TO THE EXISTING IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY CAUSED BY CONSTRUCTION OPERATIONS ON THIS SITE. ALL DISTURBED AREAS SHALL BE FINE GRADED AND SODDED. PROPER PRECAUTIONS MUST BE TAKEN TO KEEP EXISTING ROADWAYS FREE OF MUD, DEBRIS AND OTHER OBSTRUCTIONS.

THE PROPOSED WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONDITIONS OF THIS PERMIT, SUBJECT TO THE PROVISIONS OF THE MASSACHUSETTS GENERAL LAWS, THE ORDINANCES OF THE CITY OF BOSTON, AND ALL APPLICABLE REGULATIONS, STANDARDS, SPECIFICATIONS AND INSPECTION AND CONTROL OF THE COMMISSIONERS OF THE DEPARTMENT OF PUBLIC WORKS, INSPECTIONAL SERVICES DEPARTMENT AND TRANSPORTATION DEPARTMENT.

BWSC SITE PLAN No. 21
77A WEST MILTON STREET
BOSTON, MASS.
(HYDE PARK - 02136-1929)

SCALE: 1"=10' MAY 24, 2021

NORWOOD ENGINEERING CO., INC.
CIVIL ENGINEERS & LAND SURVEYORS
1410 ROUTE ONE, NORWOOD, MA 02062
PHONE: 781-762-0143 FAX 781-762-8595



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NOTE: WINDOW MODEL NUMBER/SIZES PROVIDED ARE UNITED 5500 SERIES VINYL WINDOWS WITH TYPE AND GRILLE PATTERN AS SHOWN, COLOR TO BE DETERMINED. TYPICAL WINDOW HEAD HEIGHT IS 84" AND 80" AT ATTIC OR UNLESS NOTED OTHERWISE.

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- PRE-FINISHED CEMENT FIBER SHINGLE SIDING, 5" EXPOSURE
 - ALUM. GUTTERS & DOWNSPOUTS 10" PVC FRIEZE, TYP.
 - CLAD WINDOWS W/ PVC TRIM, TYP.
 - COMPOSITE SHUTTERS APPROPRIATELY SIZED PER WINDOW
 - ASPHALT ROOFING SHINGLES TYP.
 - PRE-FINISHED CEMENT FIBER LAP SIDING, 5" EXPOSURE
 - 8" PVC CORNER BOARDS, TYP.
 - PORCH/DECK 12" PVC WATER TABLE, TYP.
 - GARAGE
- ATTIC
- 9'-0"
- 2ND
- 9'-8"
- 1ST
- 3'-0"
- 8'-8"
- BSMT
- HEIGHT 27'-10" (FROM GRADE TO MEAN ELEVATION OF ROOF)
- OVERALL HEIGHT 33'-10" (FROM GRADE TO RIDGE OF ROOF)

New Residence
77A West Milton Street
Hyde Park, MA

Project Number: 21.0109
Date: 05.05.2021

Revisions:

Number	Description	Date
0	PERMIT	05/10
	DRAWINGS	2021
1	ISD	06/09
	RESPONSE	2021
2	ADD'L ISD	06/24
	RESPONSE	2021

Scale: 3/16" = 1'-0"

FRONT ELEVATION

LOT = 7,972
7,972 x .5 = 3,986 MAX. GFA

1ST 1,498
2ND 1,038
TOTAL 2,536 GFA = .32 FAR

FRO T L A T O
AL 3 6 =

A-1

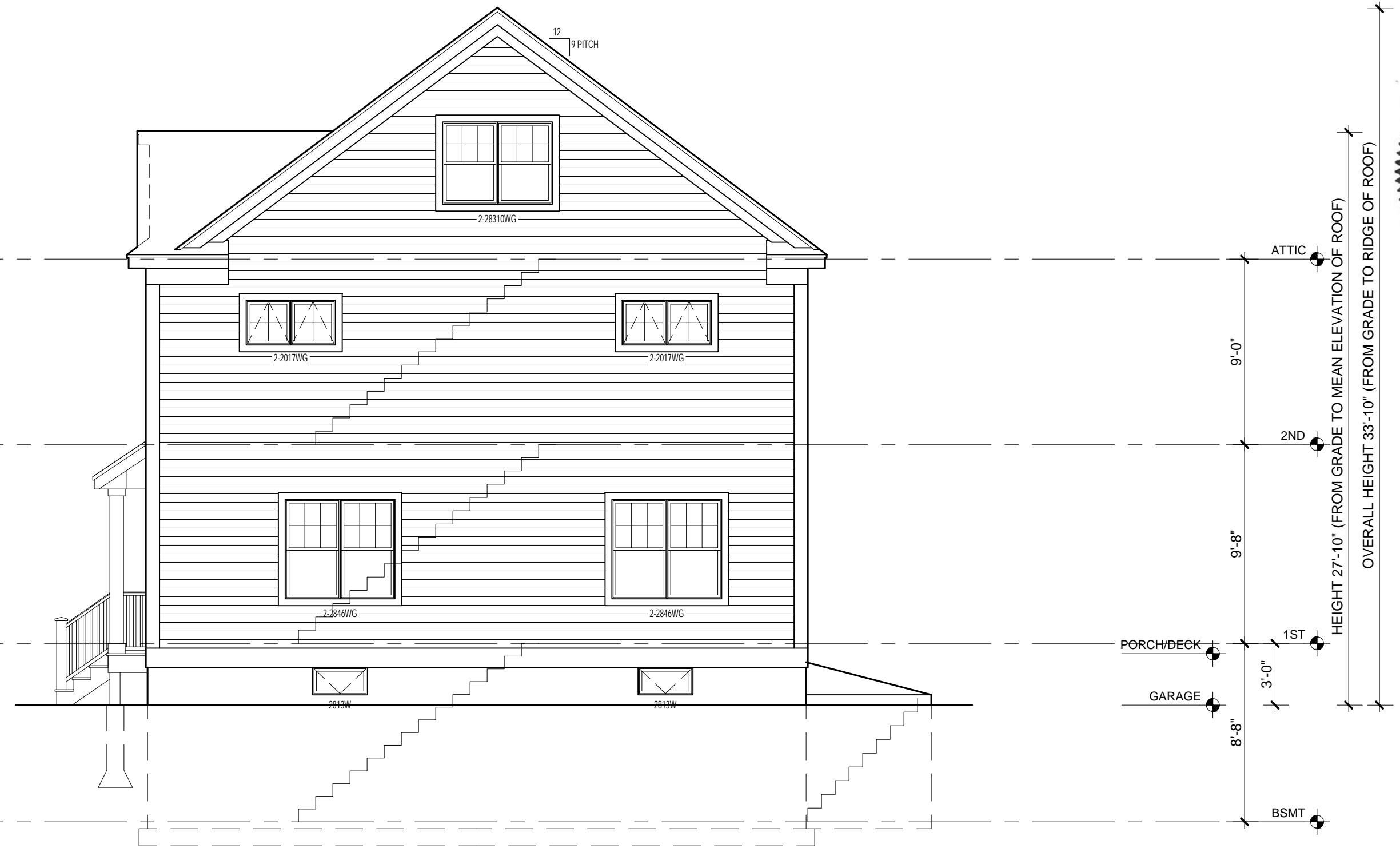
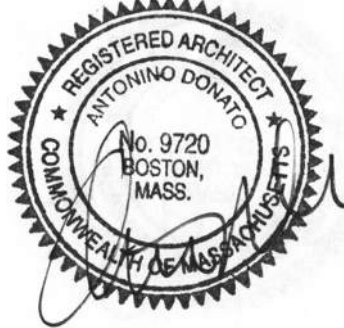
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	RESPONSE	2021
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	RESPONSE	2021

Scale: 3/16" = 1'-0"

LEFT SIDE
ELEVATION

L FT L ATO
AL 3 6 =

A-2

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Number	Description	Date
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	DRAWINGS	2021
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	RESPONSE	2021
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	RESPONSE	2021

Scale: 3/16"=1'-0"

REAR
ELEVATION

A-3



R AR L ATO
AL 3 6 =

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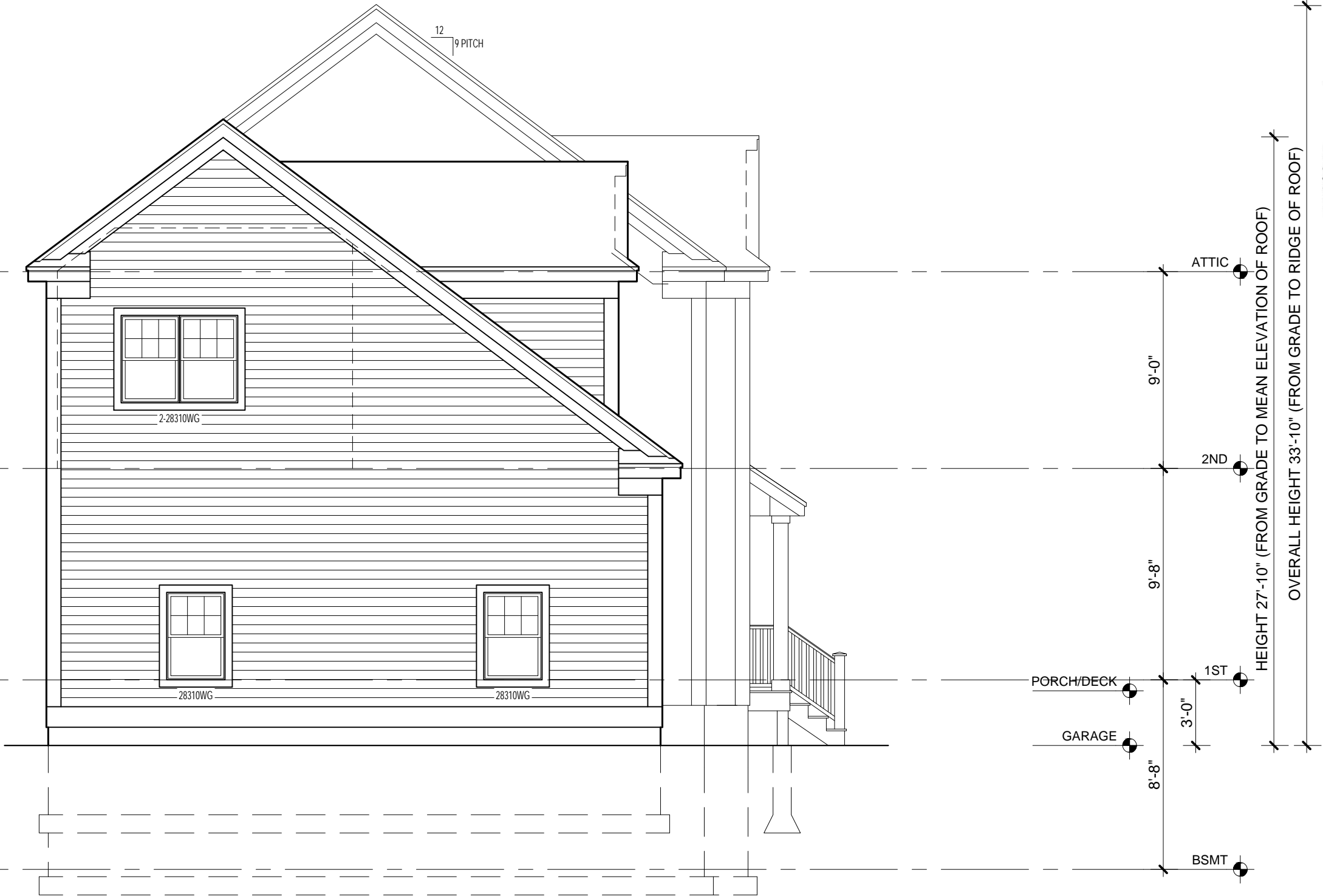
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Date: 05.05.2021

Revisions:

Number	Description	Date
0	PERMIT	05/10
	DRAWINGS	2021
1	ISD	06/09
	RESPONSE	2021
2	ADD'L ISD	06/24
	RESPONSE	2021

Scale: 3/16"=1'-0"

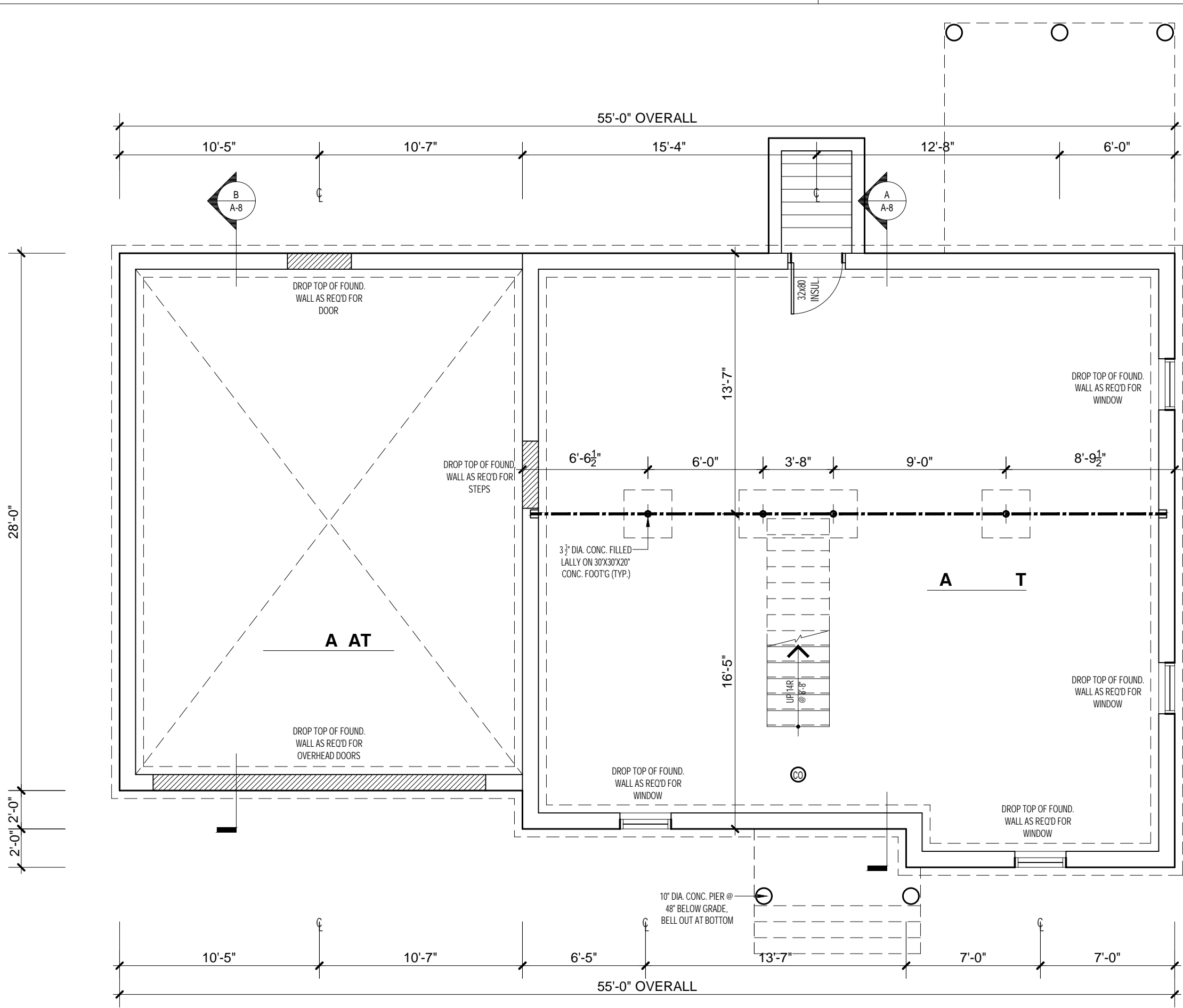
RIGHT SIDE
ELEVATION



RG T L A T O
AL 3 6 =

A-4

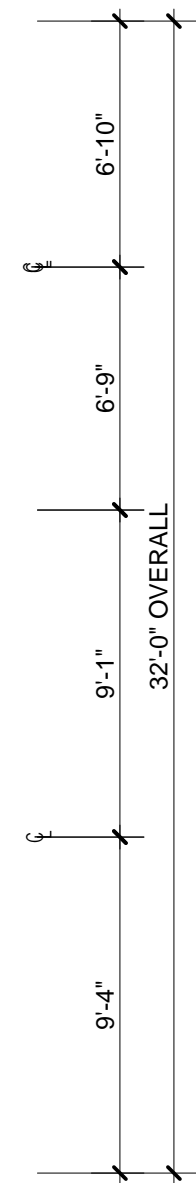
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FIRE PROTECTION KEY:

(S) SMOKE DETECTOR (H) HEAT DETECTOR
 (CO) COMBINATION CARBON MONOXIDE/ SMOKE DETECTOR (E/F) TOILET EXHAUST FAN VENTED TO OUTSIDE W/ RIGID METAL DUCT.

NOTES:
 1. PHOTOELECTRIC DETECTORS AS REQUIRED.
 2. COMBINATION DETECTORS ARE ACCEPTABLE.

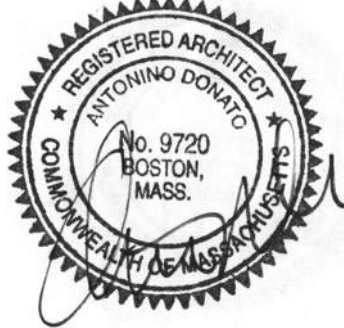


A TL L LA
AL 3 6 =

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New Residence
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Project Number: 21.0109
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Revisions:

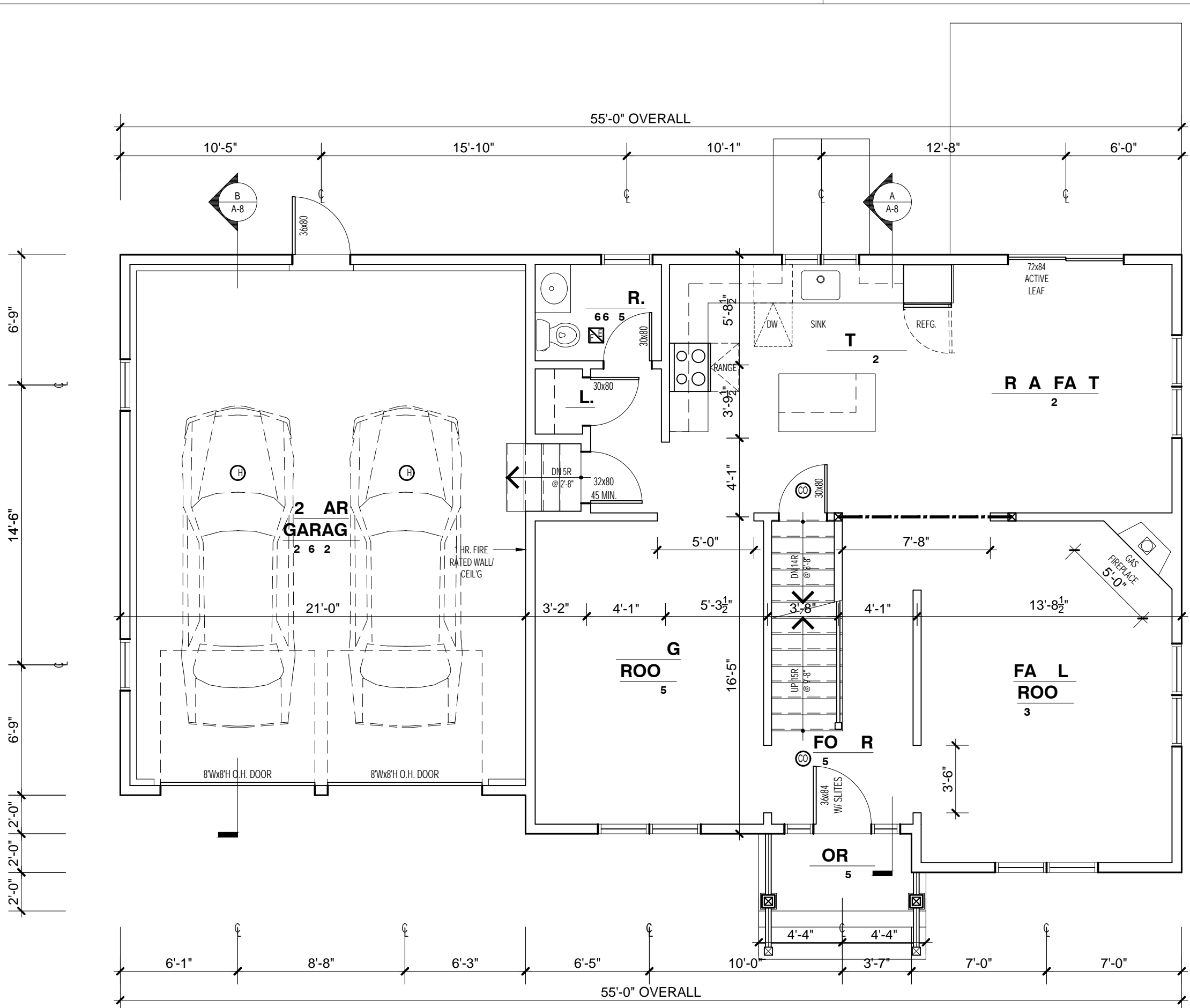
Number	Description	Date
0	PERMIT	05/10
	DRAWINGS	2021
1	ISD	06/09
	RESPONSE	2021
2	ADD'L ISD	06/24
	RESPONSE	2021

Scale: 3/16"=1'-0"

**BASEMENT
 LEVEL PLAN**

A-5

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FIRE PROTECTION KEY:

- (S) SMOKE DETECTOR
- (CO) COMBINATION CARBON MONOXIDE/ SMOKE DETECTOR
- (H) HEAT DETECTOR
- (E) TOILET EXHAUST FAN VENTED TO OUTSIDE W/ RIGID METAL DUCT.

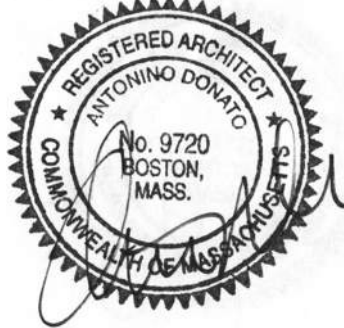
NOTES:

- PHOTOELECTRIC DETECTORS AS REQUIRED.
- COMBINATION DETECTORS ARE ACCEPTABLE.

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	RESPONSE	2021
2	ADD'L ISD	06/24
	RESPONSE	2021

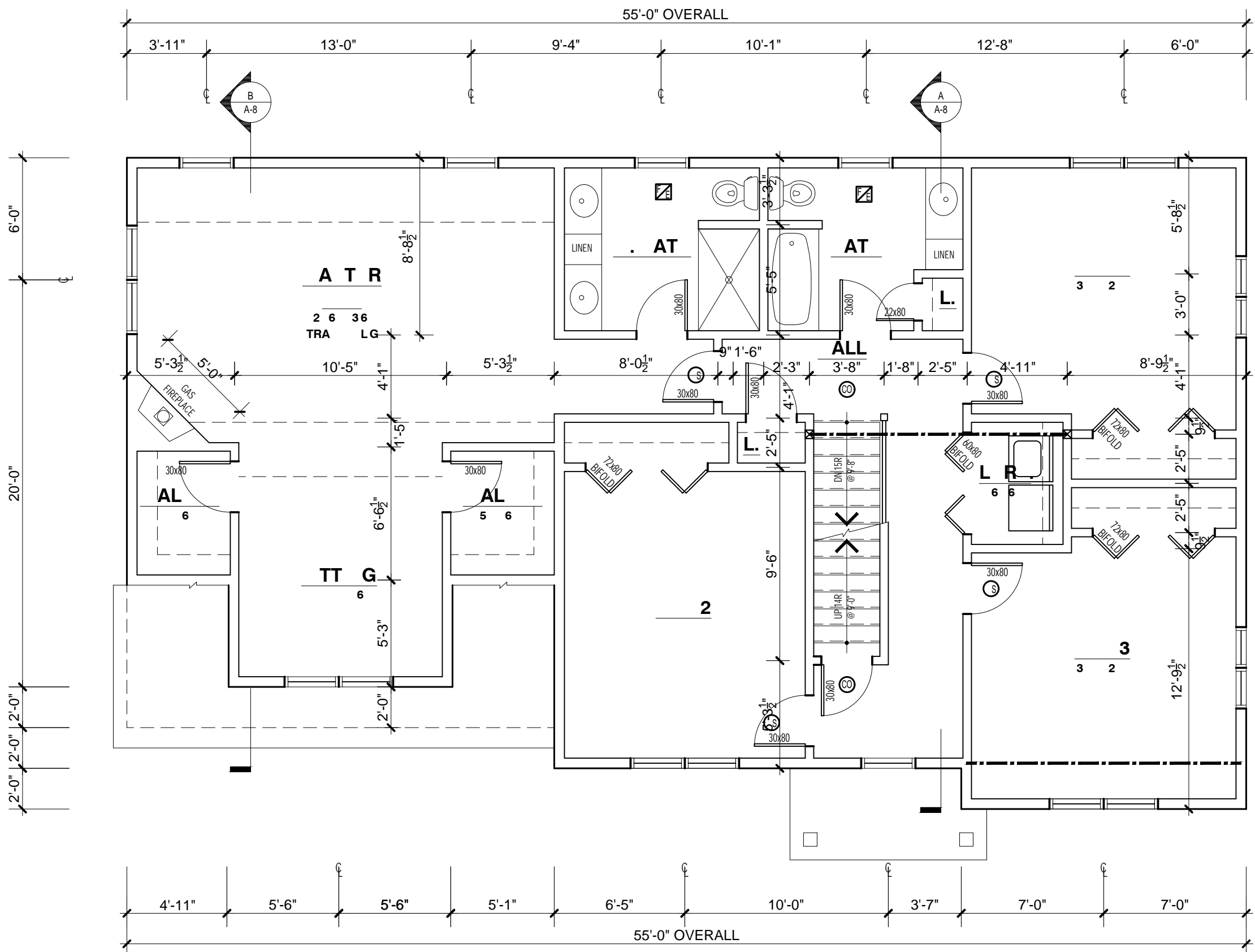
Scale: 3/16"=1'-0"

FIRST
LEVEL PLAN

FR TL L LA , 3 FGFA
AL 3 6 =

A-6

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FIRE PROTECTION KEY:

- (S) SMOKE DETECTOR
- (H) HEAT DETECTOR
- (CO) COMBINATION CARBON MONOXIDE/ SMOKE DETECTOR
- (E/F) TOILET EXHAUST FAN VENTED TO OUTSIDE W/ RIGID METAL DUCT.

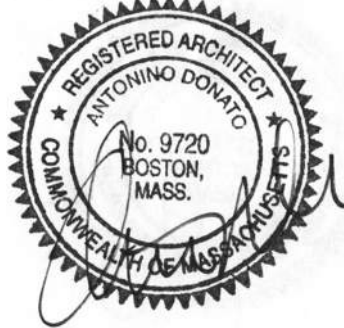
NOTES:

- PHOTOELECTRIC DETECTORS AS REQUIRED.
- COMBINATION DETECTORS ARE ACCEPTABLE.

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New Residence
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Project Number: 21.0109
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Revisions:

Number	Description	Date
0	PERMIT	05/10
	DRAWINGS	2021
1	ISD	06/09
	RESPONSE	2021
2	ADD'L ISD	06/24
	RESPONSE	2021

Scale: 3/16" = 1'-0"

SECOND
LEVEL PLAN

O L L LA , FGFA
AL 3 6 =

A-7

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ENERGY CONSERVATION:

1. STRETCH ENERGY CODE COMPLIANCE WILL BE DEMONSTRATED USING THE PRESCRIPTIVE OPTION OF THE BASE 2015 IECC ENERGY CODE. THIS CODE MUST BE MET FOR ALL THE SYSTEMS THAT ARE BEING REPLACED.
2. COMPLIANCE WITH THE ENERGY STAR THERMAL BYPASS INSPECTION CHECKLIST IS ALSO REQUIRED.
3. THE USE OF ENERGY STAR 5.0 (VERSION 3) FOR WINDOWS, DOORS, AND SKYLIGHTS WHERE REPLACEMENTS ARE MADE.
4. INSULATION SHALL CONFORM TO IECC 2015 CHAPTER 4. (SEE TABLE)
5. DUCTS 4CFM/100SQ FT

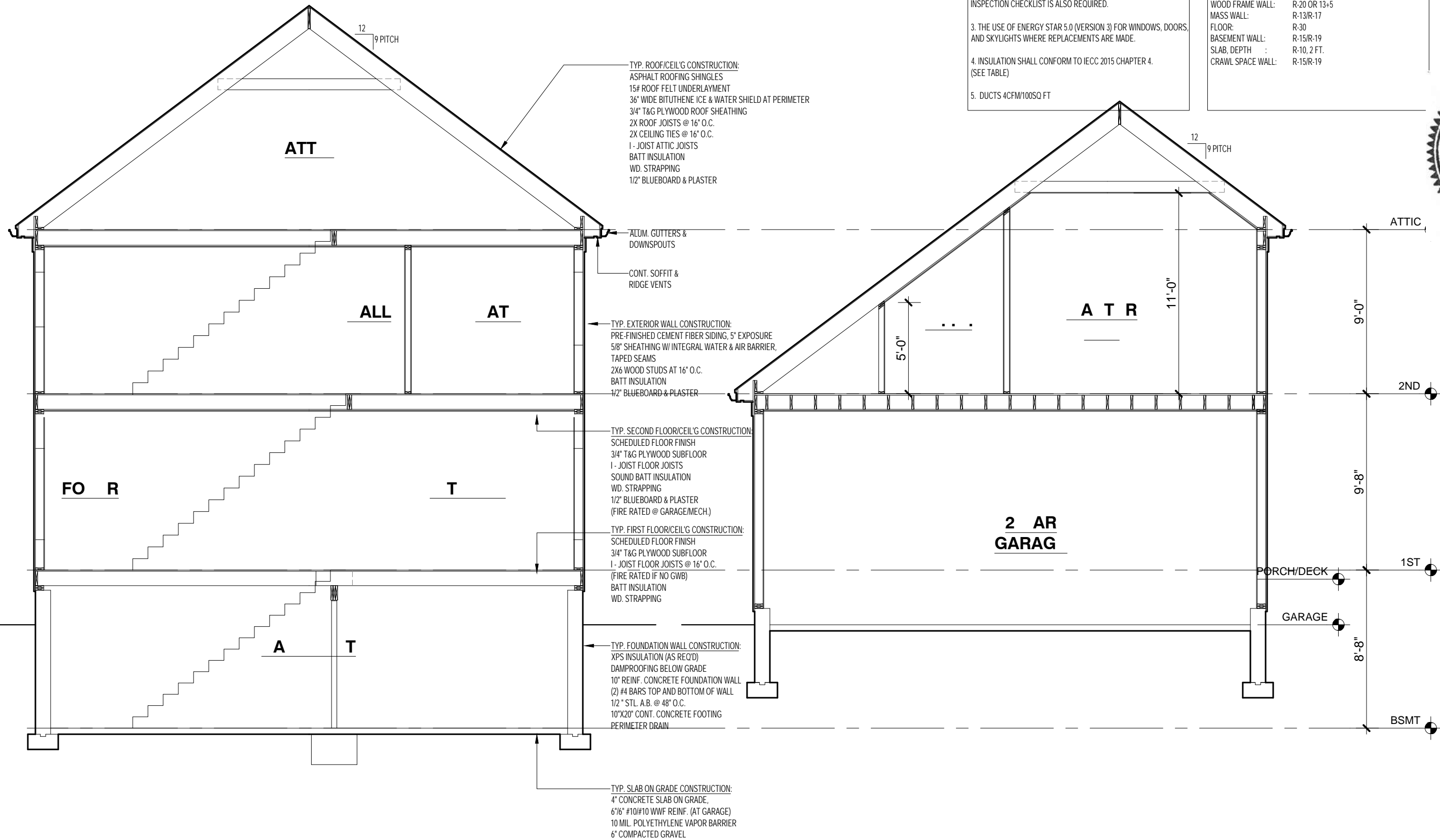
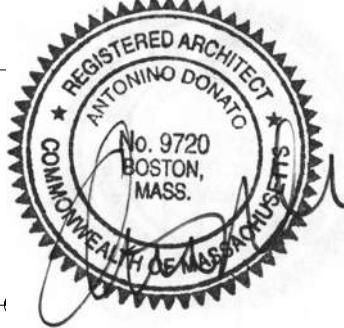
TABLE 402.1.1
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE:	5
FENESTRATION:	U-0.32
SKYLIGHT:	U-0.55
GLAZING SHGC:	NR
CEILING:	R-49
WOOD FRAME WALL:	R-20 OR 13+5
MASS WALL:	R-13/R-17
FLOOR:	R-30
BASEMENT WALL:	R-15/R-19
SLAB, DEPTH :	R-10, 2 FT.
CRAWL SPACE WALL:	R-15/R-19

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	RESPONSE	2021
2	ADD'L ISD	06/24
	RESPONSE	2021

Scale: 3/16"=1'-0"

BUILDING SECTION

A-8

L G T O A
AL 3 6 =

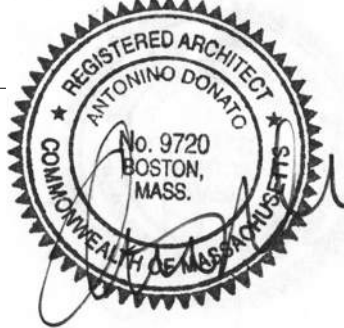
L G T O
AL 3 6 =

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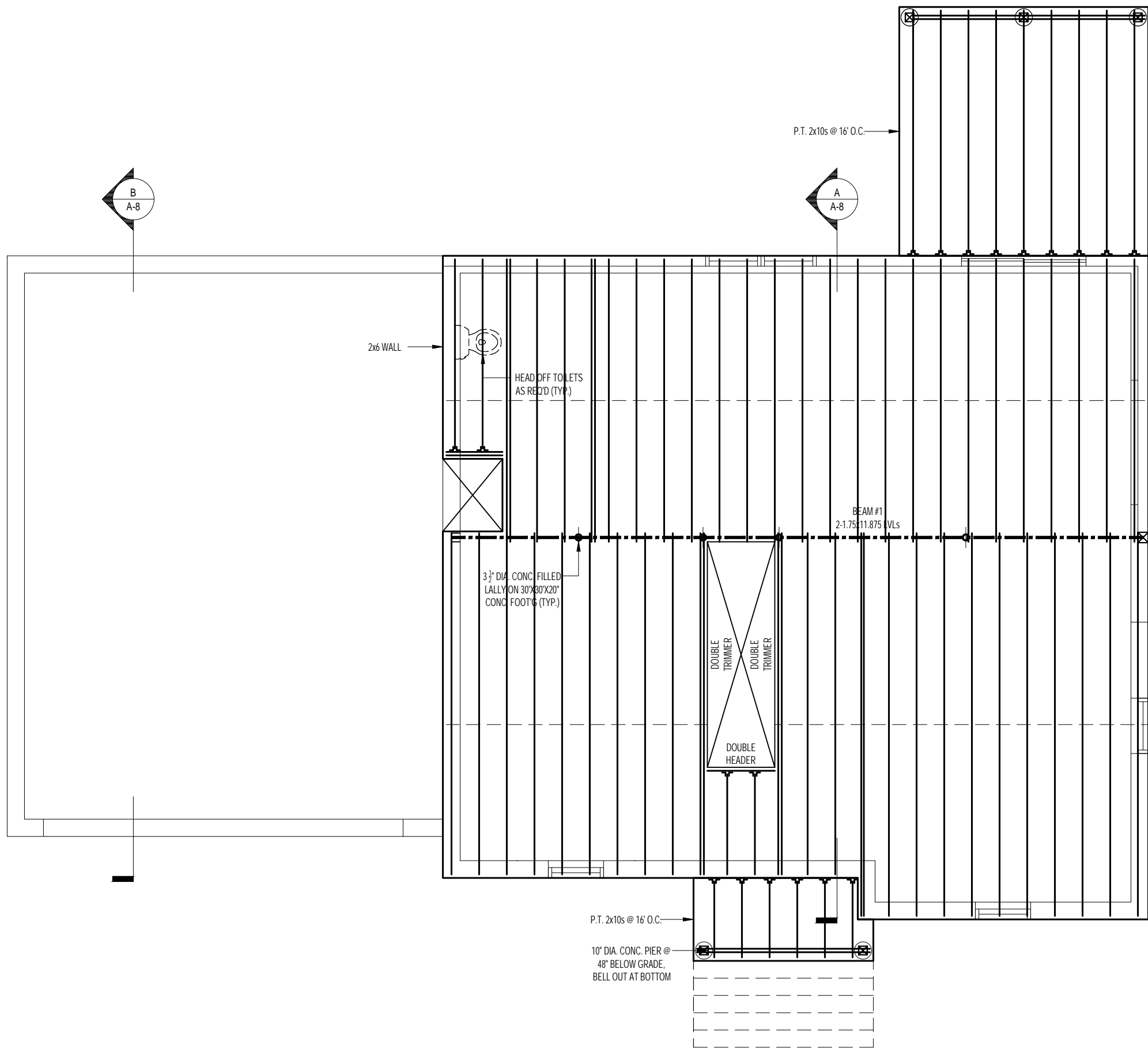
Number	Description	Date
0	PERMIT	05/10
	DRAWINGS	2021
1	ISD	06/09
	RESPONSE	2021
2	ADD'L ISD	06/24
	RESPONSE	2021

Scale: 3/16"=1'-0"

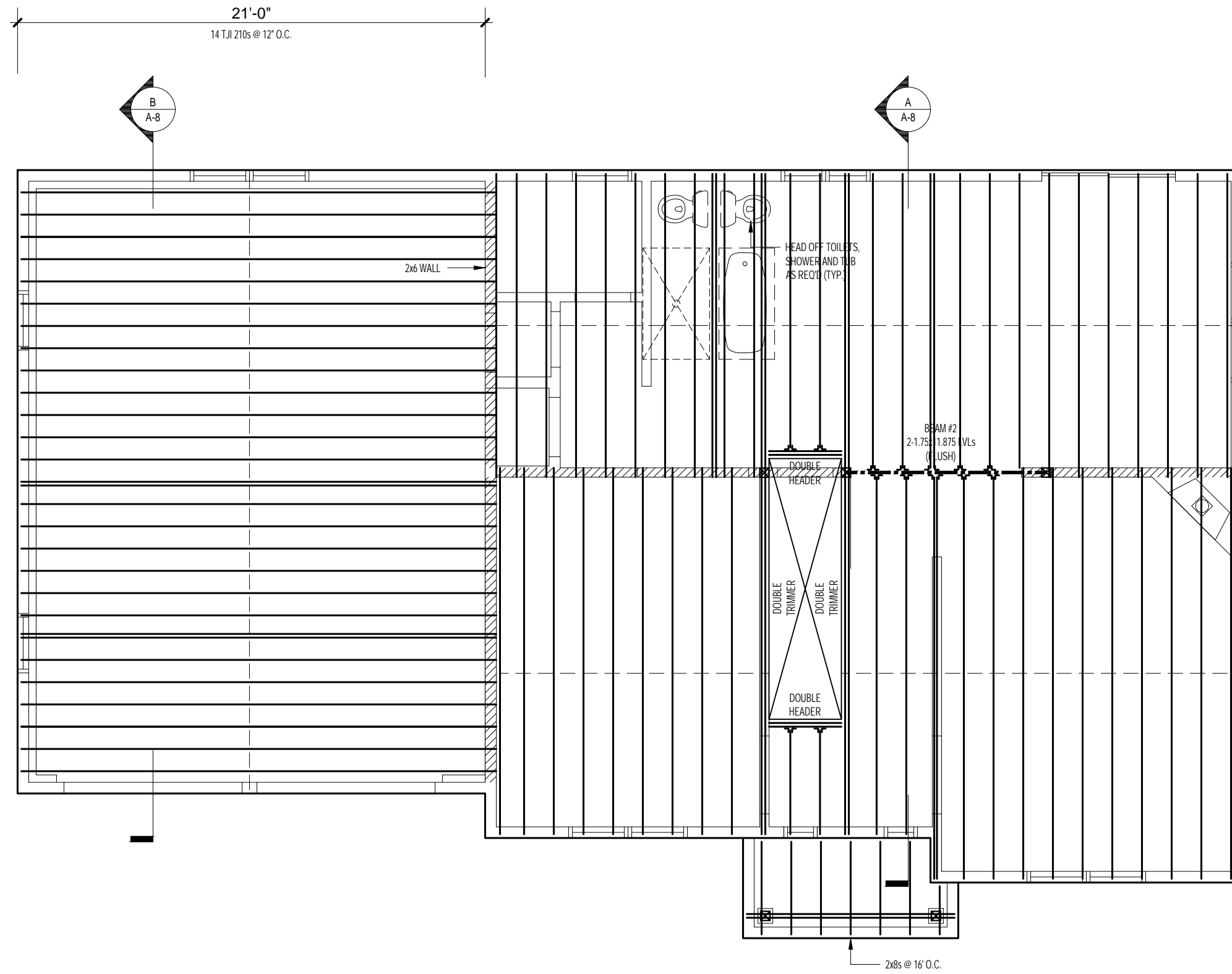
FIRST LEVEL
FRAMING
PLAN

A-9

NOTES:
STUDS - EXTERIOR WALLS TO BE 2X6s @ 16" O.C., INTERIOR WALLS TO BE 2X4s UNO.
SILL PLATE/ANCHORS - SILL PLATE TO BE 2-2X6s P.T.; INSET 1/2" ANCHOR BOLTS MIN. 8" IN TO TOP OF CONC. FOUND. WALL MIN. 48" O.C. AND 12" FROM CORNERS.
JOISTS AND RAFTERS - SOUTHERN PINE VISUALLY GRADED NO. 1 LUMBER OR BETTER UNLESS NOTED OTHERWISE. DOUBLE UP JOISTS UNDER WALLS TYP.
BRIDGING/BLOCKING - ALL JOISTS TO BE BRACED AT MID SPAN W/ BRIDGING OR SOLID BLOCKING.
HEADERS - ALL HEADERS AT OPENINGS TO BE MIN. 2-2X10s W/ 1/2" PLYWD. BETWEEN UNO.



FR TL LFRA G LA
AL 3 6 =



NOTES:

STUDS - EXTERIOR WALLS TO BE 2X6s @ 16' O.C., INTERIOR WALLS TO BE 2X4s UNO.

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HEADERS - ALL HEADERS AT OPENINGS TO BE MIN. 2-2X10s W/ 1/2" PLYWD. BETWEEN UNO.

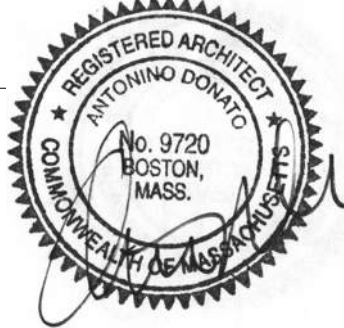
13'-7"
11.875 TJI 210s @ 16" O.C.

18'-5"
11.875 TJI 210s @ 16" O.C.



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Project Number: 21.0109
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Revisions:

Number	Description	Date
0	PERMIT DRAWINGS	05/10 2021
1	ISD RESPONSE	06/09 2021
2	ADD'L ISD RESPONSE	06/24 2021

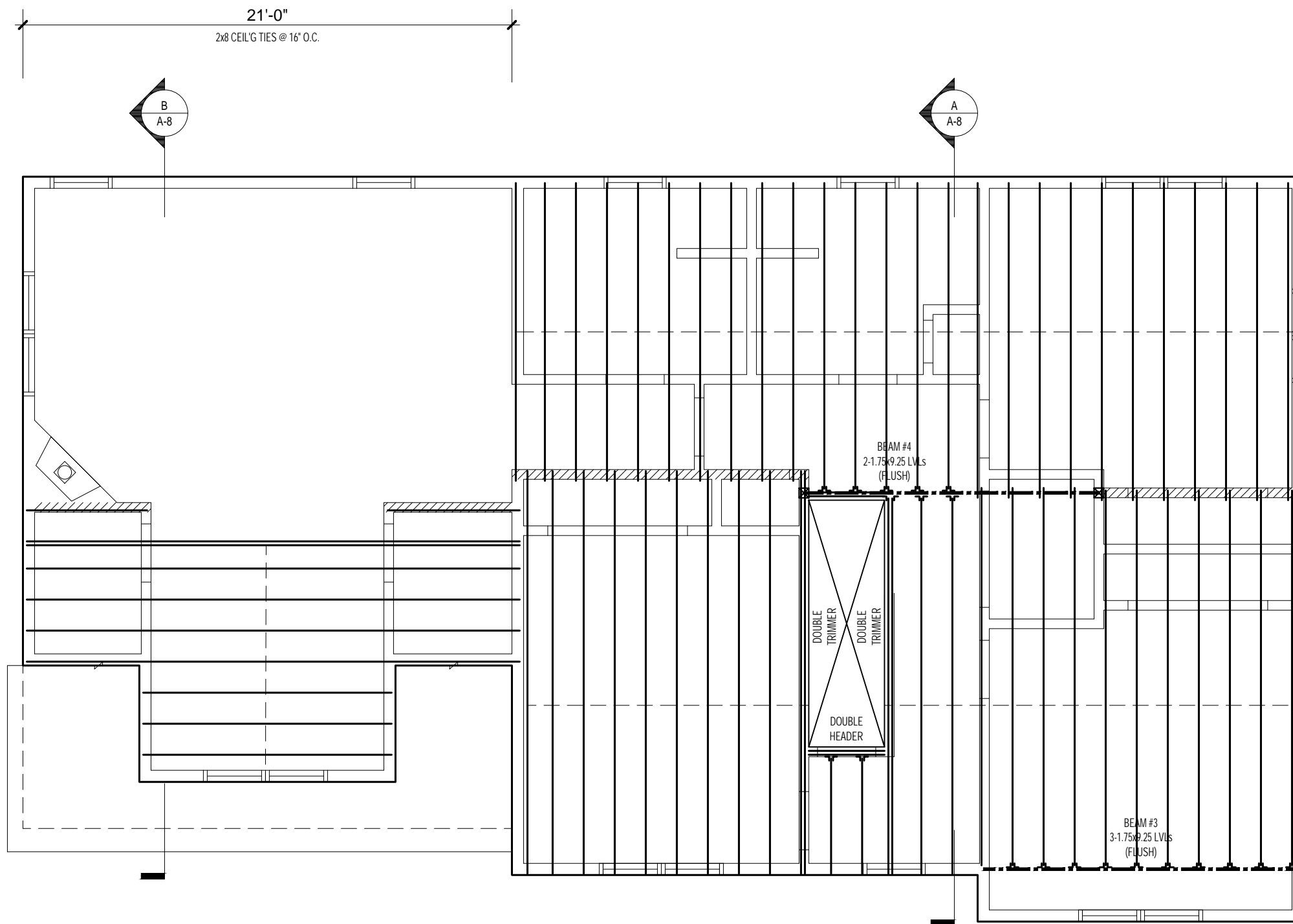
Scale: 3/16"=1'-0"

SECOND LEVEL
FRAMING
PLAN

O L L FRA G LA
AL 3 6 =

A-10

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NOTES:

STUDS - EXTERIOR WALLS TO BE 2X6s @ 16" O.C., INTERIOR WALLS TO BE 2X4s UNO.

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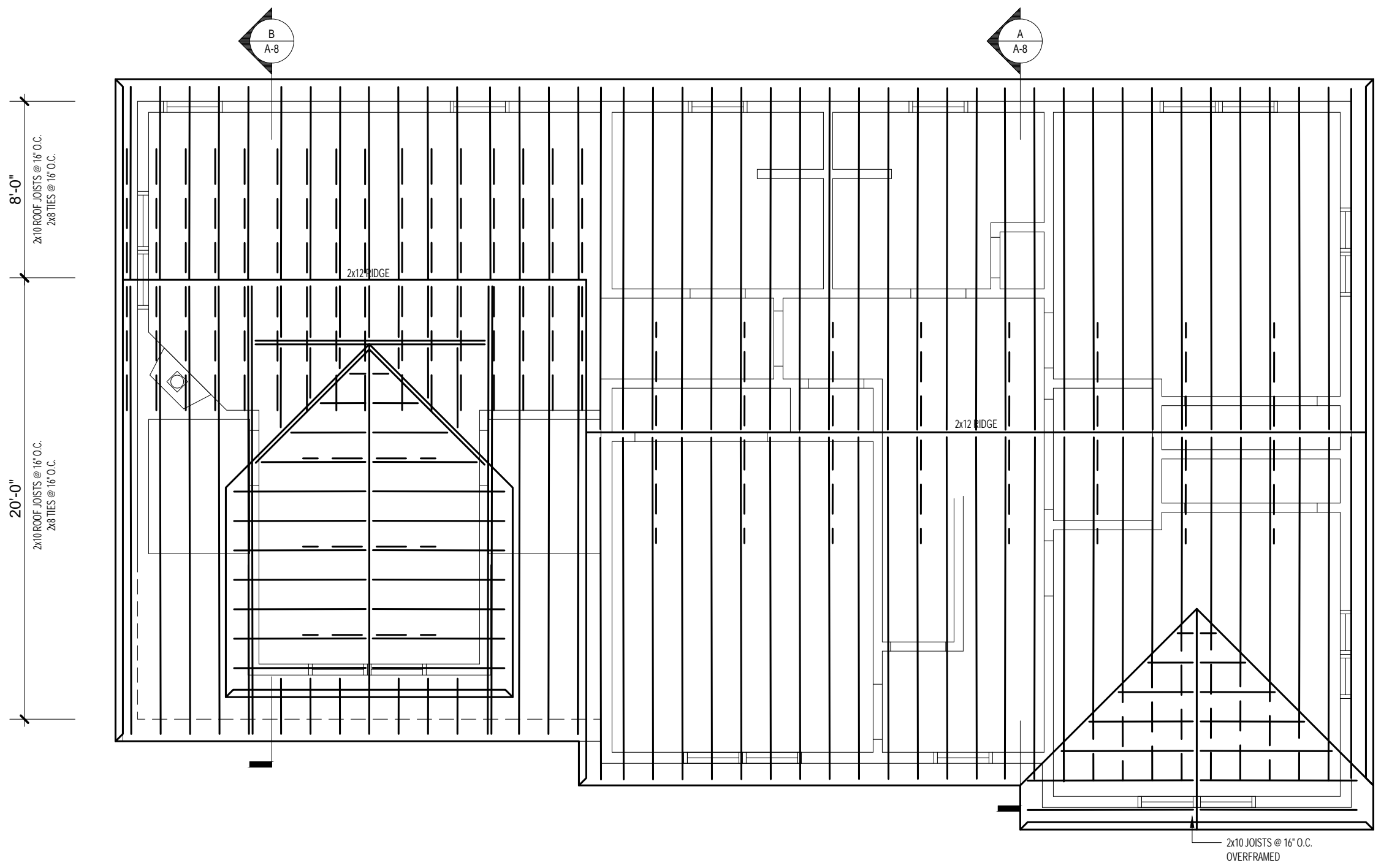
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2	ADD'L ISD	06/24
	RESPONSE	2021

Scale: 3/16" = 1'-0"

ATTIC/ CEILING
FRAMING
PLAN

ATT L G FRA G LA
AL 3 6 =

A-11



NOTES:

STUDS - EXTERIOR WALLS TO BE 2X6s @ 16" O.C., INTERIOR WALLS TO BE 2X4s UNO.

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ROOF OVERHANGS
EAVE 12", RAKE 8" TYP.

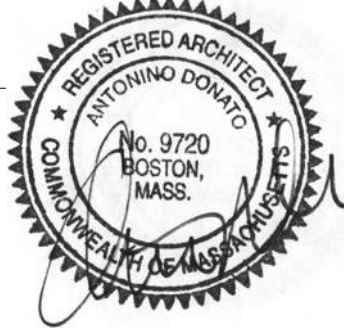
13'-7"
2x10 ROOF JOISTS @ 16" O.C.
2x8 TIES @ 48" O.C.

16'-5"
2x10 ROOF JOISTS @ 16" O.C.
2x8 TIES @ 48" O.C.



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	RESPONSE	2021

Scale: 3/16"=1'-0"

ROOF FRAMING

ROOF FRA G LA
AL 3 6 =

A-12