

ADDITION & RENOVATION TO
14 Seaverns Street
Jamaica Plain, MA 02130

PERMIT SET
FEBRUARY 12, 2024

PROJECT SCOPE

THE SCOPE OF THE PROJECT CONSISTS DEMOLISHING AN EARLIER 2-STORY REAR ADDITION THAT HAS BEEN DEEMED STRUCTURALLY UNSOUND AND BUILDING A NEW 2-STORY REAR ADDITION, ADDING NEW DORMERS TO THE EAST FACADE AND INTERIOR RECONFIGURATION & RENOVATION.

THERE IS NO CHANGE IN OCCUPANCY OR USE GROUP.

REVISED
04.17.24



GENERAL CONSTRUCTION NOTES:

- 1. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL LOCAL, STATE, NATIONAL AND OTHER APPLICABLE BUILDING, ELECTRICAL, MECHANICAL, PLUMBING, LIFE SAFETY AND HEALTH AND FIRE CODES, REGULATIONS AND RESTRICTIONS WHICH APPLY TO THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ASSURE THAT HIS OWN FORCES AND SUBCONTRACTORS ARE FAMILIAR WITH SUCH REQUIREMENTS.
- 2. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL CONDITIONS, GENERAL DIMENSIONS AND CONFIGURATION PRIOR TO SUBMITTING THE BID AND SHALL NOTIFY, IN WRITING THE ARCHITECT OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE DRAWINGS.
- 3. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS TO THE ARCHITECT IN WRITING. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER THE ARCHITECT HAS RESOLVED DISCREPANCY.
- 4. GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE PROJECT AS INDICATED ON THE DRAWINGS EXCEPT AS OTHERWISE NOTED. ALL NEW WORK TO BE JOINED TO EXISTING WORK IN SUCH A MANNER THAT THE FINAL APPEARANCE IS HOMOGENEOUS. ALL HOLES, MARKS, SCRATCHES, GAGES OR DAMAGE CREATED DURING THE CONSTRUCTION PROCESS INCLUDING THE REMOVAL OR RELOCATION OF EXISTING STRUCTURE, FINISHES, FIXTURES, SHELVING, HARDWARE ETC. SHALL BE PATCHED, SANDED SMOOTH AND REFINISHED.
- 5. THE OWNER SHALL RESERVE THE RIGHT TO PURCHASE AND PROVIDE ANY AND/OR ALL MATERIALS, WALL COVERINGS, CABINETRY AND FINISHES. THE COST OF ANY ITEMS PURCHASED AND PROVIDED BY THE OWNER SHALL BE DEDUCTED FROM ANY ALLOWANCE FOR THOSE ITEMS SET FORTH BY THE GENERAL CONTRACTOR.
- 6. THE GENERAL CONTRACTOR SHALL GUARANTEE ALL HISHER WORK AND MATERIALS TO BE FREE OF ALL DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM THE DATE OF THE OWNER'S APPROVAL OF WORK AND MATERIALS. ANY WORK OR MATERIALS THAT BECOME DEFECTIVE OR FOUND TO BE MISSING WITHIN ONE YEAR FROM APPROVAL SHALL BE REPAIRED AND/OR REPLACED WITHOUT CHARGE TO THE OWNER.
- 7. GENERAL CONTRACTOR SHALL PAY FOR ANY BUILDING PERMITS REQUIRED.
- 8. ALL CONTRACTORS ON THE JOB ARE REQUIRED TO HAVE INSURANCE OF THE TYPES AND LIMITS APPROPRIATE TO OR EXCEEDING THE VALUE OF THE WORK INVOLVED. OR AS MAY BE OTHERWISE INDICATED BY THE OWNER.
- 9. CONTRACTOR SHALL DISPOSE OF ALL WASTE AND DEBRIS OFF PREMISES.
- 10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK OF ALL TRADES.
- 11. THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THIS WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE INTRODUCTION AND STORAGE OF MATERIALS. THE EXECUTION OF THEIR WORK SHALL PROPERLY CONNECT AND COORDINATE THE GENERAL CONTRACTOR'S WORK.
- 12. GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY SERVICES: ANY TEMPORARY POWER, ELECTRICAL LIGHTING, WATER, STORAGE, ETC. ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, TO BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION.
- 13. GENERAL CONTRACTOR SHALL PROVIDE FINAL PROJECT CLEANING (BROOM CLEAN), VACUUMING OF ALL CABINET INTERIORS, WINDOW AND GLASS CLEANING AND CLOSEOUT. COVID-19 PROTOCOLS:
- 14. GENERAL CONTRACTOR SHALL CONFORM TO ALL LOCAL, STATE, NATIONAL AND OTHER APPLICABLE REGULATIONS AND RESTRICTIONS REGARDING SAFER WORKING PROCEDURES AND COVID-19 SPECIFIC PROTOCOLS WHICH APPLY TO THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ASSURE THAT HIS OWN FORCES AND SUBCONTRACTORS ARE FAMILIAR WITH, AND ADHERE TO, SUCH REQUIREMENTS.

DEMOLITION:

- 15. THE CONTRACTOR SHALL INCLUDE ANY DEMOLITION NECESSARY TO PERFORM THE WORK AS INDICATED IN THE DRAWINGS AND SHALL BE RESPONSIBLE FOR REMOVAL OF ALL TRASH AND DEBRIS CREATED DURING DEMOLITION AND CONSTRUCTION IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND HEALTH CODES AND REGULATIONS.

HVAC:

- 16. ALL HVAC WORK SHALL CONFORM TO ALL APPLICABLE MASSACHUSETTS AND NATIONAL CODES. THE CONTRACTOR SHALL COORDINATE HEATING AND COOLING SPECIFICATION AND EQUIPMENT LOCATIONS WITH OWNER.
- 17. COORDINATE HEATING & COOLING OF ALL RECONFIGURED SPACES WITH ARCHITECT.

ELECTRICAL:

- 18. ALL ELECTRICAL WORK SHALL CONFORM TO ALL APPLICABLE MASSACHUSETTS AND NATIONAL CODES. THE ELECTRICAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PERFORM THE INDICATED WORK AND INSPECTIONS PER MASSACHUSETTS AND NATIONAL CODES AND MAKE ALL FINAL CONNECTIONS.

PLUMBING:

- 19. GENERAL CONTRACTOR TO SUPPLY AND INSTALL ALL PLUMBING FIXTURES. COORDINATE ALL PLUMBING SELECTIONS WITH OWNER AND ARCHITECT PRIOR TO ORDERING.

TILE & SOLID SURFACES:

- 20. THE GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL TILE. COORDINATE WITH ARCHITECT.
- 21. THE GENERAL CONTRACTOR SHALL INSTALL ALL SOLID SURFACE MATERIALS. COORDINATE WITH ARCHITECT.

PAINTING:

- 22. THE GENERAL CONTRACTOR SHALL INCLUDE INTERIOR PAINTING OF ALL AREAS AFFECTED BY THE CONSTRUCTION.

ZONING ANALYSIS

2F-7000	REQUIRED	EXISTING	PROPOSED	STATUS
LOT AREA (MIN)	5,000 SF - 1 DWELLING UNIT 7,000 SF - OTHER USE	7,936 RECORDED	7,936 RECORDED	IN COMPLIANCE
LOT AREA PER UNIT (MIN)	5,000 SF - 1 DWELLING UNIT +3,000 SF - EACH ADDITIONAL DU	7,985 SF	7,985 SF	IN COMPLIANCE
LOT FRONTAGE (MIN)	50'	69'	69'	IN COMPLIANCE
LOT WIDTH (MIN)	50'	69'	69'	IN COMPLIANCE
FLOOR AREA RATIO	.5	2,051 / 7,985 = .26	2,374 / 7,985 = .30	IN COMPLIANCE
BUILDING HEIGHT (MAX)	2 1/2 STORIES OR 30'	2 STORIES / 27.2' APPROX.	2 STORIES / 27.2' APPROX.	IN COMPLIANCE
USEABLE OPEN SPACE (MIN)	1,250 SF - 1 DWELLING UNIT +500 SF - EACH ADDITIONAL DU	4,886 SF	4,829 SF	IN COMPLIANCE
FRONT YARD SETBACK (MIN)	20'	11.6'	11.6'	EXISTING NON-COMFORMING
SIDE YARD SETBACK (MIN)	10'	3.1' (13.1' @ ADDITION)	3.1' (13.1' @ ADDITION)	EXISTING NON-COMFORMING
REAR YARD SETBACK (MIN)	20'	35.7'	44.6'	IN COMPLIANCE
REAR YD ACCESS BLDG (MAX)	25%	0%	0%	IN COMPLIANCE

FLOOR AREA RATIO CALCULATION:

EXISTING GFA	2,051 SF
GFA TO BE DEMOLISHED	291 SF 1ST FLOOR 291 SF 2ND FLOOR
GFA TO BE ADDED	445 SF FIRST FLOOR 460 SF SECOND FLOOR
TOTAL PROPOSED GFA	3,374 SF

INSULATION NOTES:

FOUNDATION WALLS @ ADDITION BASEMENT SLAB @ ADDITION FIRST FLOOR OVER UNCONDITIONED BASEMENT NEW EXTERIOR WALLS FIRST FLOOR WINDOWS (NEW) NEW ROOF EXISTING EXTERIOR WALL CAVITIES WHERE OPENED IN COURSE OF CONSTRUCTION	R- VALUE OR U-FACTOR	MATERIAL
FOUNDATION WALLS @ ADDITION	R-15	RIGID INSULATION TO DEPTH OF 4" BELOW GRADE AT EXTERIOR FOUNDATION WALL.
BASEMENT SLAB @ ADDITION	R-10	RIGID INSULATION UNDER SLAB
FIRST FLOOR OVER UNCONDITIONED BASEMENT	R-30 MIN	10" THICK FIBERGLASS INSULATION
NEW EXTERIOR WALLS	R-30 MIN	CLOSED CELL SPRAY FOAM INSULATION
FIRST FLOOR WINDOWS (NEW)	U-.27 MAX	CLOSED CELL SPRAY FOAM INSULATION
NEW ROOF	R-60 MIN	CLOSED CELL SPRAY FOAM INSULATION
EXISTING EXTERIOR WALL CAVITIES WHERE OPENED IN COURSE OF CONSTRUCTION	R-2.5 INCH MIN	CLOSED CELL SPRAY FOAM INSULATION

DOOR SCHEDULE

KEY	MANUFACTURER	MODEL	NOMINAL OPENING	FINISH	HARDWARE	NOTES
001	THERMATRU; OR EQUAL	TT SMOOTHSTAR FIBERGLASS EXT.	3'-0" X 6'-6"	FACTORY FINISH	COORDINATE W/ ARCHITECT	COORDINATE COLOR WITH OWNER
101	SIMPSON; OR EQUAL	EXISTING TO REMAIN	EXISTING TO REMAIN	PRIMED AND PAINTED	COORDINATE W/ ARCHITECT	PATCH, SAND AND PREP AS NECESSARY
102	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	2'-4" X 6'-8"	PRIMED AND PAINTED	COORDINATE W/ ARCHITECT	
103	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	2'-4" X 6'-8"	PRIMED AND PAINTED	COORDINATE W/ ARCHITECT	
104	SIMPSON; OR EQUAL	SOLID CORE SLAB DOORS	(2) 3'-0" X 6'-8" POCKET DOOR	PRIMED AND PAINTED	COORDINATE W/ ARCHITECT	TO BE PAINTED ON BOTH SIDES WITH WHITE/GARMENT PAINT
106	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	2'-4" X 6'-8"	PRIMED AND PAINTED	COORDINATE W/ ARCHITECT	
107	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	2'-4" X 6'-8"	PRIMED AND PAINTED	COORDINATE W/ ARCHITECT	
108	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	2'-4" X 6'-8"	PRIMED AND PAINTED	COORDINATE W/ ARCHITECT	
109	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	2'-4" X 6'-8"	PRIMED AND PAINTED	COORDINATE W/ ARCHITECT	
110	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	2'-4" X 6'-8" POCKET DOOR	PRIMED AND PAINTED	COORDINATE W/ ARCHITECT	
111	THERMATRU; OR EQUAL	TT SMOOTHSTAR FIBERGLASS EXT. S84309	2'-8" X 6'-8"	FACTORY FINISH	COORDINATE W/ ARCHITECT	SINGLE PANEL DOOR W/ 6 LITES FLAT GBS - COORDINATE COLOR & GLASS TYPE WITH OWNER
201	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	2'-4" X 6'-8"	PRIMED AND PAINTED		
202	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	2'-4" X 6'-8"	PRIMED AND PAINTED		
203	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	(2) 2'-4" X 6'-8"	PRIMED AND PAINTED		
204	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	2'-4" X 6'-8"	PRIMED AND PAINTED		
205	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	(2) 2'-4" X 6'-8"	PRIMED AND PAINTED		
206	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	(2) 2'-4" X 6'-8"	PRIMED AND PAINTED		
207	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	2'-4" X 6'-8"	PRIMED AND PAINTED		
208	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	2'-4" X 6'-8"	PRIMED AND PAINTED		
209	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	2'-4" X 6'-8" POCKET DOOR	PRIMED AND PAINTED		
210	SIMPSON; OR EQUAL	B212 - ENCORE; 2 PANEL W/ OGEE STICKING	2'-4" X 6'-8" POCKET DOOR	PRIMED AND PAINTED		

WINDOW SCHEDULE

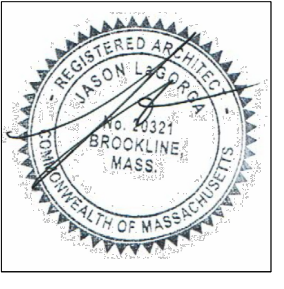
KEY	MANUFACTURER	TYPE	MODEL	ROUGH OPENING WHH	FINISH
A	MARVIN ELEVATE; OR EQ.	DOUBLE HUNG + FIXED PICTURE (TEMPERED)	ELDH3656 + ELDHP3624 (TEMPERED)	3' 0 1/2" x VERIFY W/ MANUF.	WHITE EXT WHITE INT
B	MARVIN ELEVATE; OR EQ.	DOUBLE HUNG	ELDH2652	2' 2 1/2" x 4' 4 1/2"	WHITE EXT WHITE INT
C	MARVIN ELEVATE; OR EQ.	FIXED PICTURE W/ DOUBLE HUNG & TRANSOMS	(1) ELDH2648 + (1) ELDHP5048 + (1) ELDH2648 (1) ELDHTR2616 + (1) ELDHTR5016 + (1) ELDHTR2616	VERIFY W/ MANUF. x VERIFY W/ MANUF.	WHITE EXT WHITE INT
D	MARVIN ELEVATE; OR EQ.	DOUBLE HUNG	ELDH3548	2' 6 1/2" x 4' 0 1/2"	WHITE EXT WHITE INT
E	MARVIN ELEVATE; OR EQ.	DOUBLE HUNG	CUSTOM SIZED TO MATCH ADJACENT DORMER WINDOWS	VERIFY W/ MANUF. x VERIFY W/ MANUF.	WHITE EXT WHITE INT
F	MARVIN ELEVATE; OR EQ.	TRIPLE DOUBLE HUNG & TRANSOMS	(3) ELDH3690 + (3) ELDHTR3616	VERIFY W/ MANUF. x VERIFY W/ MANUF.	WHITE EXT WHITE INT
G	MARVIN ELEVATE; OR EQ.	AWNING (TEMPERED)	ELAWN2927 (TEMPERED)	2' 5" x 2' 3 1/2"	WHITE EXT WHITE INT
H	MARVIN ELEVATE; OR EQ.	TRIPLE DOUBLE HUNG	(3) ELDH3048	VERIFY W/ MANUF. x 4' 0 1/2"	WHITE EXT WHITE INT
I	MARVIN ELEVATE; OR EQ.	PAIR DOUBLE HUNG	(2) ELDH3048	VERIFY W/ MANUF. x 4' 0 1/2"	WHITE EXT WHITE INT

NOTES:

- 1. GENERAL CONTRACTOR TO VERIFY ALL WINDOW SIZES IN FIELD BEFORE ORDERING. COORDINATE ALL ACCESSORIES, HARDWARE AND OPTIONS WITH ARCHITECT BEFORE ORDERING
- 2. ALL NEW MARVIN WINDOWS TO MEET OR EXCEED ENERGY STAR AND MASSACHUSETTS STRETCH ENERGY CODE OF U27

DRAWING LIST

- A0 SCOPE, PROJECT NOTES & SCHEDULES, ZONING ANALYSIS
- 1 SURVEY
- A1 EXISTING / DEMOLITION PLANS
- A2 EXISTING / DEMOLITION ELEVATIONS
- A3 PROPOSED FLOOR AND ROOF PLANS
- A4 PROPOSED EXTERIOR ELEVATIONS
- A5 PROPOSED LIGHTING & ELECTRICAL PLANS
- A6 PROPOSED DECK PLANS AND ELEVATIONS
- S1 FOUNDATION AND FRAMING PLANS



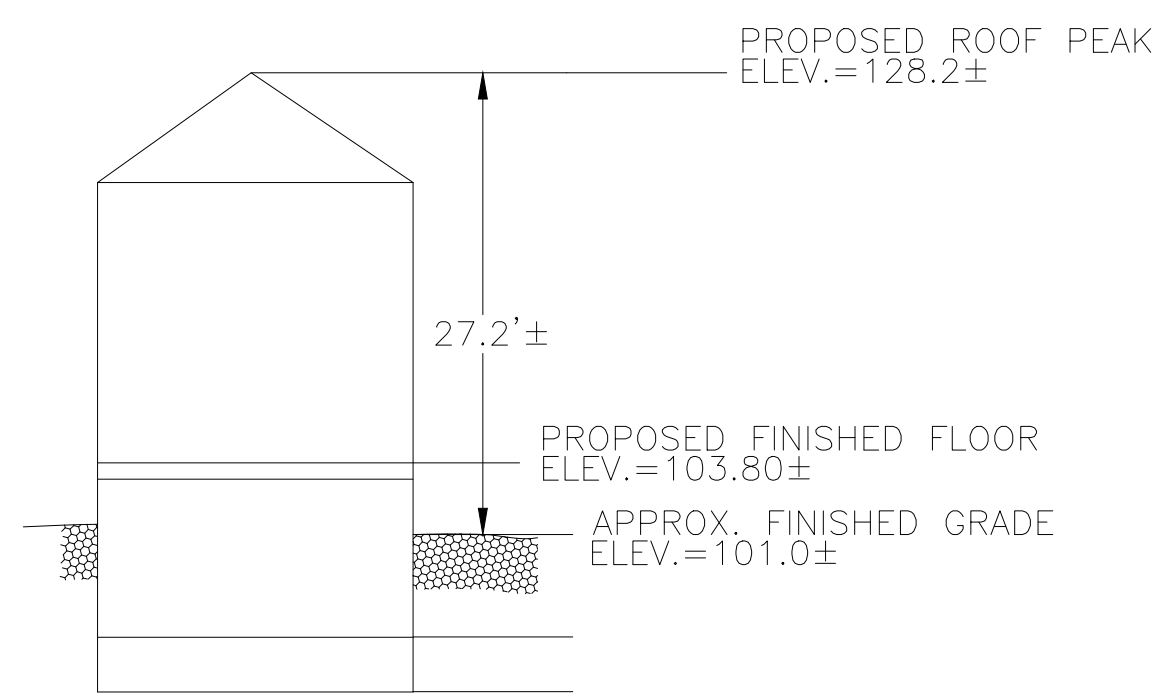
REVISIONS

NO.	DATE	DESCRIPTION

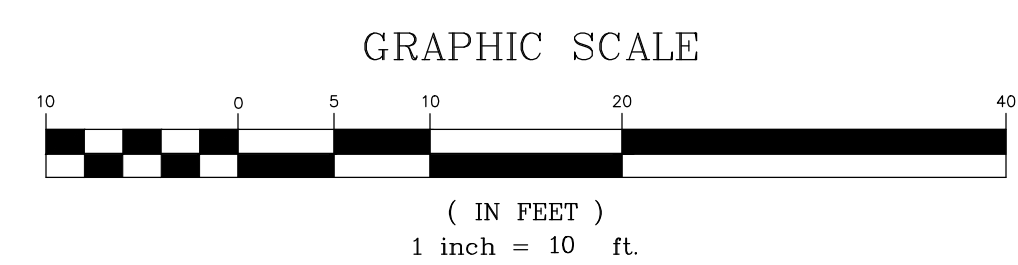
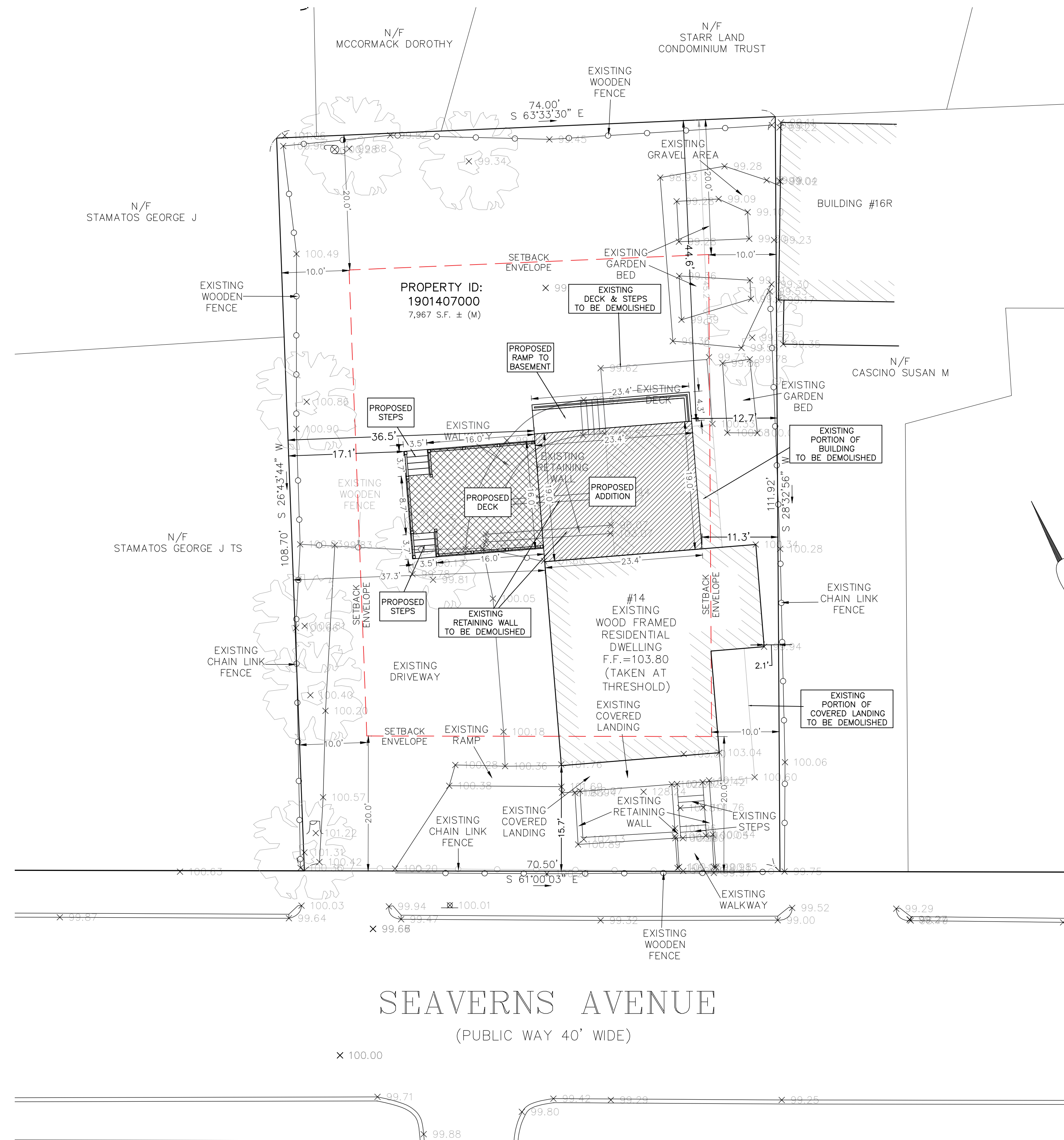
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DRAWN BY: JAL
PROJ. CODE: DELEAR

NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 1/18/2024.
2. DEED REFERENCE: BOOK 60440, PAGE 136
 PLAN REFERENCE 1: BK 6771 PG 16
 PLAN REFERENCE 2: BK 6932 PG 280
 PLAN REFERENCE 3: LLC 16473
 SUFFOLK DISTRICT REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25025C0086G, IN COMMUNITY NUMBER: 250286, DATED 9/25/2009.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE ON AN ASSUME DATUM.

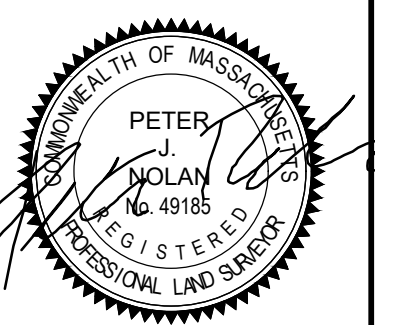


PROPOSED PROFILE
NOT TO SCALE

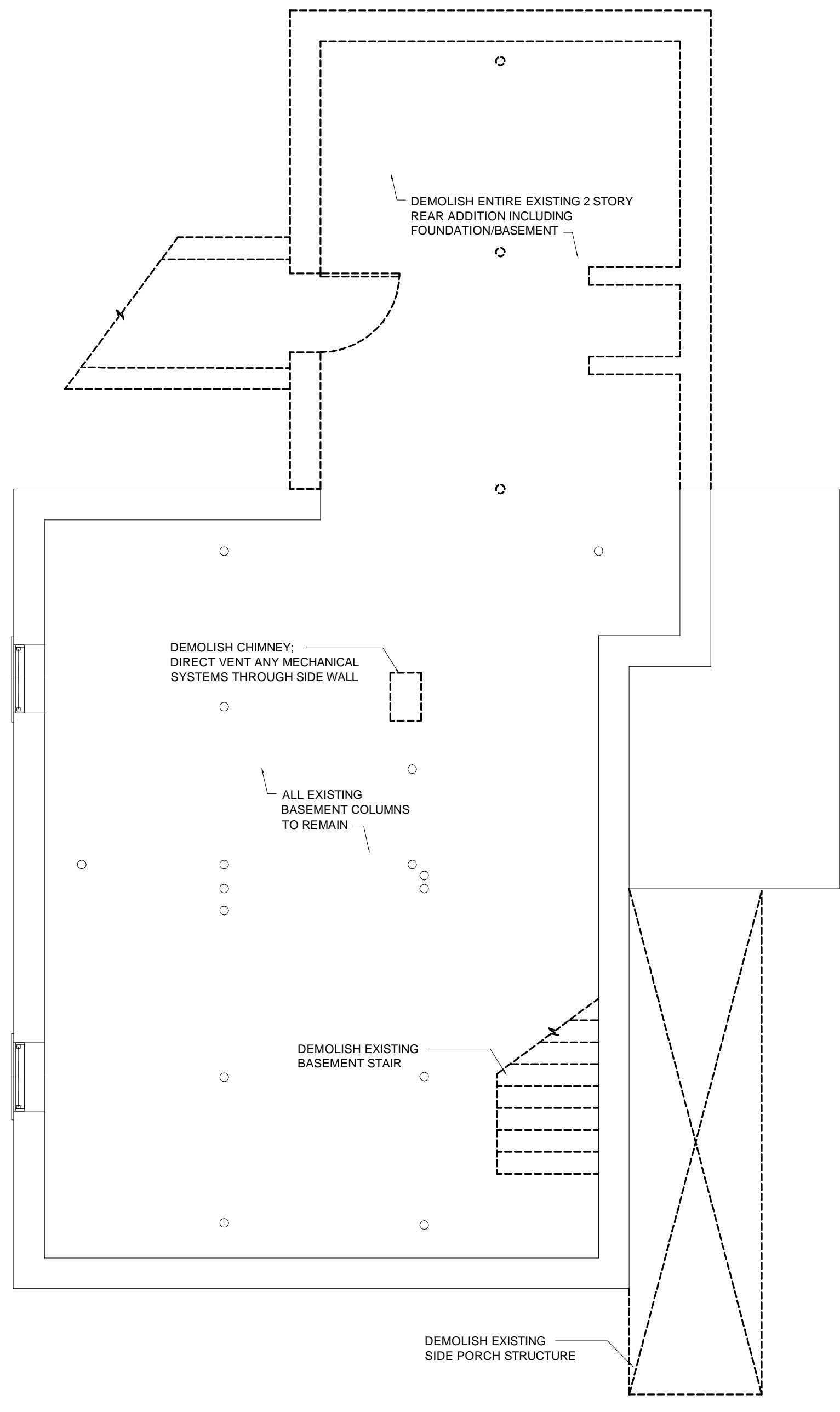


PETER NOLAN & ASSOCIATES LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 THE EXTENT OF PETER NOLAN & ASSOCIATES LIMITS FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST.
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SCALE	1"=10'		
DATE	4/23/2024	REV	DATE
SHEET	1	REVISION	BY
PLAN NO.	1 OF 1	14 SEAVERNS AVENUE JAMAICA PLAIN MASSACHUSETTS	
CLIENT:	PROPOSED PLOT PLAN		
DRAWN BY	O.S	PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT STREET, NEWTON, MA. SUITE 1 PHONE: 857 891 7478 EMAIL: pnolan@pnasurveyors.com	
CHKD BY	P.J.N		
APPD BY	P.J.N		

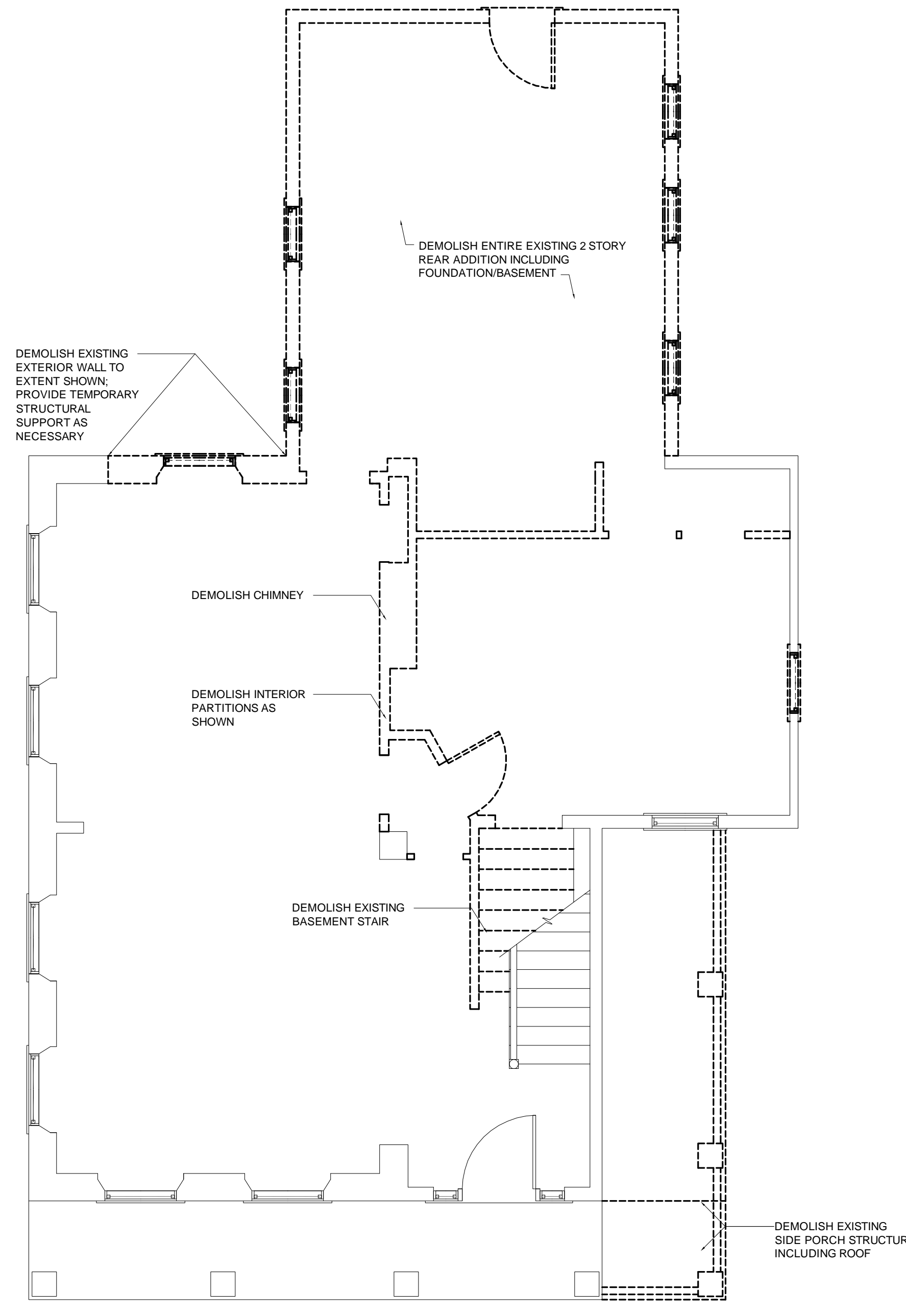


SHEET NO.
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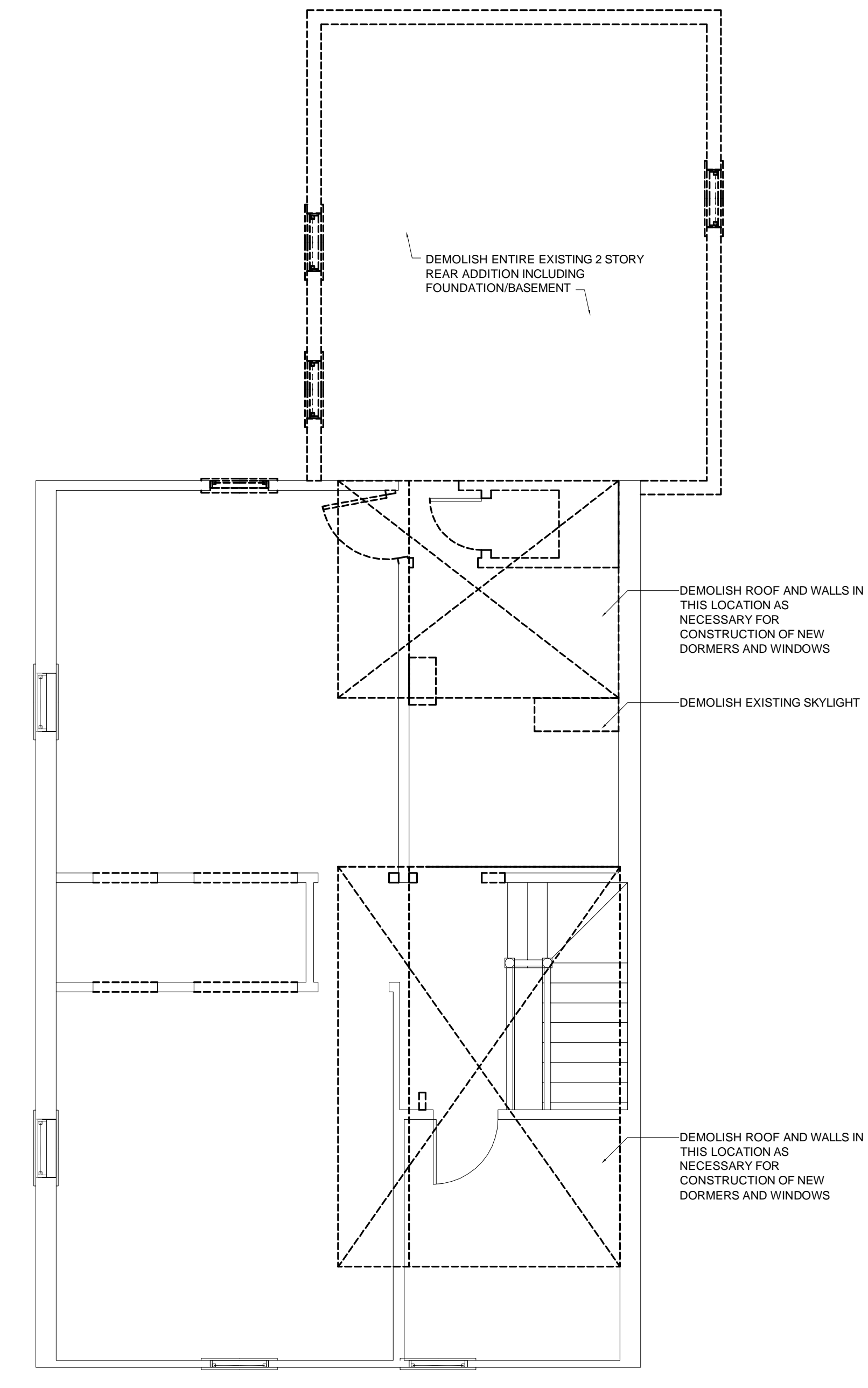
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SCALE: 1/4" = 1'-0"

KEY	
EXISTING TO REMAIN	
DEMOLISH EXISTING	



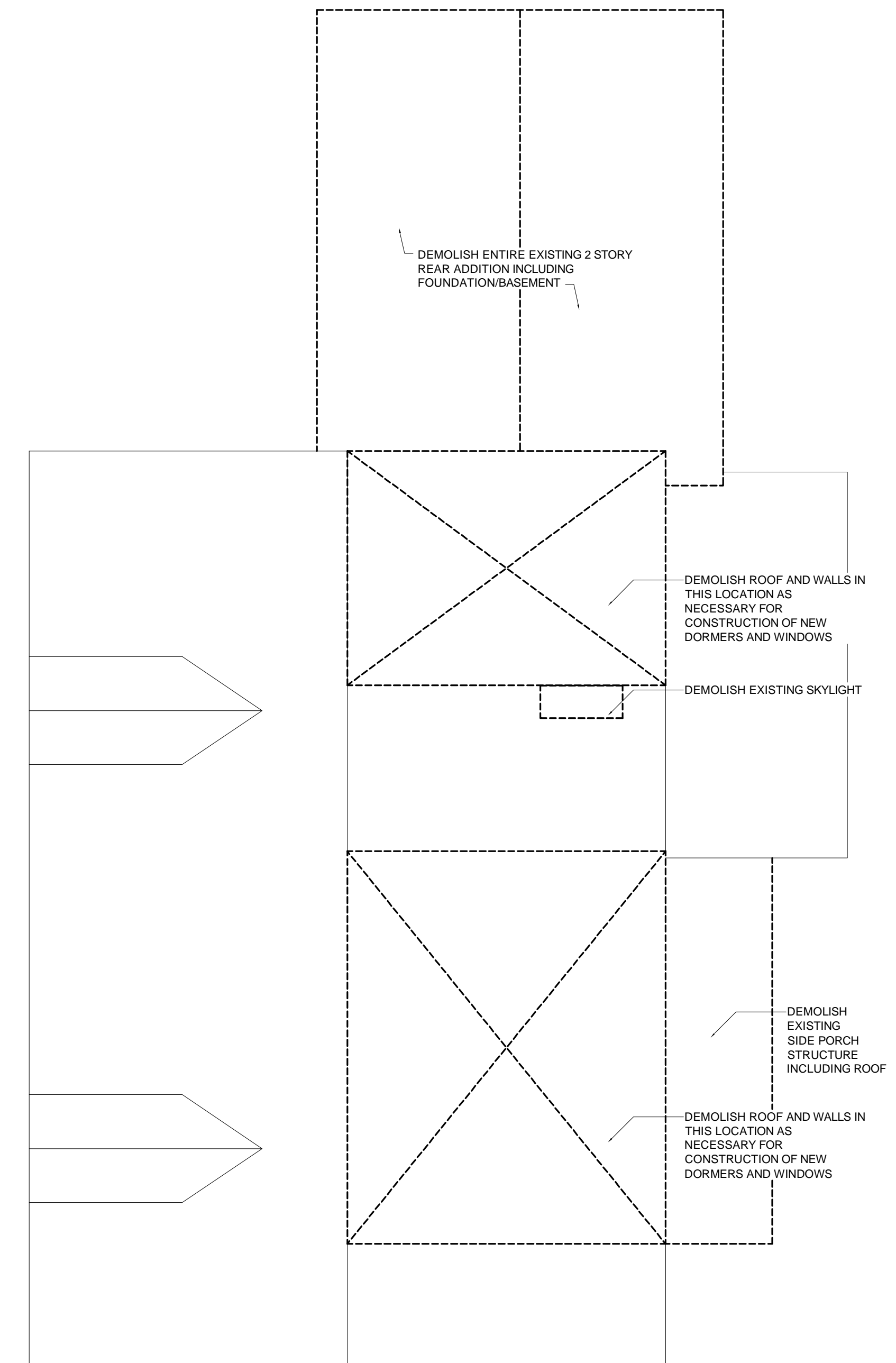
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SCALE: 1/4" = 1'-0"

KEY	
EXISTING TO REMAIN	
DEMOLISH EXISTING	



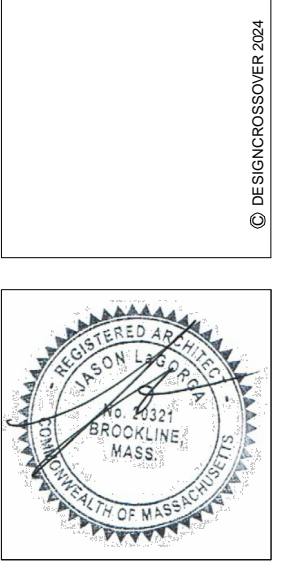
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KEY	
EXISTING TO REMAIN	
DEMOLISH EXISTING	

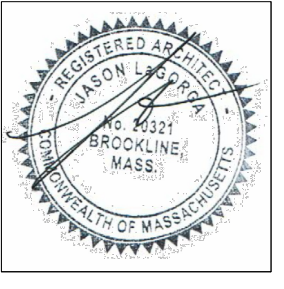
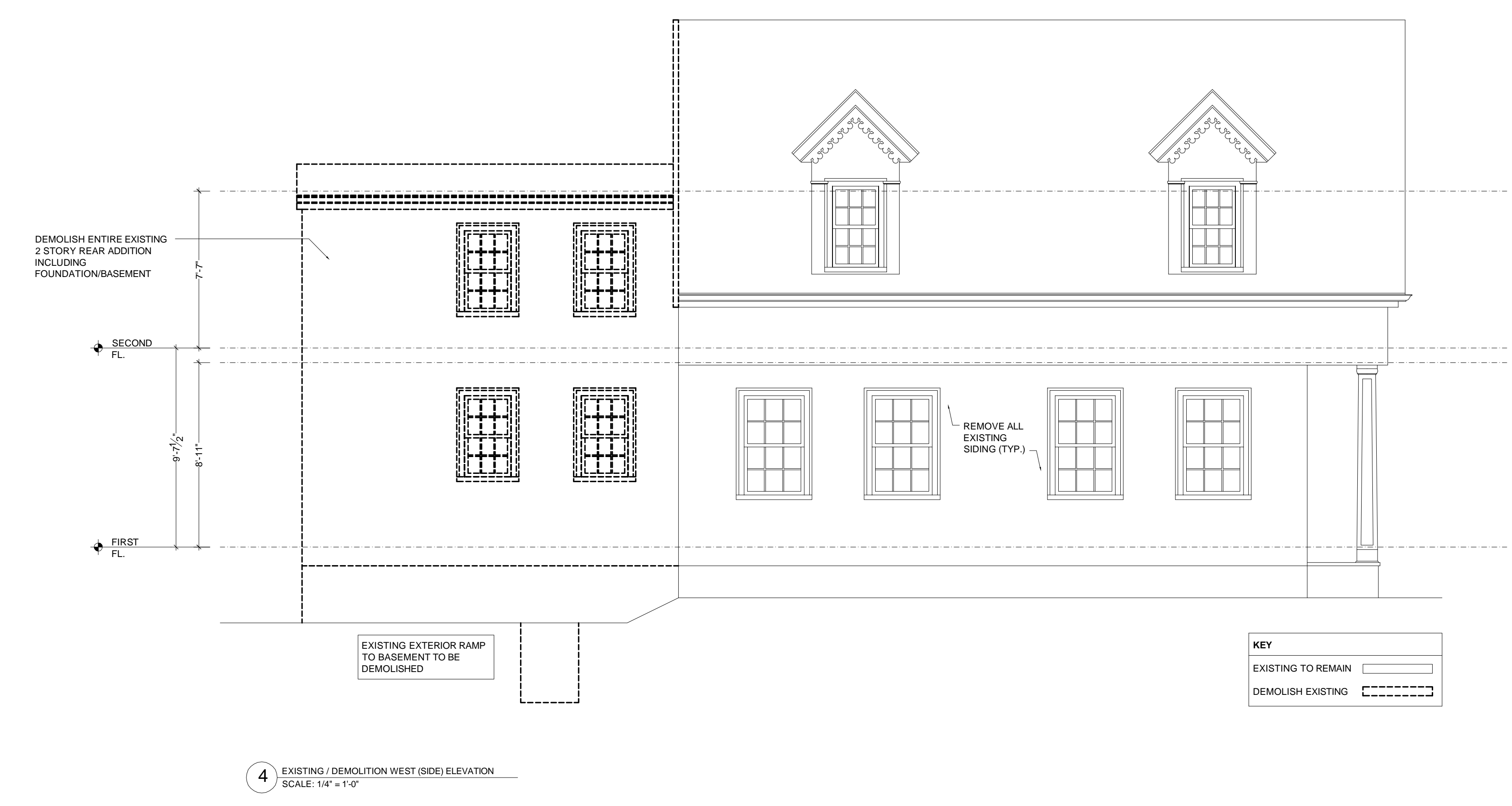
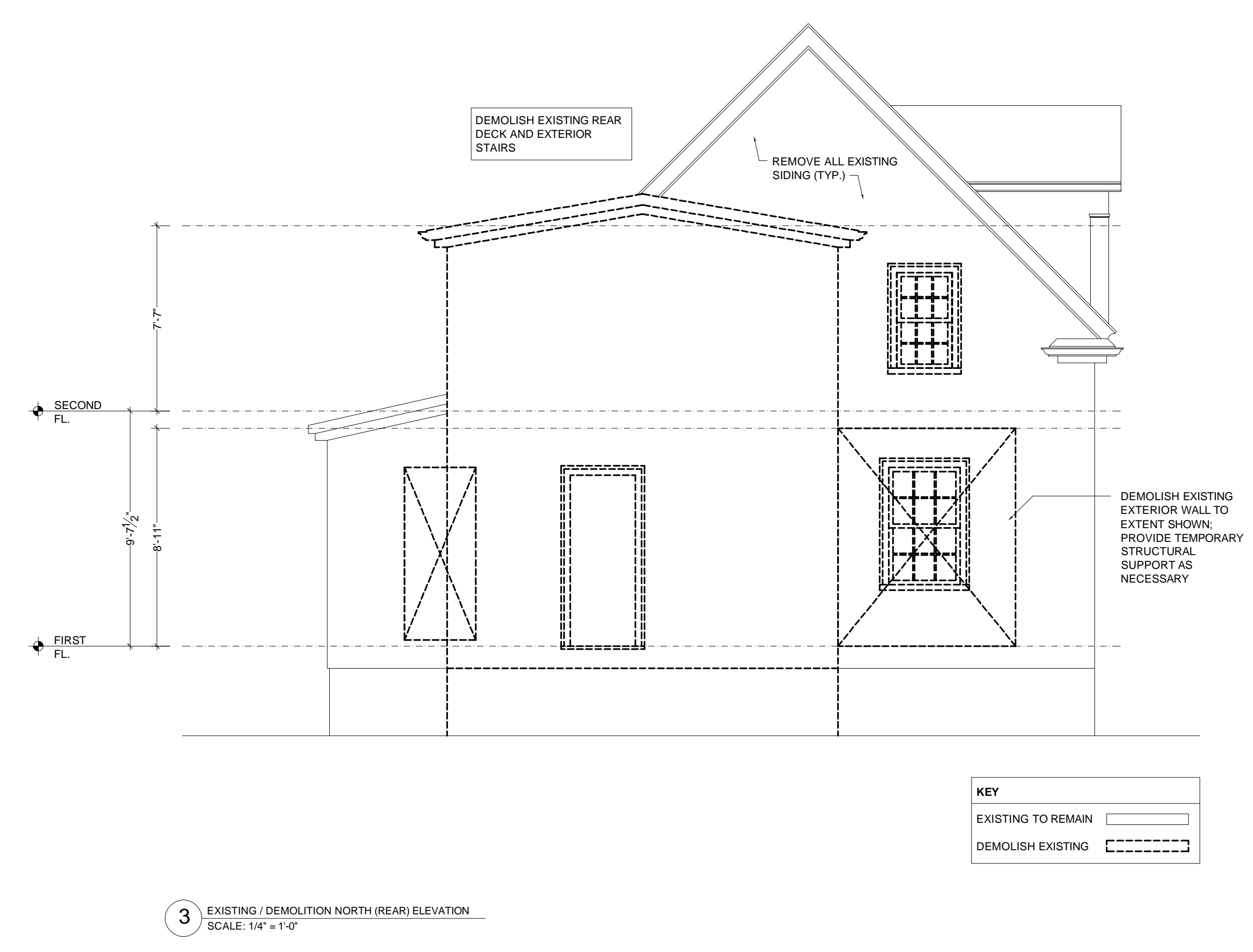
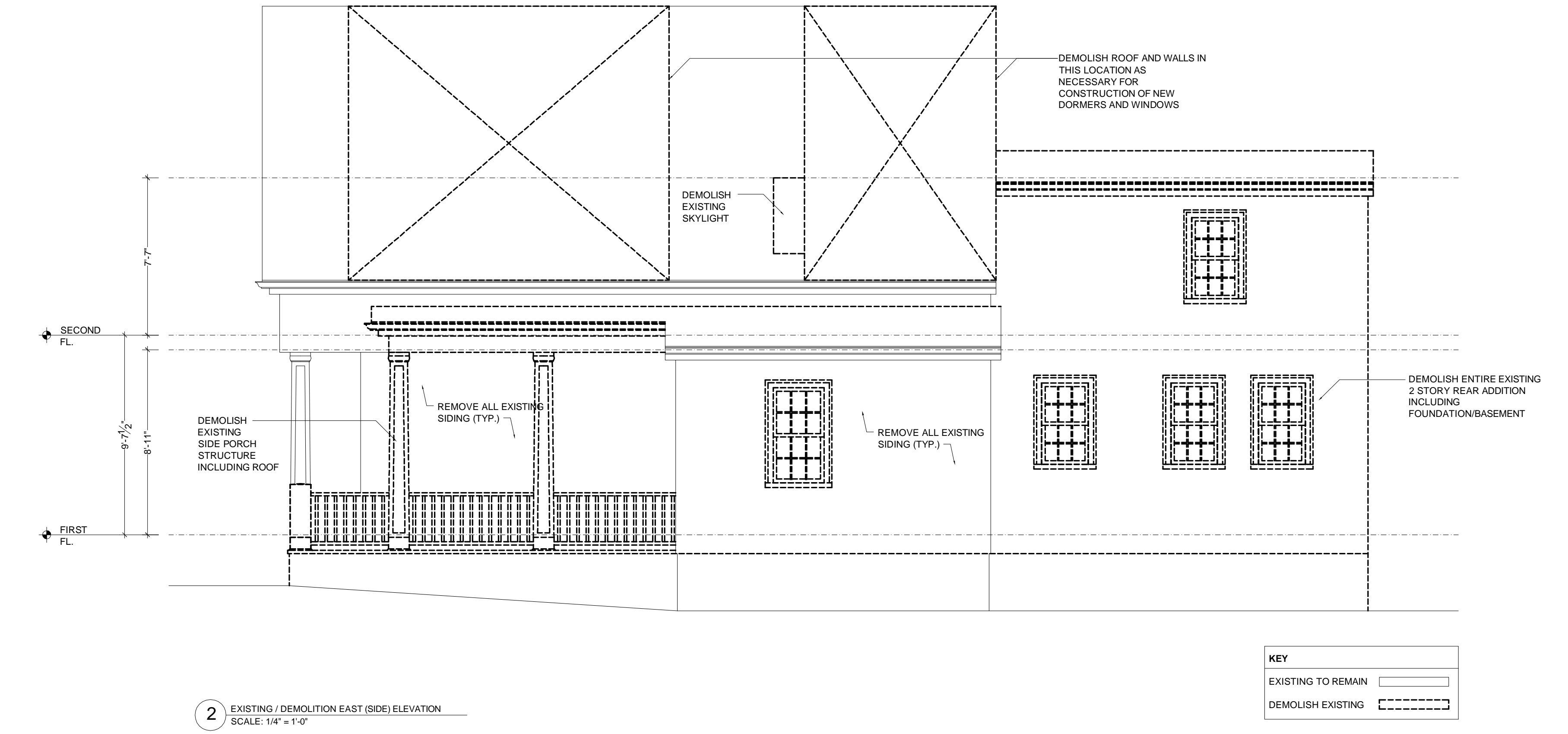
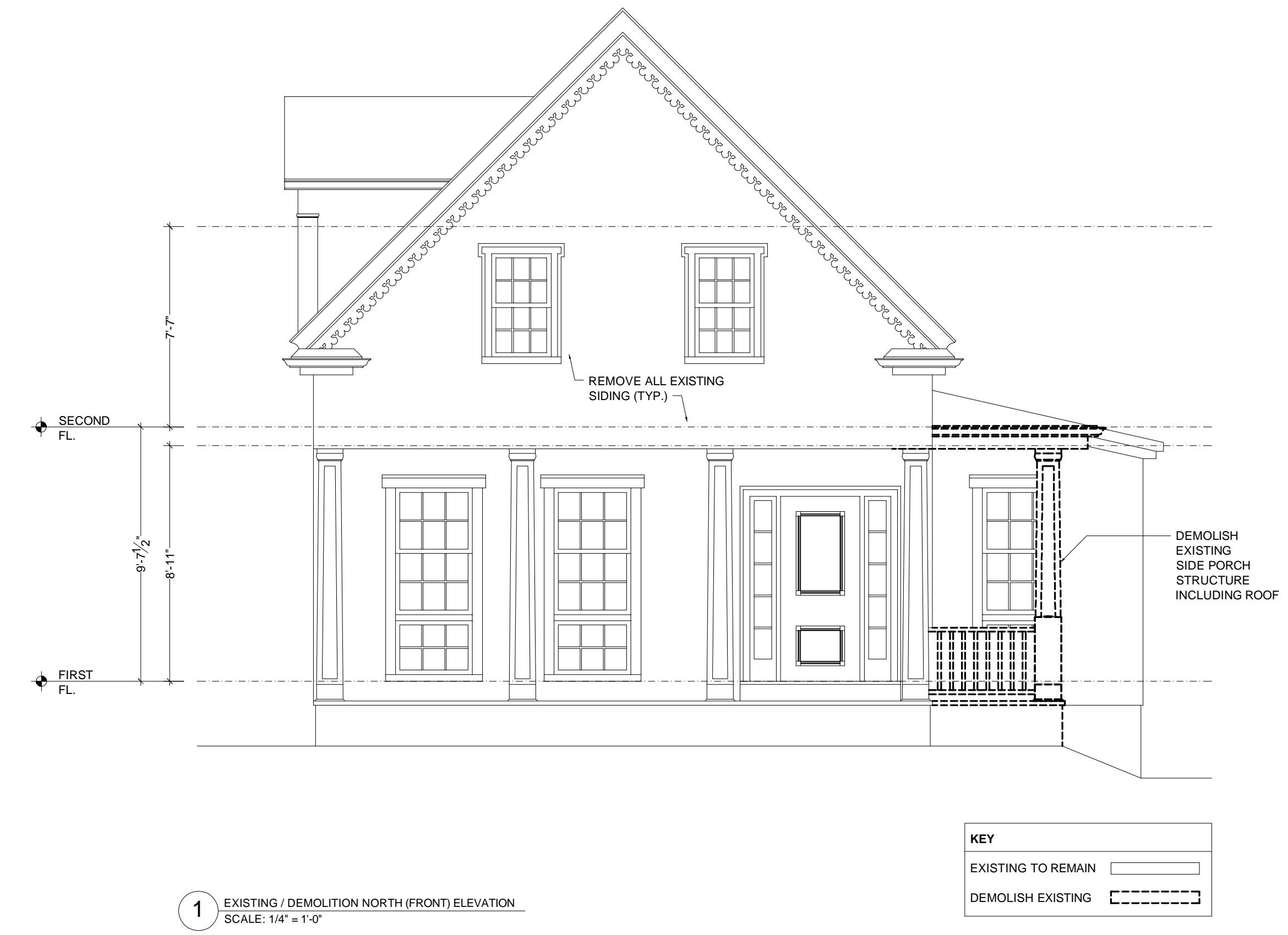


3 EXISTING / DEMOLITION ROOF PLAN
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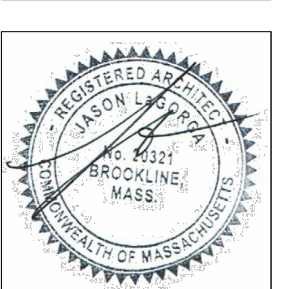
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EXISTING TO REMAIN	
DEMOLISH EXISTING	



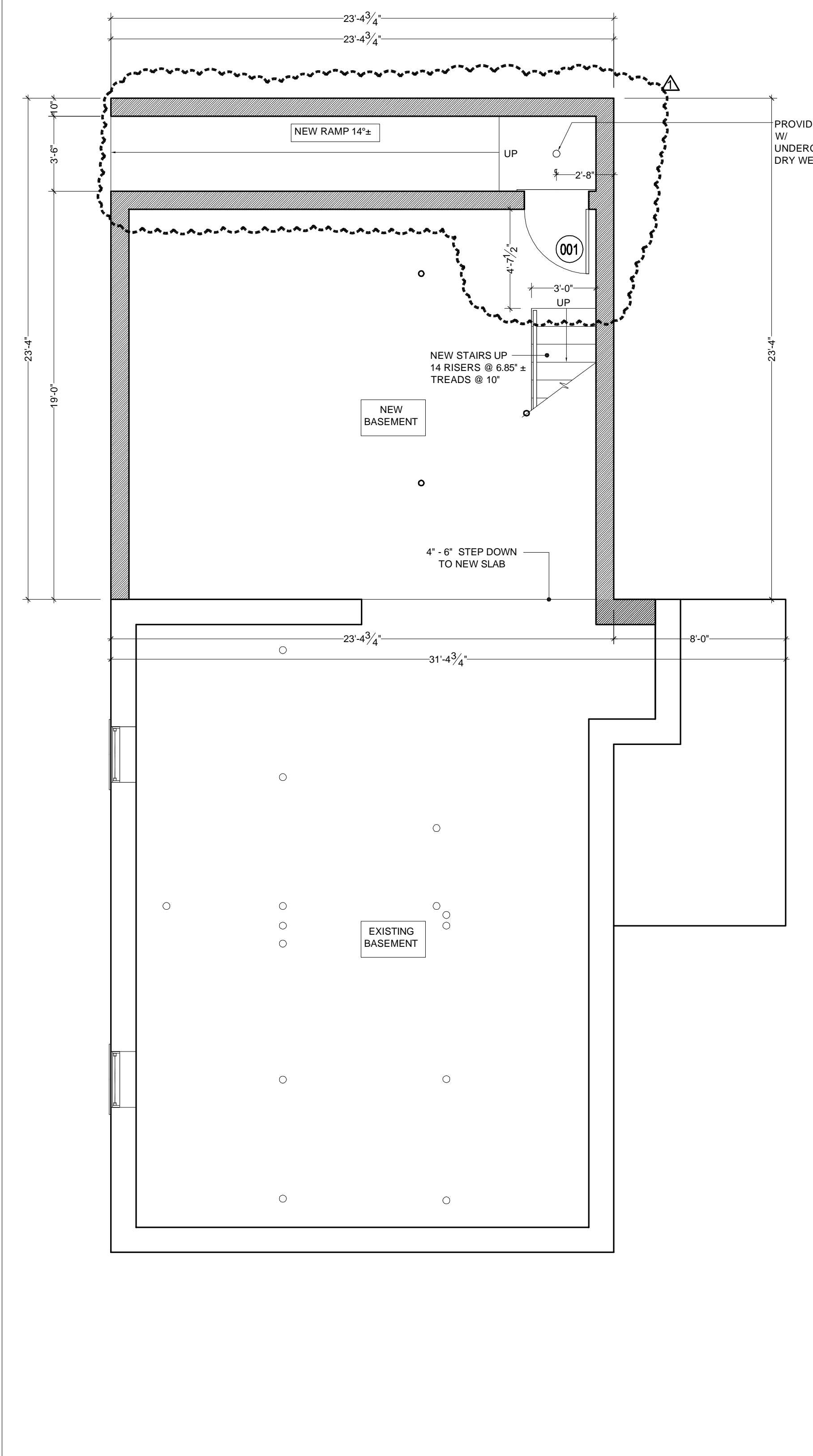
REVISION	DATE	BY	APP



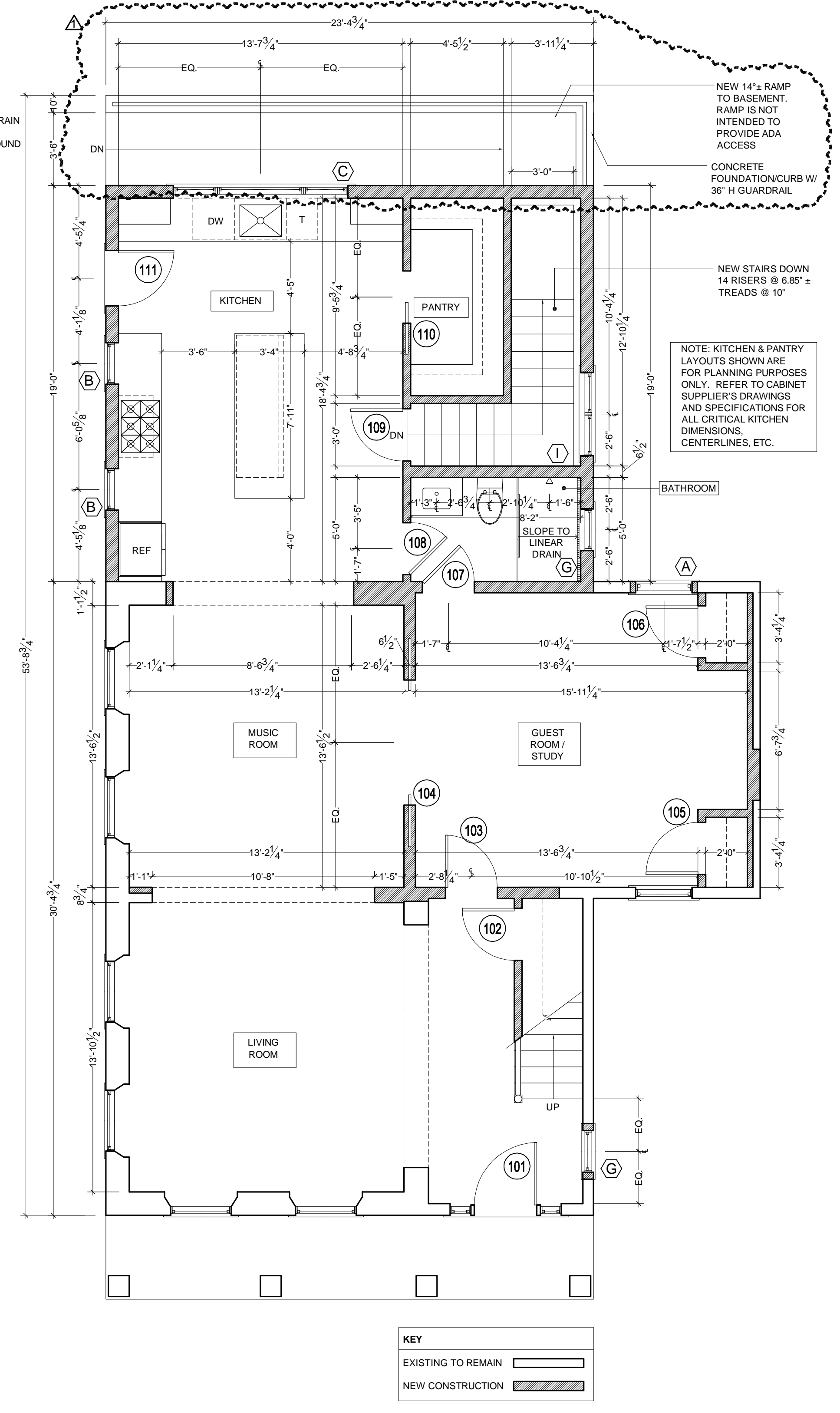
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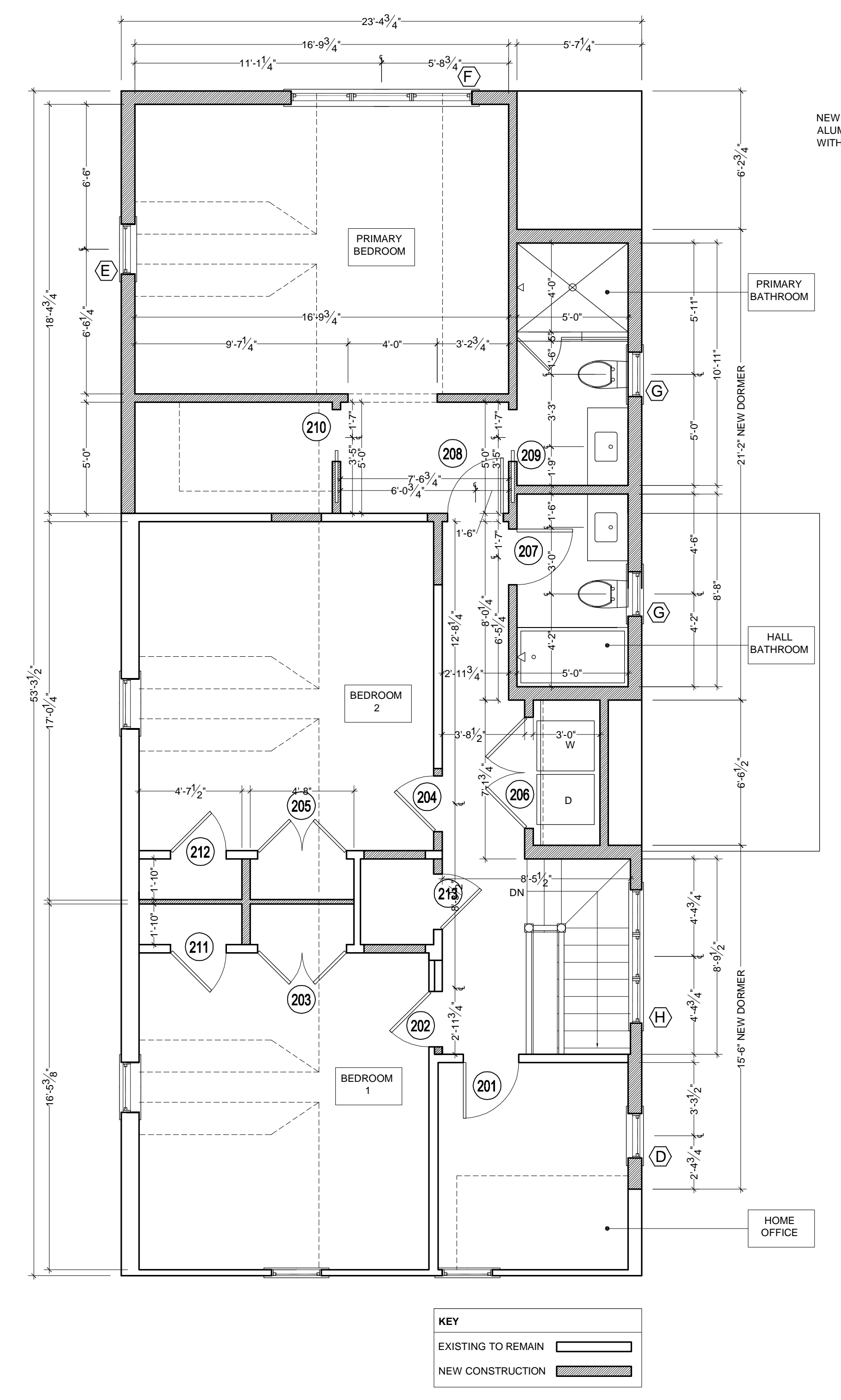
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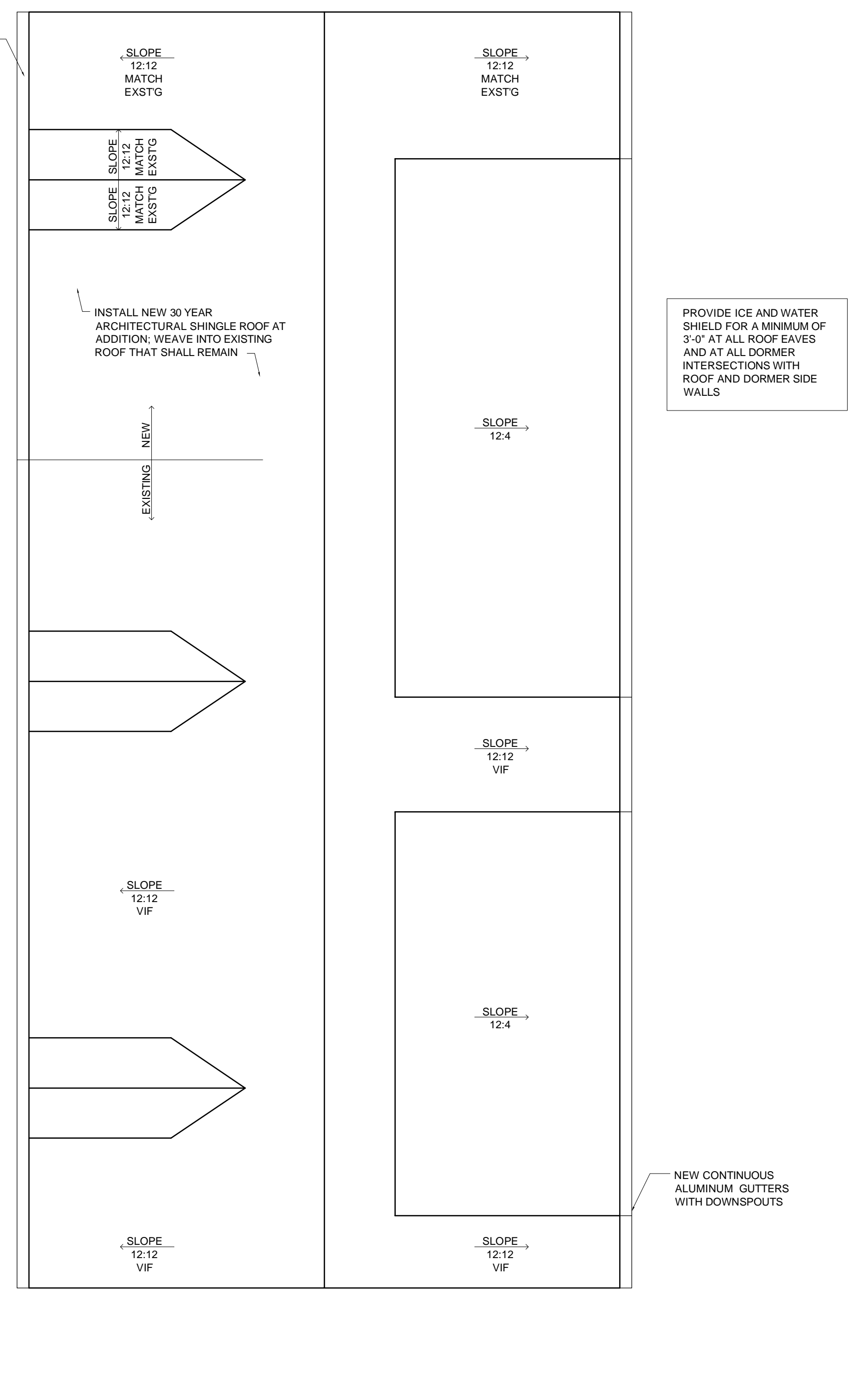
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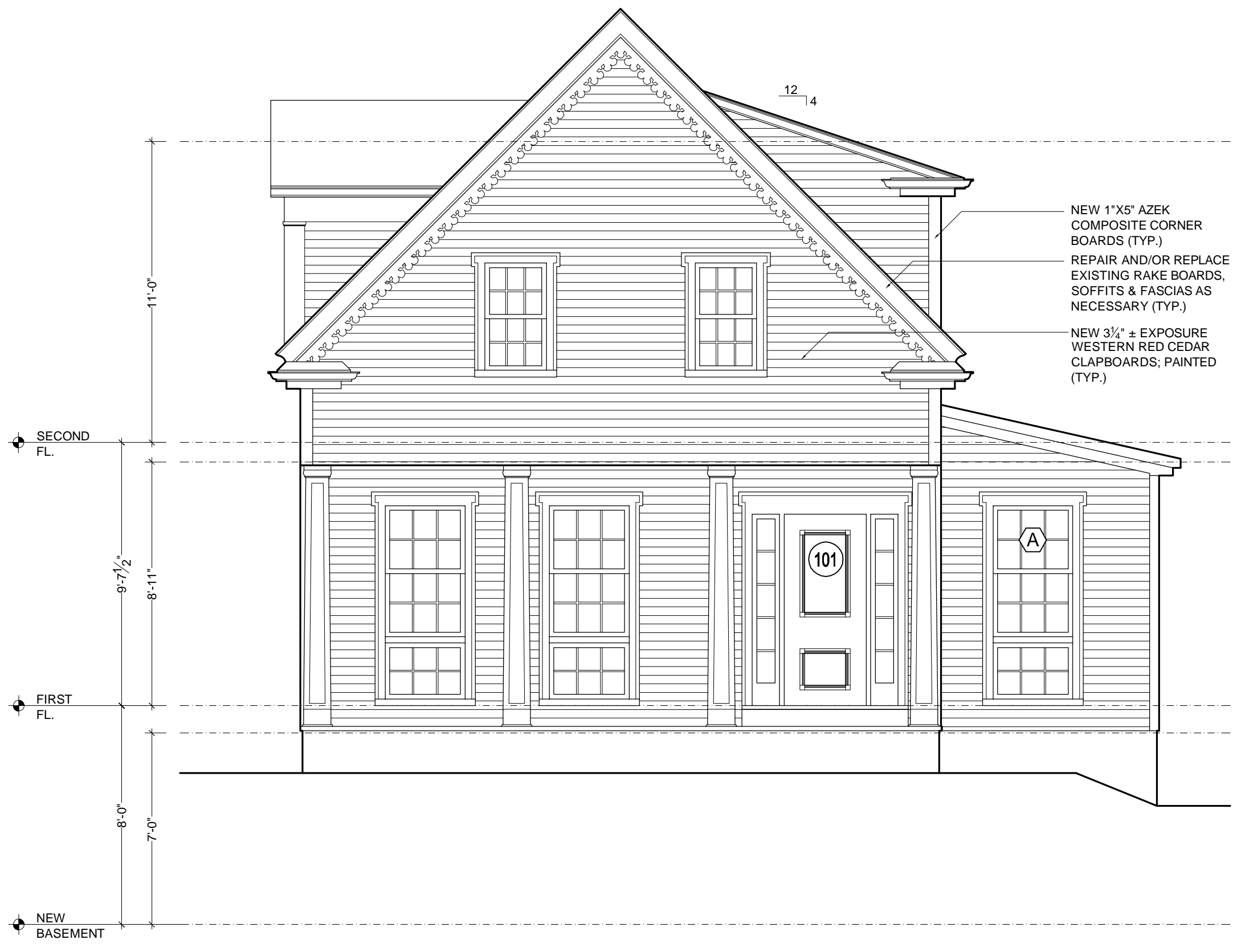
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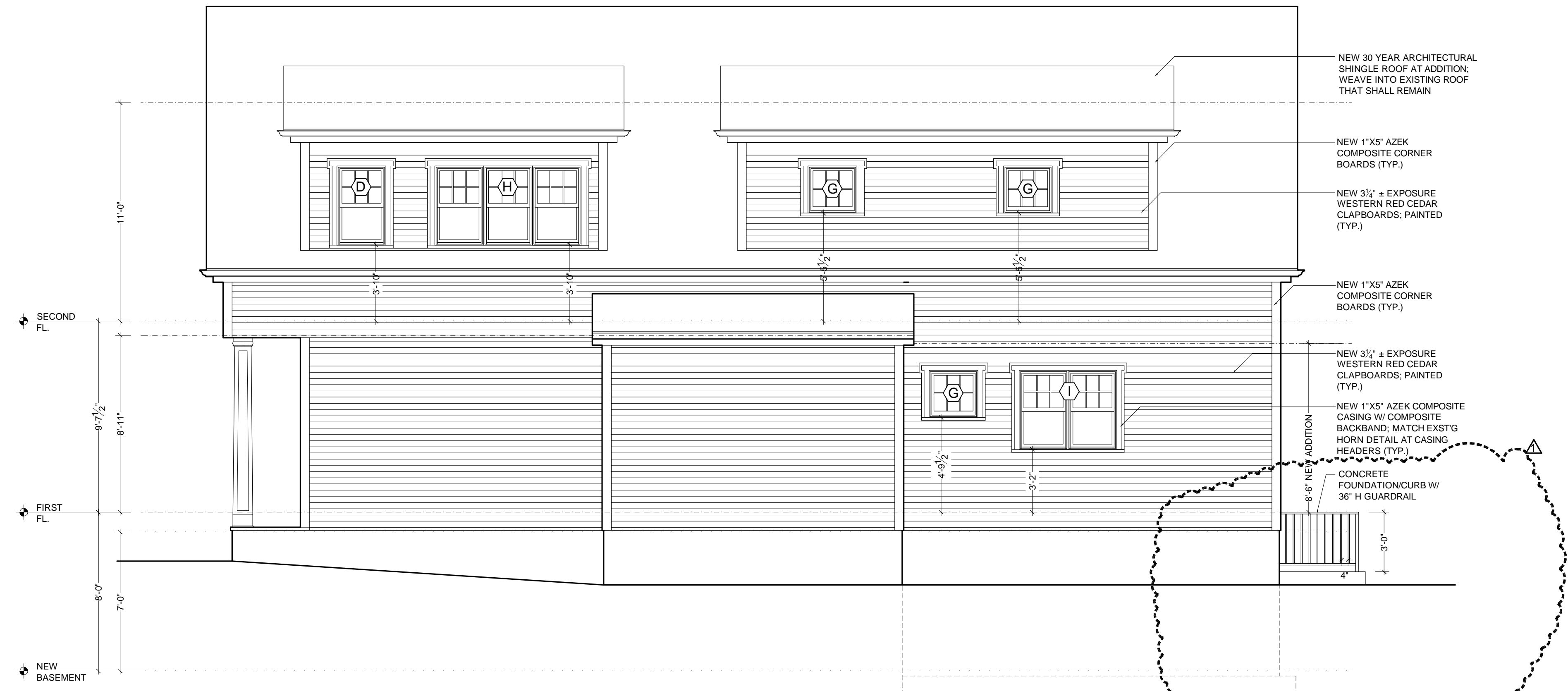
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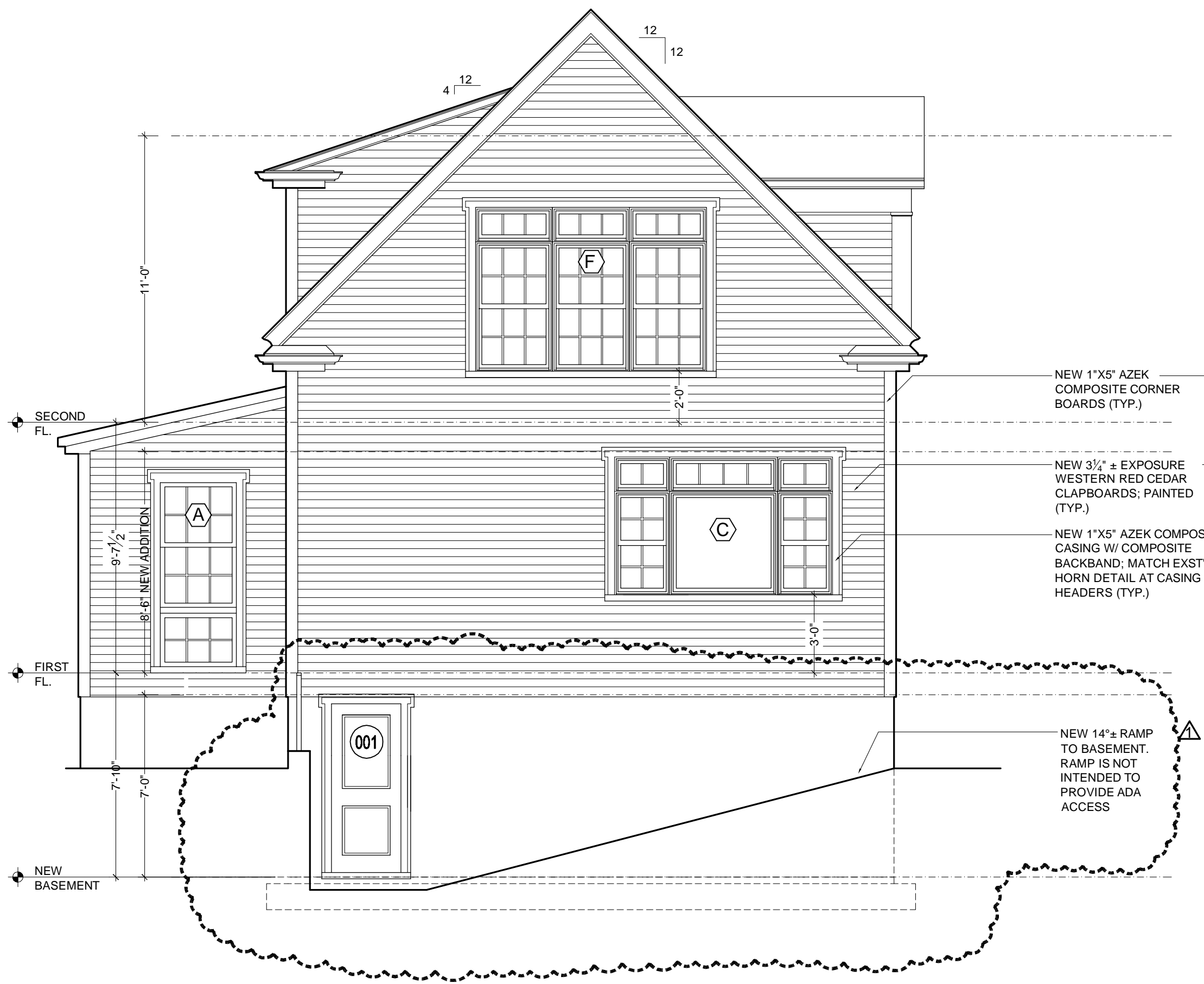
3 PROPOSED ROOF PLAN
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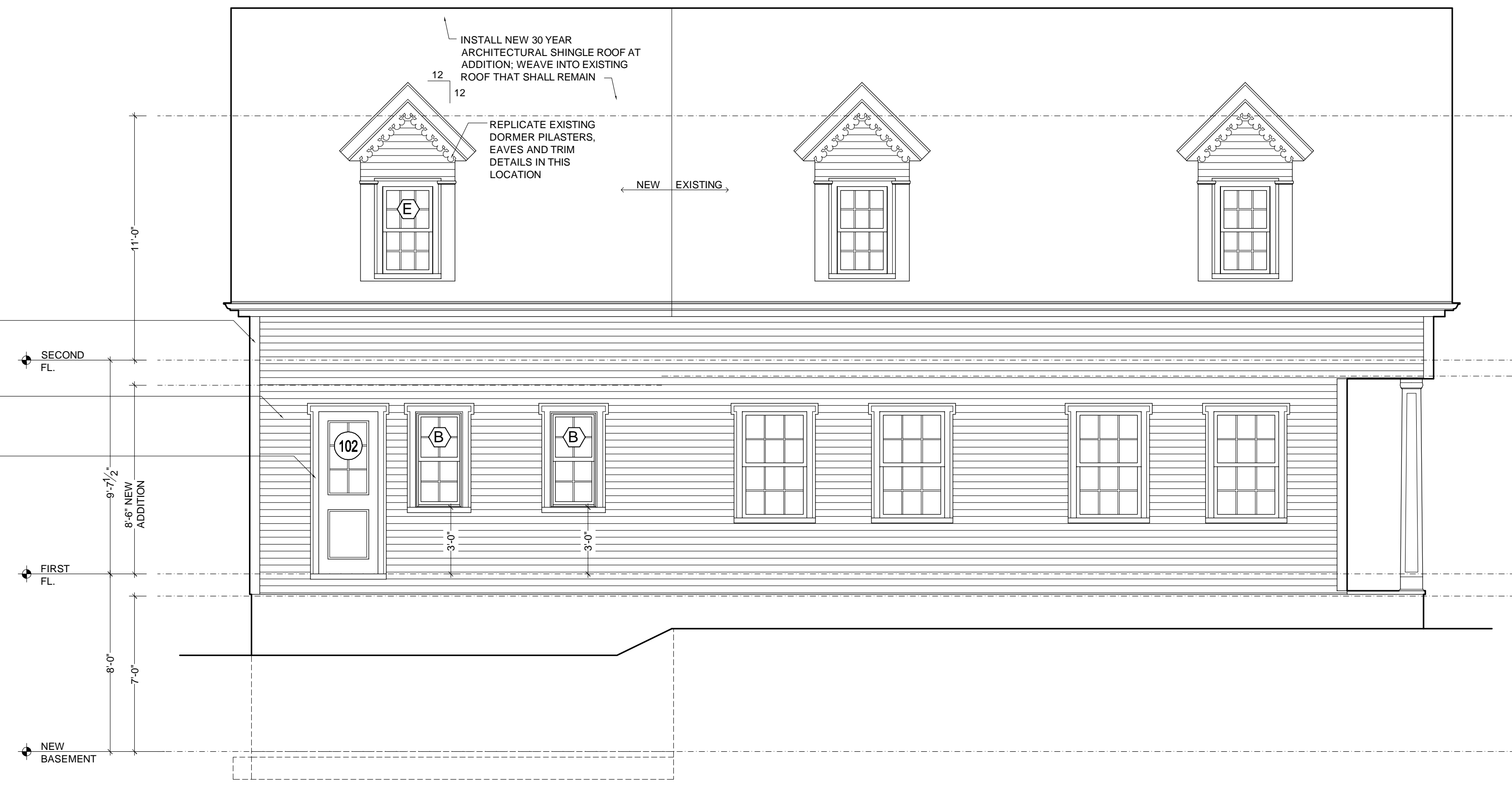
1 PROPOSED NORTH (FRONT) ELEVATION
 SCALE: 1/4" = 1'-0"



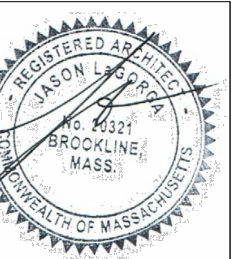
2 PROPOSED EAST (SIDE) ELEVATION
 SCALE: 1/4" = 1'-0"



3 PROPOSED SOUTH (REAR) ELEVATION
 SCALE: 1/4" = 1'-0"



4 PROPOSED WEST (SIDE) ELEVATION
 SCALE: 1/4" = 1'-0"

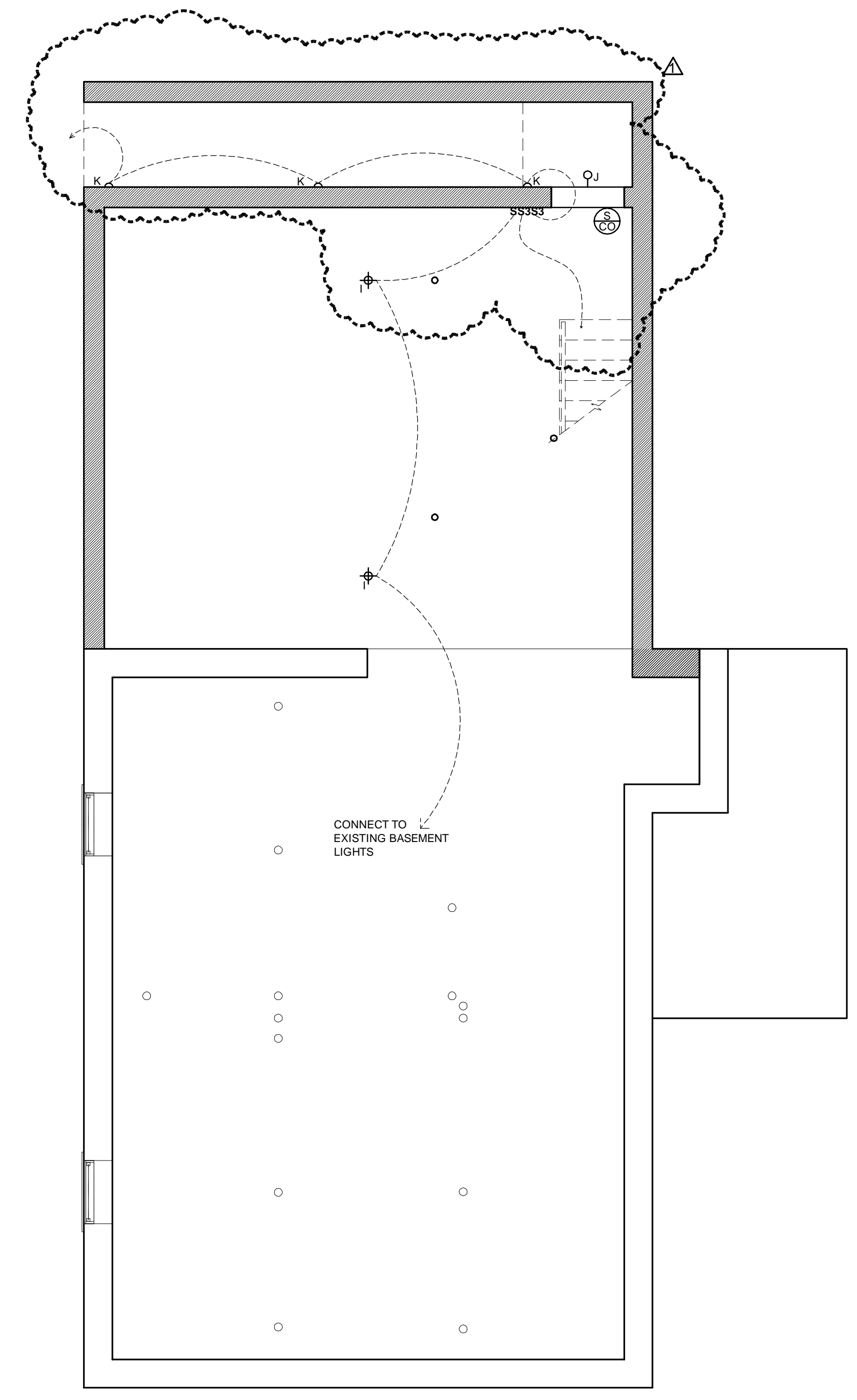


NO.	DATE	DESCRIPTION

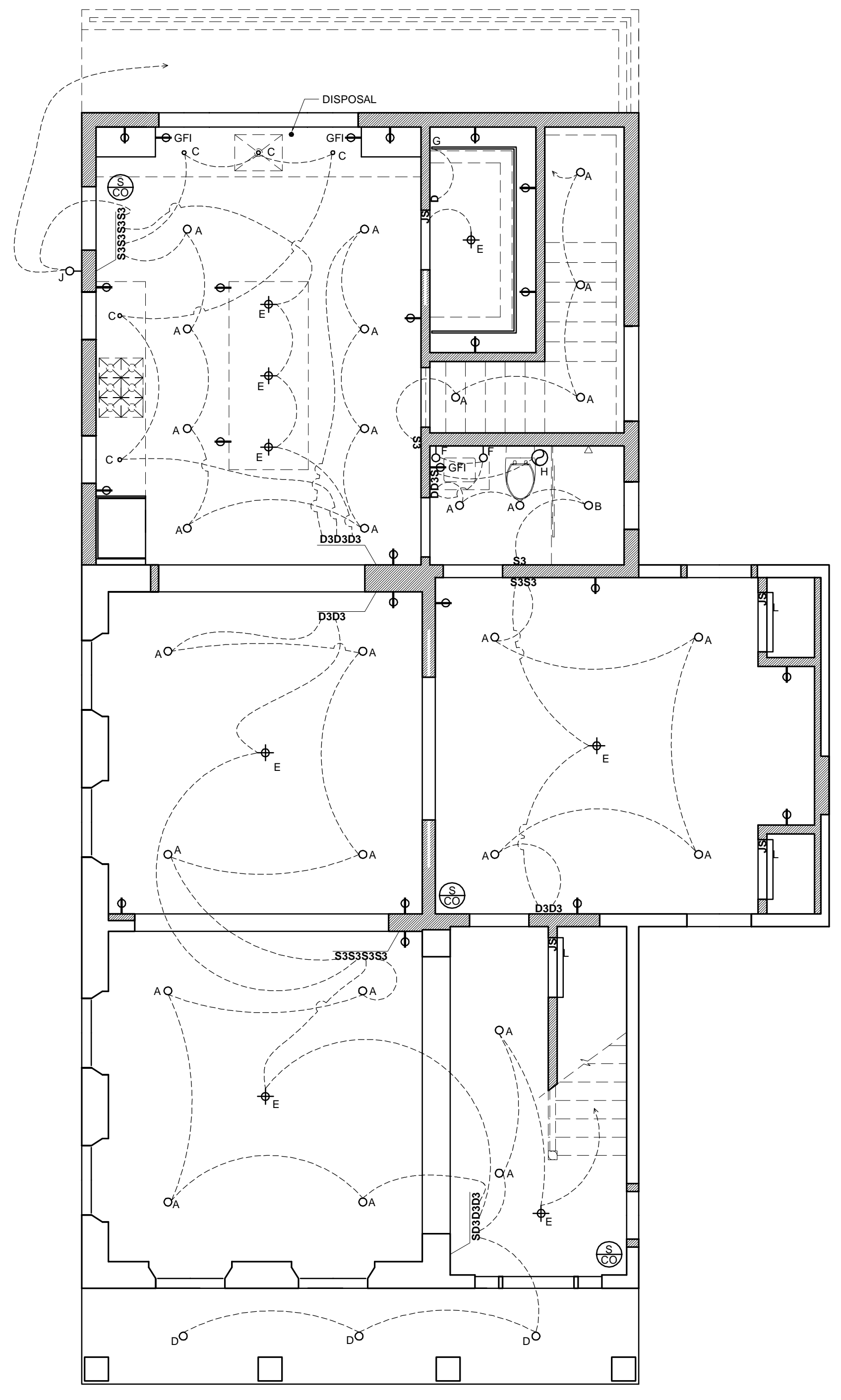
DATE: FEB. 12, 2024
 SCALE: 1/4" = 1'-0"
 DRAWN BY: JAL
 PROJ CODE: DELEAR

PROPOSED ELEVATIONS

LIGHTING SCHEDULE			
KEY	TYPE	MANUFACTURER	PROVIDED, ASSEMBLED & INSTALLED BY
○ A	3" RECESSED FLAT SURFACE LED FIXTURE	COORDINATE W/ OWNER	PROVIDED BY GC; ASSEMBLED & INSTALLED BY GC
○ B	3" RECESSED FLAT SURFACE LED FIXTURE WET LOCATION	COORDINATE W/ OWNER	PROVIDED BY GC; ASSEMBLED & INSTALLED BY GC
○ C	2" RECESSED FLAT SURFACE LED FIXTURE	COORDINATE W/ OWNER	PROVIDED BY GC; ASSEMBLED & INSTALLED BY GC
○ D	3" RECESSED FLAT SURFACE LED FIXTURE EXTERIOR RATED	COORDINATE W/ OWNER	PROVIDED BY GC; ASSEMBLED & INSTALLED BY GC
⊕ E	DECORATIVE FLUSH / SEMI-FLUSH MOUNT / PENDANT		PROVIDED BY OWNER; ASSEMBLED & INSTALLED BY GC
⊕ F	VANITY SCONCE / WALL SCONCE		PROVIDED BY OWNER; ASSEMBLED & INSTALLED BY GC
⊕ G	LED UNDERCABINET LIGHT		PROVIDED BY OWNER; ASSEMBLED & INSTALLED BY GC
⊕ H	VENTILATION FAN	PANASONIC	PROVIDED BY GC; ASSEMBLED & INSTALLED BY GC
⊕ I	FLUSH MOUNT UTILITY LIGHTING		PROVIDED BY OWNER; ASSEMBLED & INSTALLED BY GC
⊕ J	EXTERIOR RATED SCONCE		PROVIDED BY OWNER; ASSEMBLED & INSTALLED BY GC
⊕ K	LANDSCAPE LIGHTING		PROVIDED BY OWNER; ASSEMBLED & INSTALLED BY GC
⊕ L	LED LINEAR CLOSET LIGHT		PROVIDED BY OWNER; ASSEMBLED & INSTALLED BY GC
S, S3, S4	SWITCH, 3-WAY SWITCH, 4-WAY SWITCH	LUTRON DIVA SERIES, OR EQUAL	PROVIDED BY GC; ASSEMBLED & INSTALLED BY GC
D, D3, D4	DIMMER, DIMMER ON 3/4-WAY CIRCUIT	LUTRON DIVA SERIES, OR EQUAL	PROVIDED BY GC; ASSEMBLED & INSTALLED BY GC
J5	JAMB SWITCH		PROVIDED BY GC; ASSEMBLED & INSTALLED BY GC
	DUPLEX OUTLET	LUTRON DIVA SERIES, OR EQUAL	PROVIDED BY GC; ASSEMBLED & INSTALLED BY GC
⊕	QUAD OUTLET	LUTRON DIVA SERIES, OR EQUAL	PROVIDED BY GC; ASSEMBLED & INSTALLED BY GC
⊕ GFI	GFI DUPLEX OUTLET	LUTRON DIVA SERIES, OR EQUAL	PROVIDED BY GC; ASSEMBLED & INSTALLED BY GC
⊕	HARDWIRED, INTERCONNECTED SMOKE / CARBON MONOXIDE DETECTOR PER STATE BUILDING CODE REQUIREMENTS		

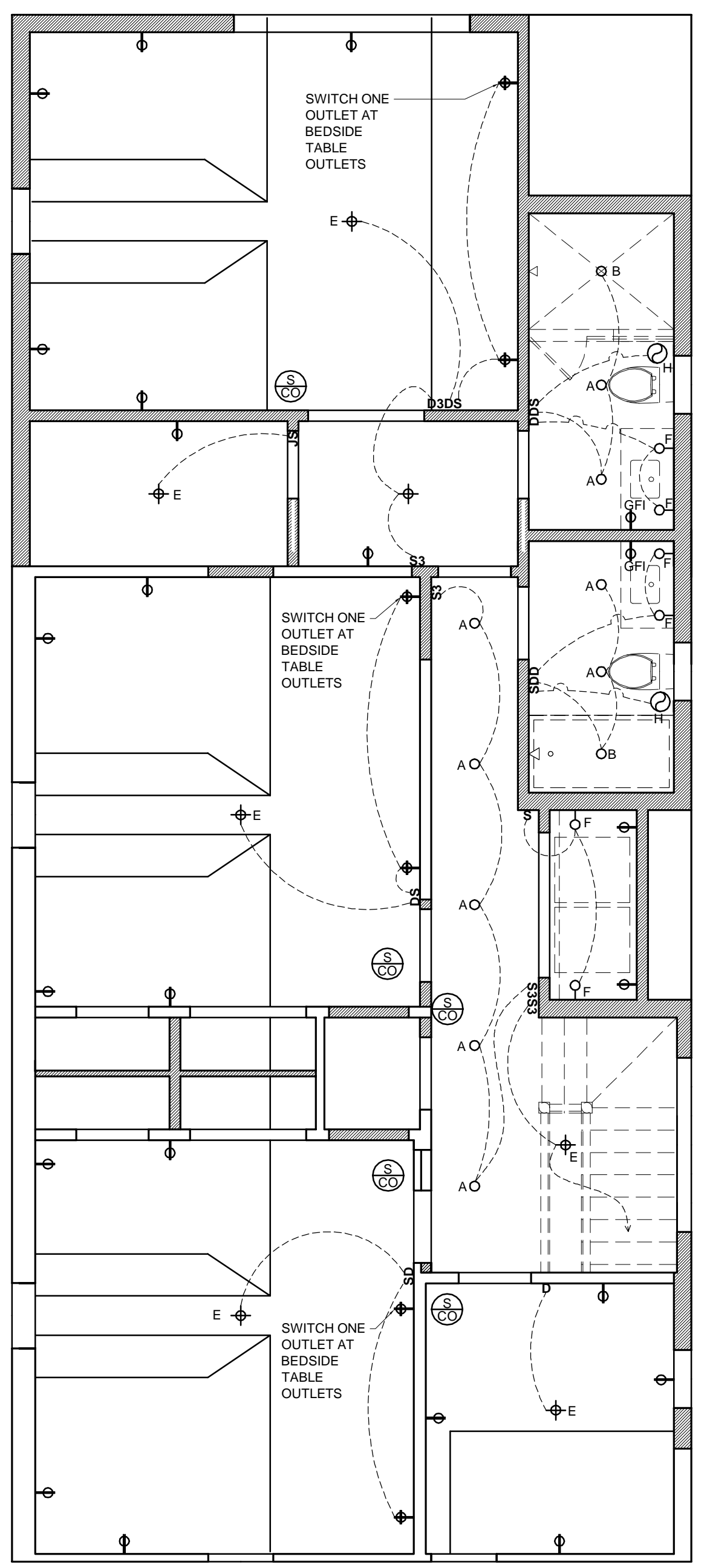


0 PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



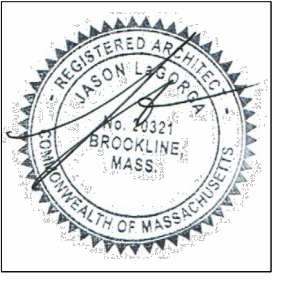
KEY	
—	EXISTING TO REMAIN
—	NEW CONSTRUCTION

1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

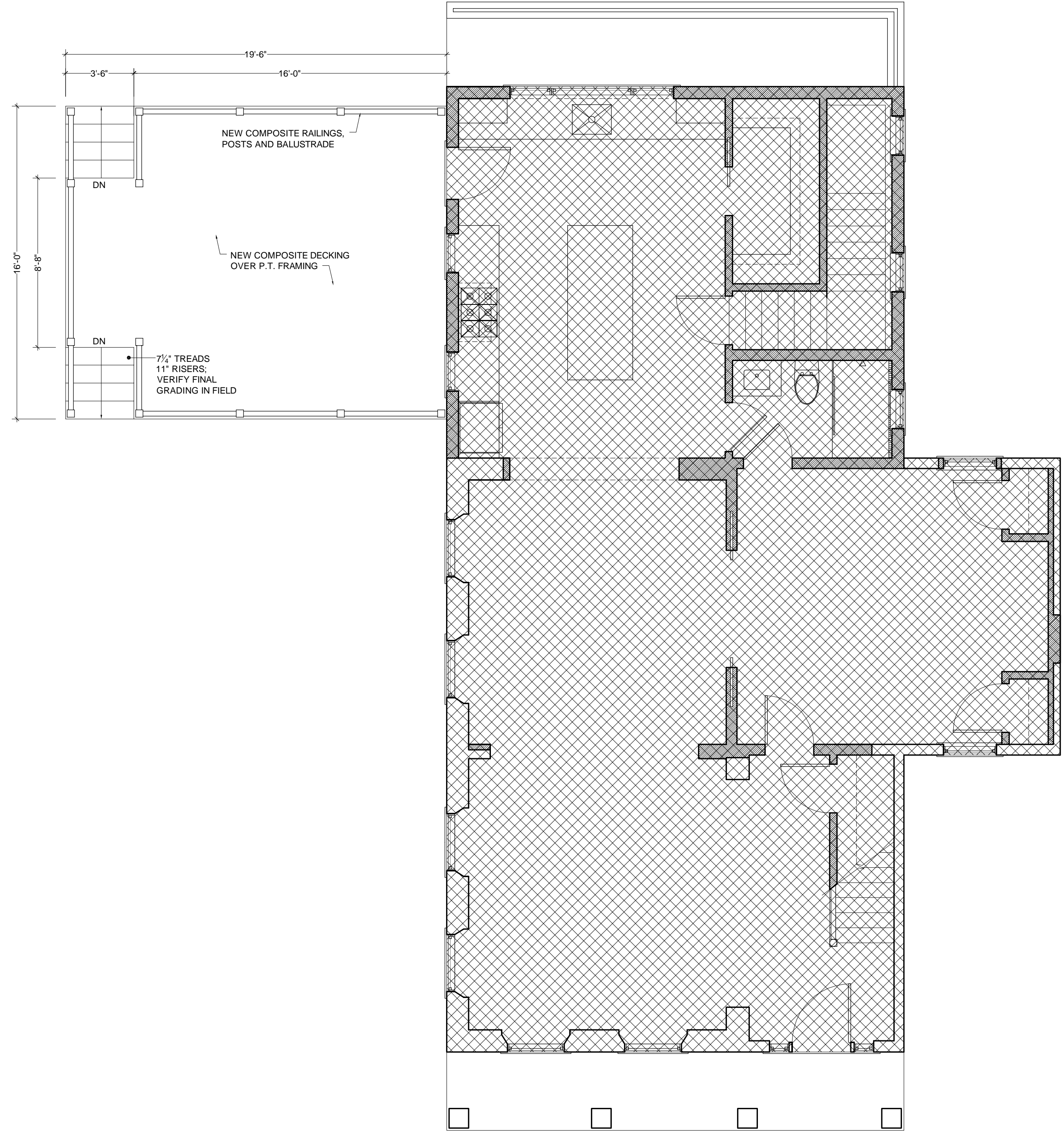


KEY	
—	EXISTING TO REMAIN
—	NEW CONSTRUCTION

2 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



REVISIONS	
NO.	DATE



1 PROPOSED DECK FLOOR PLAN
SCALE: 1/4" = 1'-0"



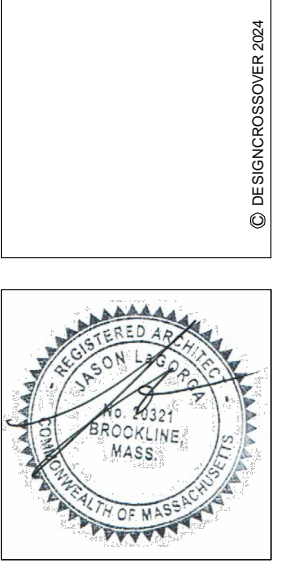
2 PROPOSED DECK FRONT ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED DECK SIDE ELEVATION
SCALE: 1/4" = 1'-0"

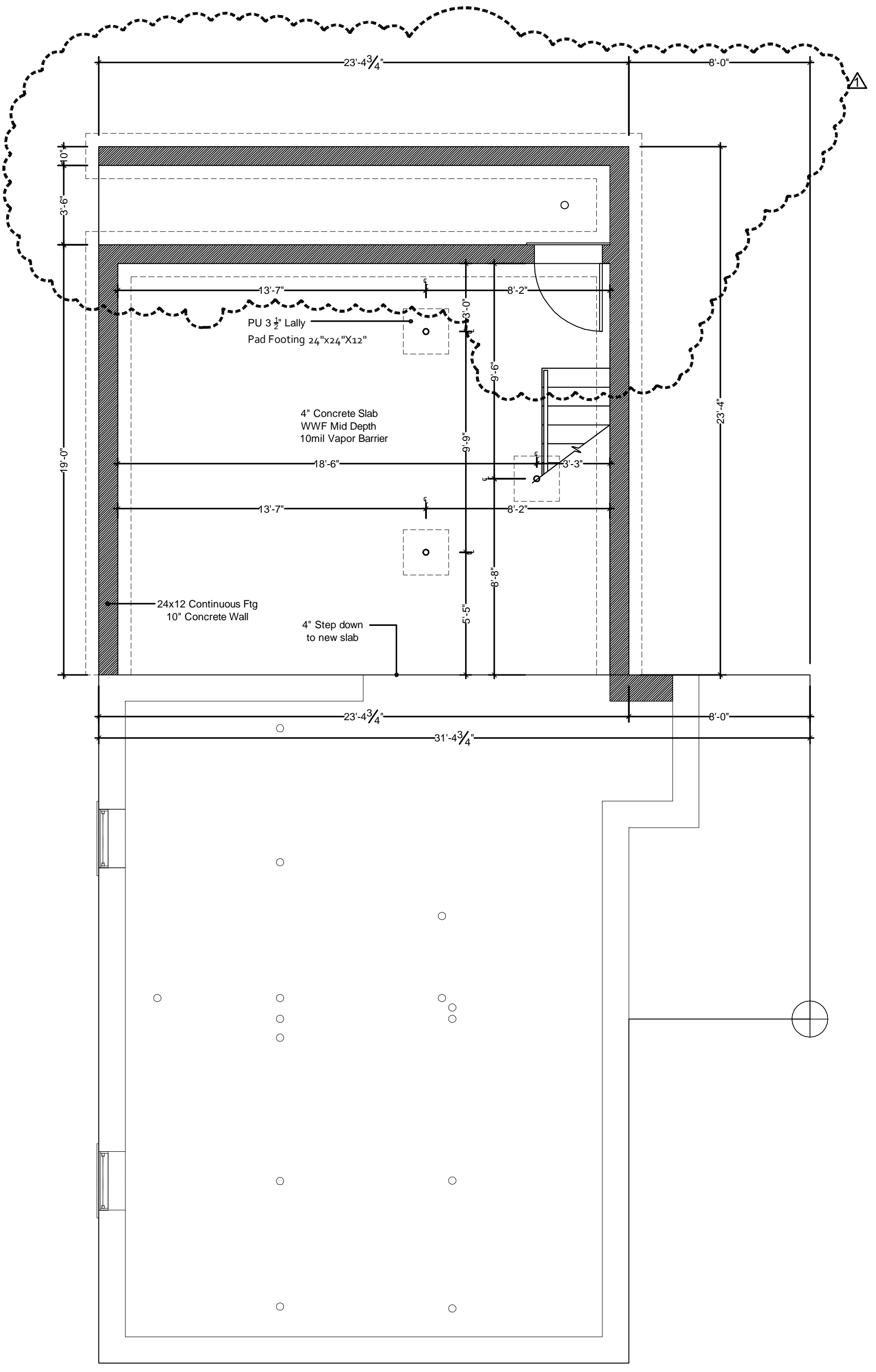


4 PROPOSED DECK REAR ELEVATION
SCALE: 1/4" = 1'-0"

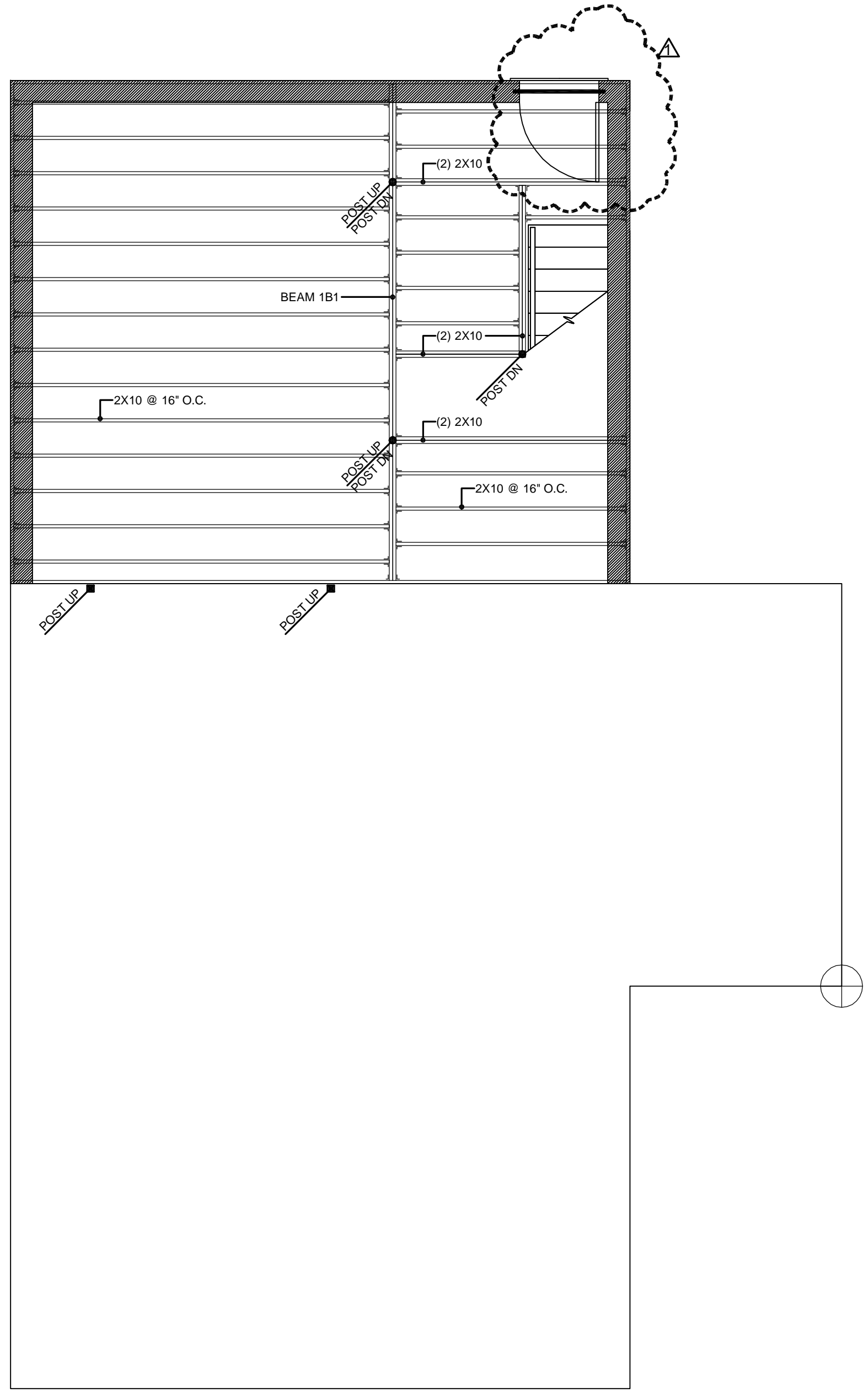


NO.	DATE	DESCRIPTION
1	FEB. 12, 2024	ISSUED FOR PERMIT
2		
3		
4		

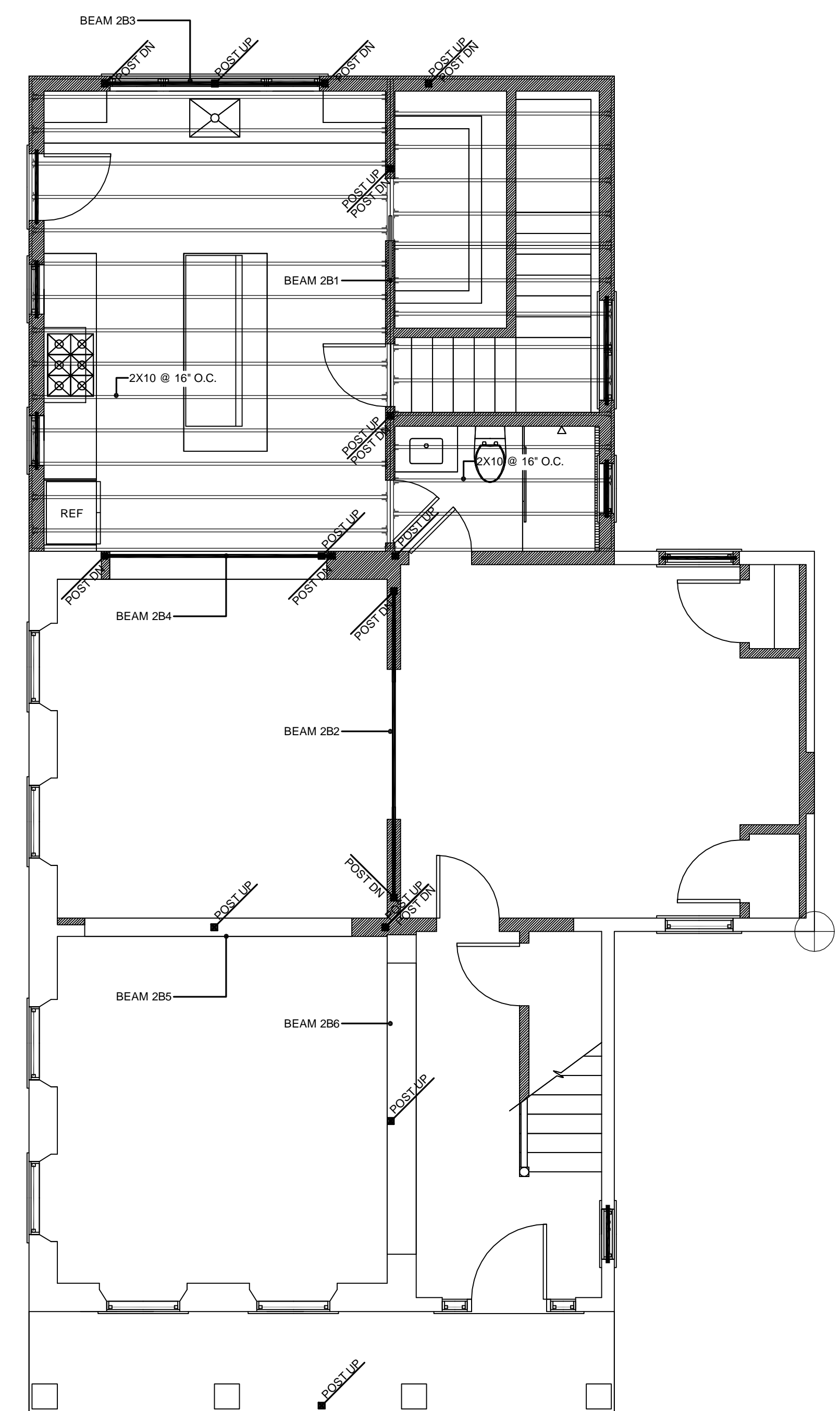
DATE: FEB. 12, 2024
SCALE: 1/4" = 1'-0"
DRAWN BY: JLL
PROJ. CODE: DELEAR



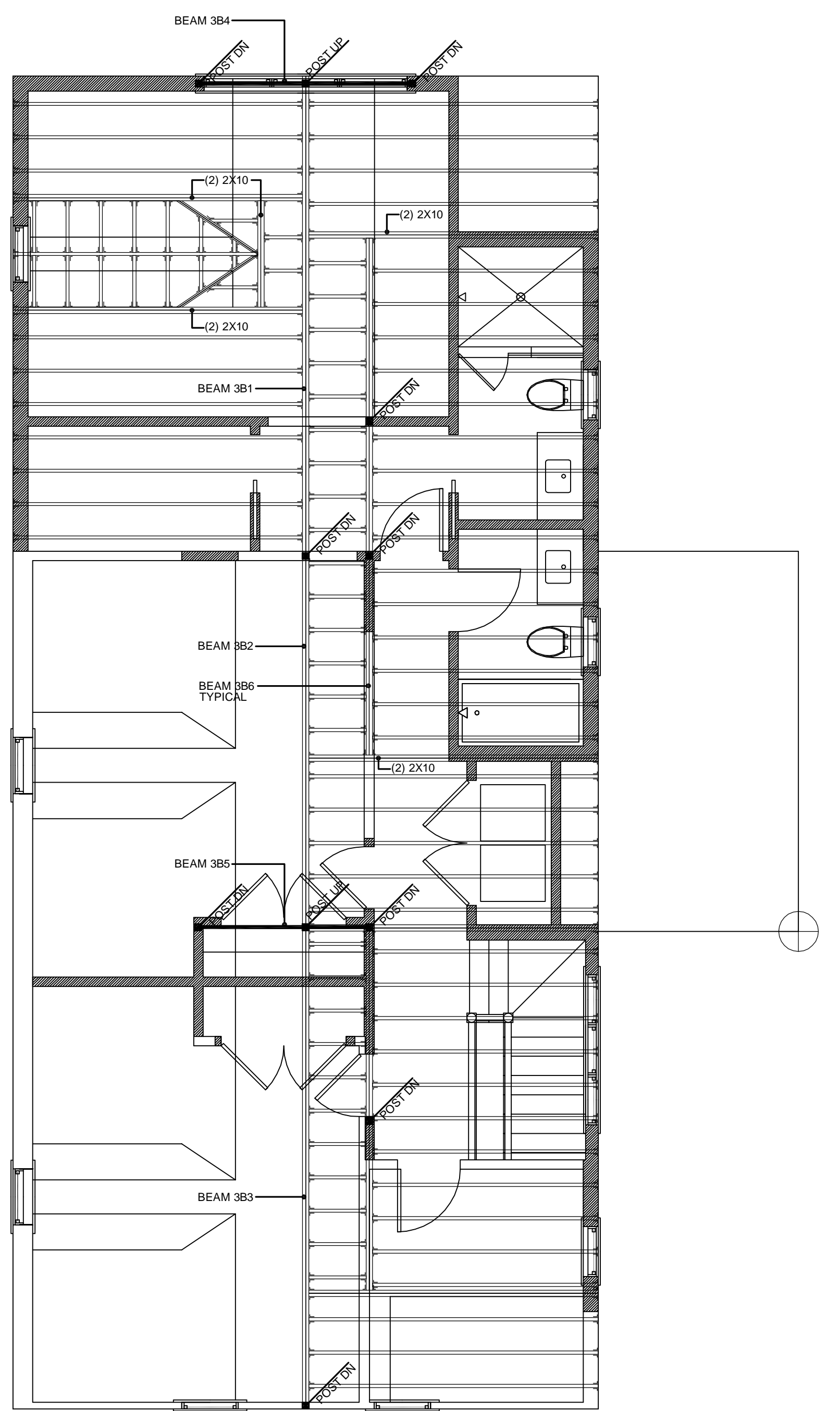
0 PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



3 PROPOSED ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- Structural drawing for permit purposes only and to be read in conjunction with all other permit documents.
- Dimensions and conditions to be field verified.
- Refer to Architecturals for Dimensions and Elevations
- All work to IRC 2015, 9th Edition Mass Building Code Loading:
 - Roof - Snow Loading Zone 2: 40psf
 - All Areas UNO-40psf, Bedrooms - 30psf
 - Dead Load - 10psf or Actual Weight
 - Wind - 128mph Ult., Exposure B
 - Seismic Wood Framed - Group II, Category C
 - Basic Structural System - Loadbearing Wall System

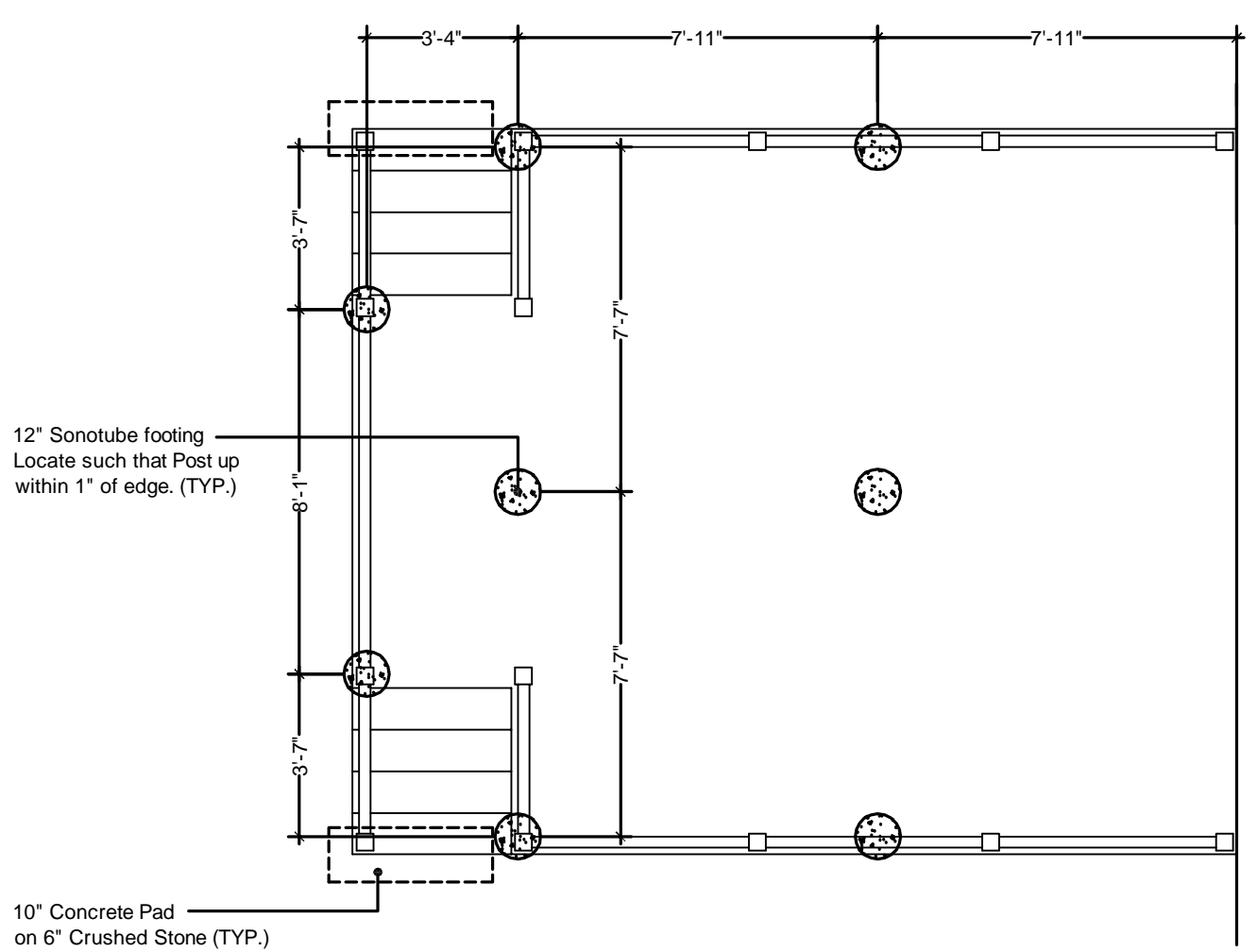
Concrete:

- Per ACI Standards, Min 4000 PSI
- Typical Footing 24"x12" with 3-#5 rebar Long, #4@18 Short with wall dowels, #4@18 H&V in wall.

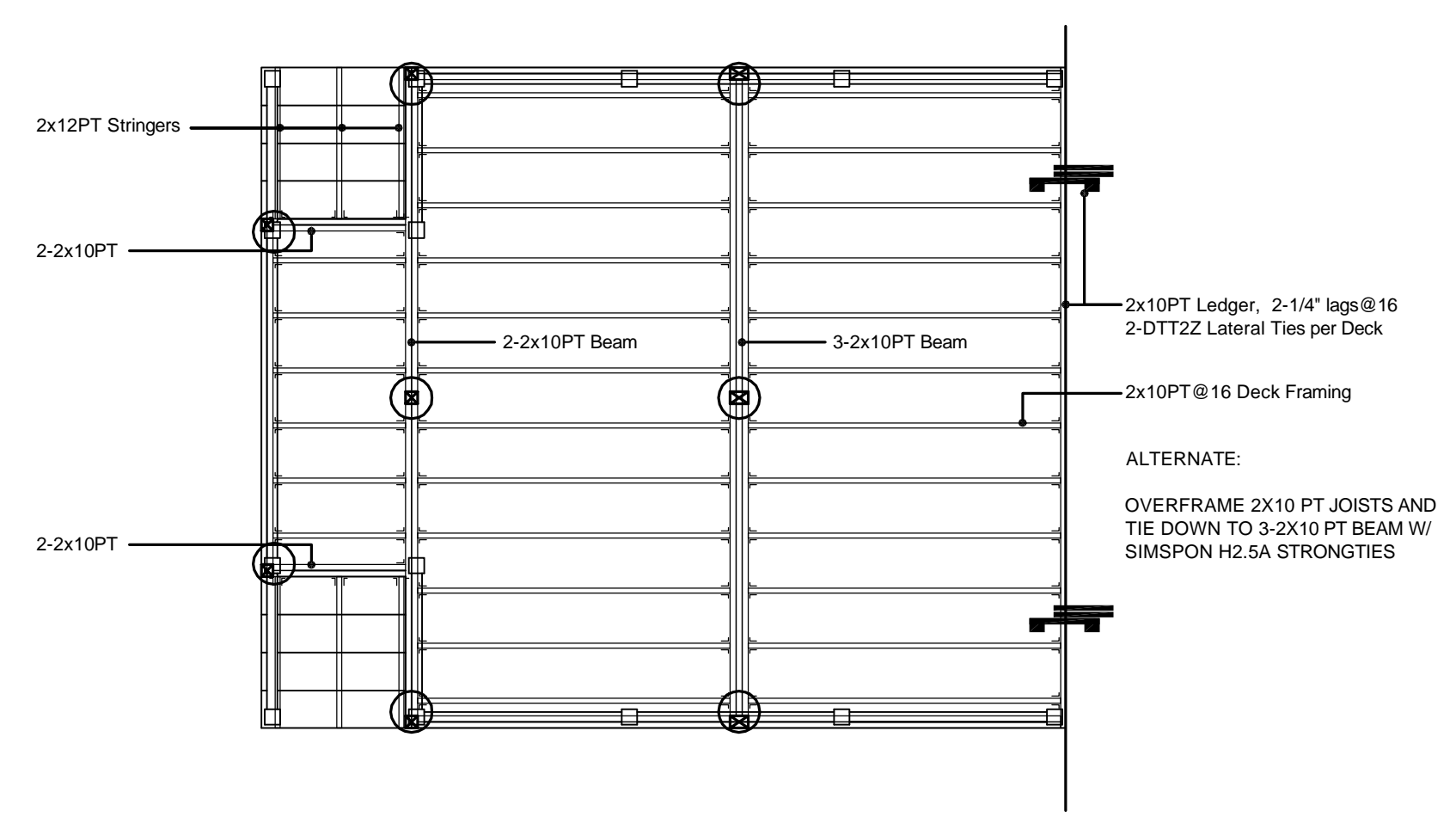
Lumber:

- UNO all timber joists, rafters, studs, lintels and plates to be S.P.F. No.2 or better with Fb=875psi, Fv=75psi, E=1,400,000psi
- LVL's to be 1.9E (1.9x10 psi) or equivalent.
- Provide min double jack studs and one full height studs under all headers >6' or beams >6'
- Double 2x10 Headers over all openings UNO
- Double top plates on all walls UNO
- PD/PU 4x4 UNO, Joist Blocking/Bridging at spans >8'
- Simpson Strong-Tie Connections and Hangers, refer to C-C-2019 Manual for Installation & Specification.
- Hangers to be used at all flush joist/beam frame conditions

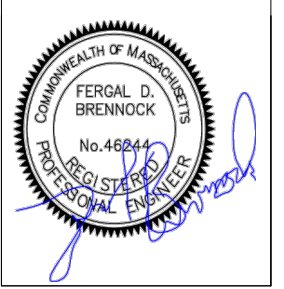
BEAMS	
1B1	(3) 2x12
2B1	(3) 2X12
2B2	(2) 1 1/2" x 11 1/4" LVL
2B3	(2) 1 1/2" x 9 1/4" LVL
2B4	(3) 1 1/2" x 11 1/4" LVL
2B5	EXISTING - (3) 1 1/2" x 11 1/4" LVL
2B6	EXISTING - (3) 1 1/2" x 11 1/4" LVL
3B1	(2) 1 1/2" x 11 1/4" LVL W/ (2) 1/2" FLITCH PLATE
3B2	(2) 1 1/2" x 11 1/4" LVL W/ (2) 1/2" FLITCH PLATE
3B3	(2) 1 1/2" x 11 1/4" LVL W/ (2) 1/2" FLITCH PLATE
3B4	(2) 1 1/2" x 11 1/4" LVL
3B5	(2) 1 1/2" x 11 1/4" LVL



4 PROPOSED DECK FOOTING PLAN
SCALE: 1/4" = 1'-0"



5 PROPOSED DECK FRAMING PLAN
SCALE: 1/4" = 1'-0"



REVISION	DATE
1	2-26-24
2	3-13-24
3	3-13-24
4	3-13-24

DATE: FEB. 12, 2024
SCALE: 1/4" = 1'-0"
DRAWN BY: ALL
PROJ CODE: DELEAR