

LEGEND:

- N/F NOW OR FORMERLY
- OWH OVERHEAD WIRES
- TREE TREE
- TL TREE LINE
- UP UTILITY POLE
- GG* GAS GATE
- G GAS SERVICE (BURIED)
- DMH DRAIN MANHOLE
- D SUB-SURFACE DRAIN LINE
- FD FOUNDATION DRAIN
- EXISTING CONTOUR
- EXISTING CONTOUR
- 99X9 SPOT ELEVATION
- F.F. FIRST FLOOR ELEV.
- T.C. TOP OF CONCRETE ELEV.
- B.F. BASEMENT FLOOR ELEV.
- G.F. GARAGE FLOOR ELEV.
- TBR TO BE REMOVED

RECORD OWNER

CHARLES . FORBES
SARAH C. FORBES
105 MOSS HILL ROAD
JAMAICA PLAIN, MA

REFERENCE

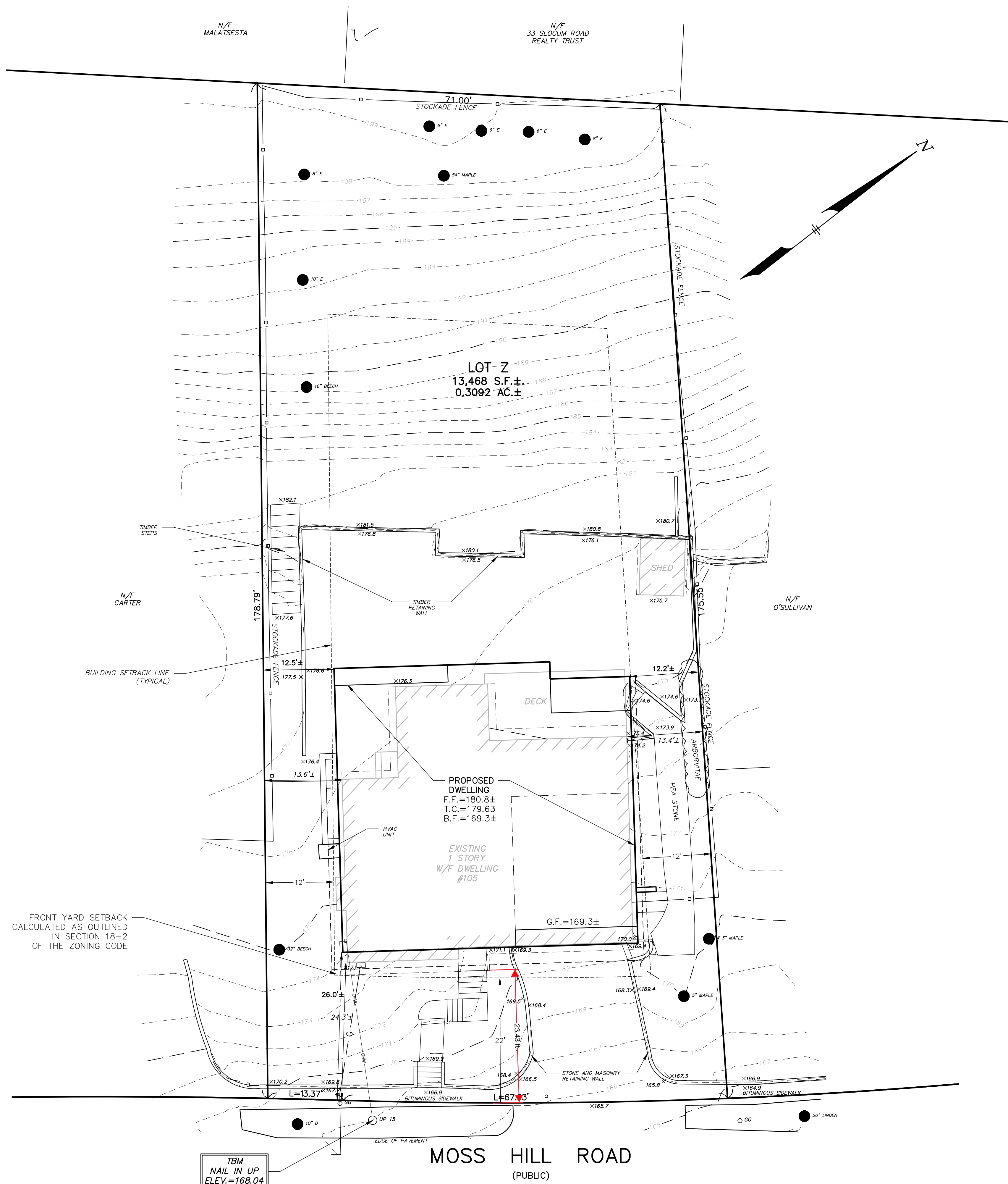
SUFFOLK REGISTRY OF DEEDS
DEED BOOK 20303 PAGE 225
PLAN BOOK 7477 PLAN 230

ZONING DISTRICT

JAMAICA PLAIN NEIGHBORHOOD
SUBDISTRICT 1F-9000
NEIGHBORHOOD DESIGN OVERLAY DISTRICT

DATUM

NAVD OF 1988.



DS

APPROVED

Design Section
BOSTON REDEVELOPMENT AUTHORITY

Design Review
for the
Board of Appeal

M. Cannizzo
Signature

08/23/2022

Any changes to these plans must be submitted to the BPDA for approval.

THE PROPOSED DWELLING ON THIS PROPERTY IS LOCATED AS SHOWN AND IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP; SUFFOLK COUNTY, MASSACHUSETTS; MAP NUMBER 25025C0067 G DATED: SEPTEMBER 25, 2009.

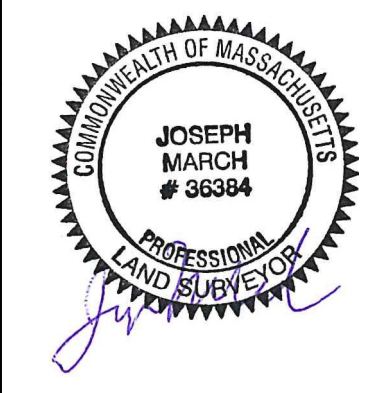
6/16/22 *Joseph March*
DATE REGISTERED PROFESSIONAL LAND SURVEYOR

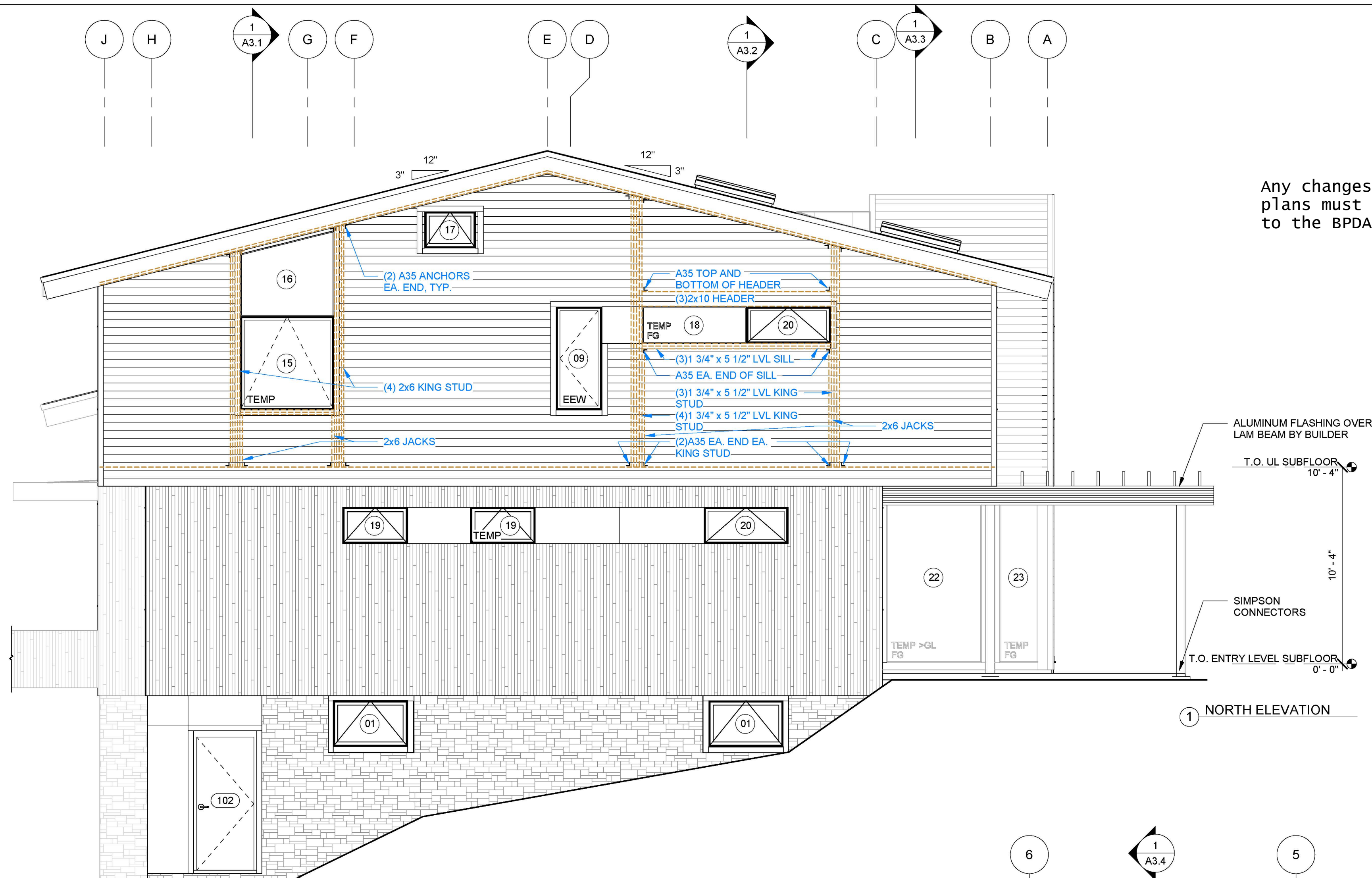
PROPOSED PLOT PLAN
FOR
105 MOSS HILL ROAD
IN
BOSTON, MA

FOR: FORBES
SCALE: 1"=10' JUNE 14, 2022

STAMSKI AND McNARY, INC.
1000 MAIN STREET ACTON, MASS.
ENGINEERING - PLANNING - SURVEYING

0 5 10 20 30 40 FT
SM-6886 (6886.E.PPL.dwg)





GENERAL NOTES

A. ITEMS INDICATED "BY BUILDER" ARE NOT PRICED OR INCLUDED IN THE TRUDEAU HOMES INTERNATIONAL, INC. PACKAGE. IT IS THE CLIENT AND CONTRACTORS RESPONSIBILITY TO ACQUAINT THEMSELVES WITH THESE AND COME TO A CONTRACTUAL AGREEMENT.

B. REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATIONS AND SIZES OF LOAD BEARING POSTS AND BEAMS.

Steven R. Grant, P.E.
Digitally signed by Steven R. Grant, P.E.
Date: 2022.03.28 09:21:53 -04'00'



EXTERIOR ELEVATIONS LEGEND

- MODIFIED BOARD AND BATTEN; 1x4 VERTICAL TRIM @ 7" O.C. OVER HARDIE PANEL
- HARDIE PANEL
- CLAPBOARDS
- VERTICAL CEDAR SIDING
- STONE VENEER (BY BUILDER)
- FIXED GLAZING (NON-OPERABLE)
- (T) or TEMP. TEMPERED GLAZING
- >GL OVERSIZED GLAZING
- EEW EMERGENCY EGRESS WINDOW

STRUCTURAL ENGINEER:
SRG ENGINEERING, INC.
P.O. BOX 925
GRAY, ME 04039
(207)657-7323

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NEXT HOUSE
852 MAIN STREET, ACTON, MA. 01720
(978) 263-6800

PROJECT: FORBES RESIDENCE

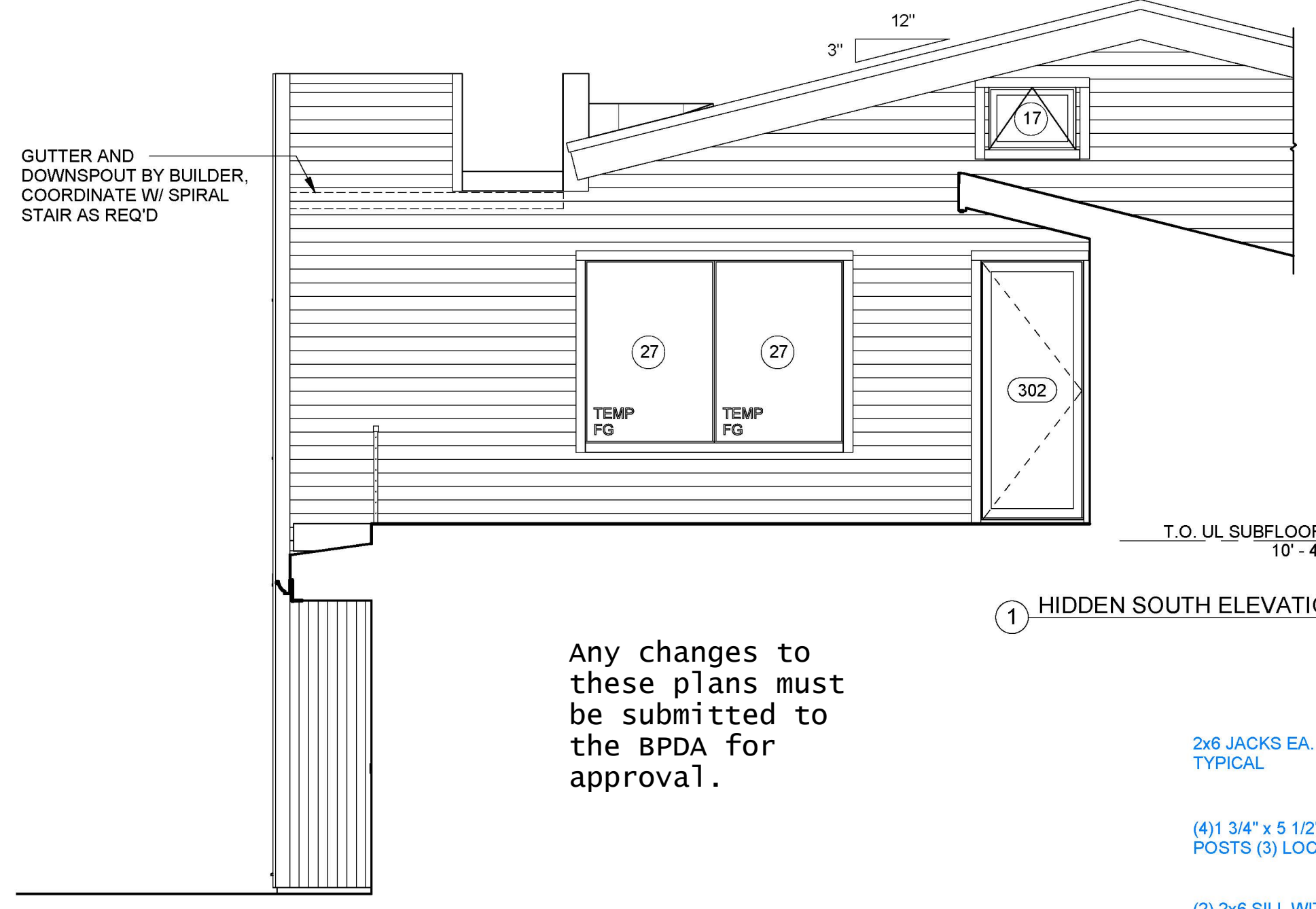
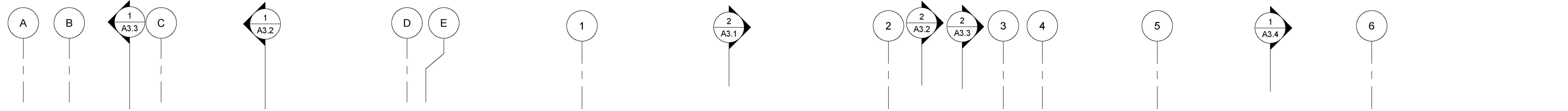
CHARLIE & SARAH FORBES
105 MOSS HILL RD
JAMAICA PLAIN MA 02130

ISSUE DATE: 2022 - 03.28
DRAWN BY: MH, AL CHECKED BY: MH

EXTERIOR ELEVATIONS

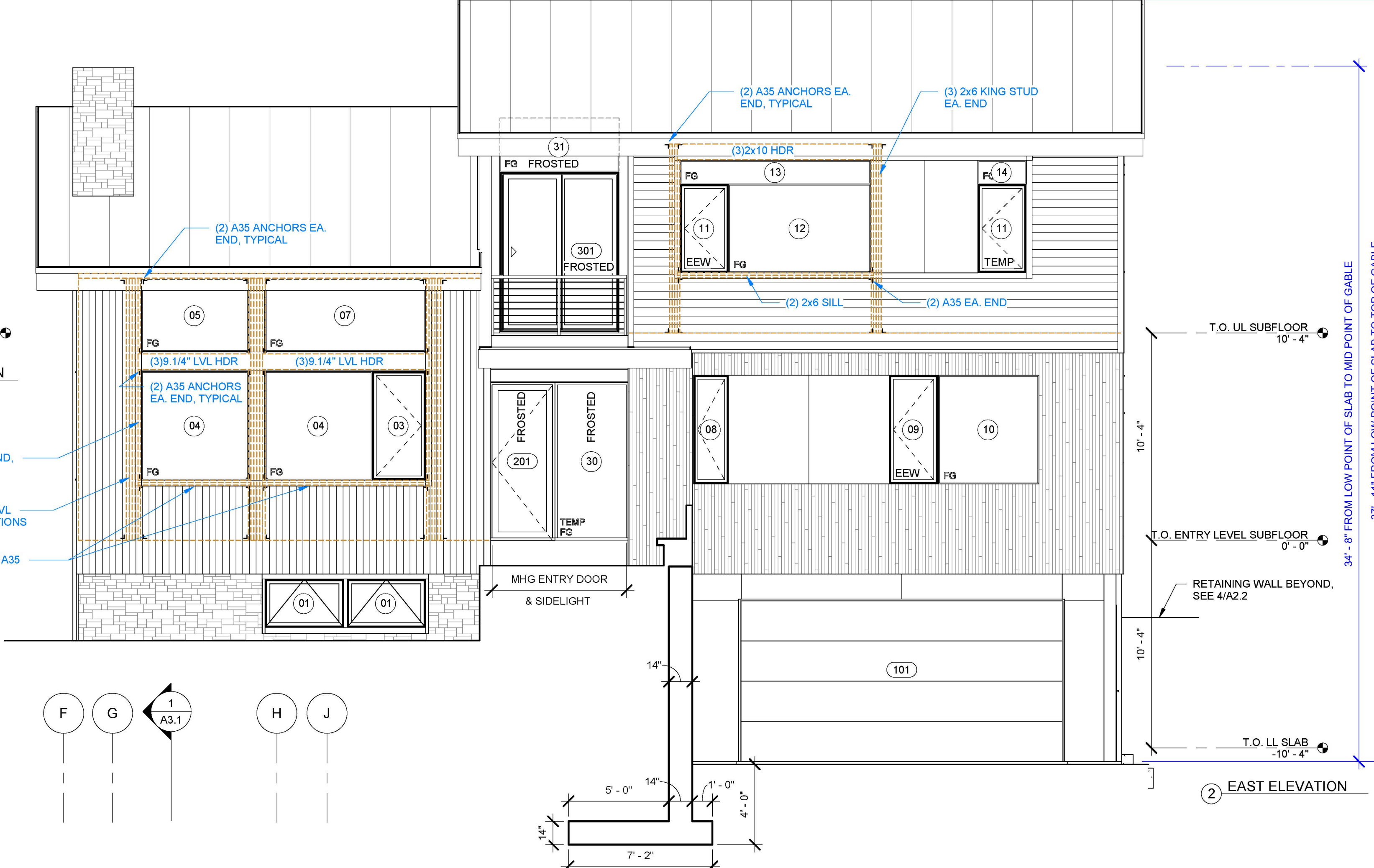
SCALE: 1/4" = 1'-0" ON 24"x36" 1/8" = 1'-0" ON 11"x17"
JOB NO. PAGE NO.

21703 A2.1



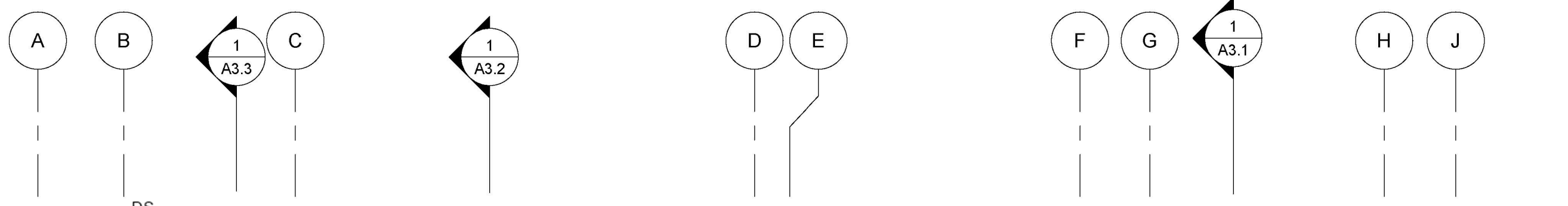
Any changes to these plans must be submitted to the BPDA for approval.

1 HIDDEN SOUTH ELEVATION



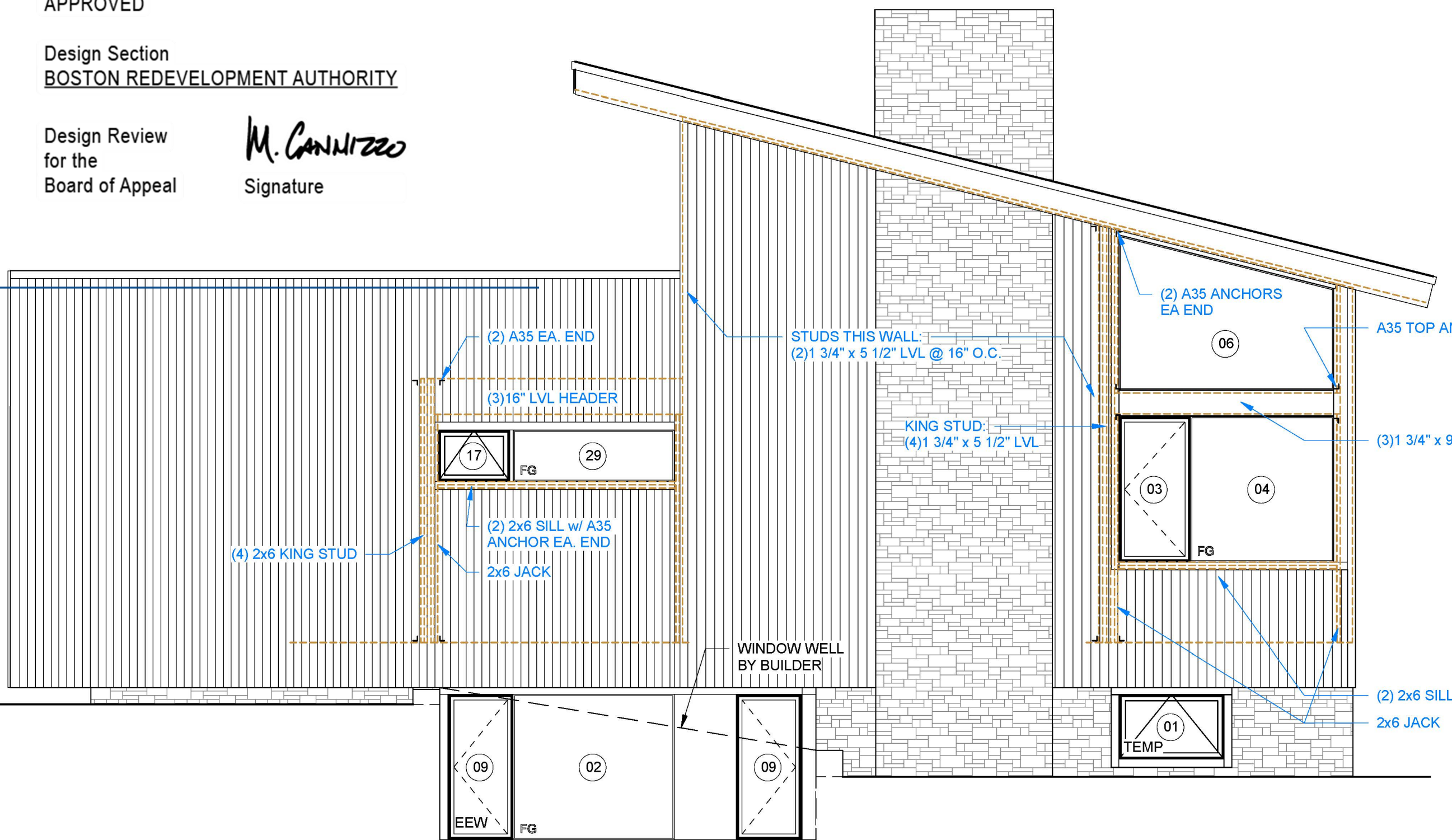
37'-11" FROM LOW POINT OF SLAB TO TOP OF GABLE
34'-8" FROM LOW POINT OF SLAB TO MID POINT OF GABLE
T.O. UL SUBFLOOR 10'-4"
T.O. ENTRY LEVEL SUBFLOOR 0'-0"
T.O. LL SLAB 10'-4"
RETAINING WALL BEYOND, SEE 4/A2.2

2 EAST ELEVATION

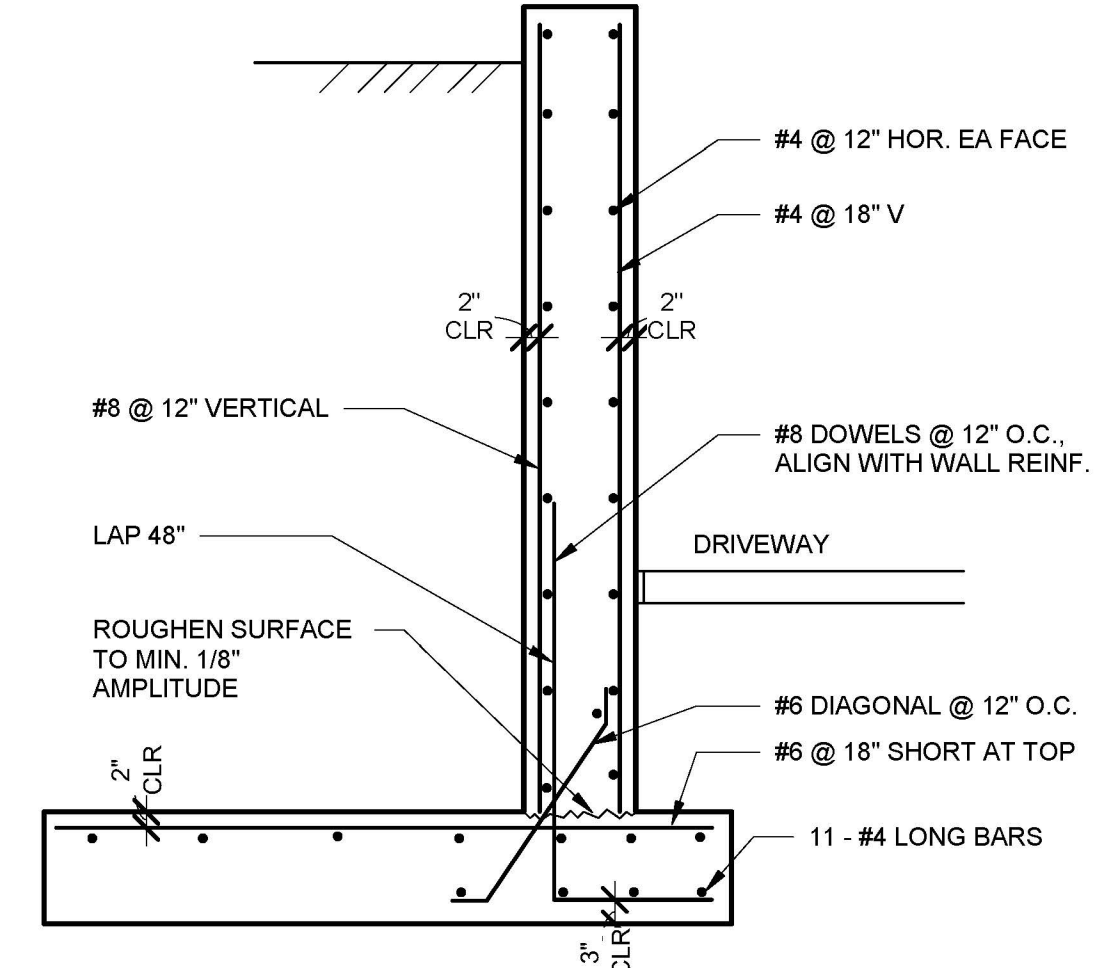


APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review for the Board of Appeal
Signature: M. Cannizzo

08/23/2022



3 SOUTH ELEVATION



4 RETAINING WALL DETAIL
1/2" = 1'-0"

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Digitally signed by Steven R. Grant, P.E.
Date: 2022.03.28 21:13 -04'00'



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JOB NO. 21703 PAGE NO. A2.2