

11 ARBORVIEW ROAD, JAMACIA PLAIN, MA

GENERAL REQUIREMENTS

- CONTRACTOR TO REVIEW ALL DRAWINGS AND DIMENSIONS AND BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.
- NOTIFY ARCHITECT PRIOR TO PLACING CONCRETE & COMPLETION OF STRUCTURAL FRAME.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION WAYS AND MEANS.
- COORDINATE WITH STRUCTURAL DRAWINGS AND SPECIFICATIONS.
- COORDINATE LAYOUTS WITH INTERIOR DESIGNER PRIOR TO ROUGH PLUMBING.

FOUNDATION

- ALLOWABLE SOIL STRESS, 2000 LBS / SF
- ALL FOOTINGS TO BE PLACED ON UNFROZEN, UNDISTURBED OR COMPACTED SOIL.
- ALL FOOTINGS TO BE 4' BELOW GRADE MIN.
- DAMP PROOF ALL EXTERIOR CONCRETE IN CONTACT WITH SOIL
- PROTECT FOOTINGS AGAINST FROST

- UNTIL BACKFILLED
- PROVIDE PERIMETER PERFORATED DRAIN.
- PROVIDE VAPOR BARRIER UNDER ALL SLABS & PERIMETER UNDERSLAB PERFORATED DRAIN.
- EXTERIOR FOOTINGS MINIMUM 4' BELOW GRADE. INTERIOR FOOTINGS JUST UNDER SLAB.

CONCRETE

- COMPRESSIVE STRENGTH OF CONCRETE TO BE 3000 PSI AT 28 DAYS
- SLABS ON GRADE TO BE PLACED IN 1,200 SF PANELS MAX. ON MIN. 4" COMPACTED CRUSHED STONE AND 10 MIL VAPOR BARRIER & 2" RIGID TYPE IX EPS INSULATION.
- SLABS TO BE REINFORCED WITH 6X6 WWF.
- CONTROL JOINTS TO BE CUT OR TROWEL 1/4" DEEP AT 20'X20' MIN. SPACING.
- MINIMUM CONCRETE COVER FOR REBAR IN AREAS IN CONTACT WITH GROUND TO BE 3" MIN.
- MINIMUM CONCRETE COVER FOR OTHER

- AREAS TO BE 2" MIN.
- SLOPE GARAGE FLOOR 1/4" /FT TO DOOR.

STRUCTURAL STEEL CONSTRUCTION


- ALL STEEL TO BE A36, PRIMED
- BASEMENT COLUMNS TO BE 4X4X1/4" TUBE OR PIPE WITH 5/8" X 9"X 4" TOP PLATE AND 6"X9"X5/8" BOTTOM PLATE, LAG BOLTED TO BEAMS WITH 4 5/8" LAG BOLTS OR LALLY COLUMNS W/ HEAVY GRADE STEEL JACKET. 5/8" GWB WRAP MIN. FOR FIRE PROTECTION OF HOLLOW COLUMNS.

STRUCTURAL WOOD CONSTRUCTION

- ALL FRAMING LUMBER KD OR ENGINEERED.
- NEW FRAMING TO HAVE THE FOLLOWING MINIMUM ALLOWABLE BENDING STRESS (Fb), SHEAR (Fv) AND MODULUS OF ELASTICITY (E)
2" WIDE JOIST FB = 1,200 MIN. , E = 1,500,000, FV = 150 PSI
- STUDS - Fb = 1,000 PSI, E=1,200,000 PSI, FV = 75 PSI

- LAMINATED VENEER LUMBER - BENDING Fb = 2,800 PSI, E = 2,000,000 PSI, SHEAR = 290 PSI.
- SILLS TO BE 2 - 2X6 PT WITH 5/8" X 1" ANCHORS BOLTS @ 4' O.C.
- BEARING PARTITIONS SHALL BE BRIDGED @ MID HEIGHT.
- FLOOR SPANS > 10' SHALL BE BRIDGED.
- BUILT UP WOOD BEAMS SHALL BE BOLTED WITH TIMBER LOCK 3/16" BOLTS AT 16" O.C. STAGGARD.
- LEDGERS SHALL BE LAGED TO STUDS OR JOIST BAND @ 32" O.C. MIN. WITH LEGER LOCK 3/8" LAGS. SPANS GREATER THAN 8' TO BE 2 - 3/8" LAGS @ 32" O.C.
- NO JOIST SHALL BE NOTCHED AT TOP OR BOTTOM.
- PROVIDE DOUBLE JOIST UNDER ALL NON LOAD BEARING PARTITIONS PARALLEL TO FLOOR FRAMING.
- PROVIDE SOLID BLOCKING WHERE JOIST ENDS ARE UNRESTRAINED FROM ROTATION.
- MINIMUM BEARING FOR ALL JOIST OR RAFTERS TO BE 3"

- MINIMUM BEARING FOR ALL BEAMS TO BE 3.5"
- LINTELS TO BEAR ON MINIMUM OF 2 JACK STUDS.
- PLYWOOD OR OSB FOR SUBFLOOR TO BE 3/4" T&G GLUED AND GUN NAILED 8" X16".
- COLUMNS TO BEAR ON SOLID WOOD BLOCKING. METAL CONNECT OR LAG TOPS & BOTTOMS WITH FOUR - 3/8" LAGS 2" TARGET EMBEDMENT FOR CONTINUOUS RESISTANCE TO UPLIFT.
- ALL RAFTERS TO BEAM & RAFTER TO PLATE CONNECTIONS TO BE METAL CONNECTED W/ SIMPSON H2.5 HURRICANE CLIPS.
- RESOLVE LOADS ON COLUMNS TO FOUNDATION OR BEAM BELOW. SOLID BLOCK ALL CAVITIES FOR CONTINUOUS BEARING.
- ALL JOIST HANGERS TO BE SIZED TO REACTIONS OF BEAMS OR JOIST.
- PRESSURE TREATED WOOD TO BE USED AT ALL WOOD TO CONCRETE CONTACT.
- PROVIDE SHOP DRAWINGS FROM MANUFACTURER OF WOOD FRAME

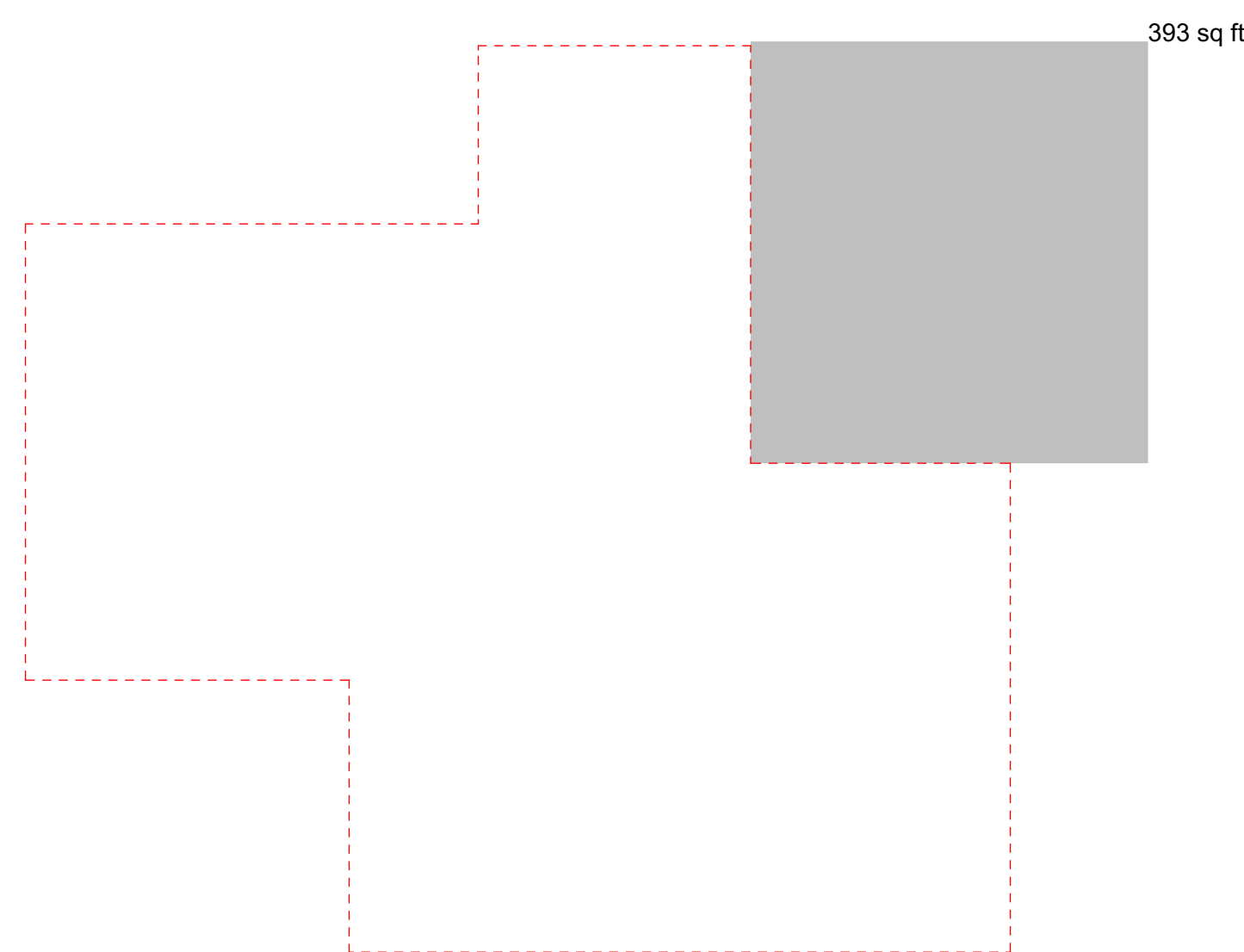
Project: 11 ARBORVIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME		
Owner: 11 ARBORVIEW LLC		Date: 9-26-21 12-10-21 1-30-22
Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 01772 5402		T1
Drawing: Cover & Specifications		



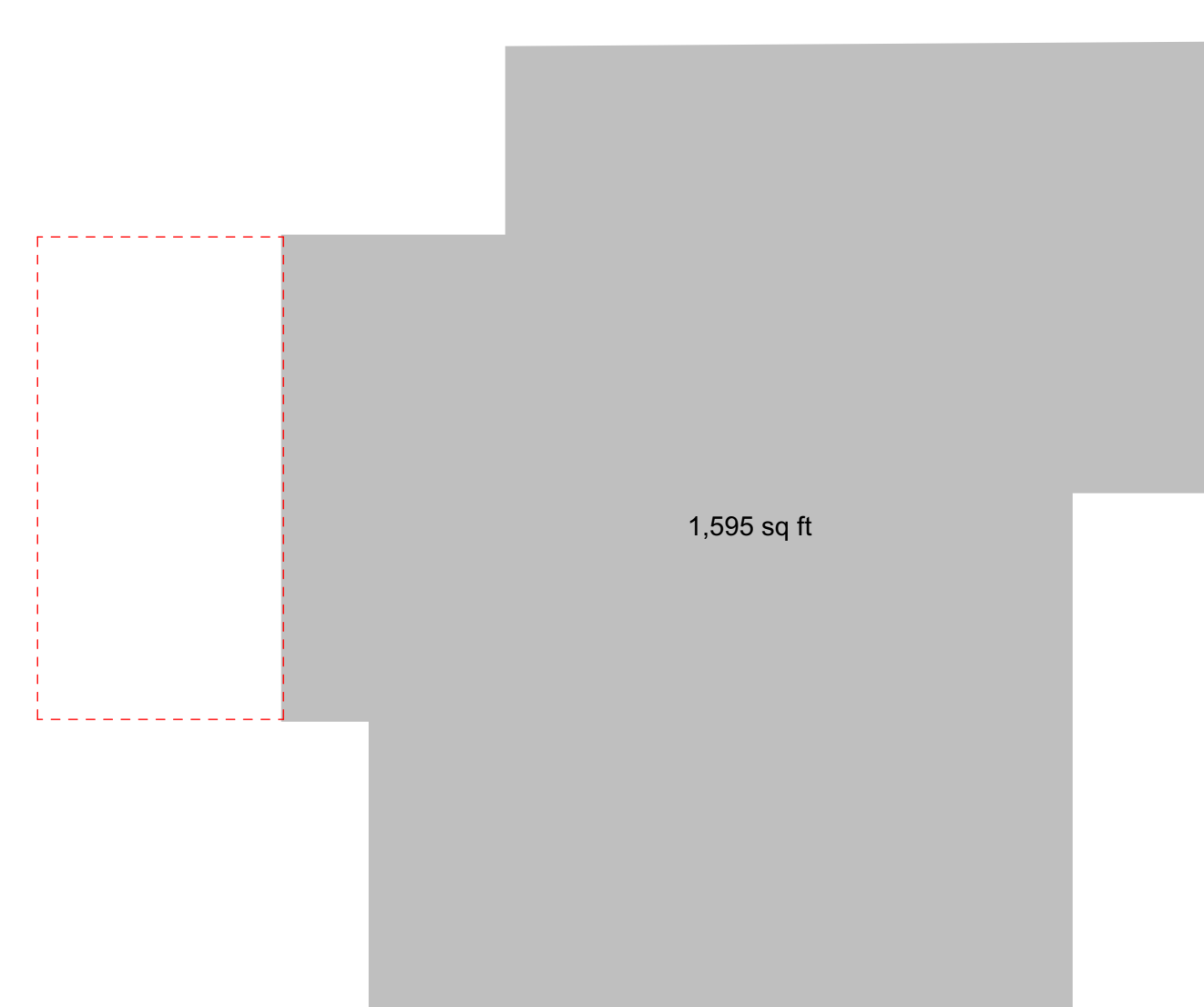
Site is located in a Neighborhood Design Overlay District. Any changes to these plans must be submitted to the BPDA for approval.



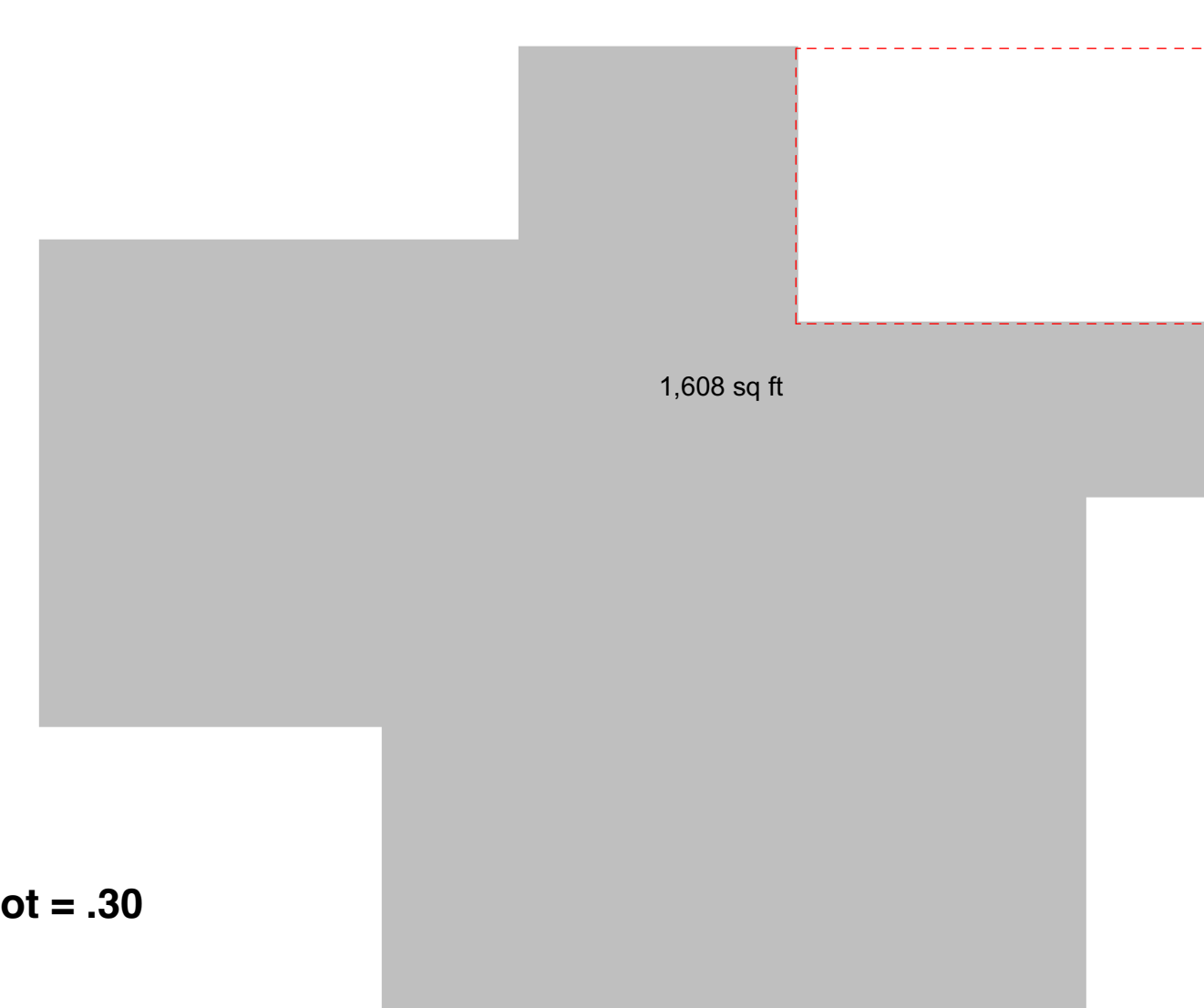
	Lot area, Minimum for Dwell. Unit(s) Specified (Sq.Ft.)	Additional Lot Area for Ea. Addit'l Dwell. Unit (Sq.Ft.)	Lot Width Minimum (Feet)	Lot Frontage Minimum (Feet)	Floor Area Ratio Maximum	Building Height Maximum ⁽²⁾		Usable Open Space Minimum Sq. Ft. Per Dwelling Unit ⁽³⁾	Front Yard Minimum Depth (Feet) ⁽⁴⁾	Side Yard Minimum Width (Feet) ⁽⁵⁾	Rear Yard Minimum Depth (Feet)	Rear Yard Maximum Occupancy by Accessory Buildings (Percent)
						Stories	Feet					
1F-9,000⁽¹⁾												
1 Family Detached	9,000	N/A	70	70	0.3	2-1/2	35	2,000	25	12	40	25
Other Use	9,000	N/A	70	70	0.3	2-1/2	35	2,000	25	12	20	25



9 FAR Area Basement 1/8" = 1'-0"



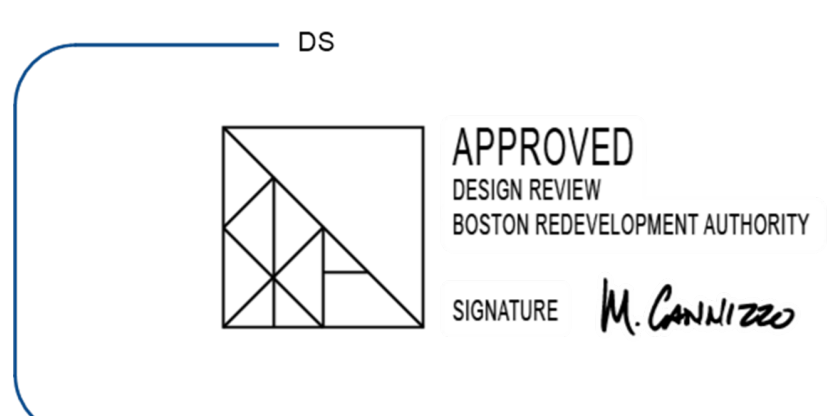
7 FAR Area First Floor Plan 1/8" = 1'-0"



8 FAR Area Second Floor Plan 1/8" = 1'-0"

393
1,595
1,608
3,596 FAR sf / 12,000 lot = .30

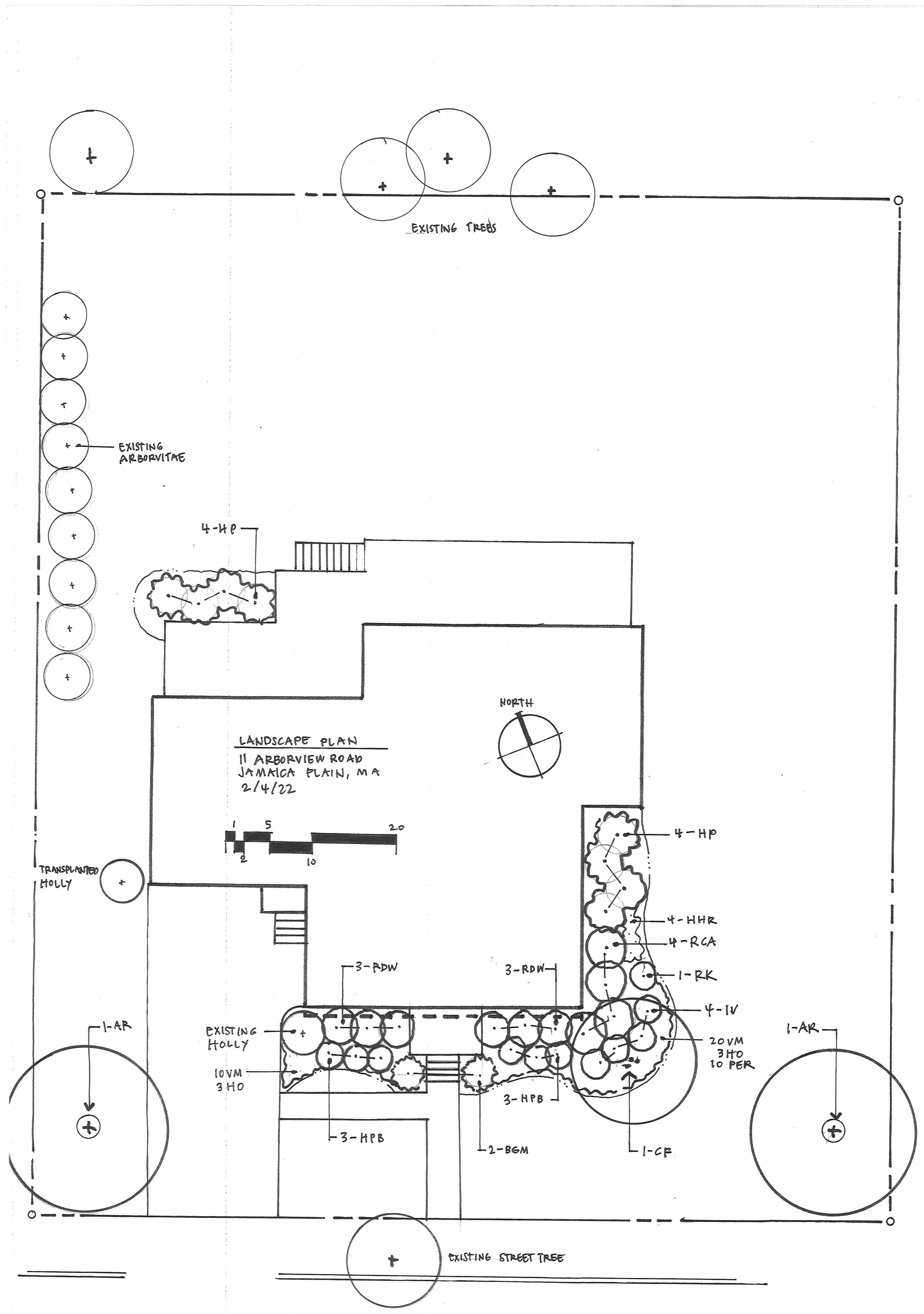
- T1 - SPECIFICATIONS & ZONING TABLE
- L1 - LANDSCAPE PLAN
- A0.1 CONTEXT
- A1 - FOUNDATION PLAN
- A2 - FOUNDATION WALLS
- A3 - FIRST FLOOR PLAN
- A4 - SECOND FLOOR PLAN
- A5 - ROOF PLAN & TYPICAL WALL SECTION
- A6 - ELEVATIONS
- A7 - ELEVATIONS
- A8 - SECTIONS
- A9 - FIRST FLOOR FRAMING
- A10 - SECOND FLOOR FRAMING
- A11 - ATTIC FLOOR FRAMING
- A12 - ROOF FRAMING & ROOF PLAN



2/8/2022

Any changes to these plans must be submitted to the BPDA for approval.

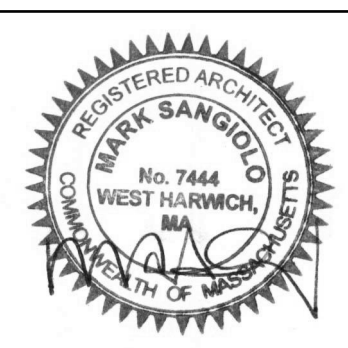
Project: 11 ARBORVIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME		
Owner: 11 ARBORVIEW LLC		Date: 9-26-21 12-10-21 1-30-22
Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402		
Drawing: Landscape Plan		L1



PLANT LIST

11 Arborview Road Jamaica Plain MA
2/4/22

QTY	KEY	SPECIES	SIZE	REMARKS
CANOPY TREES				
2	AR	Acer rubrum Armstrong Red Maple	3" caliper	B and B
UNDERSTORY TREE				
1	CF	Cornus florida Appalachian Snow Flowering Dogwood	2.5" caliper	B and B
SHRUBS				
2	BGM	Buxus Green Mound Green Mound Boxwood	30" ht.	B and B
6	ADW	Rhododendron Delaware Valley Delaware Valley White Azalea		5 gallon
6	HPB	Hydrangea paniculata Bobo Annabelle Hydrangea		3 gallon
8	HP	Hydrangea paniculata Prime Limelight Prime Hydrangea		5 gallon
4	IV	Itea virginica Little Henrys Little Henrys Garnet Itea		3 gallon
4	RCA	Rhododendron catawbiense album White Catawba Rhododendron	2'-2.5' ht	
6	RDW	Rhododendron Delaware Valley White Delaware Valley White Azalea	2'-2.5' ht	
1	RK	Rosa Knock Out Double Pink Knockout rose		3 gallon
PERENNIALS, VINES AND GROUNDCOVERS				
4	HHR	Hemerocallis Happy Returns Happy Returns Daylily		1 gallon
67	HO	Hellebores orientalis Lenten Rose		1 gallon
10	PER	Bee balm, Liatris, Echinacea, Rudbeckia, Tall Phlox, Geranium, Sedum, Gaura, Foxglove, Russian sage,		1 gallon, 3 each
30	VM	Vinca minor Periwinkle	12" o.c.	4" pots


Project: 11 ARBORVIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME		
Owner: 11 ARBORVIEW LLC		Date: 9-26-21 12-10-21 1-30-22
Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402		A0
Drawing: Existing Photos/Context		

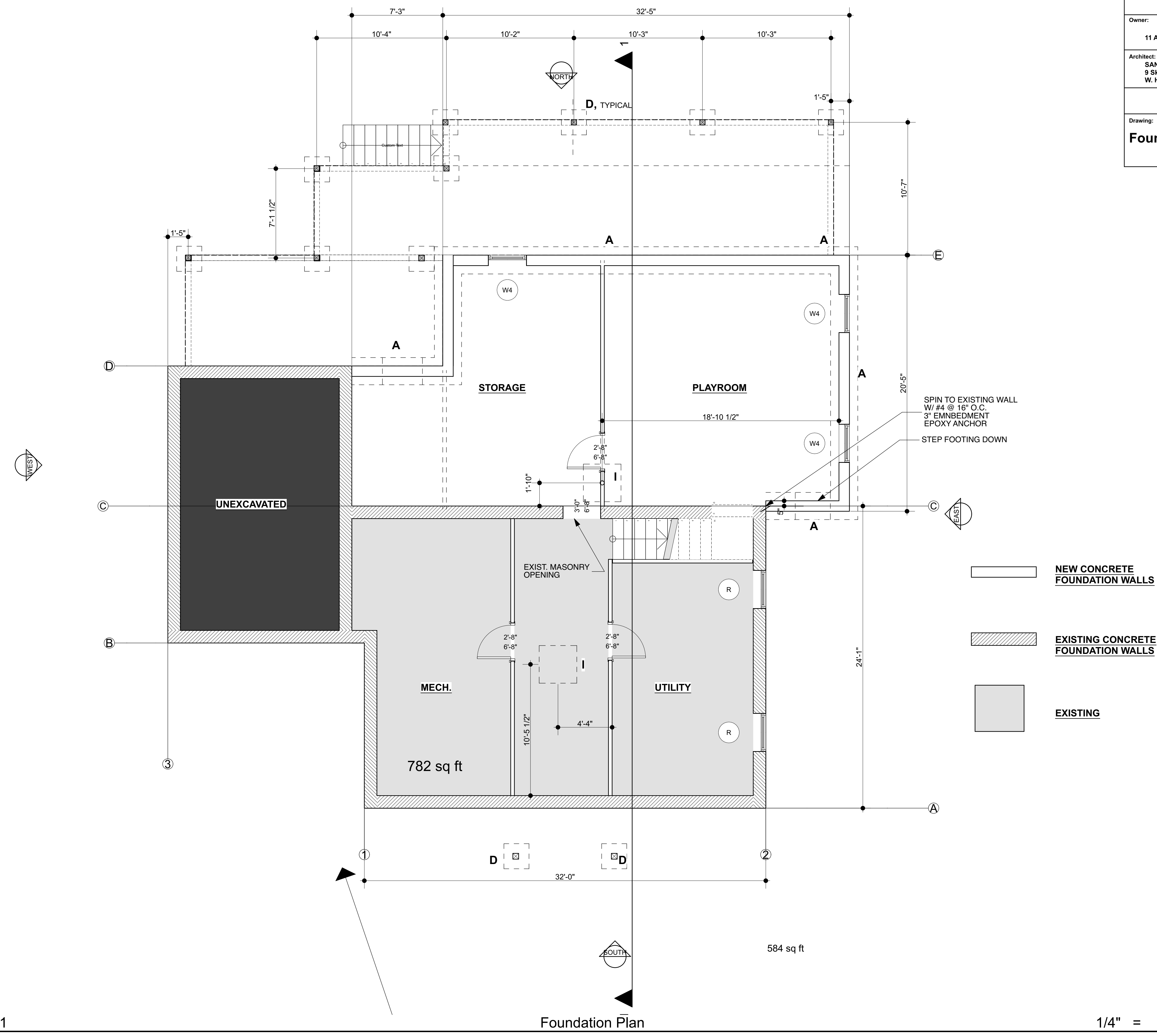



1 Street View 1:1.67

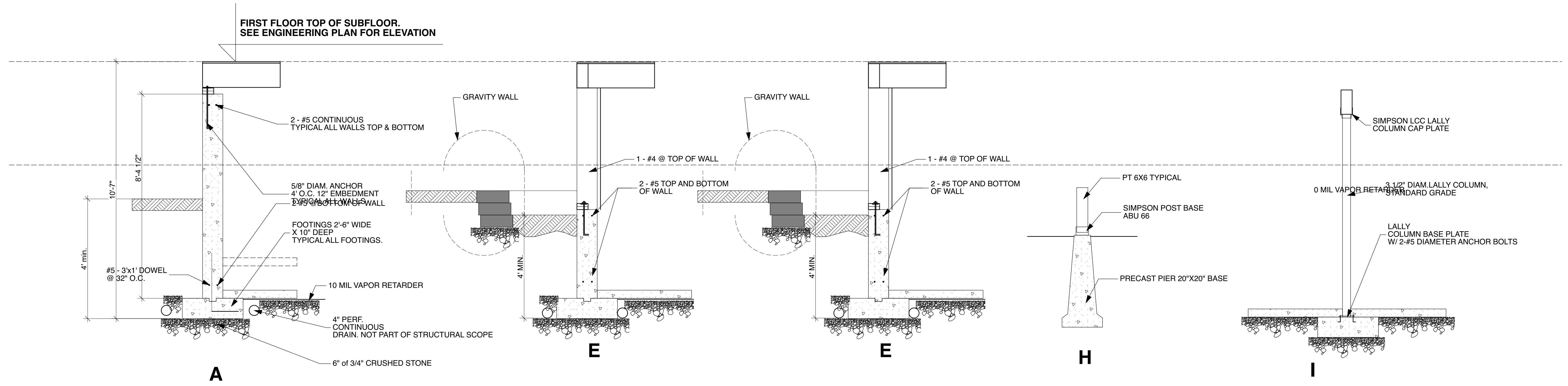


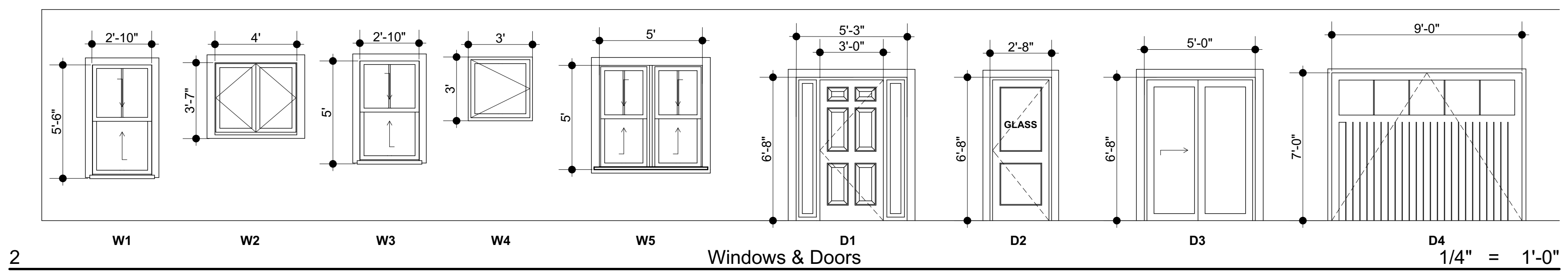
2 Satellite View 1:1.11

Project: 11 ARBORVIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME		
Owner: 11 ARBORVIEW LLC		Date: 9-26-21 12-10-21 1-30-22
Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skeheconet Way, W. Harwich, MA 017 272 5402		
Drawing: Foundation Plan		A1

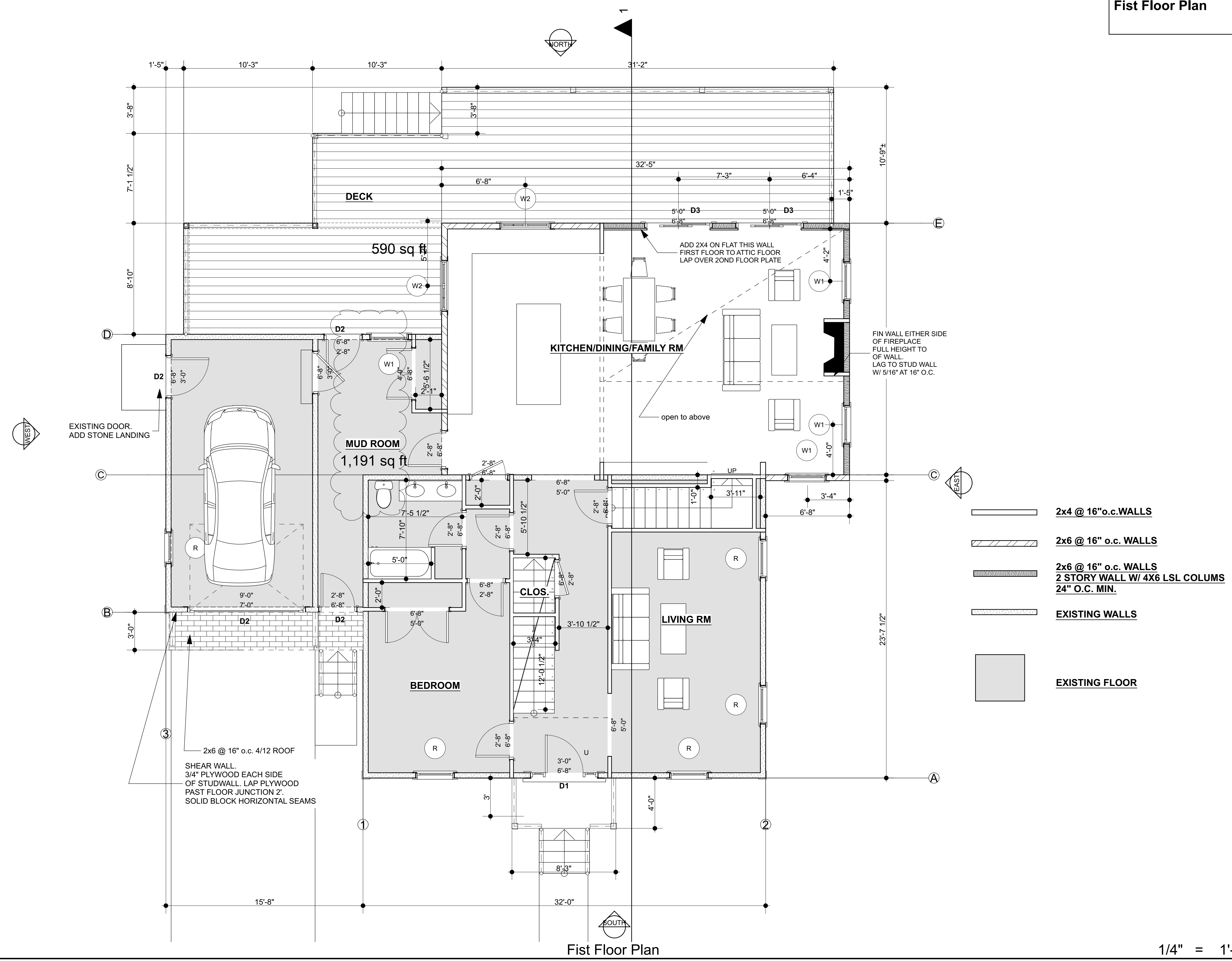


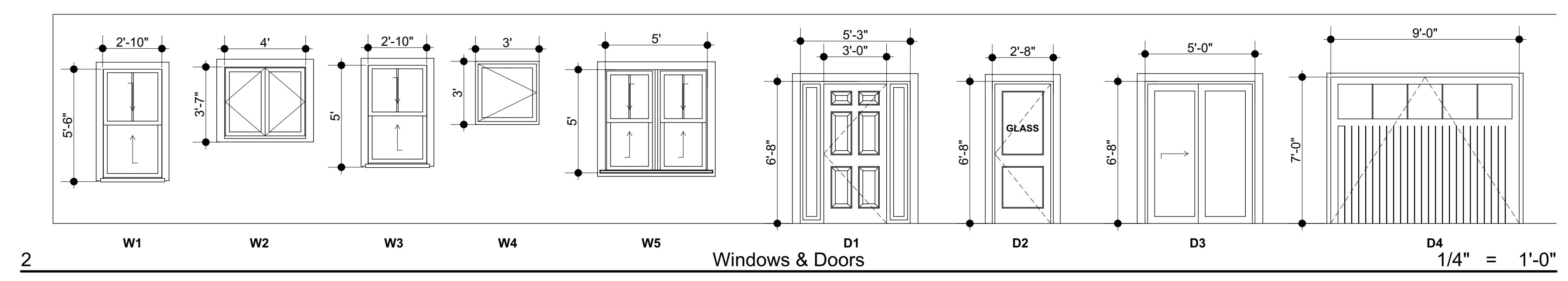
Project: 11 ARBORVIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME		
Owner: 11 ARBORVIEW LLC		Date: 9-26-21 12-10-21 1-30-22
Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402		
Drawing: Foundation Walls		A2



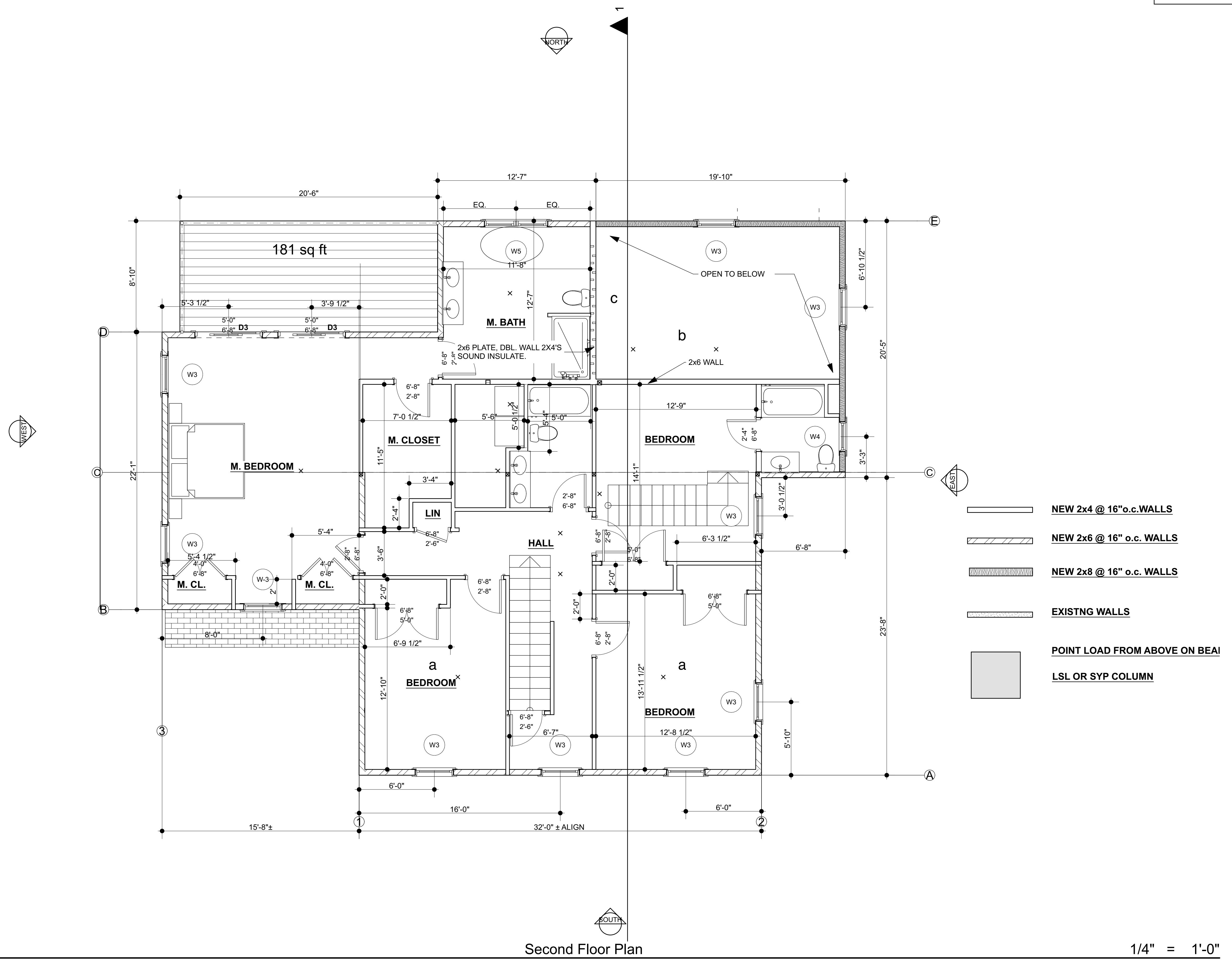



Project: 11 ARBORVIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME			Date: 9-26-21 12-10-21 1-30-22
Owner: 11 ARBORVIEW LLC			Architect: SANGIOLLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402
Drawing: Fist Floor Plan			



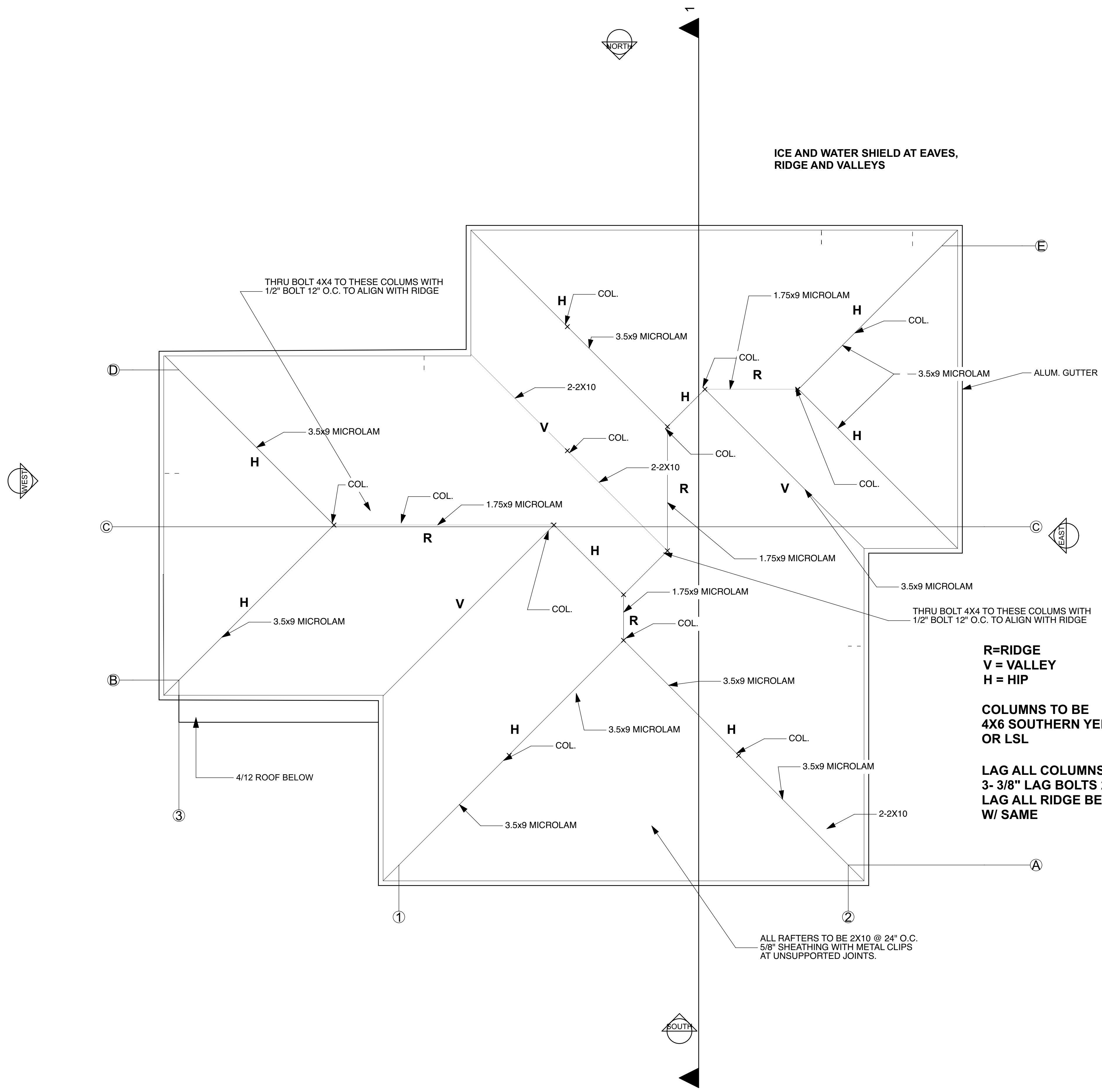


Project: 11 ARBORVIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME			Date: 9-26-21 12-10-21 1-30-22
Owner: 11 ARBORVIEW LLC	Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skeheconet Way, W. Harwich, MA 017 272 5402		
Drawing: Second Floor Plan		A4	



Project: 11 ARBORVIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME			Date: 9-26-21 12-10-21 12-04-21
Owner: 11 ARBORVIEW LLC	Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402		Drawing: Roof Plan & Typical Wall Section

ICE AND WATER SHIELD AT EAVES,
RIDGE AND VALLEYS

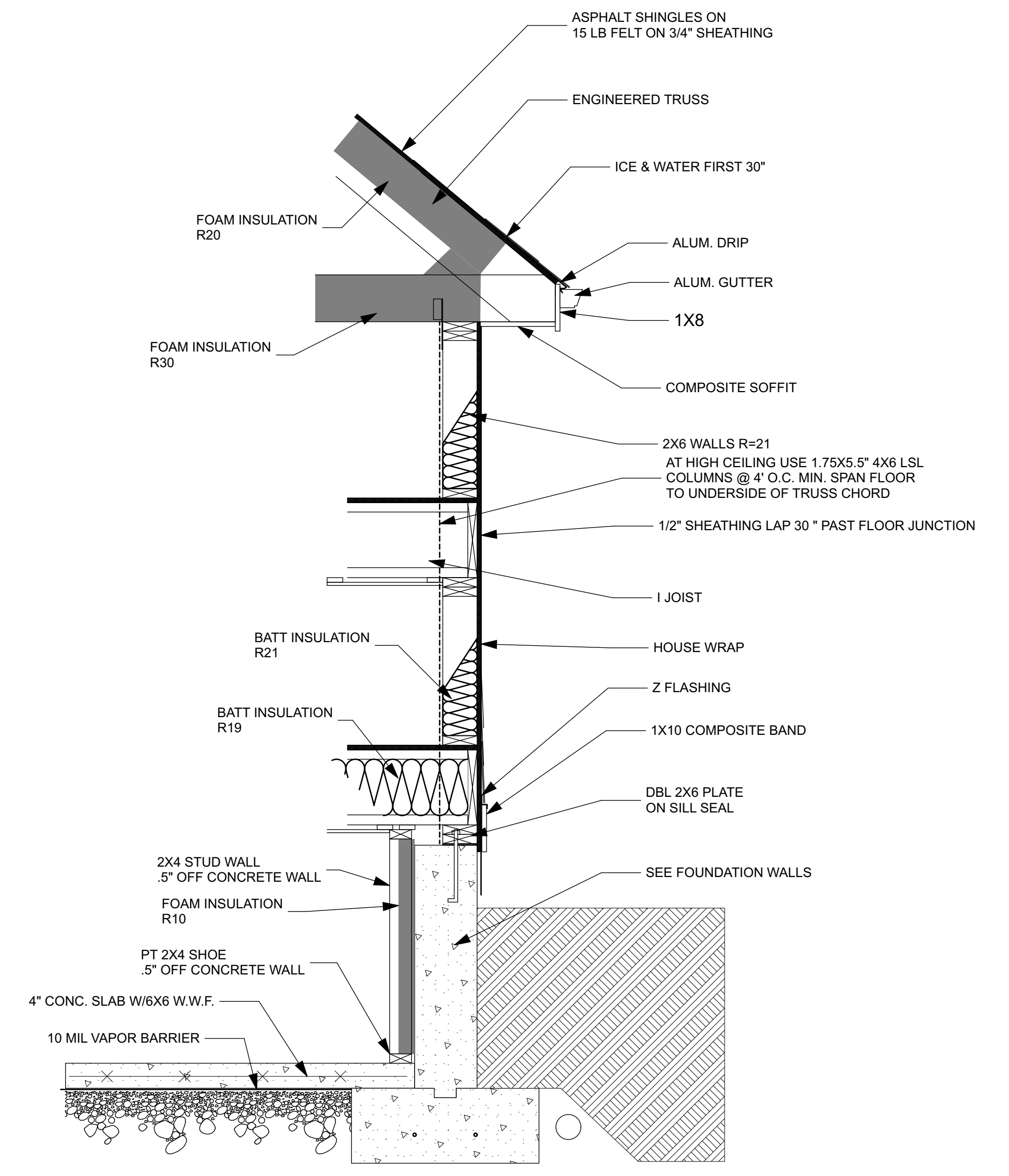


R=RIDGE
V = VALLEY
H = HIP

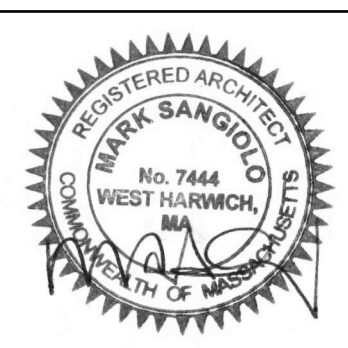
COLUMNS TO BE
4X6 SOUTHERN YELLOW PINE
OR LSL

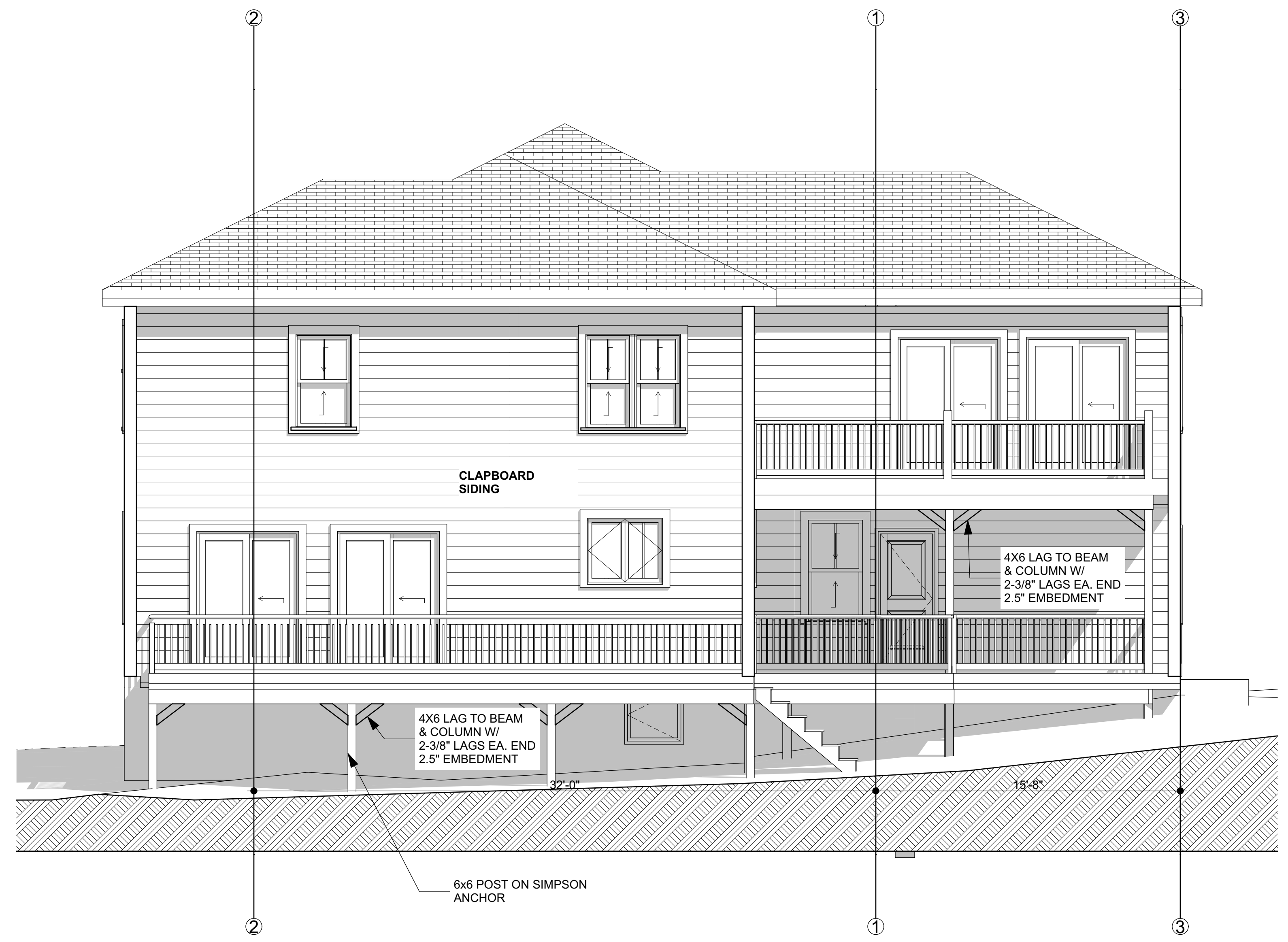
LAG ALL COLUMNS TO BEAMS
3- 3/8\" LAG BOLTS 2.5\" EMBED
LAG ALL RIDGE BEAMS TO HIP
W/ SAME

ALL RAFTERS TO BE 2X10 @ 24" O.C.
5/8" SHEATHING WITH METAL CLIPS
AT UNSUPPORTED JOINTS.



2 Wall Section 3/4" = 1'-0"

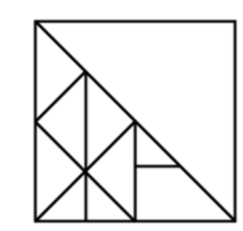
Project: 11 ARBORVIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME		
Owner: 11 ARBORVIEW LLC		Date: 9-26-21 12-10-21 1-30-22
Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402		
Drawing: Elevations		A6



2 NORTH ELEVATION 1/4" = 1'-0"

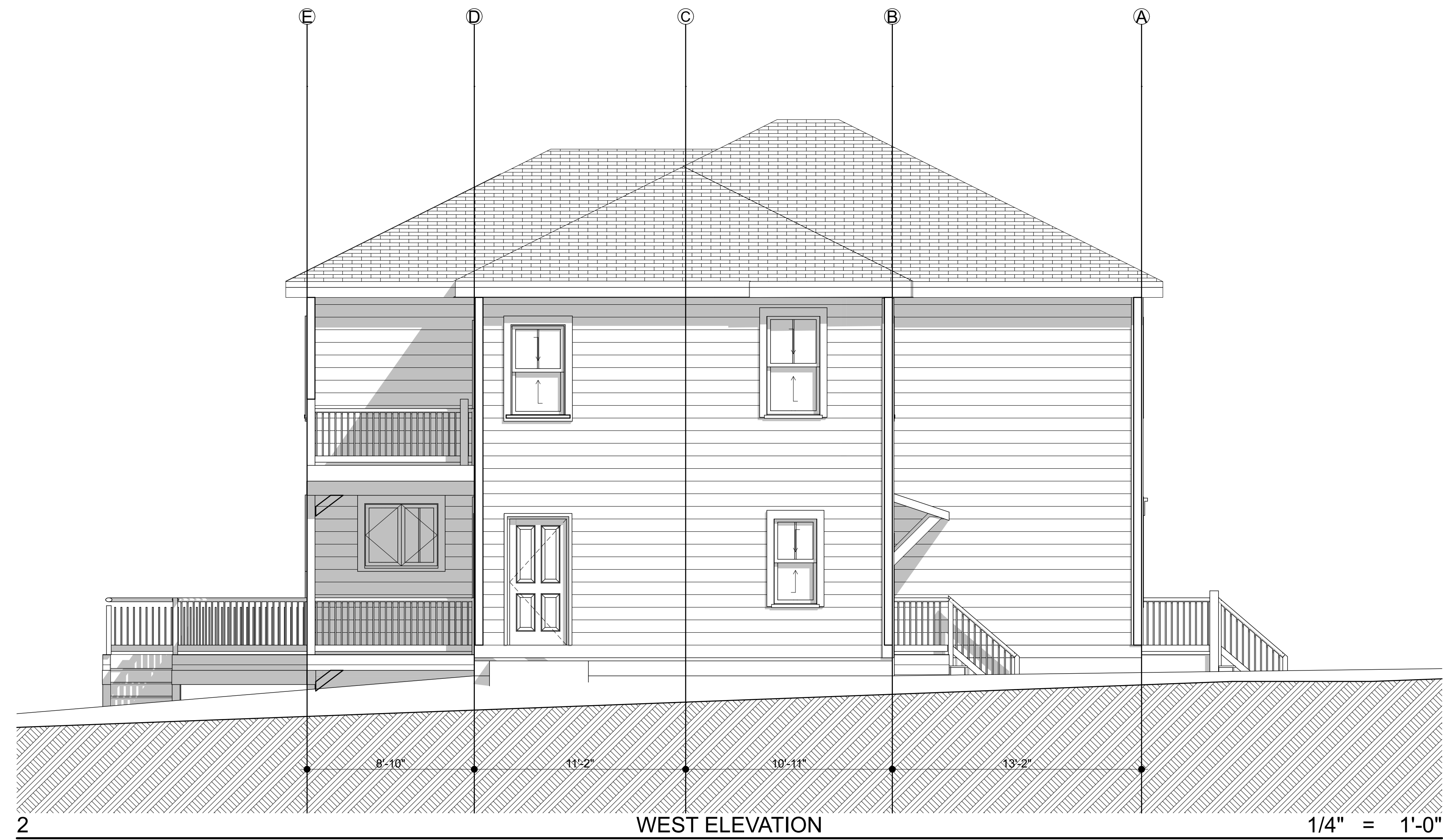



1 SOUTH ELEVATION 1/4" = 1'-0"

DS

APPROVED
 DESIGN REVIEW
 BOSTON REDEVELOPMENT AUTHORITY
 SIGNATURE *M. Cannizzo*

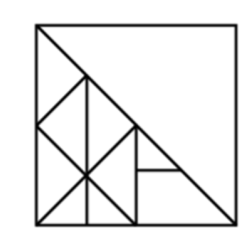
2/8/2022

Any changes to these plans must be submitted to the BPDA for approval.



Project: 11 ARBORVIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME		
Owner: 11 ARBORVIEW LLC		Date: 9-26-21 12-10-21 1-30-22
Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402		
Drawing: Elevations		A7

DS



APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY


SIGNATURE *M. Cannizzo*

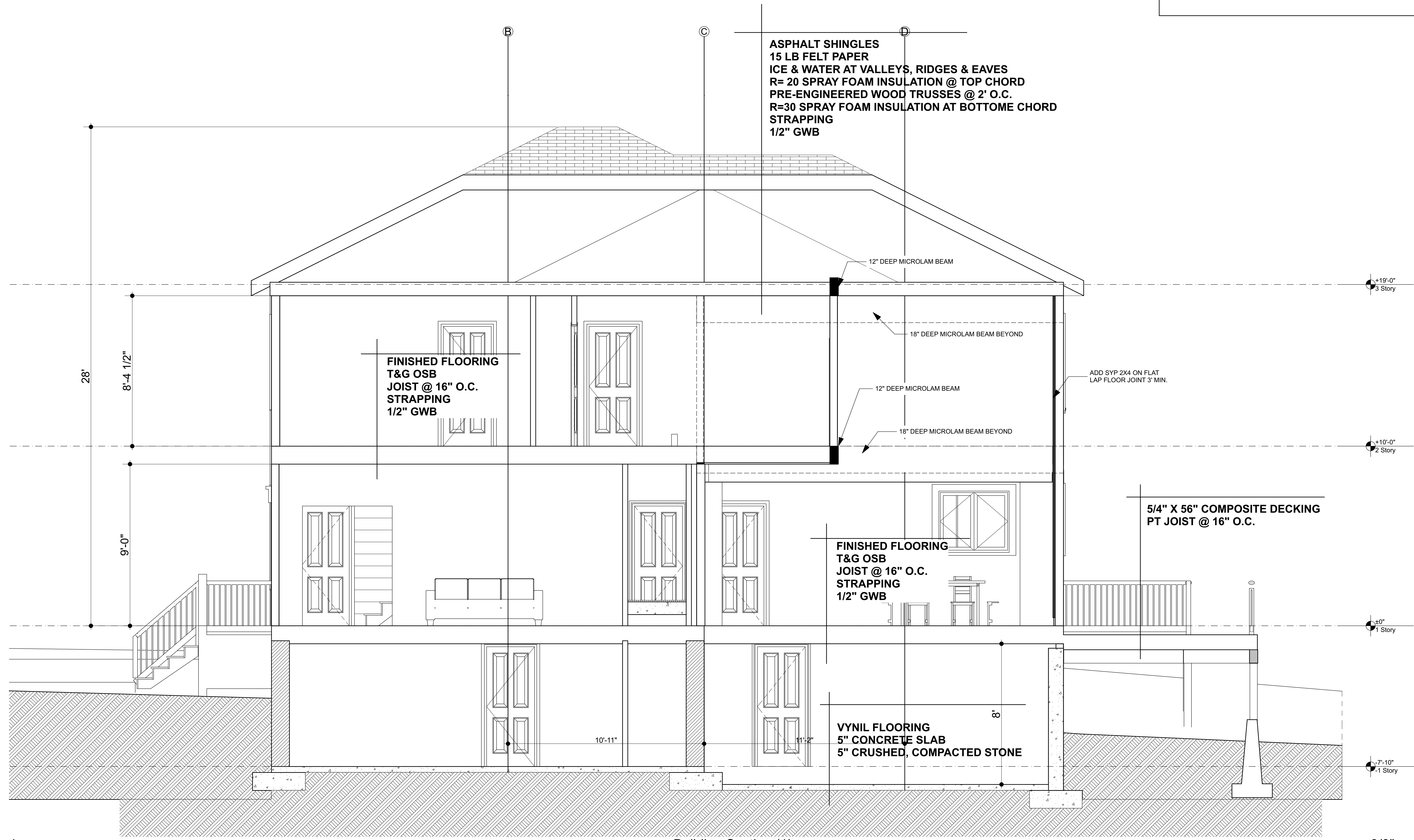
2/8/2022


Any changes to these plans must be submitted to the BPDA for approval.

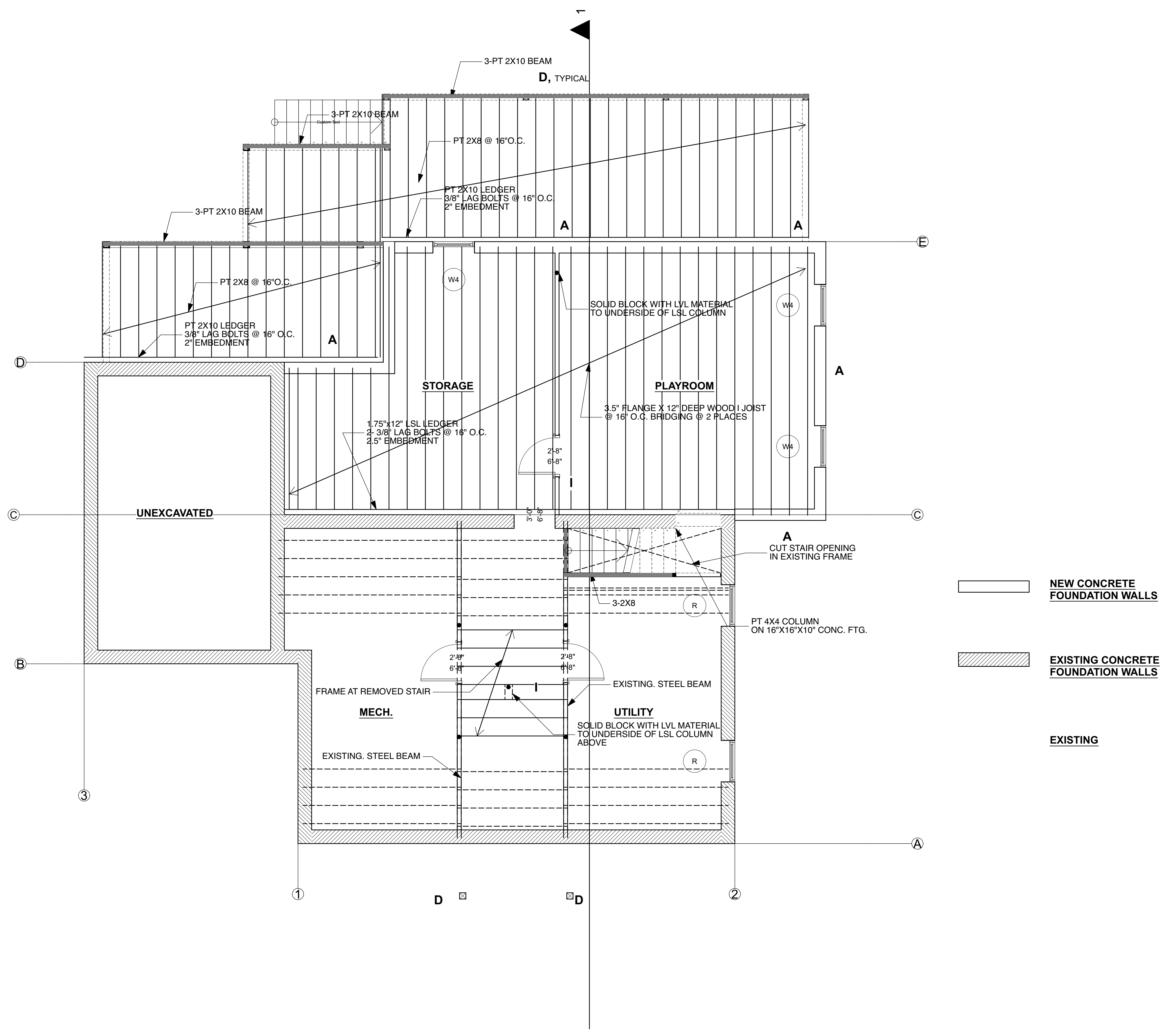



1/4" = 1'-0"

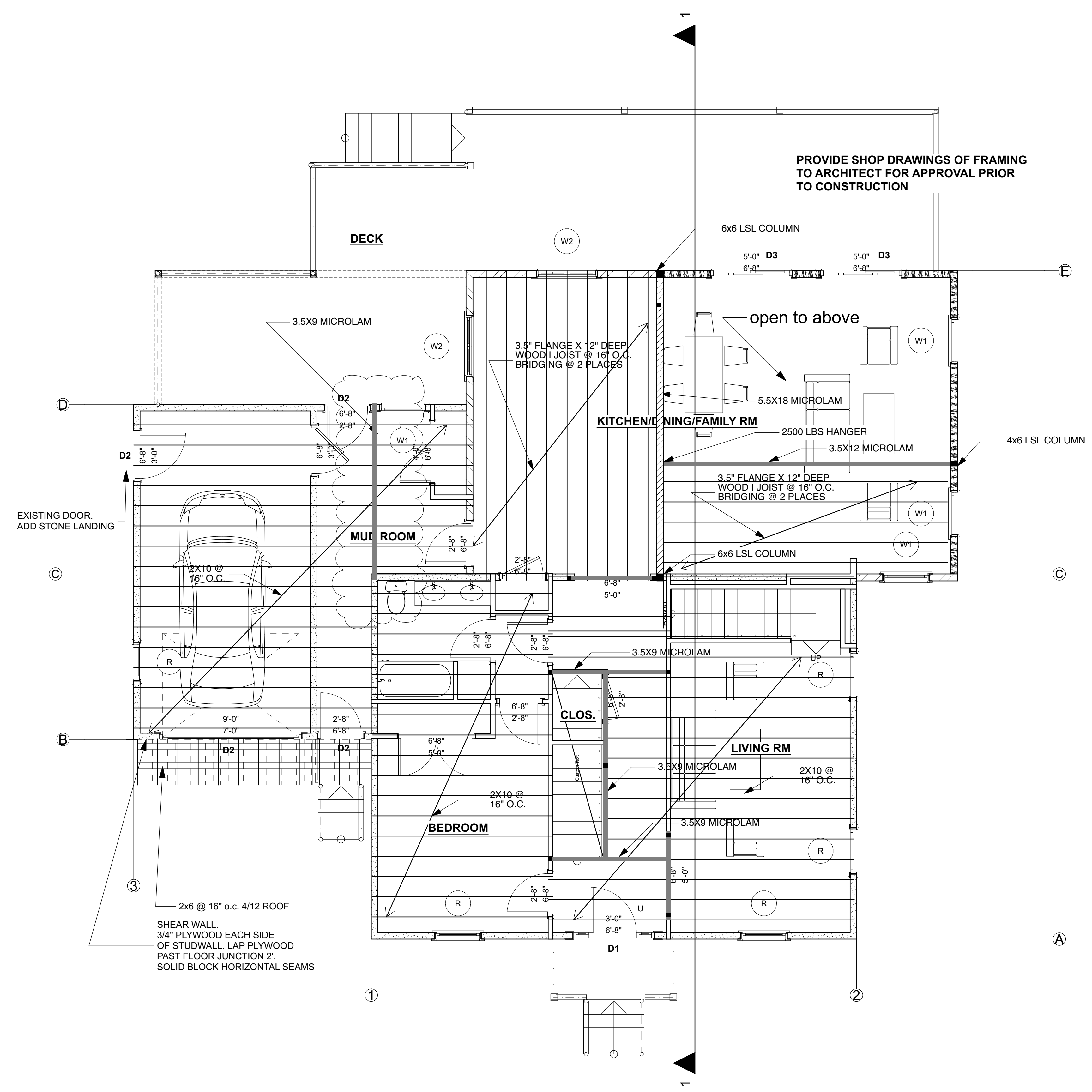
Project: 11 ARBORVIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME			Date: 9-26-21 12-10-21 1-30-22
Owner: 11 ARBORVIEW LLC	Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402		
Drawing: Section			A8

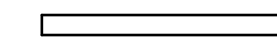
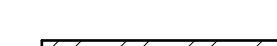





Project: 11 ARBORVIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME		
Owner: 11 ARBORVIEW LLC		Date: 9-26-21 12-10-21 1-30-22
Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402		
Drawing: First Floor Framing Plan		A9



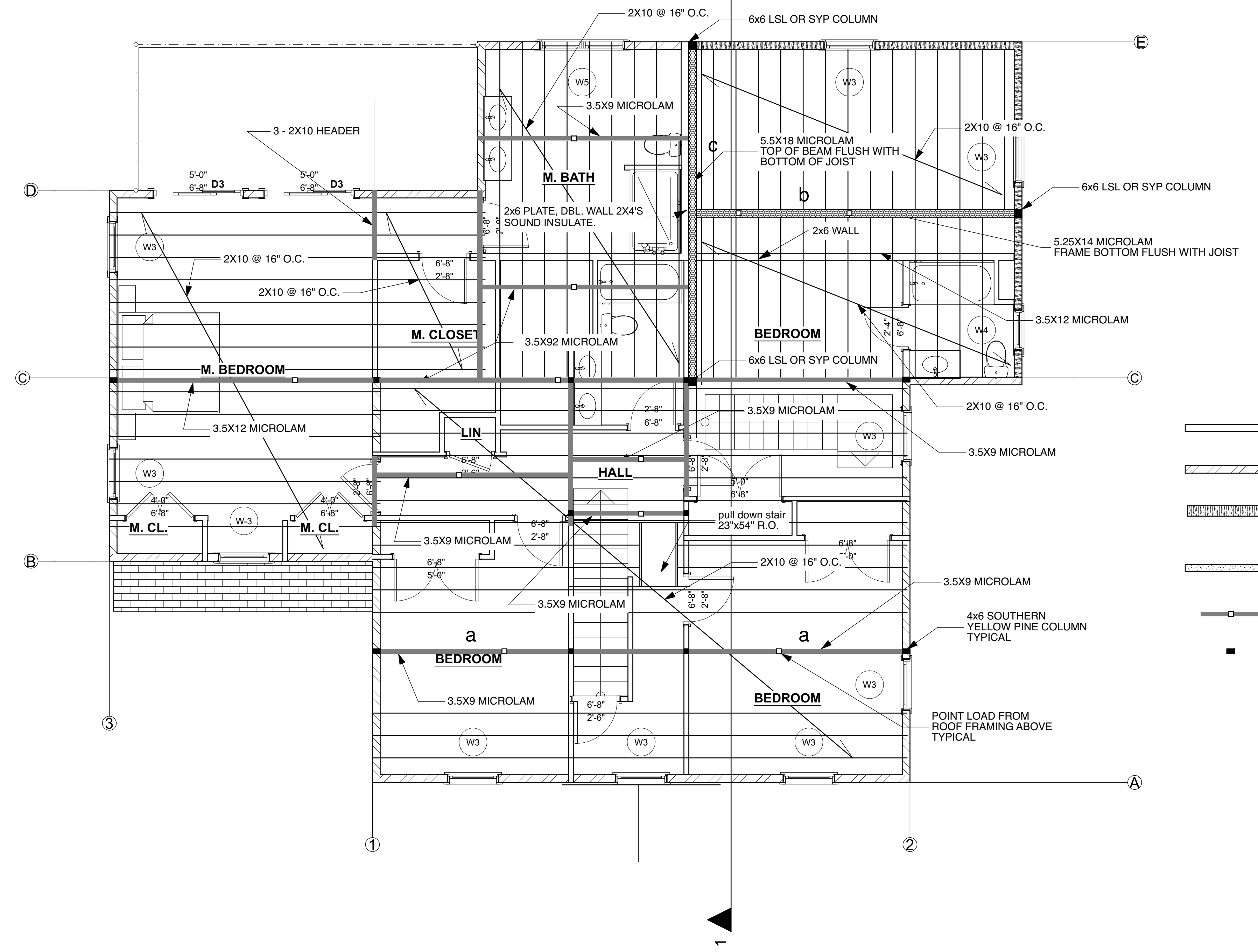
Project: 11 ARBORVIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME		
Owner: 11 ARBORVIEW LLC		Date: 9-26-21 12-10-21 1-30-22
Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skeheconet Way, W. Harwich, MA 017 272 5402		
Drawing: Second Floor Framing Plan		A10










-  **2x4 @ 16" o.c. WALLS**
-  **2x6 @ 16" o.c. WALLS**
-  **2x6 @ 16" o.c. WALLS
2 STORY WALL W/ 4X6 LSL COLUMNS
24" O.C. MIN.**
-  **EXISTING WALLS**

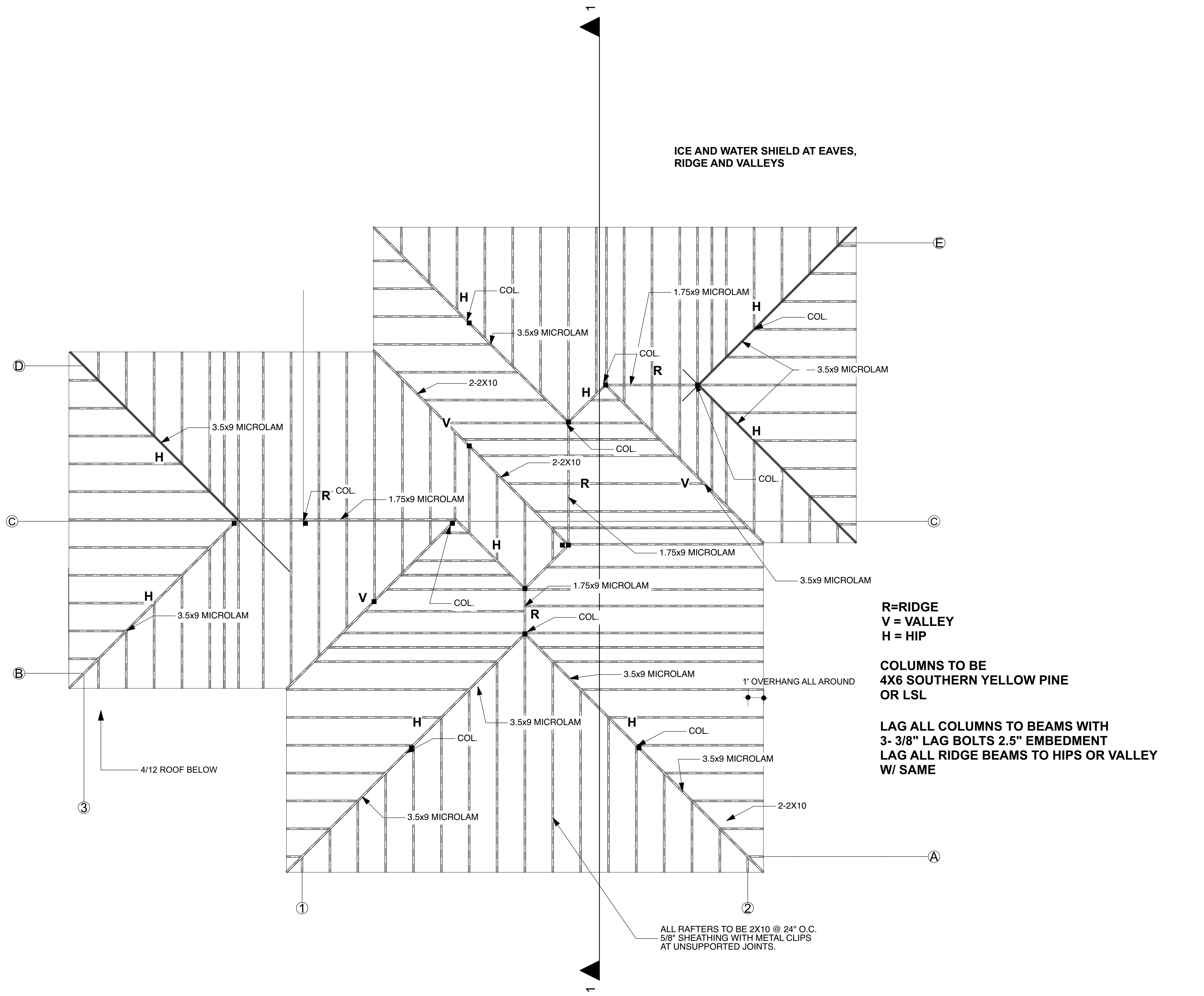
Project: 11 ARBORVIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME			Date: 9-26-21 12-10-21 1-30-22
Owner: 11 ARBORVIEW LLC	Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402		Drawing: Attic Floor Framing Plan

PRE-ENGINEERED WOOD TRUSSES @ 2' O.C.
PROVIDE SHOPE DRAWINGS TO ARCHITECT
PRIOR TO FINAL ORDER.

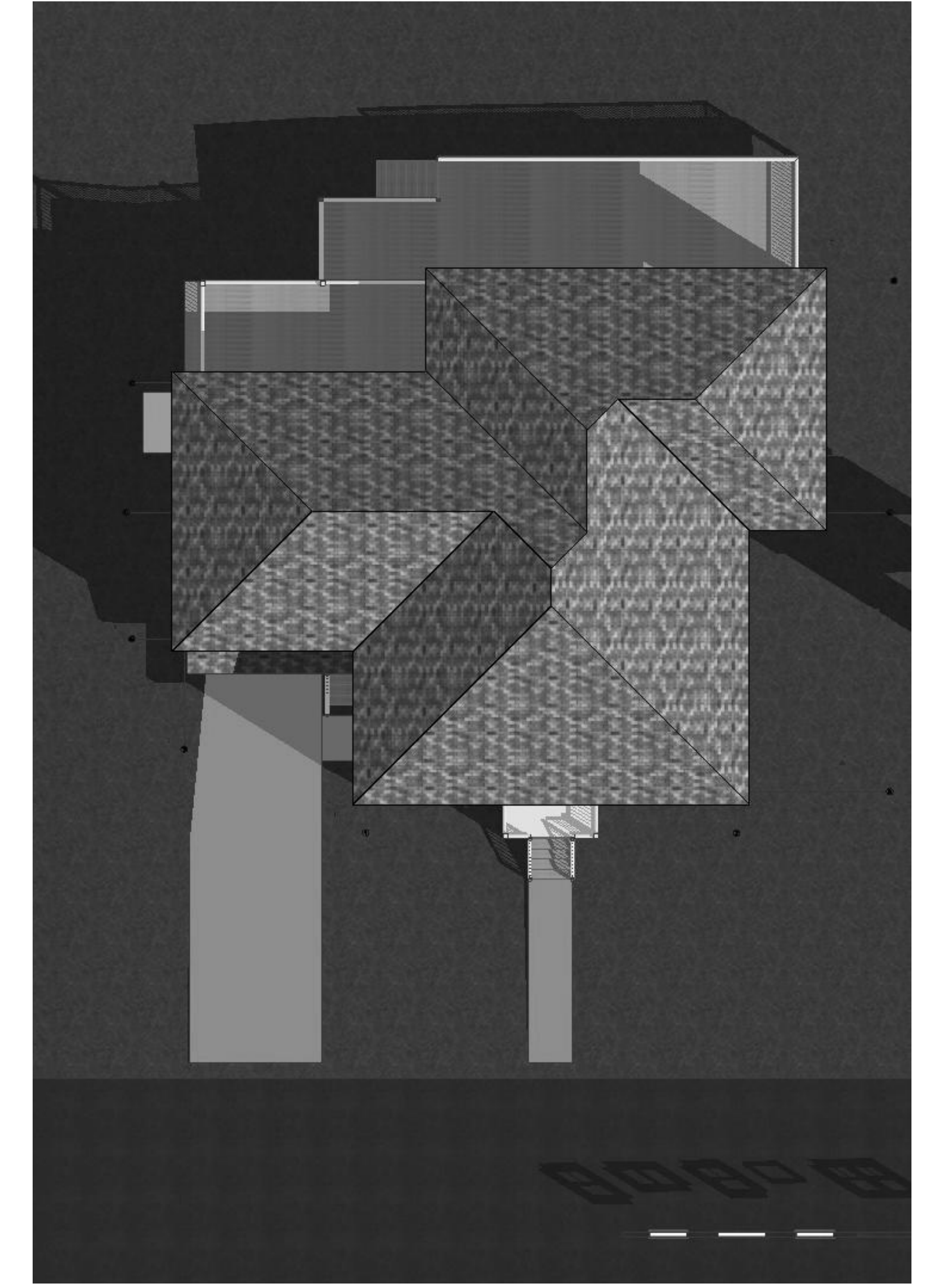


-  **NEW 2x4 @ 16" o.c. WALLS**
-  **NEW 2x6 @ 16" o.c. WALLS**
-  **NEW 2x8 @ 16" o.c. WALLS**
-  **EXISTNG WALLS**
-  **POINT LOAD FROM ABOVE ON BEAM**
-  **LSL OR SYP COLUMN**

Project: 11 ARBORVIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME			Date: 9-26-21 12-10-21 1-30-22
Owner: 11 ARBORVIEW LLC	Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402		
Drawing: Roof Framing & Roof Plan			A12



1 Roof Framing Plan 1/4" = 1'-0"



2 Roof Plan 3/8" = 1'-0"

ICE AND WATER ALL EAVES, VALLYS, HIPS AND RIDGES.
4" ALUMINUM GUTTER AROUND PERIMETER