

PROPOSED ADDITION & RENOVATION

19 CHESHIRE STREET, JAMAICA PLAIN, MASSACHUSETTS 02130

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
3. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY AQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.
5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS OR FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY.
6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
7. THE CONTRACTOR SHALL WARRANT HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

FOUNDATION NOTES:

1. ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, OR DEEPER, IF NECESSARY, TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT, FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
2. ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL; OR, ON ENGINEERED BANK RUN GRAVEL FILL MATERIAL WITH A MINIMUM DRY DENSITY OF 95%.
3. ALL FOOTING SHALL BE POURED IN THE DRY ONLY.
4. NO FOOTING SHALL BE POURED ON FROZEN GROUND.
5. THE MINIMUM REINFORCING FOR ALL FOUNDATION WALLS SHALL BE 2-#6 BARS AT THE TOP AND BOTTOM, CONTINUOUS; OR, AS SHOWN ON DRAWINGS.
6. LAP ALL BARS 40 DIAMETERS AND PROVIDE CORNER BARS.
7. ALL REINFORCEMENT: ASTM A615-60, WWF A185.

CONCRETE NOTES:

1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
2. MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.
3. ALL CONCRETE SLABS SHALL BE POURED IN 900 SQUARE FOOT PANELS, MAXIMUM; OR, PROVIDE CONTROL JOINTS BY SAW CUTTING THE SLAB WHILE THE CONCRETE IS STILL GREEN.

STEEL NOTES:

1. ALL COLUMNS: A36, STEEL PIPE, A46 STEEL TUBE.
2. BOLTS: A325, ANCHOR BOLTS: A307.

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows; or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

WOOD NOTES:

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 HEM-FIR, OR BETTER, HAVING A MINIMUM: FB=1,200 PSI, FV=140 PSI, E=1,300,000 PSI.
3. ALL L.V.L. LUMBER DENOTED ON PLANS SHALL HAVE A MINIMUM: FB=2,600 PSI, FV=285 PSI, E=1,900,000 PSI.
4. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3" CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
5. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
6. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
7. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
9. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
10. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
11. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT 45°, SIMPSON TYPE "CWB", OR EQUAL.
12. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" DIAMETER BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

REINFORCING NOTES:

1. ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
2. ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
4. ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OF HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
5. THE CONTRACTOR SHALL SUBMIT A REPRODUCIBLE SEPIA AND FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
6. CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
 - A. FOOTINGS 3 INCHES
 - B. SIDES OF FOUNDATIONS WALLS, EXPOSED FACES OF FOUNDATIONS, SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE 2 INCHES
 - C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER 1-1/2 INCHES
 - D. TOP STEEL OF INTERIOR SLABS 1 INCHES
7. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".



Location

PROPOSED ADDITION/
RENOVATION
19 CHESHIRE STREET
JAMAICA PLAIN, MA

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
1	6-5-17

Project No: 17068
Scale: AS NOTED
Date: 05-27-16
Drawn By: DF

Drawing Name
COVER SHEET

Sheet No.
A-0

ZONING SUMMARY		ARTICLE 55 3F-5000 SUBDISTRICT NDOD OVERLAY									
SEMI-ATTACHED DWELLING	MIN. LOT SIZE	MIN. LOT AREA ADD'L	TOTAL LOT SIZE	LOT WIDTH/FRONTAGE	FAR	BLDG. HEIGHT	USABLE OPEN SPACE	FRONT	SETBACKS SIDE	REAR	MAX USE REAR YARD
REQUIRED BY ZONING	3000 S.F. 1 UNIT	2000 S.F. PER UNIT	5000 S.F.	40'	.6	35' / 3 STORIES	750 S.F./UNIT + 500 S.F. & 25% <small>750 S.F. + 287 = 1037 S.F. 500 S.F. + 287 = 787 S.F. TOTAL 1,824 S.F.</small>	15' MODAL	7' / 10'	20'	25%
EXISTING CONDITIONS			6,148 S.F.	72.37'	3175 / 6148 .51	29'-3" / 2 STORIES	4578 S.F. TOTAL	MODAL	3'-4" / 29'-9"	34'-8"	0% 1
PROPOSED PROJECT			6,148 S.F.	72.37'	3657 / 6148 .59	29'-3" / 2 STORIES	2941 S.F. TOTAL	MODAL NO CHANGE	11'-4" / 30'-4"	22'-7"	0% 2

KEY

- ☉ SMOKE DETECTOR
- ☉ HEAT DETECTOR
- ☉ CARBON MONOXIDE DETECTOR
- ◇ 1 HOUR WALL
- ◇ 2 HOUR WALL
- ⊠ FAN
- ⊙ 45 MIN. DOOR
- ⊙ 1-1/2 HOUR DOOR
- ⊙ WINDOW TYPE
- 1 1 HOUR CLG. ABOVE (SEE C.T.1/A-3.1)
- 2 2 HOUR CLG. WALL (SEE C.T.2/A-3.1)
- ⊙ FIRE EXTINGUISHER
- ▨ NEW WALL
- ▬ EX'G WALL TO REMAIN
- - - - - WALL TO BE REMOVED

CODE SUMMARY

EX'G TYPE 5 CONSTRUCTION
EX'G R-3 USE GROUP (ONE-FAMILY)
PROPOSED R-3 (TWO-FAMILY) 1

EX'G 2 1/2 STORIES & BASEMENT
PROPOSED 2 STORIES & BASEMENT

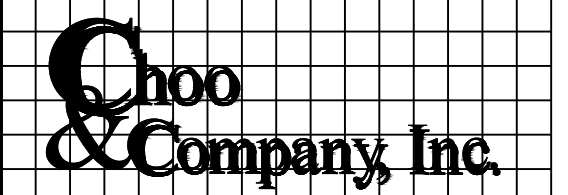
EX'G NON-SPRINKLERED
ZONE: 3F-5000

SOIL TESTING

NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM AS DESIGNED IS BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. SOIL BORINGS SHOULD BE PERFORMED TO VERIFY THAT THE MINIMUM DESIGN BEARING CAPACITIES ARE ACHIEVABLE. IF A SUITABLE SOIL THAT CAN NOT WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THAN THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

Location

PROPOSED ADDITION/ RENOVATION 19 CHESHIRE STREET JAMAICA PLAIN, MA



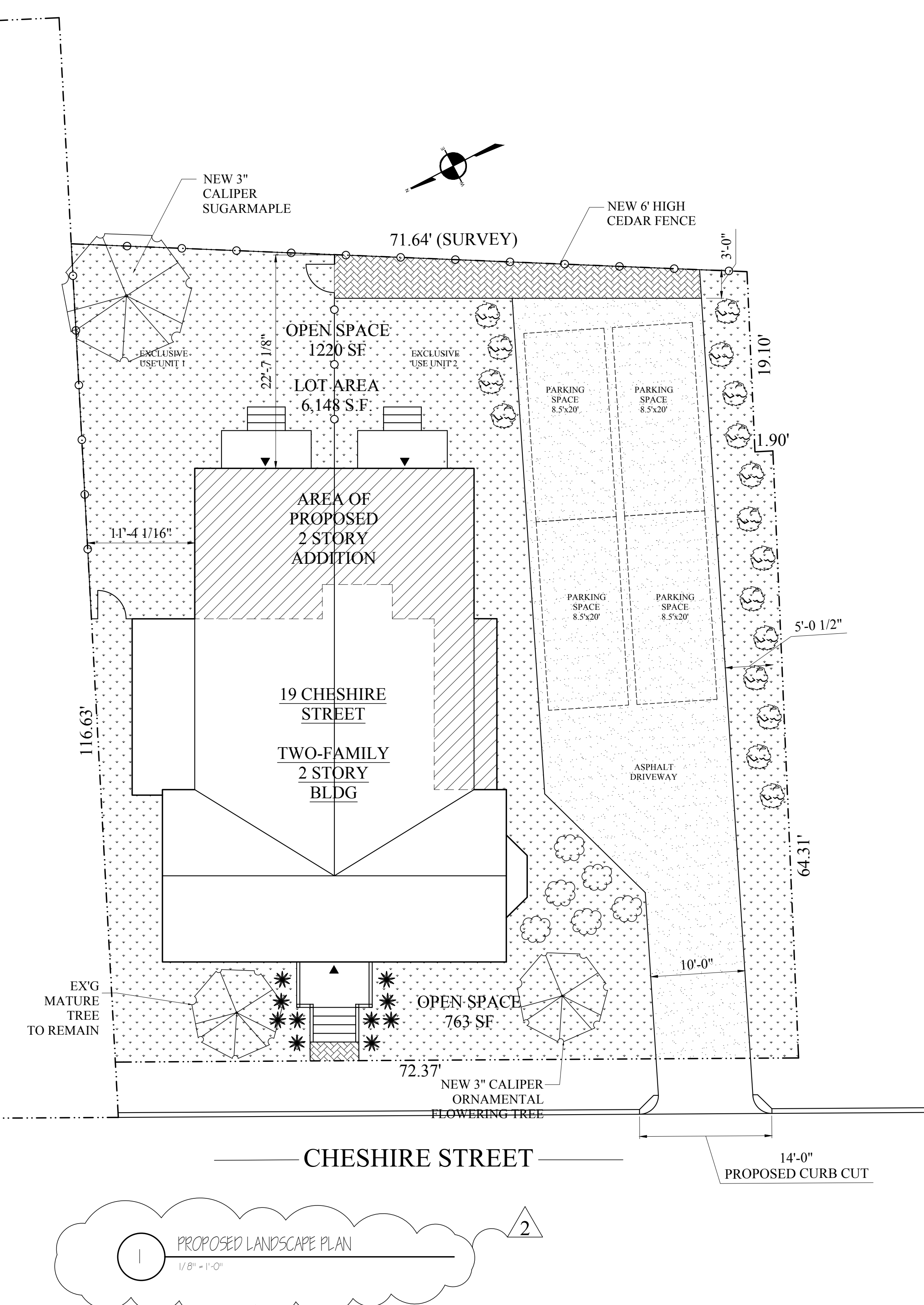
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
1	6-5-17
2	7-19-17

Project No: 17068
 Scale: AS NOTED
 Date: 05-27-16
 Drawn By: DF

Drawing Name
**PROPOSED
 LANDSCAPE
 PLAN**

Sheet No.
A-1.0



SYMBOL	NAME
	CANADIAN HEMLOCK, YEW OR JUNIPER
	RHODODENDRON
	DAYLILIES

1 PROPOSED LANDSCAPE PLAN
 1/8" = 1'-0"

DOOR & OPENING SCHEDULE

NOTE: GC TO CONFIRM SIZES & QUANTITIES PRIOR TO ORDERING

NO.	SIZE	MATERIAL	RATING	FRAME	TYPE	HARDWARE	REMARKS
C3'-0"	x 6'-8" x 1 3/4"	COMP. OR WOOD	45 MIN.	WOOD	45 MIN.	ENTRANCE	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE SELECTED BY OWNER, PROVIDE DEADBOLT
13'-2"	x 6'-8" x 1 3/4"	FBGLS & GLASS	-	WOOD	-	ENTRANCE	FULL LIGHT DOOR & EXTERIOR SCREEN DOOR, PAINTED, STYLE SELECTED BY OWNER, PROVIDE DEADBOLT
28'-7"	x 8'-3" x 1 3/4"	WOOD CLD & GLASS	-	WOOD	-	ENTRANCE	ENTRANCE DOOR UNIT (3'-0" x 6'-8") PAIR OF 32" SIDE LITE AND 12" FULL LITE TRANSOM
33'-0"	x 6'-8" x 1 3/4"	FBGLS & GLASS	-	WOOD	-	ENTRANCE	PANEL DOOR, SMOOTH FINISH, STYLE SELECTED BY OWNER, PROVIDE DEADBOLT
43'-0"	x 6'-8" x 1 3/8"	COMP. OR WOOD	-	WOOD	-	STORAGE	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE SELECTED BY OWNER
52'-8"	x 6'-8" x 1 3/8"	COMP. OR WOOD	-	WOOD	-	BED / BATH	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE SELECTED BY OWNER
62'-6"	x 6'-8" x 1 3/8"	COMP. OR WOOD	-	WOOD	-	BED / BATH	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE SELECTED BY OWNER
72'-0"	x 6'-8" x 1 3/8"	COMP. OR WOOD	-	WOOD	-	SINGLE DUMMY	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE SELECTED BY OWNER
82'-2'-6"	x 6'-8" x 1 3/8"	COMP. OR WOOD	-	WOOD	-	SINGLE DUMMY	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE SELECTED BY OWNER
92'-4"	x 6'-8" x 1 3/8"	COMP. OR WOOD	-	WOOD	-	STORAGE	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE SELECTED BY OWNER
10'-6"	x 6'-8" x 1 3/8"	COMP. OR WOOD	-	WOOD	-	PASSAGE	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE SELECTED BY OWNER
11	3'-6" x 6'-8"	-	-	WOOD	-	-	CASED OPENING
12	16'-0" x 7'-0"	COMP.	-	WOOD	-	GARAGE	SUBMIT PANEL DOOR W/ GLASS LITES SELECTED BY OWNER

NOTE: DOOR STYLE, COLOR & HARDWARE FINISH TO BE SELECTED BY OWNER, ALL HARDWARE TO MATCH

GENERAL NOTES

1. PROVIDE R-30 INSULATION IN ALL NEW & EXPOSED FLOOR JOIST CAVITIES.
2. PROVIDE R-21 INSULATION IN ALL NEW & EXPOSED EXTERIOR STUD WALL CAVITIES.
3. PROVIDE R-49 INSULATION IN ALL NEW & EXPOSED ROOF JOIST CAVITIES, TYPICAL.
4. REFER TO THE FRAMING PLANS PRIOR TO DEMOLITION, CONTACT THE ARCHITECT IMMEDIATELY IF THERE ARE CONFLICTS OR OMISSIONS.

NOTE: ENERGY CODE COMPLIANCE
 THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING STRETCH/ ENERGY CODE COMPLIANCE PRIOR TO CLOSING OF WALLS. THE PROPER ENERGY CONSULTANT, HERs RATER, OR OTHER ALLOWED PROFESSIONAL SHALL PERFORM THE FINAL INSPECTIONS ASSOCIATED WITH THE CONSTRUCTION REQUIREMENTS AT THE DIRECTION OF THE CONTRACTOR.

Location
**PROPOSED ADDITION/
 RENOVATION
 19 CHESHIRE STREET
 JAMAICA PLAIN, MA**

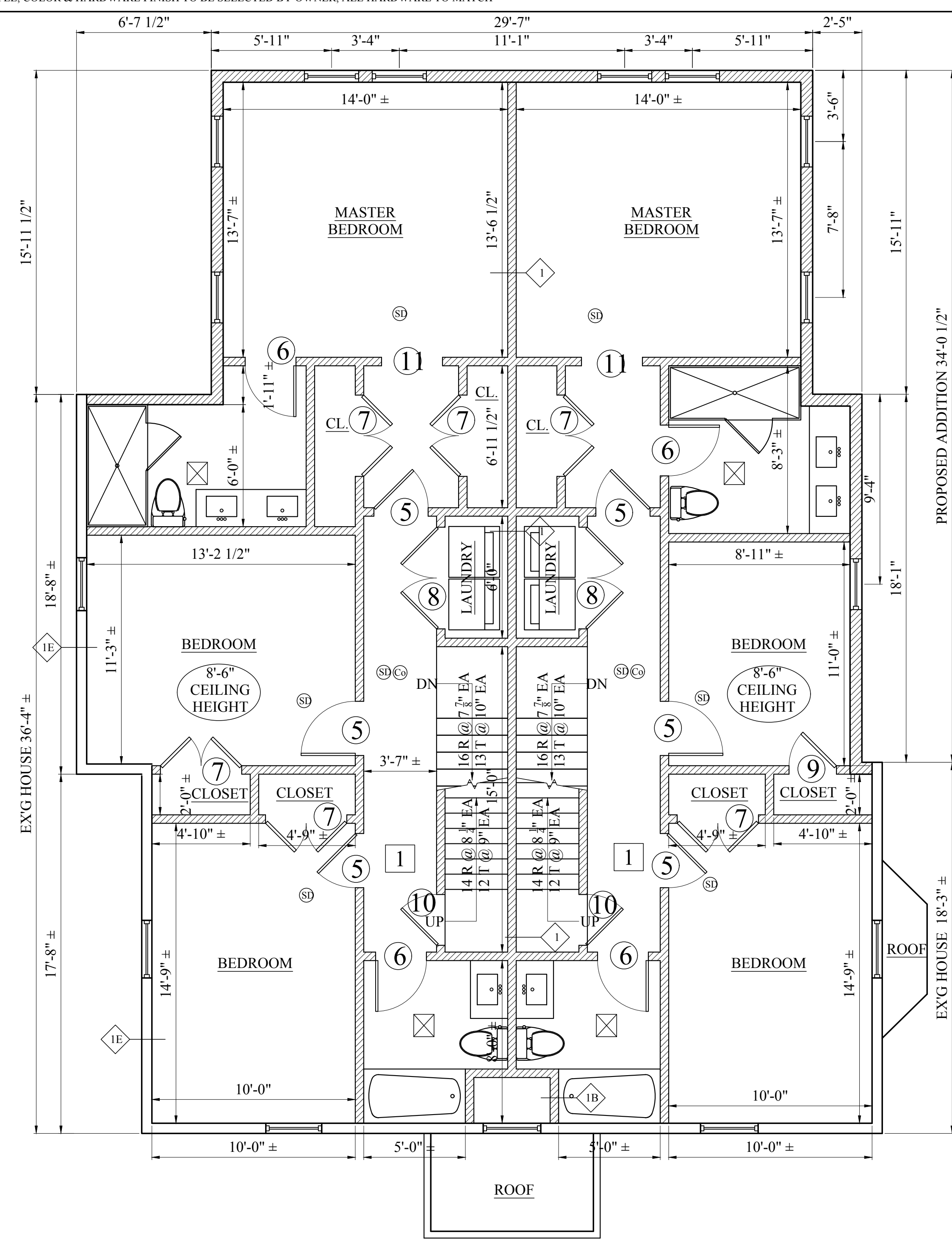
Choo & Company, Inc.
 One Billings Road Quincy, MA 02171
 617-786-7727 fax 617-786-7715

No.	Revision Date
1	6-5-17

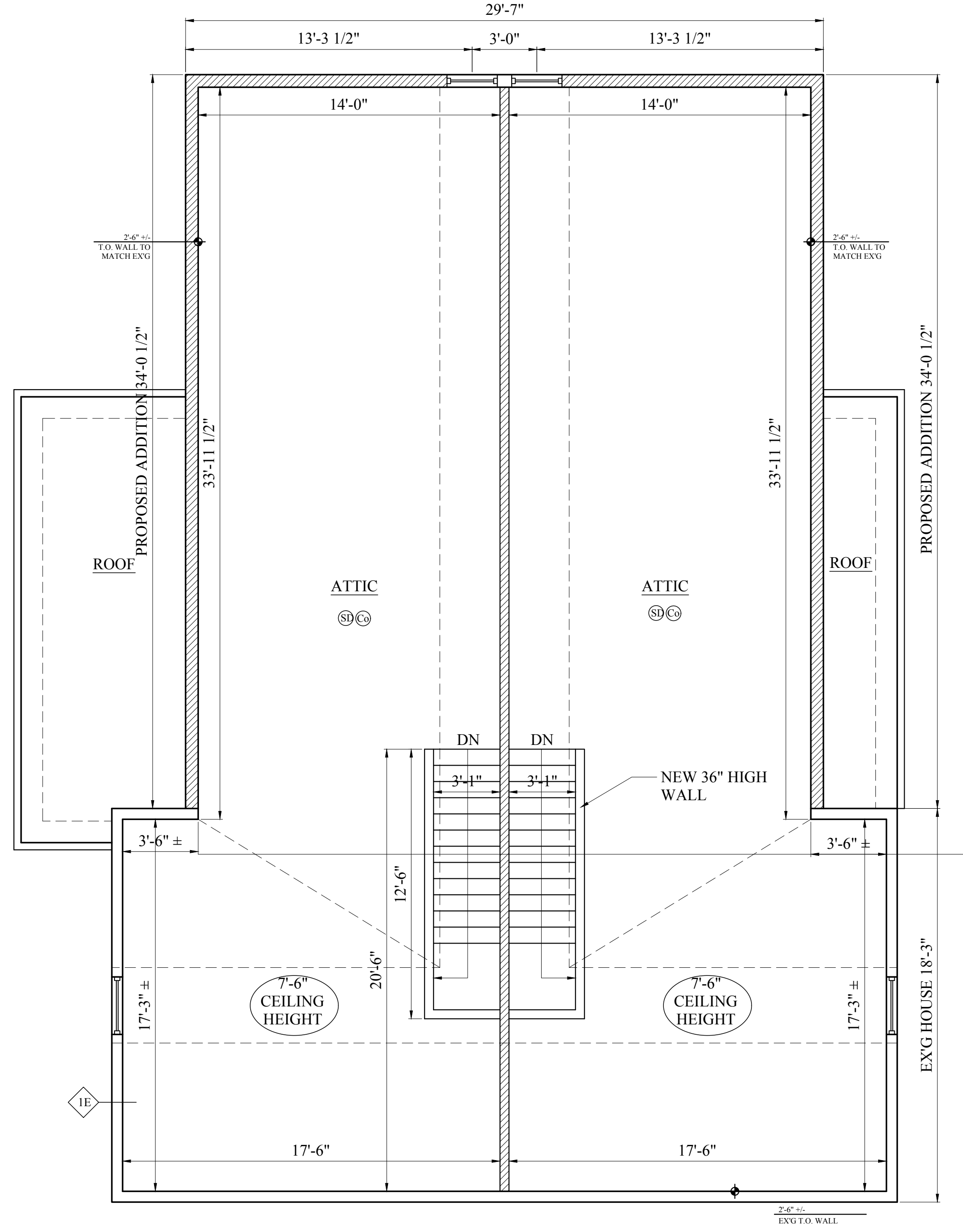
Project No: 17068
 Scale: AS NOTED
 Date: 05-27-16
 Drawn By: DF

Drawing Name
PROPOSED FLOOR PLANS

Sheet No.
A-1.2



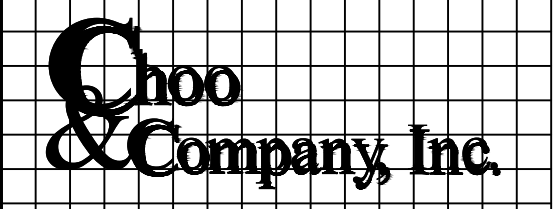
CHESHIRE STREET
 1 PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"



2 PROPOSED ATTIC FLOOR PLAN
 1/4" = 1'-0"

Location

**PROPOSED ADDITION/
RENOVATION
19 CHESHIRE STREET
JAMAICA PLAIN, MA**



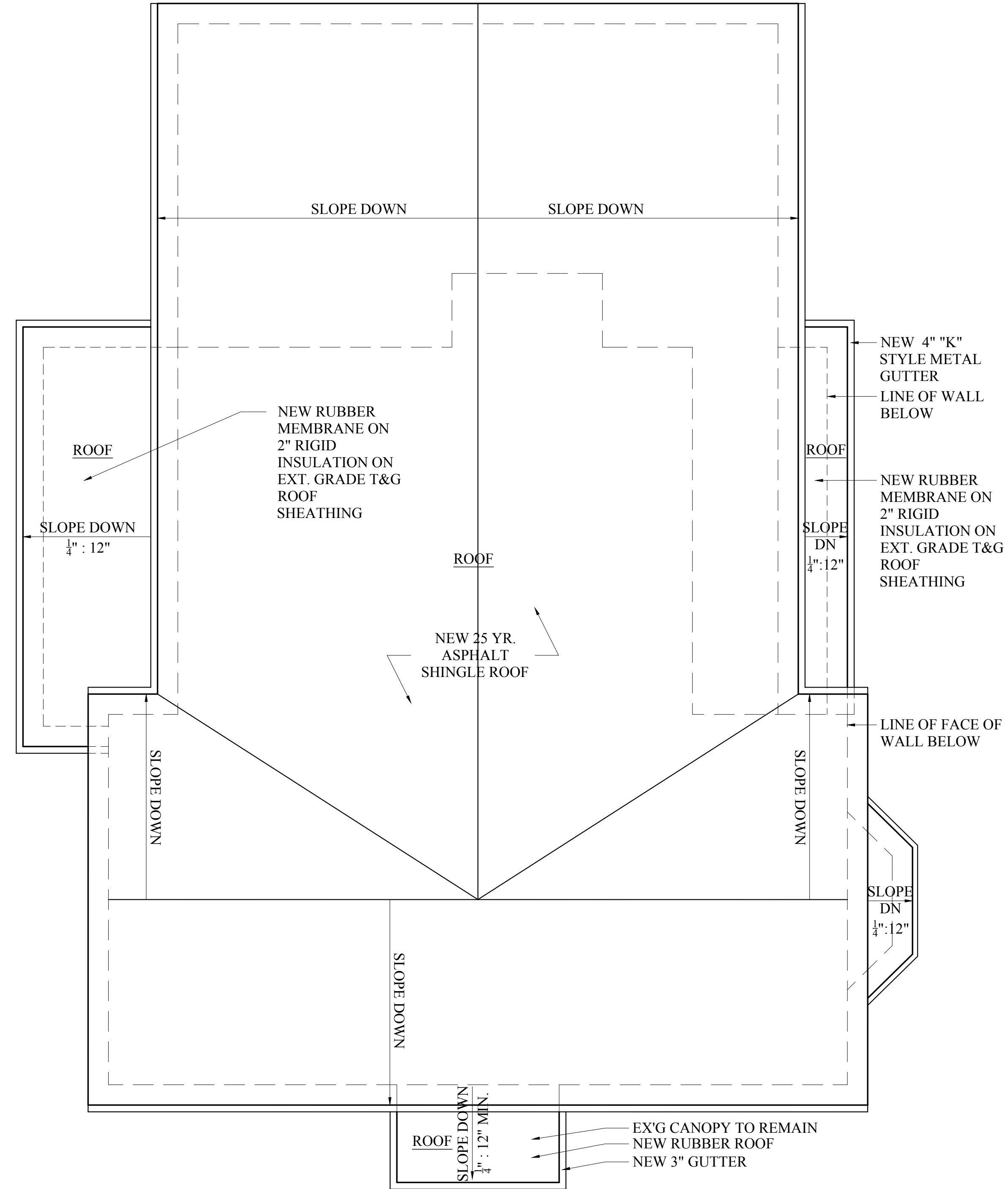
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
1	6-5-17

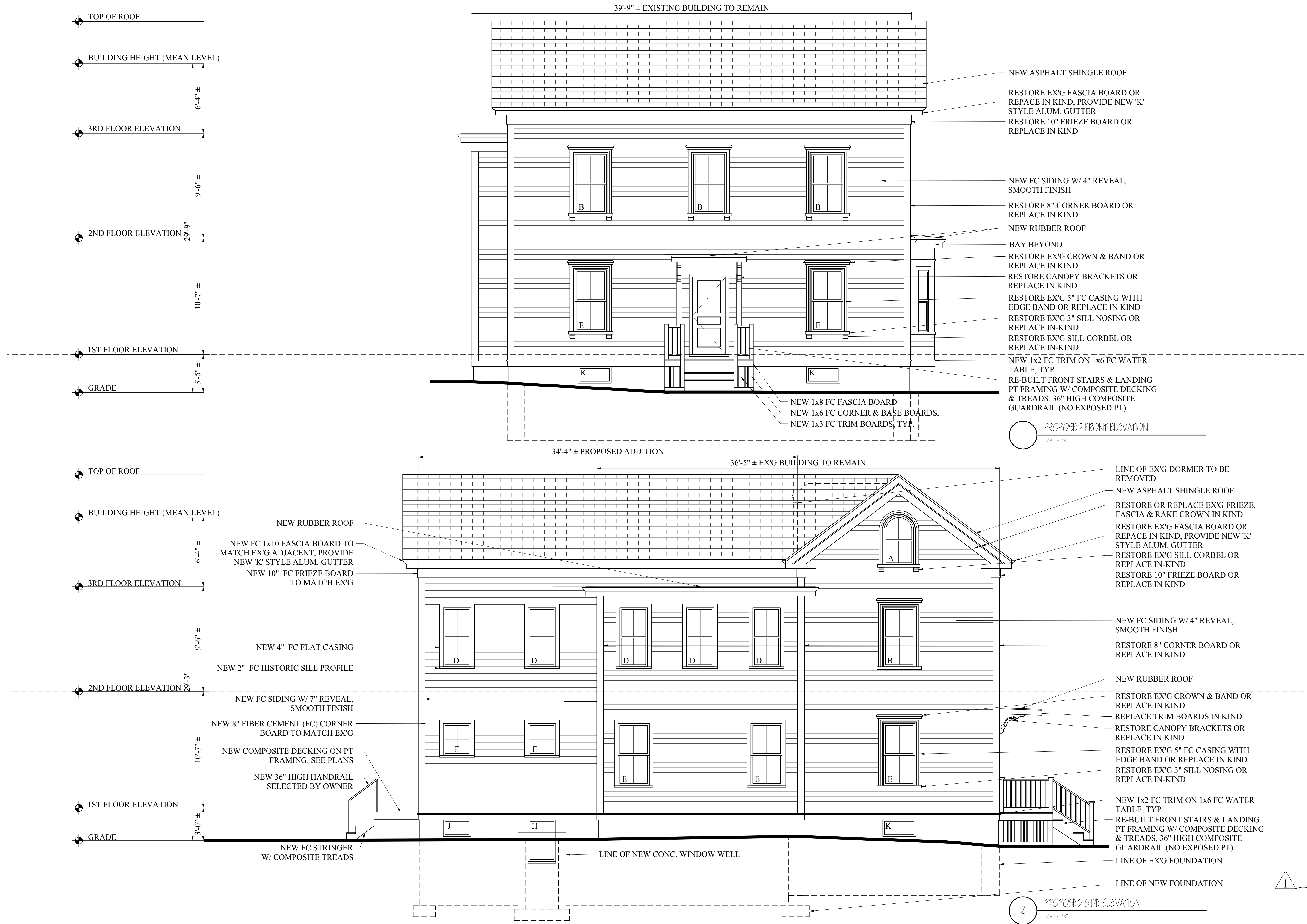
Project No: 17068
 Scale: AS NOTED
 Date: 05-27-16
 Drawn By: DF

Drawing Name
**PROPOSED
ROOF PLAN**

Sheet No.
A-1.3



1 PROPOSED ROOF PLAN
 1/4" = 1'-0"



Location

**PROPOSED ADDITION/
RENOVATION
19 CHESHIRE STREET
JAMAICA PLAIN, MA**

**Choo
& Company, Inc.**

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
1	6-5-17

Project No: 17068
Scale: AS NOTED
Date: 05-27-16
Drawn By: DF

Drawing Name

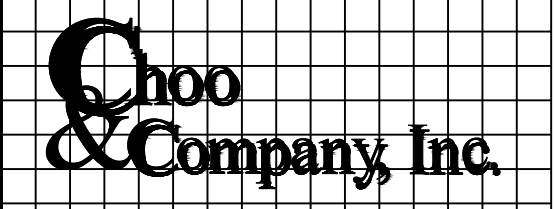
**PROPOSED
ELEVATIONS**

Sheet No.

A-2.1

Location

**PROPOSED ADDITION/
RENOVATION
19 CHESHIRE STREET
JAMAICA PLAIN, MA**



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
1	6-5-17

Project No: 17068
Scale: AS NOTED
Date: 05-27-16
Drawn By: DF

Drawing Name
PROPOSED ELEVATIONS

Sheet No.
A-2.2



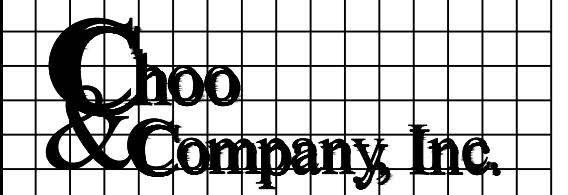
1 PROPOSED REAR ELEVATION
1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION
1/4" = 1'-0"

Location

PROPOSED ADDITION/ RENOVATION 19 CHESHIRE STREET JAMAICA PLAIN, MA



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

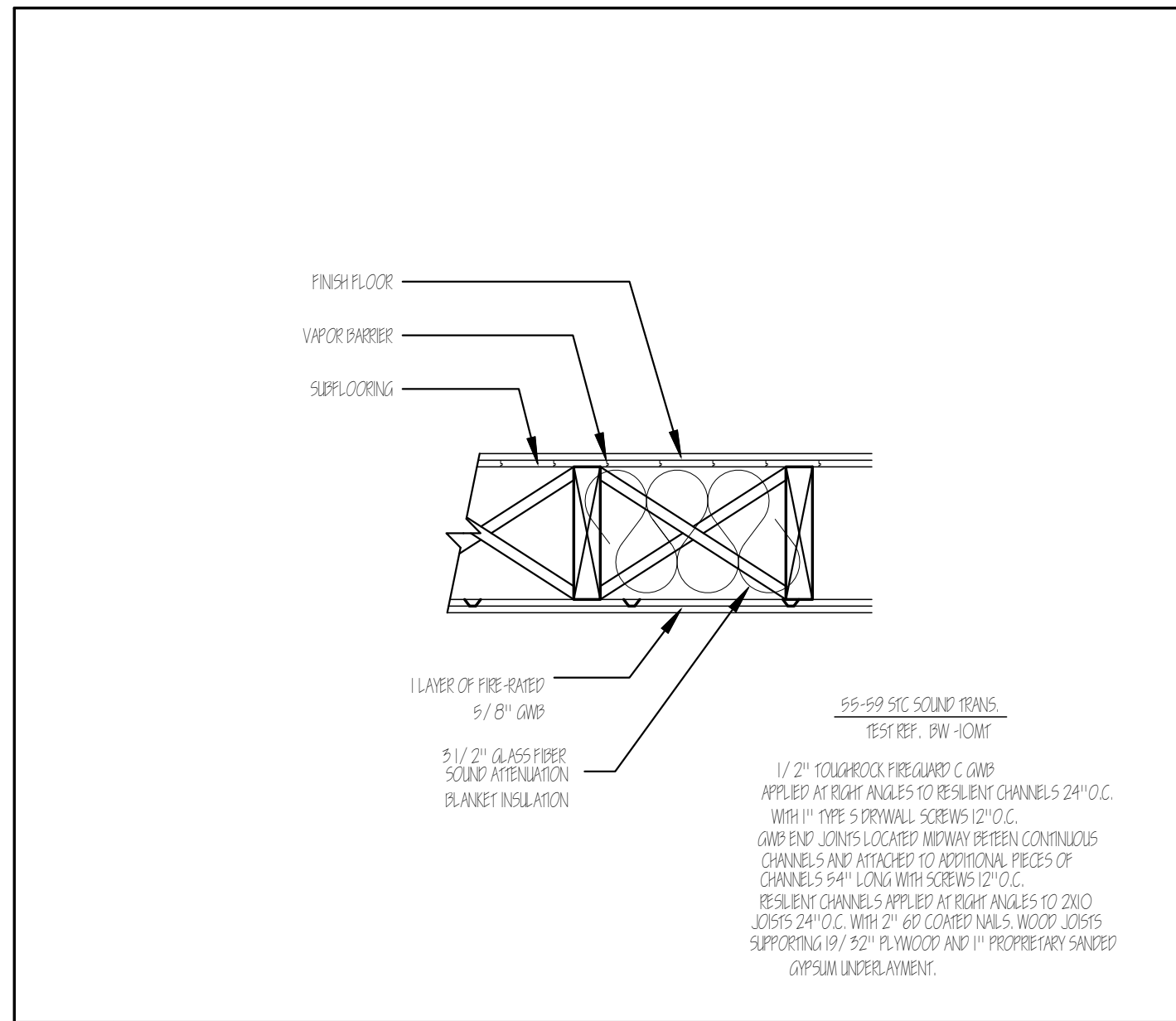
No.	Revision Date
1	6-5-17

Project No: 17068
 Scale: AS NOTED
 Date: 05-27-16
 Drawn By: DF

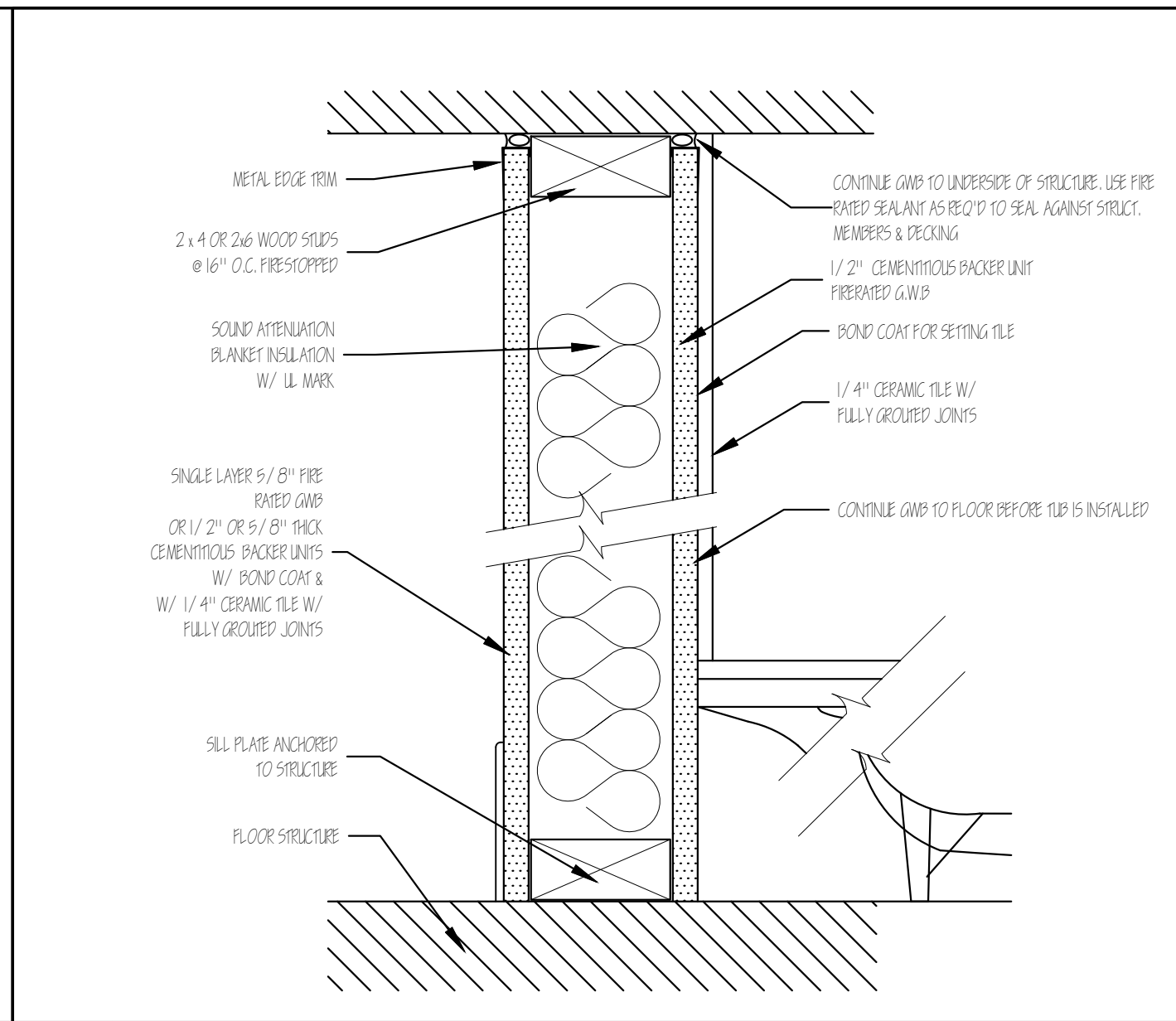
Drawing Name

PROPOSED WALL SECTIONS & WALL TYPES

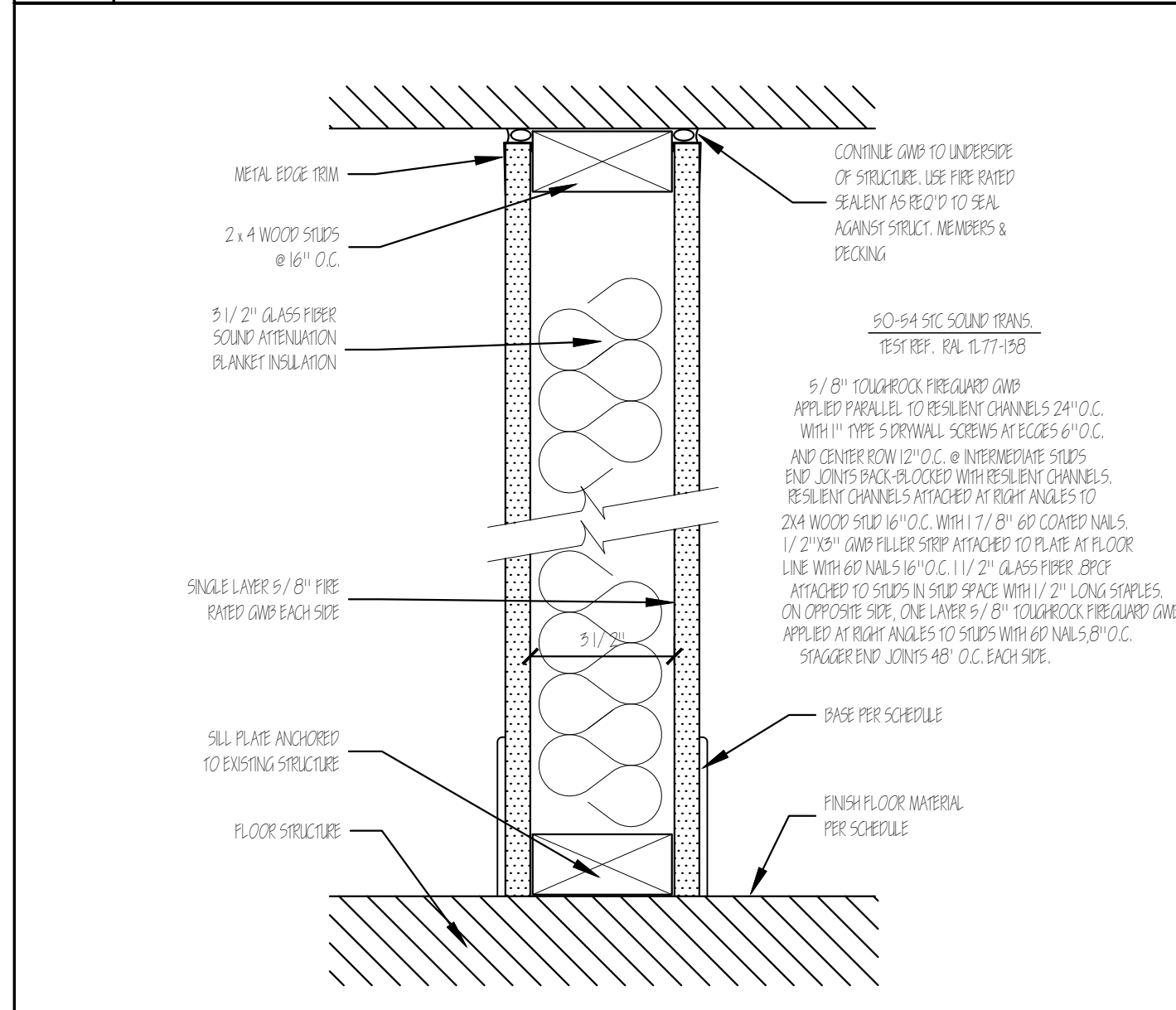
Sheet No.
A-3.1



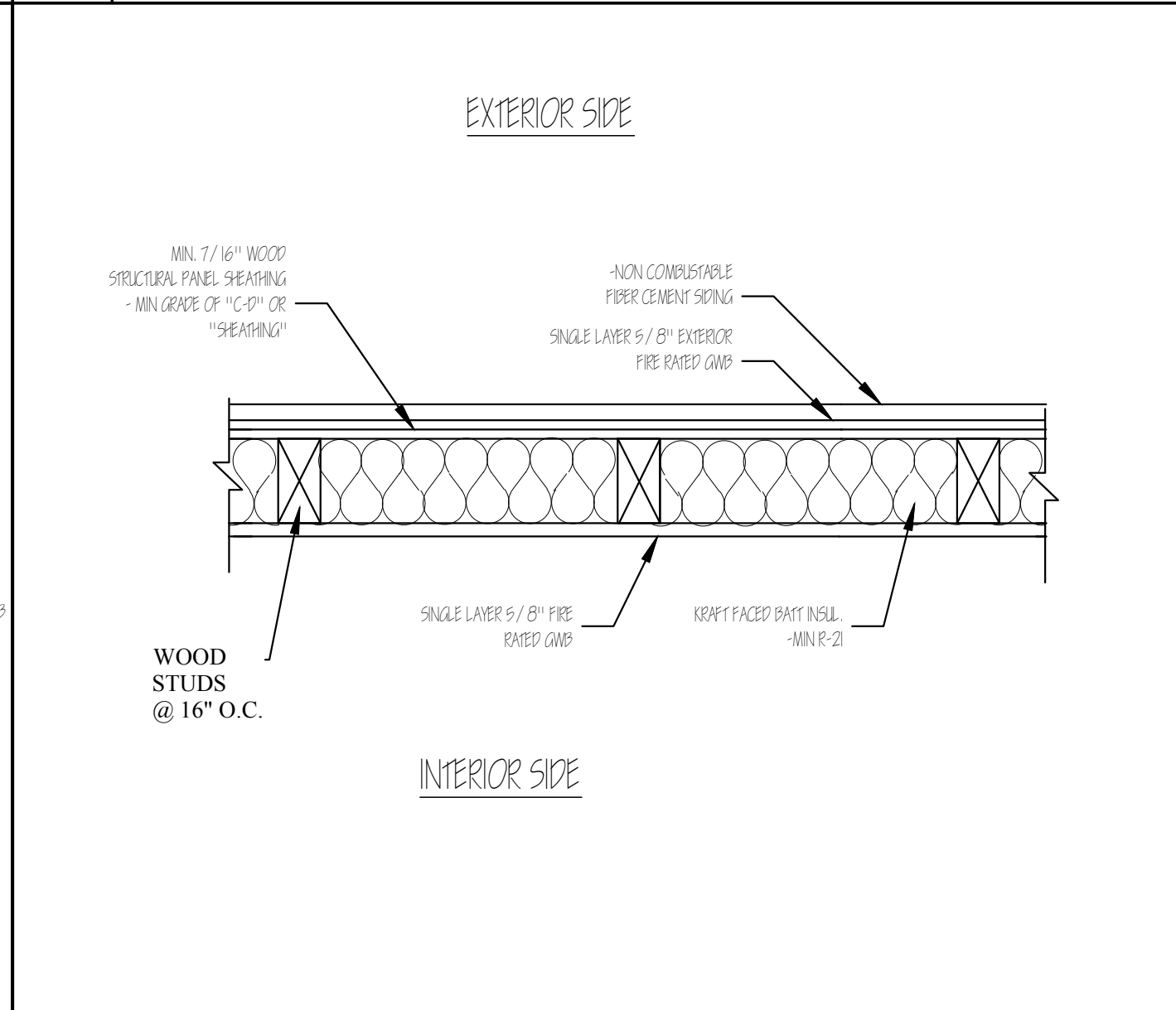
1 1 HOUR CEILING - L 535
 SCALE: 1" = 1'-0"



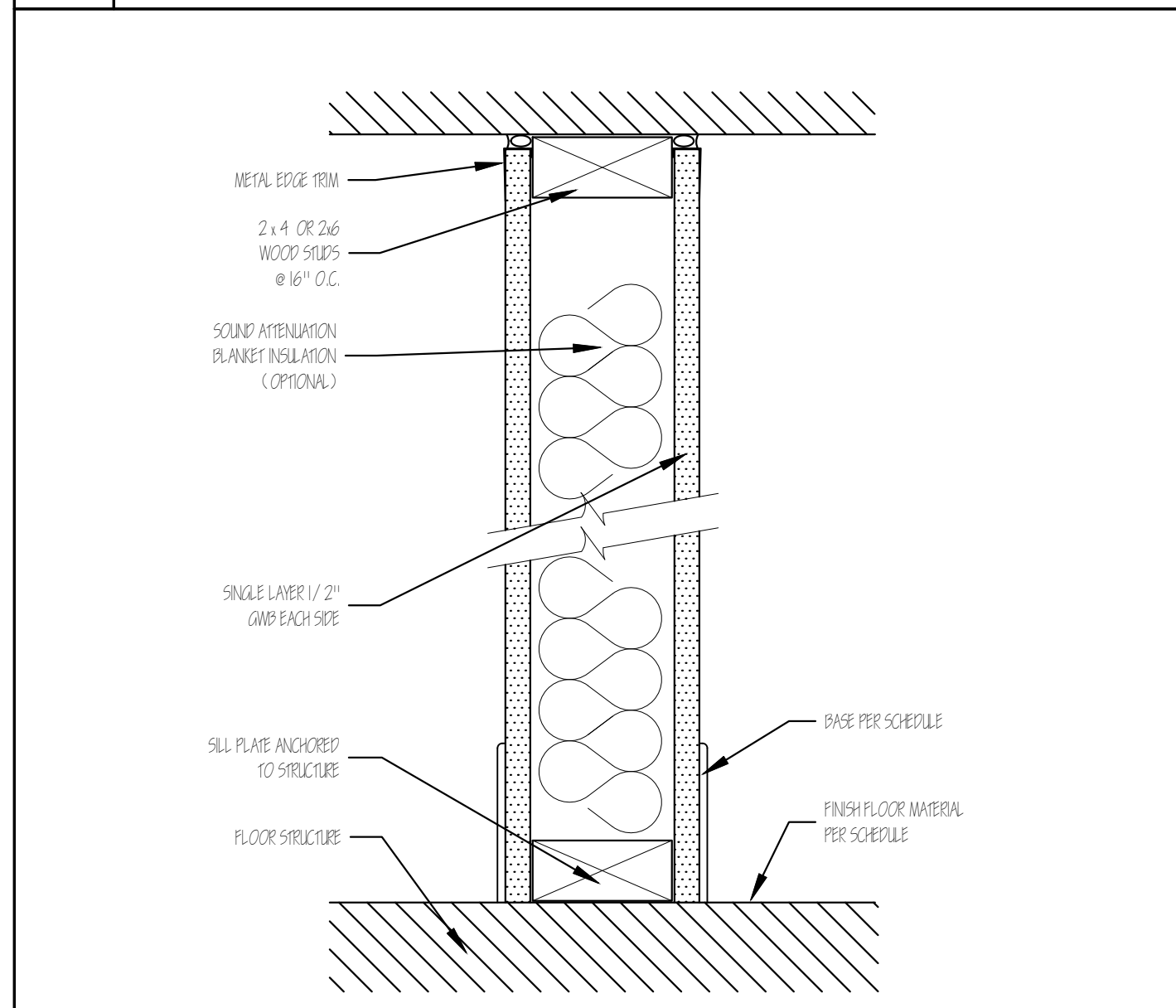
1B 1 HOUR PARTITION - WOOD STUD DESIGN # U329
 SCALE: 3/4" = 1'-0"



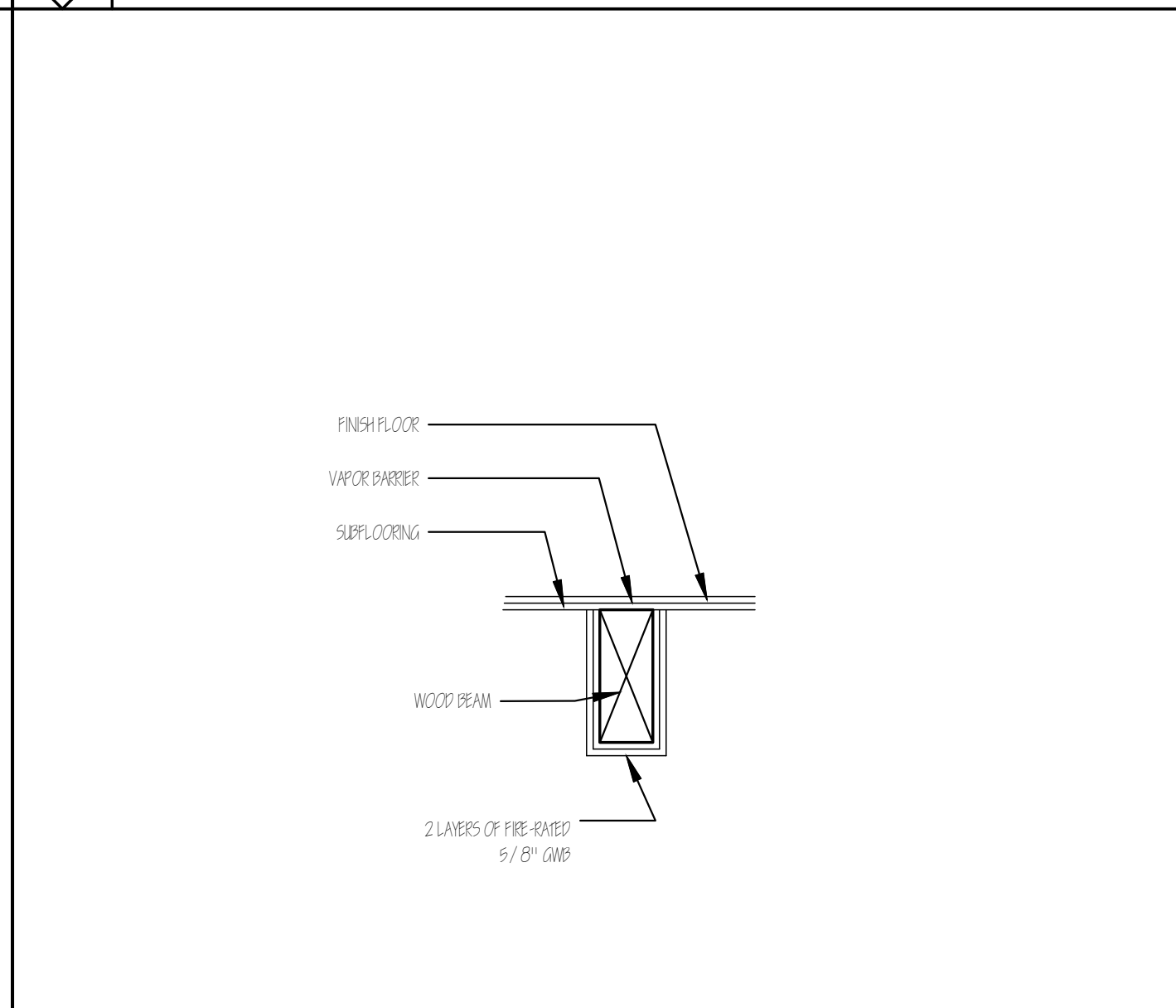
1 1 HOUR PARTITION - WOOD STUD DESIGN # U304
 SCALE: 3/4" = 1'-0"



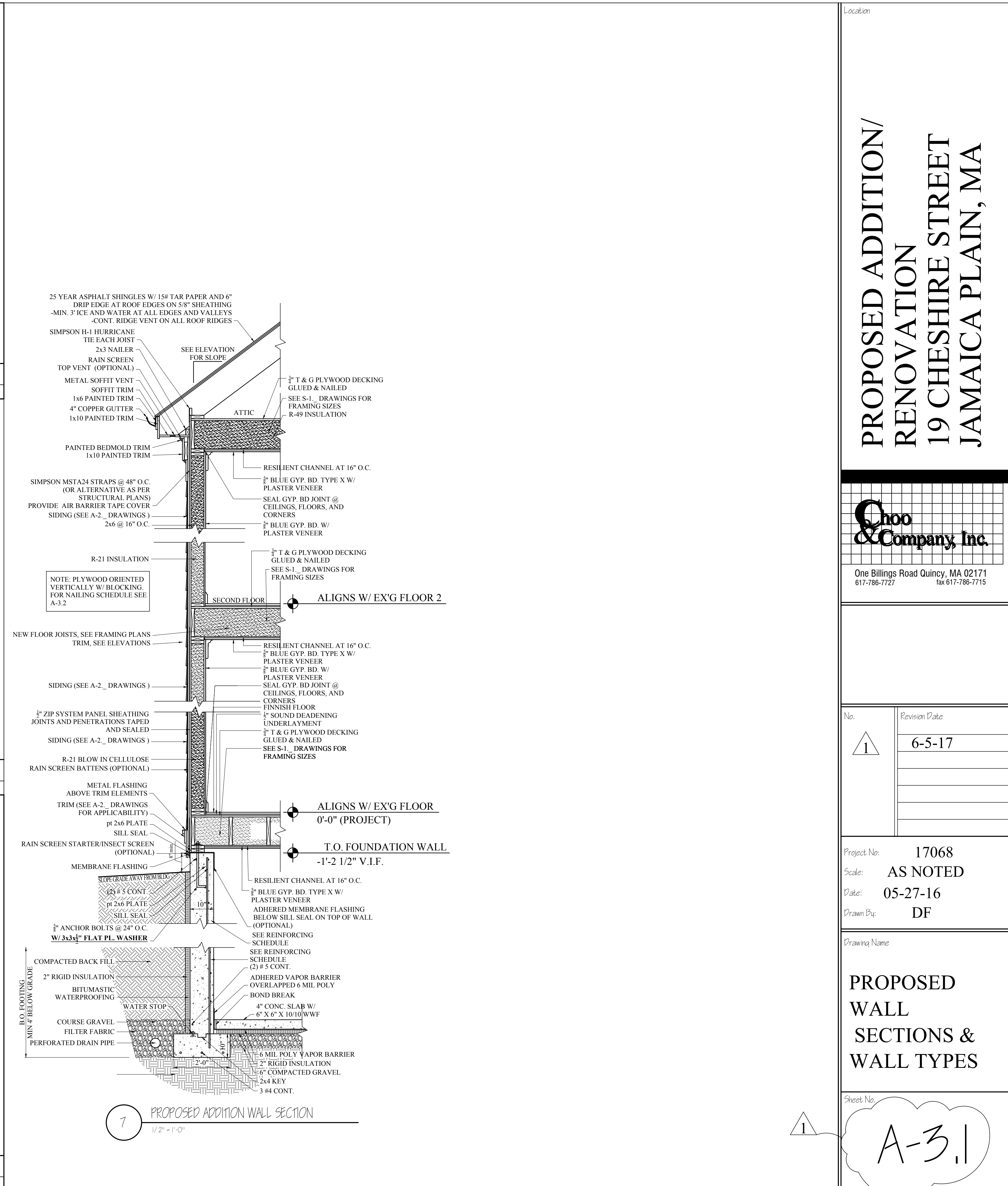
1E 1 HOUR - EXTERIOR BEARING WALL (U305) (RATED BOTH SIDES)
 SCALE: 1/2" = 1'-0"



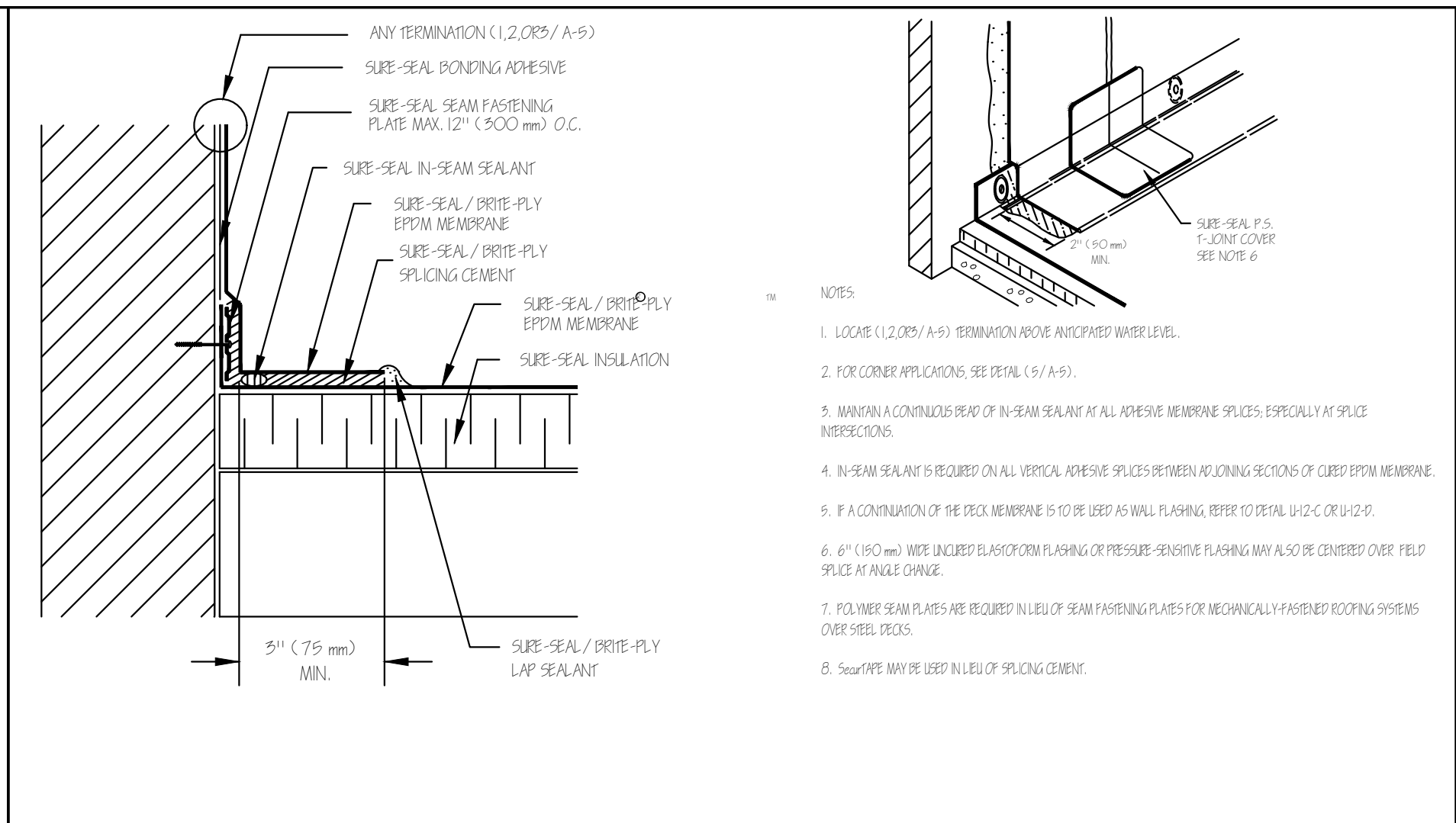
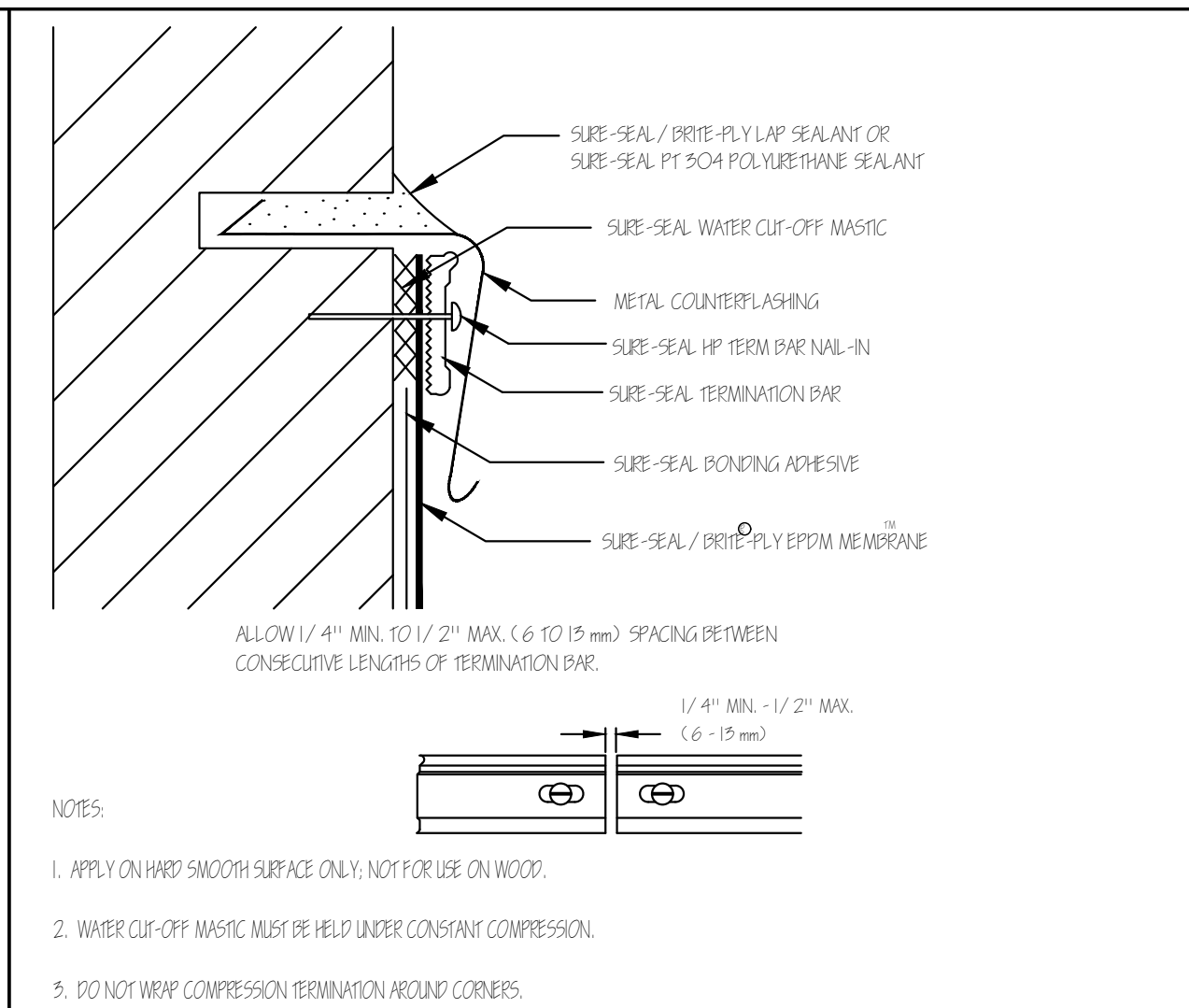
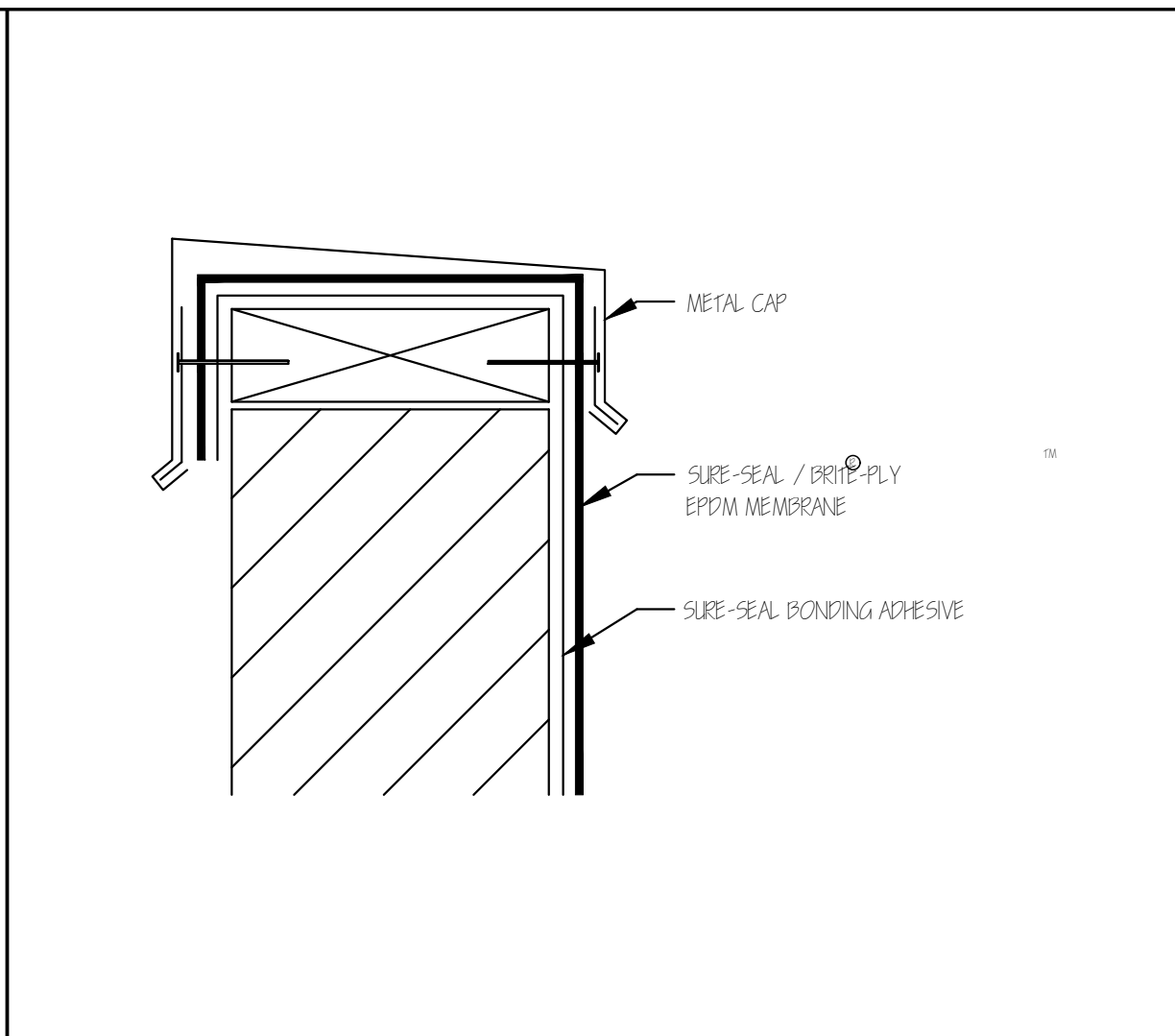
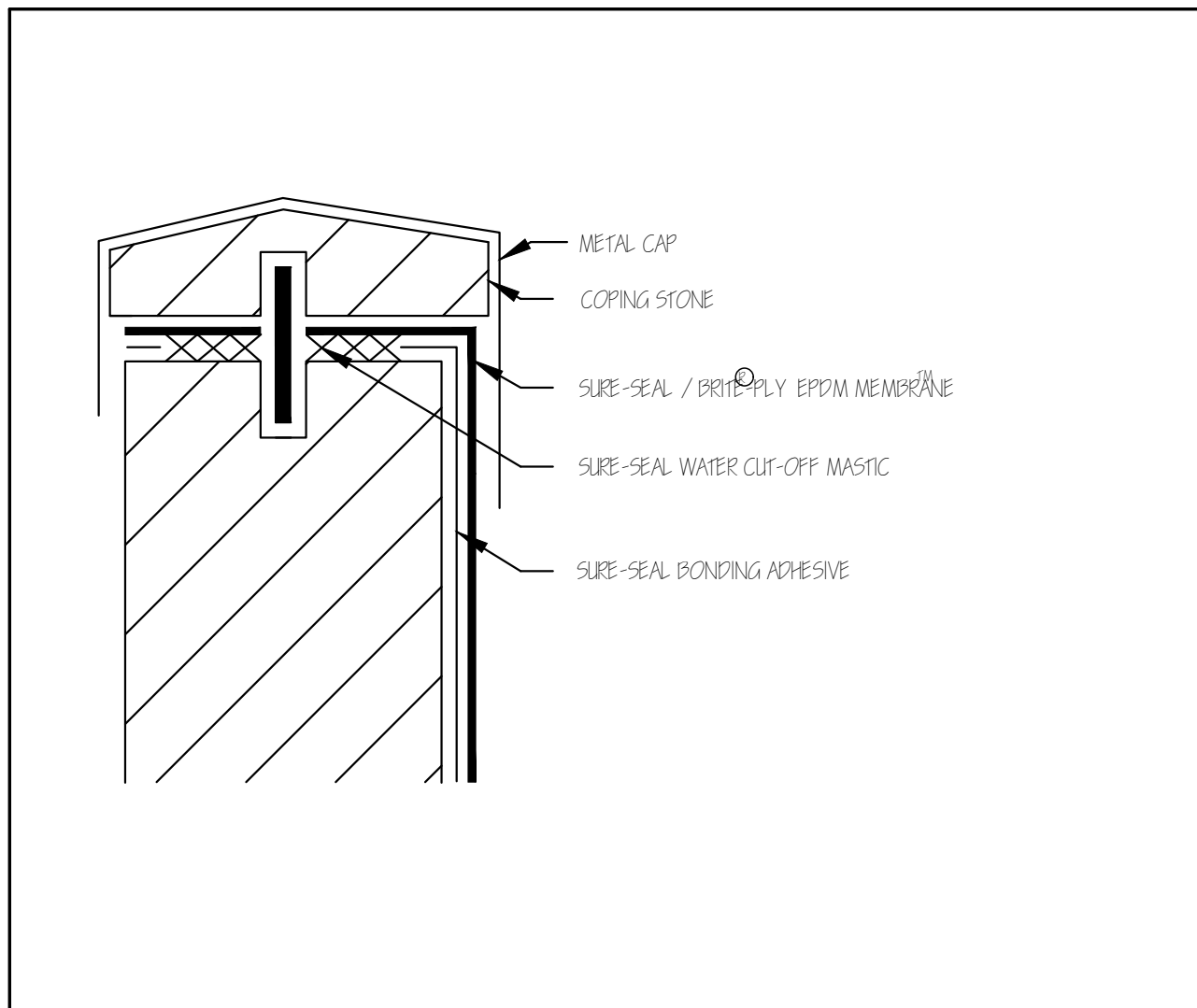
0 TYPICAL PARTITION - WOOD STUD
 SCALE: 3/4" = 1'-0"



1 1 HOUR WOOD BEAM PROTECTION (#P517)
 SCALE: 1" = 1'-0"



7 PROPOSED ADDITION WALL SECTION
 SCALE: 1/2" = 1'-0"



COPING STONE TERMINATION

1
○ NOT USABLE PANEL INCORPORATED

CAP FLASHING TERMINATION

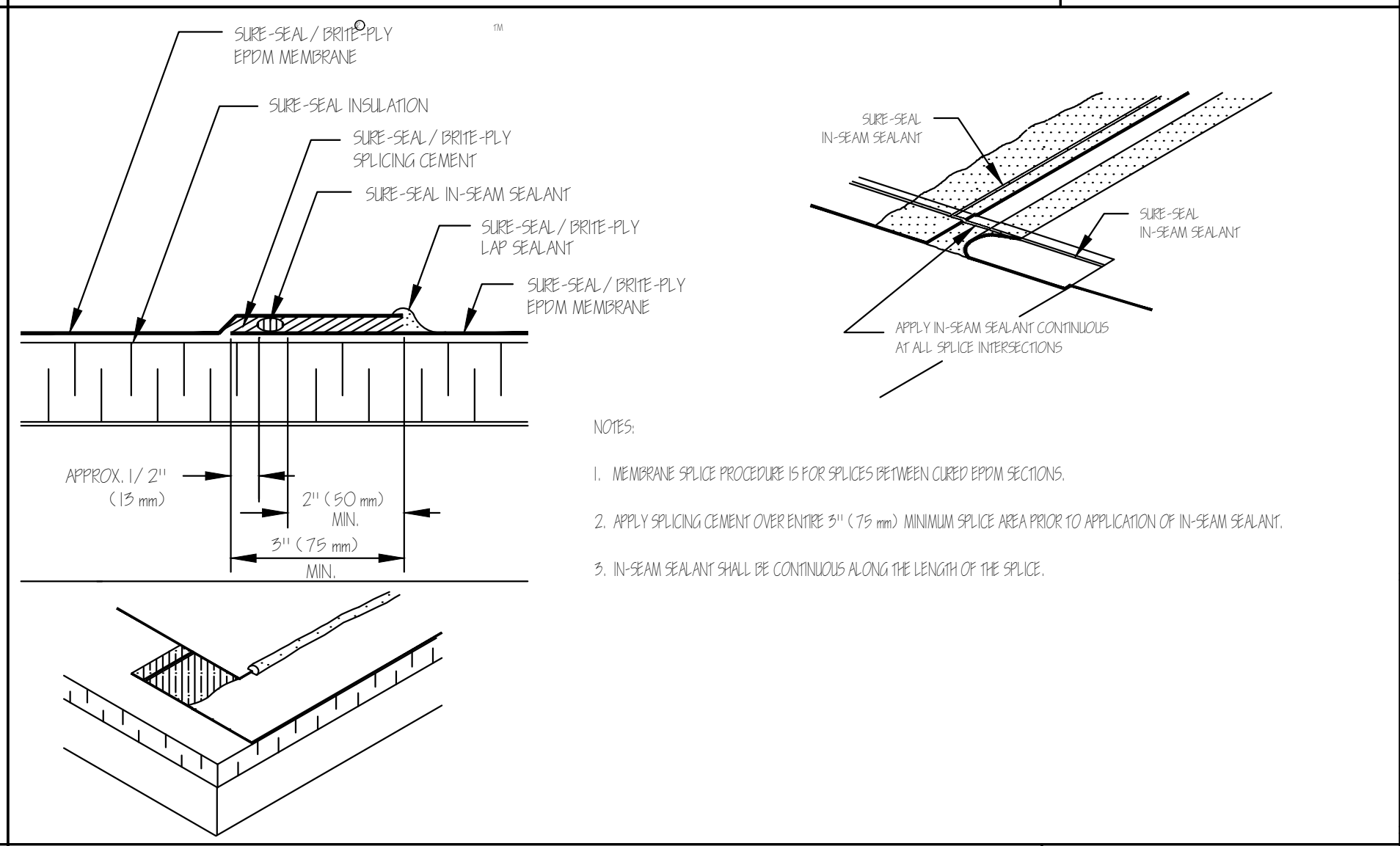
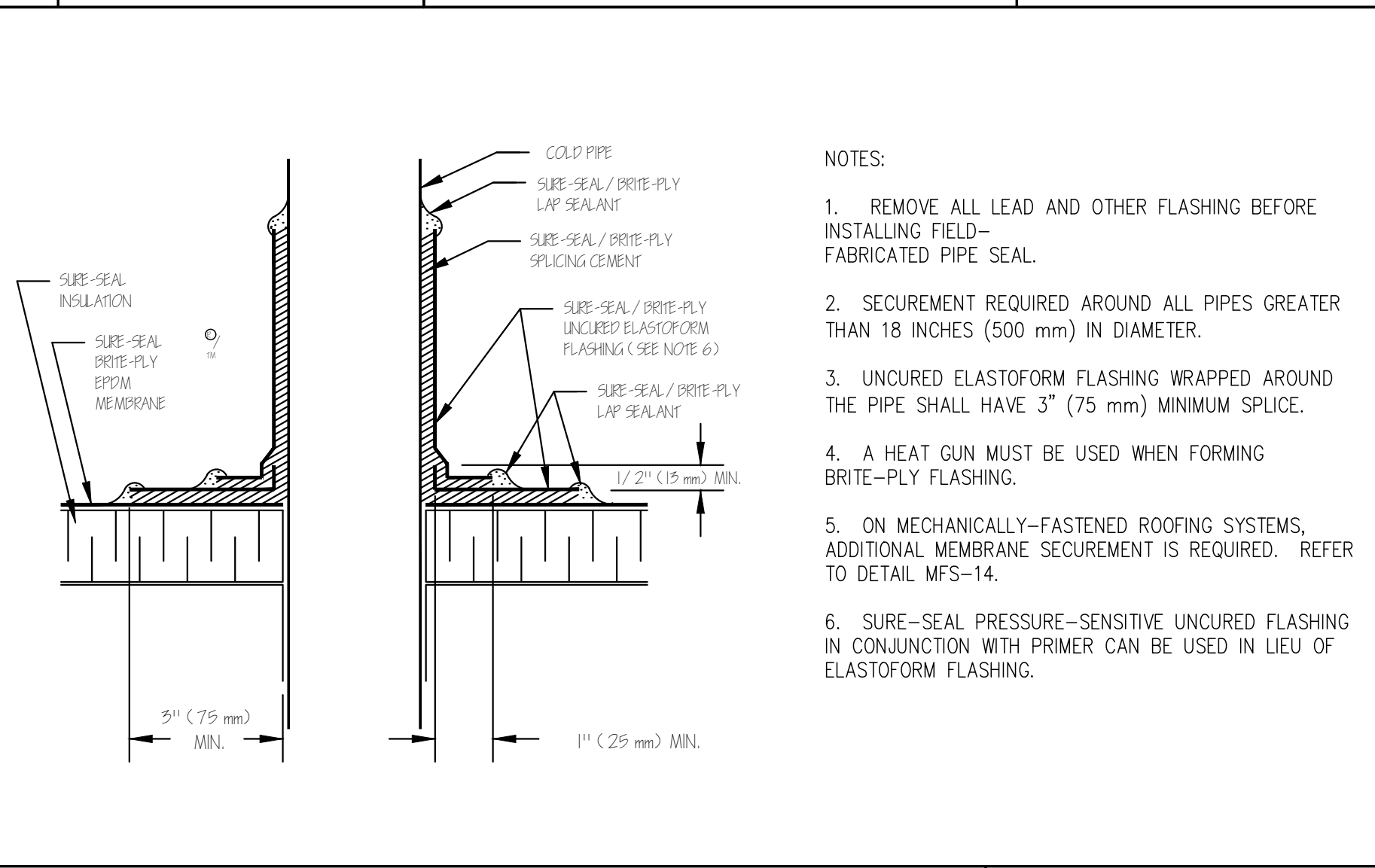
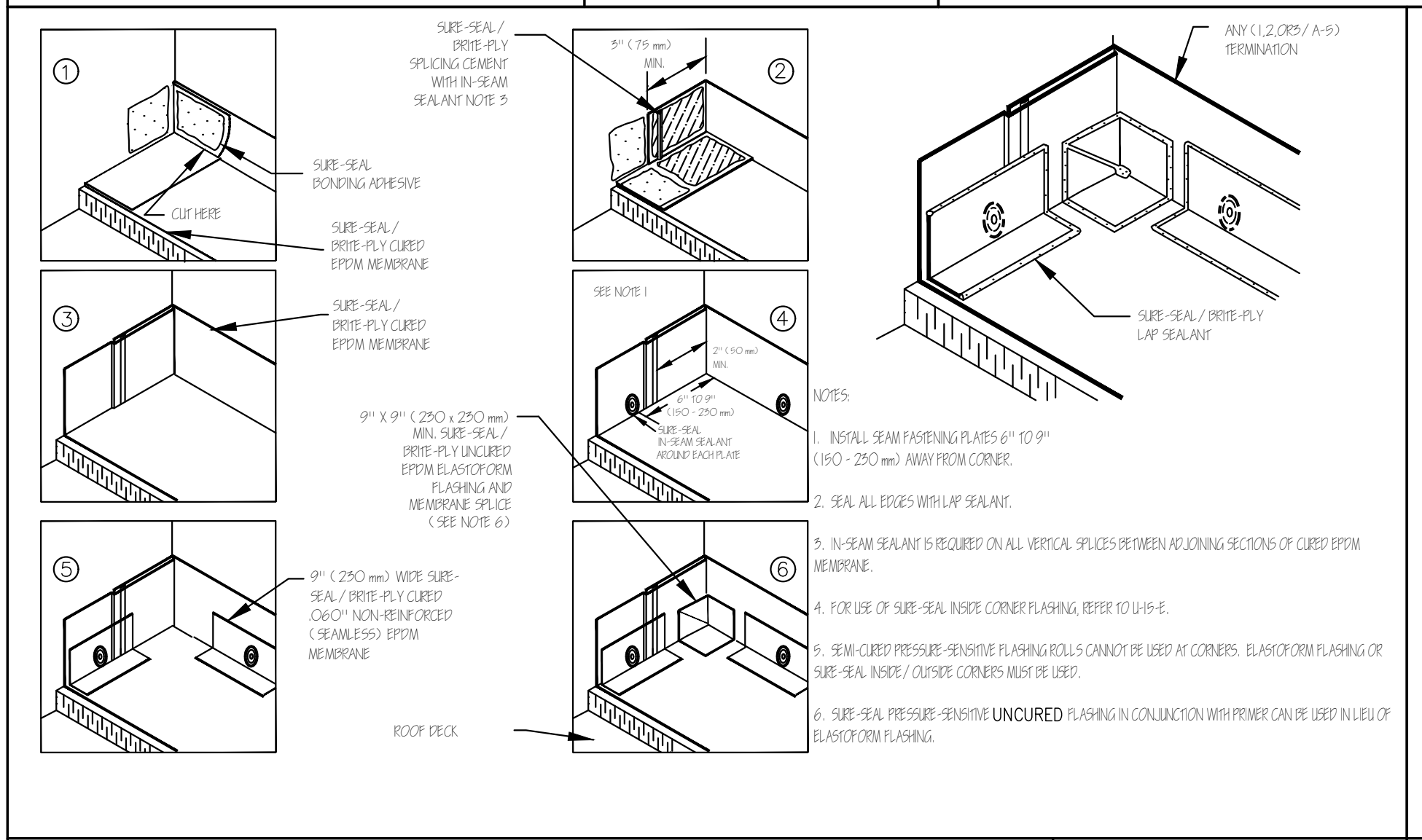
2
○ NOT USABLE PANEL INCORPORATED

COUNTERFLASHING TERMINATION

3
○ NOT USABLE PANEL INCORPORATED

PARAPET/CURB CURED EPDM

4
○ NOT USABLE PANEL INCORPORATED



INSIDE CORNER CONTINUOUS EPDM WALL FLASHING

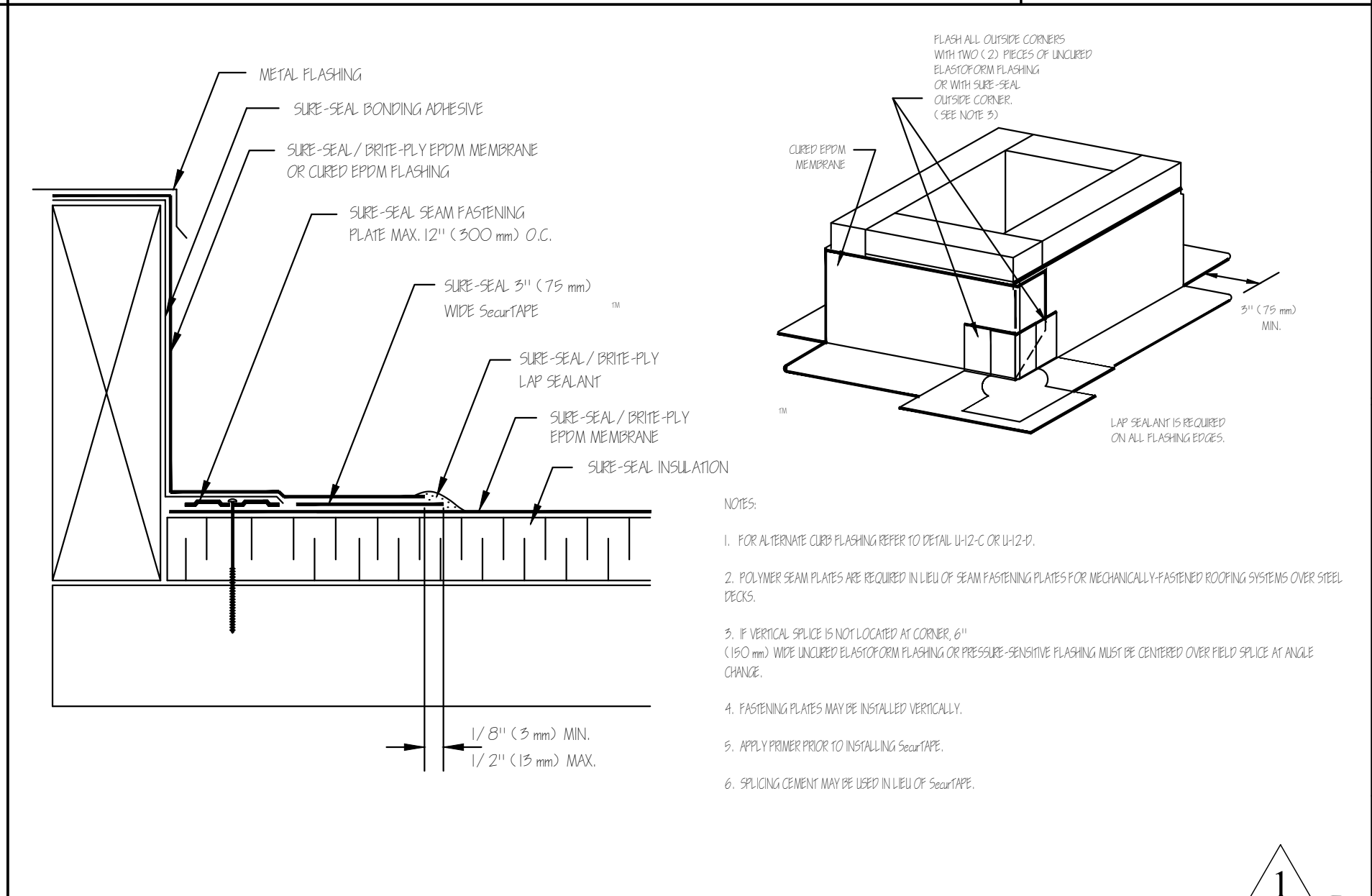
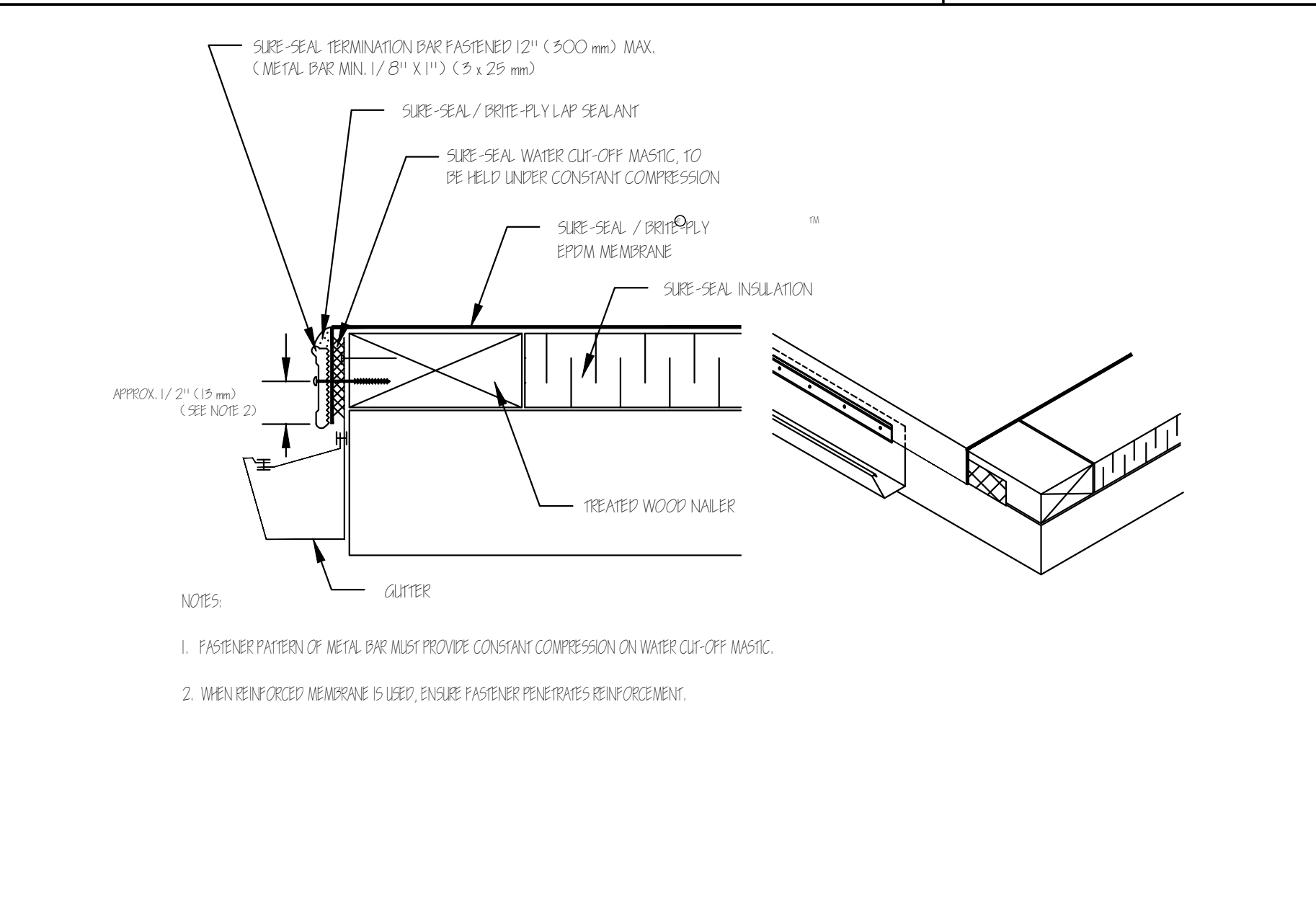
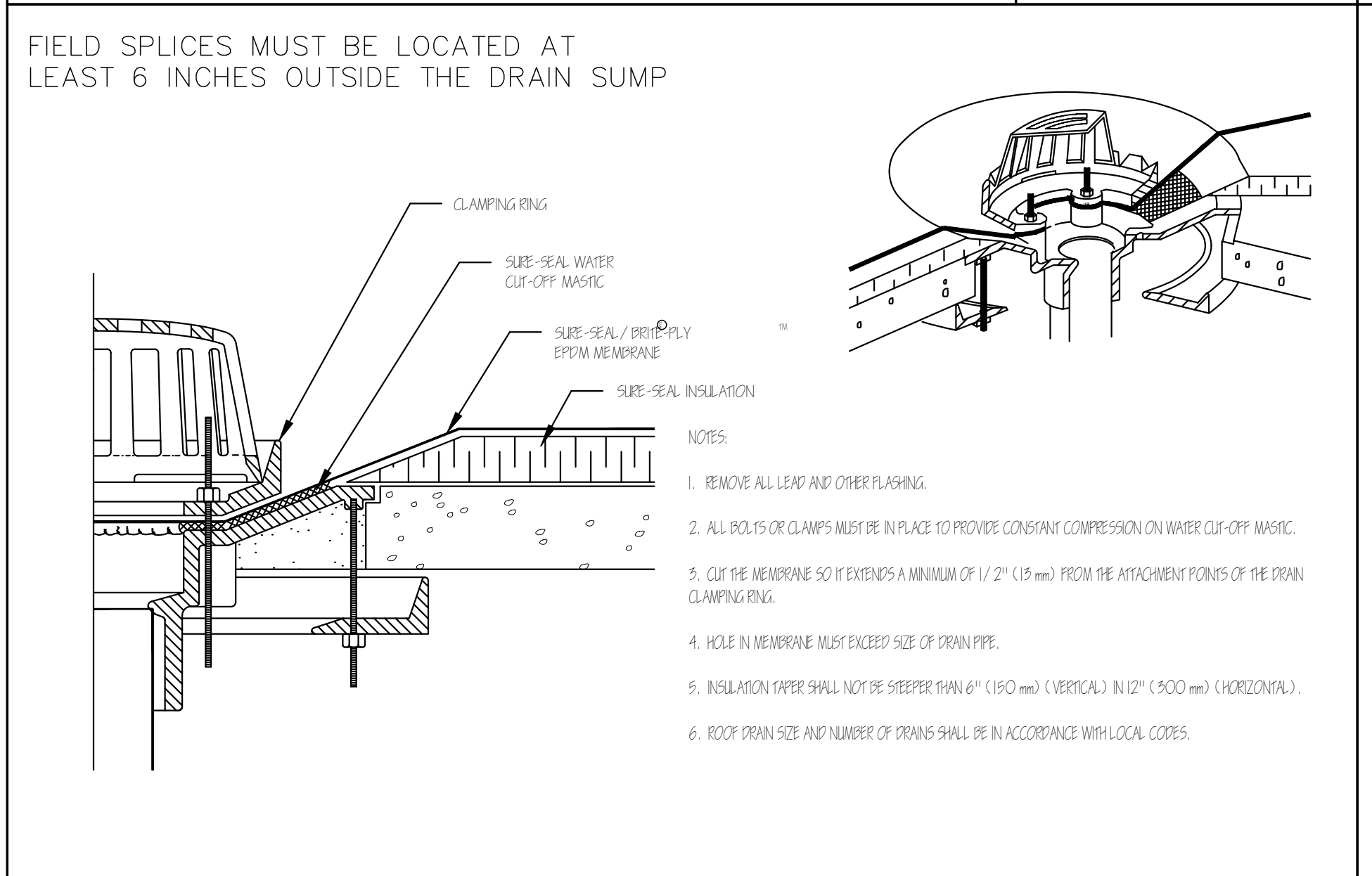
5
○ NOT USABLE PANEL INCORPORATED

FIELD FABRICATED PIPE SEAL

6
○ NOT USABLE PANEL INCORPORATED

MEMBRANE SPLICE WITH SPLICING CEMENT

7
○ NOT USABLE PANEL INCORPORATED



ROOF DRAIN

8
○ NOT USABLE PANEL INCORPORATED

METAL BAR TERMINATION

9
○ NOT USABLE PANEL INCORPORATED

CURB FLASHING

10
○ NOT USABLE PANEL INCORPORATED

Location

PROPOSED ADDITION/ RENOVATION 19 CHESHIRE STREET JAMAICA PLAIN, MA

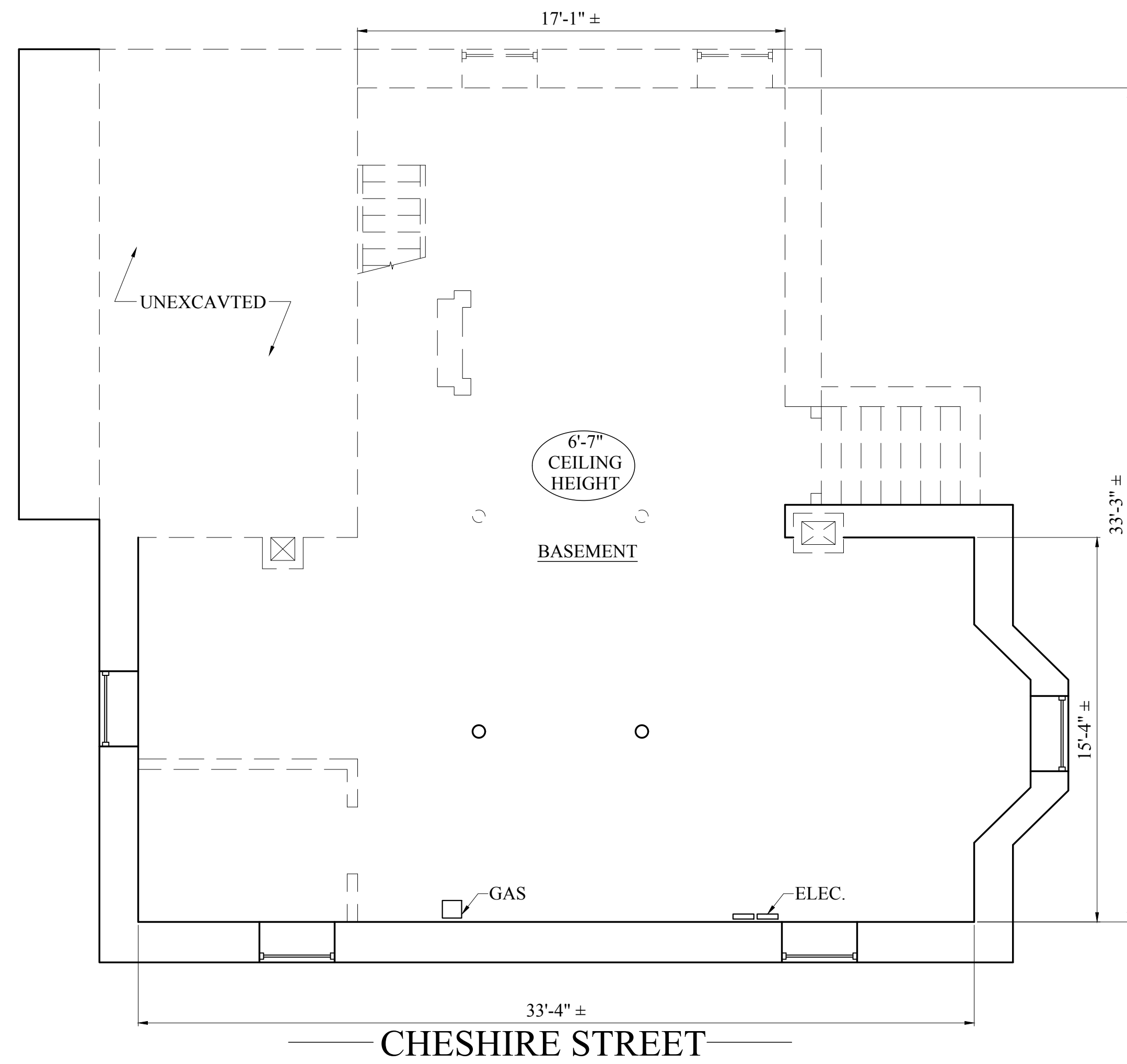
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
1	6-5-17

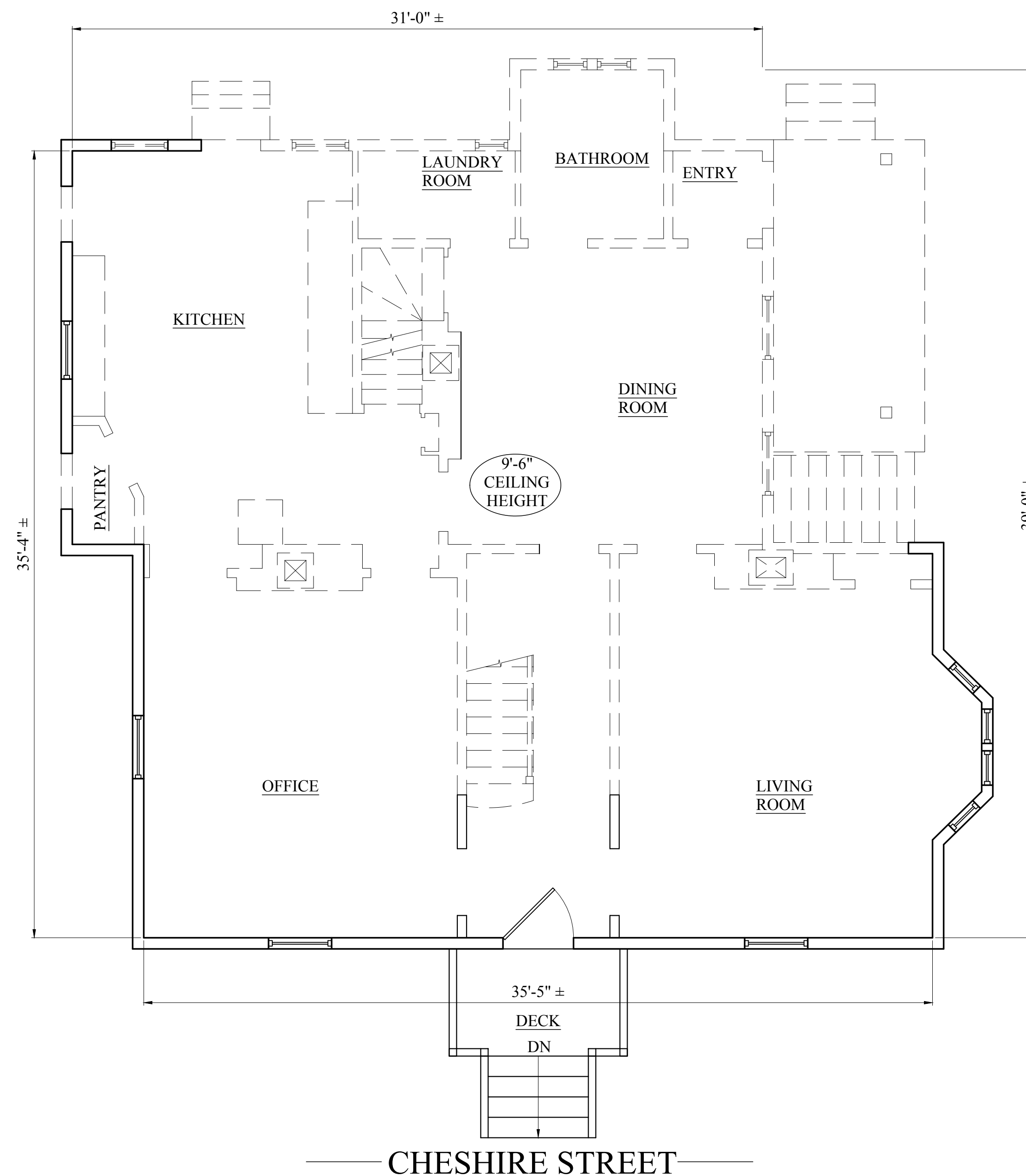
Project No: 17068
Scale: AS NOTED
Date: 6-5-17
Drawn By: DF

MEMBRANE ROOF DETAIL

Sheet No. A-3.3



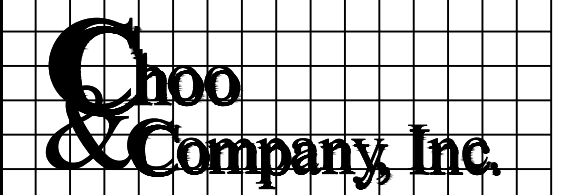
1 EXISTING BASEMENT FLOOR PLAN
1/4" = 1'-0"



2 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"

Location

PROPOSED ADDITION/
RENOVATION
19 CHESHIRE STREET
JAMAICA PLAIN, MA



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
1	6-5-17

Project No: 17068
Scale: AS NOTED
Date: 05-27-16
Drawn By: DF

Drawing Name

EXISTING
FLOOR
PLANS

Sheet No.

D-1.1

Location
**PROPOSED ADDITION/
 RENOVATION
 19 CHESHIRE STREET
 JAMAICA PLAIN, MA**

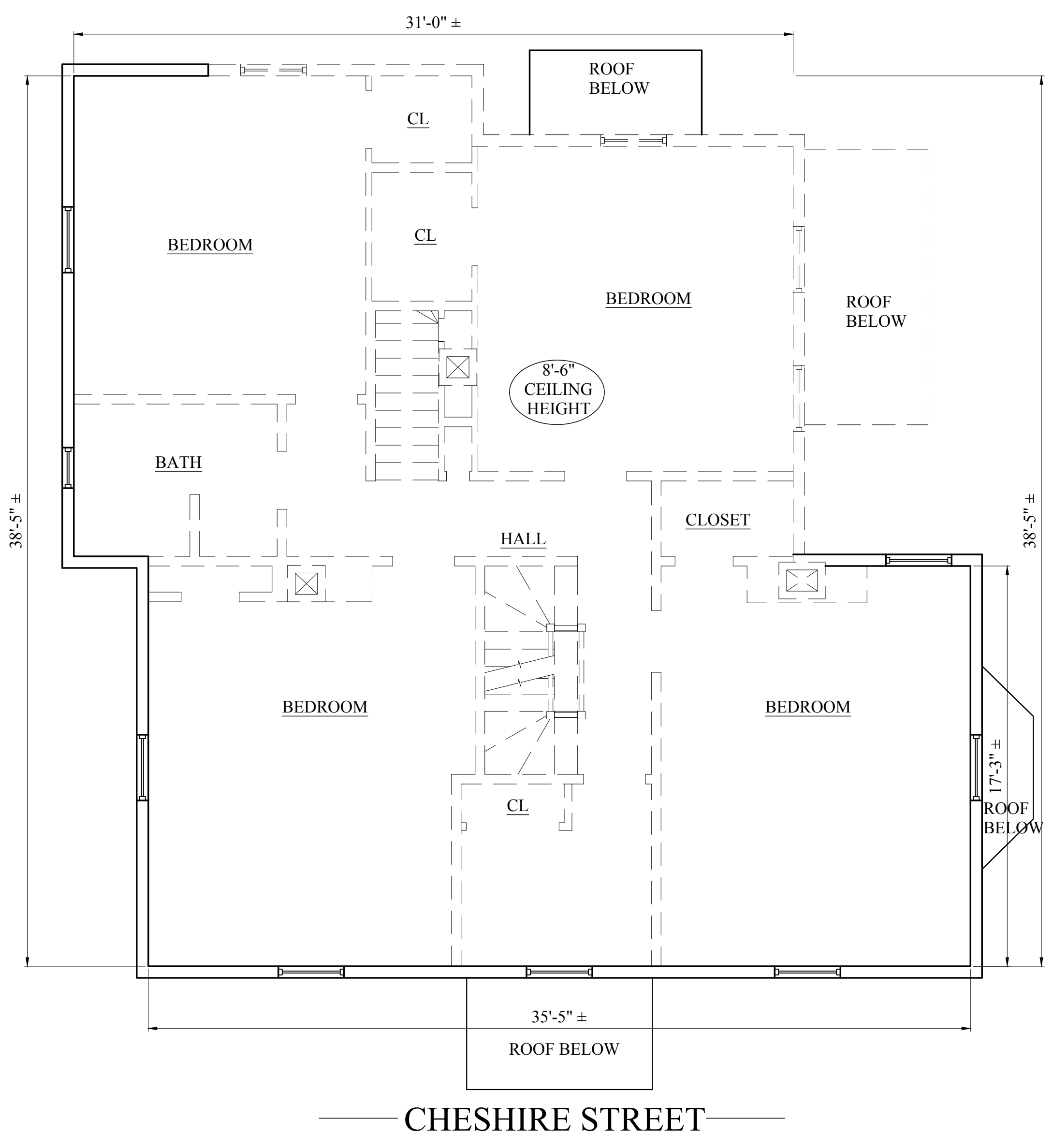
**Choo
 & Company, Inc.**
 One Billings Road Quincy, MA 02171
 617-786-7727 fax 617-786-7715

No.	Revision Date
1	6-5-17

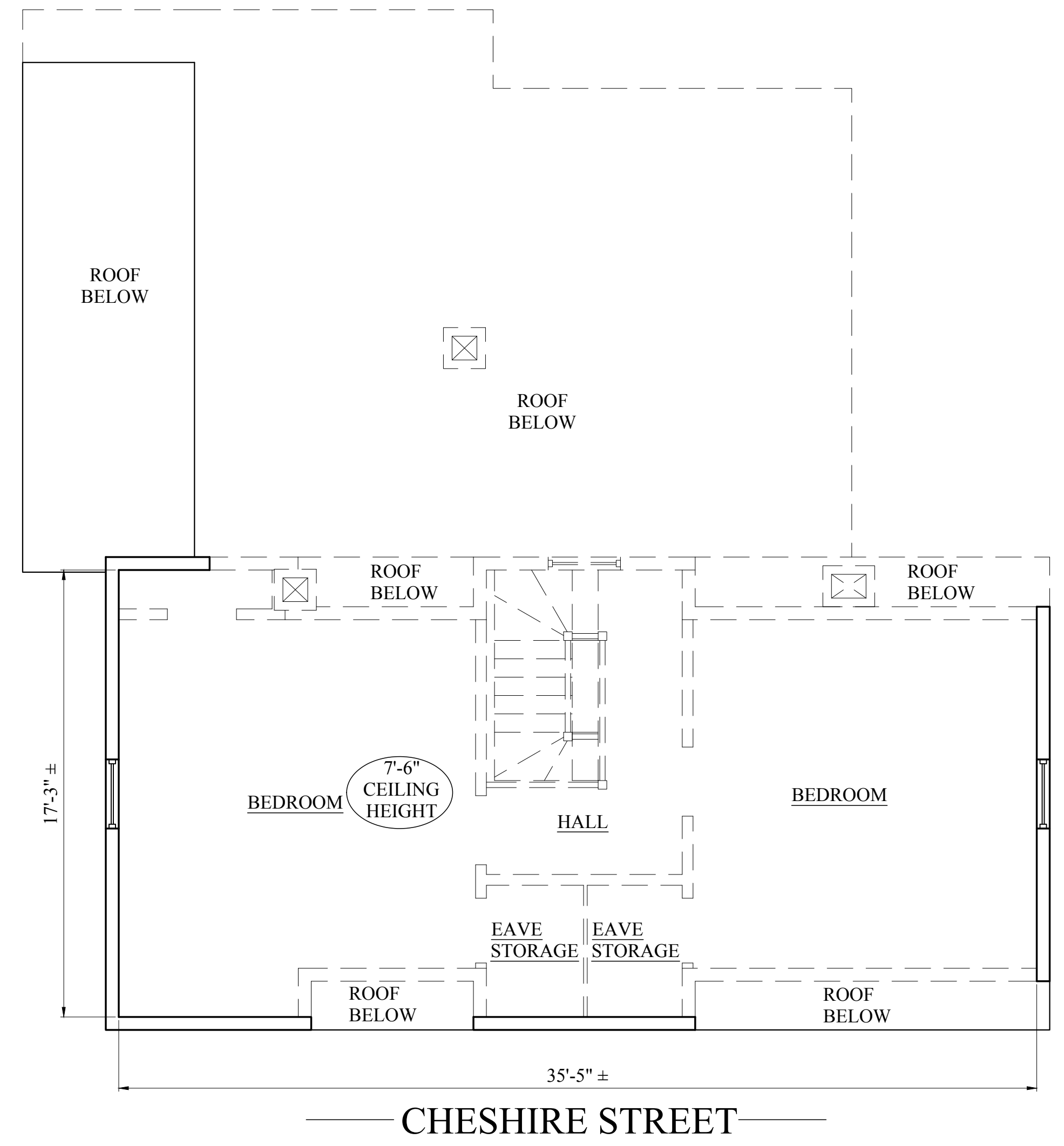
Project No: 17068
 Scale: AS NOTED
 Date: 05-27-16
 Drawn By: DF

Drawing Name
**EXISTING
 FLOOR
 PLANS**

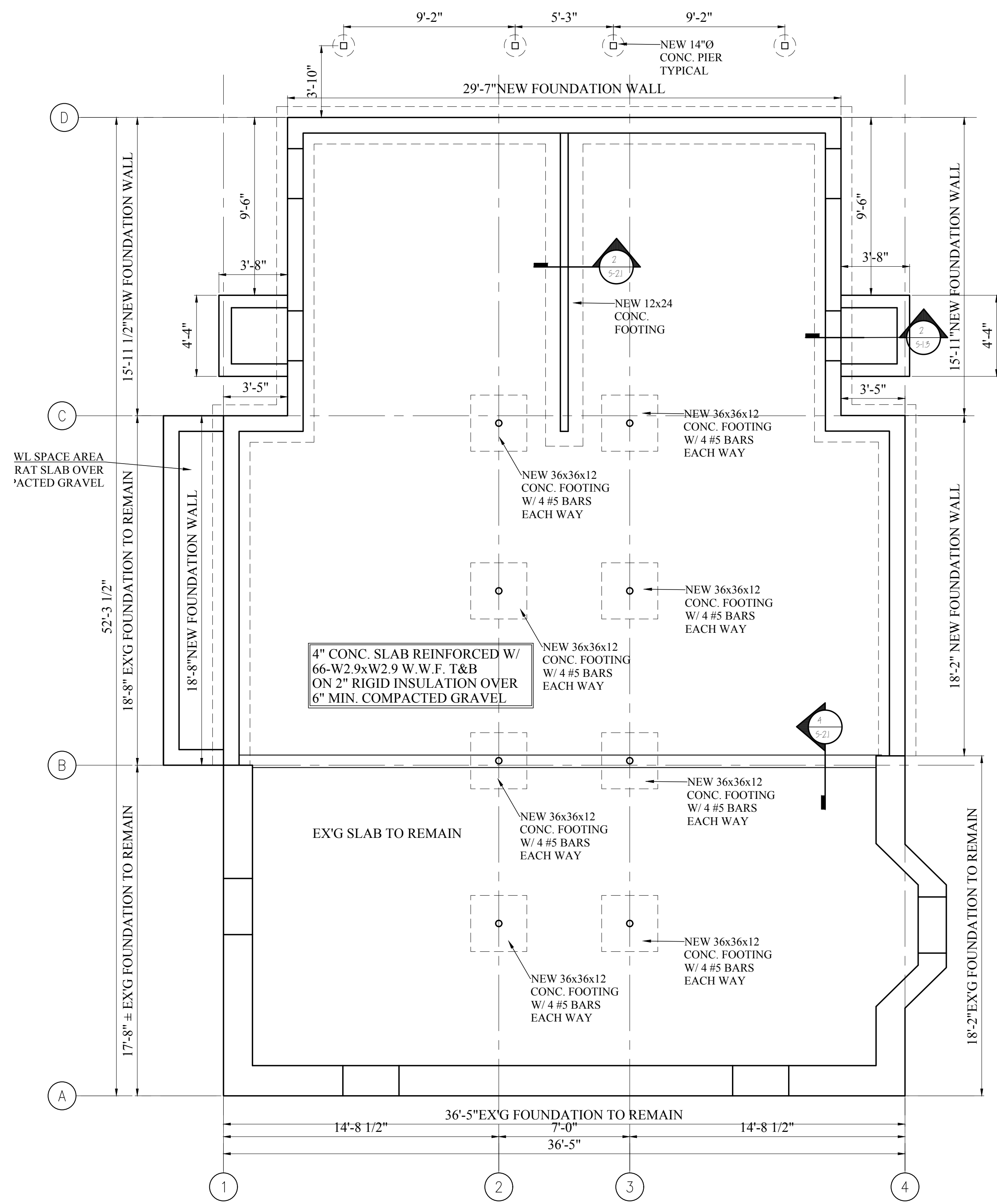
Sheet No.
D-1.2



1 EXISTING SECOND FLOOR PLAN
 1/4" = 1'-0"

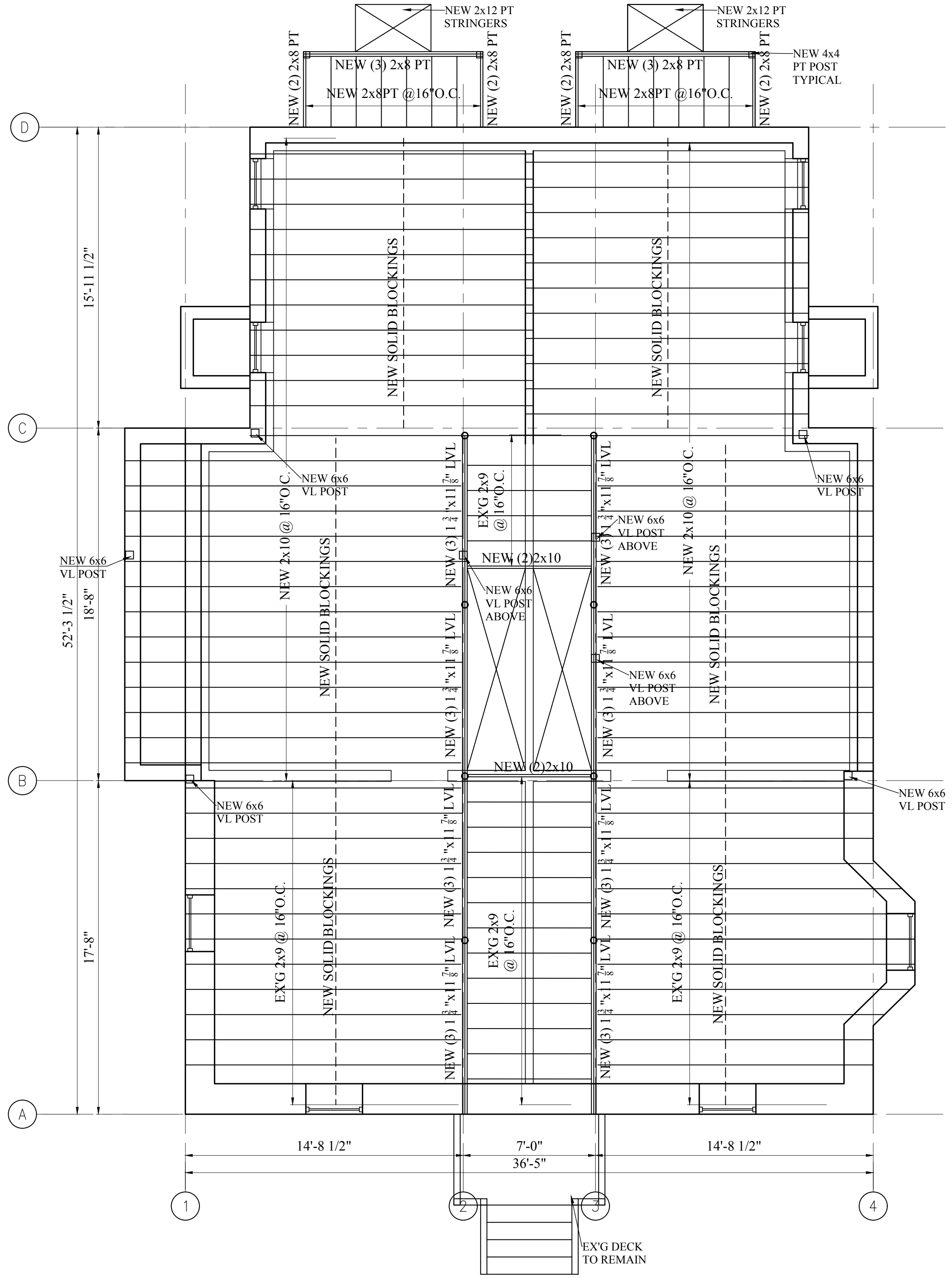


2 EXISTING THIRD FLOOR PLAN
 1/4" = 1'-0"



CHESHIRE STREET

1 PROPOSED FOUNDATION PLAN
1/4" = 1'-0"

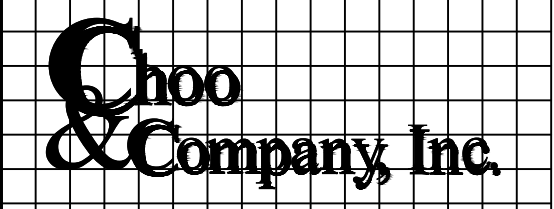


CHESHIRE STREET

2 PROPOSED FIRST FLOOR FRAMING
1/4" = 1'-0"

Location

**PROPOSED ADDITION/
RENOVATION
19 CHESHIRE STREET
JAMAICA PLAIN, MA**



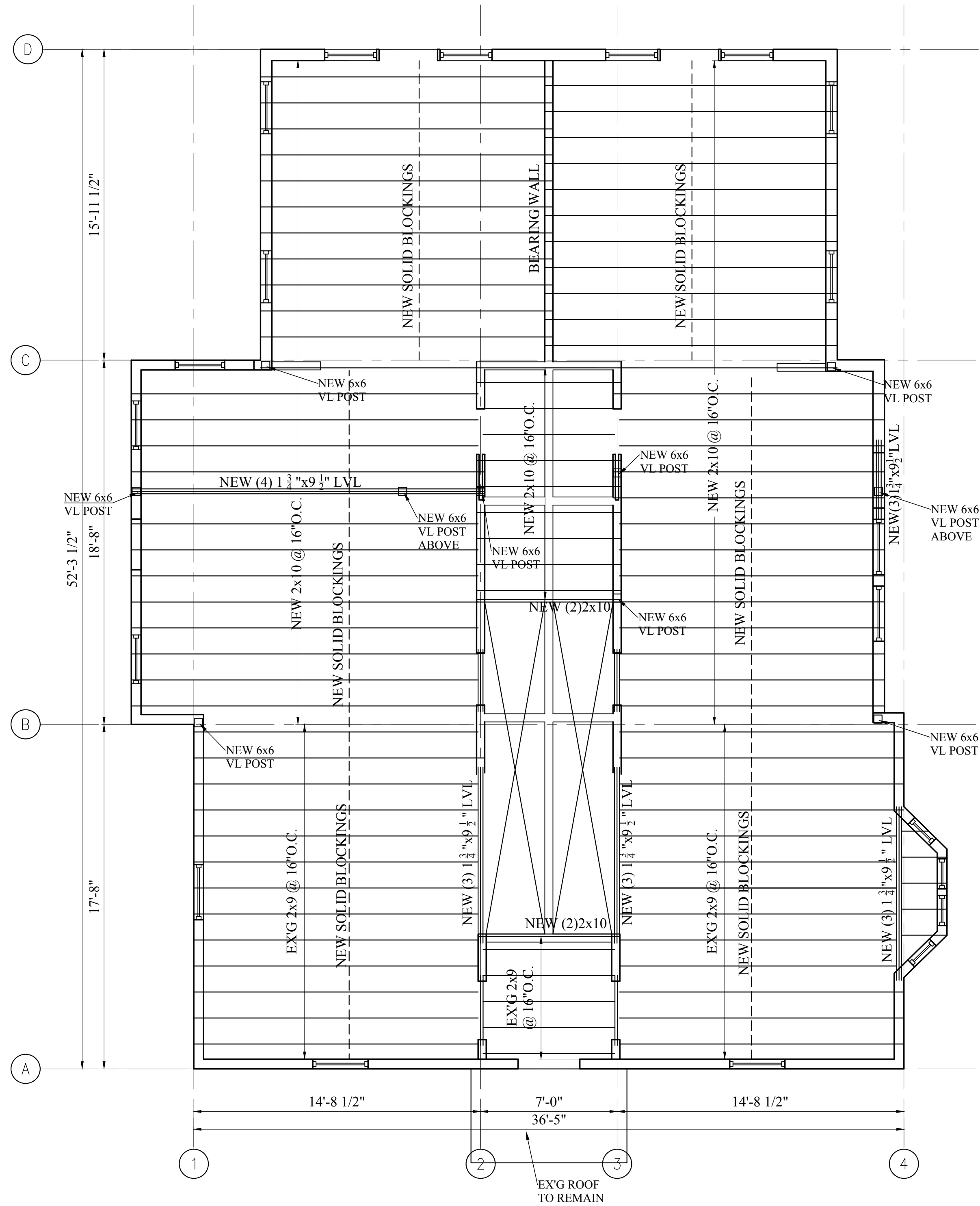
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
1	6-5-17

Project No: 17068
Scale: AS NOTED
Date: 05-27-16
Drawn By: AC

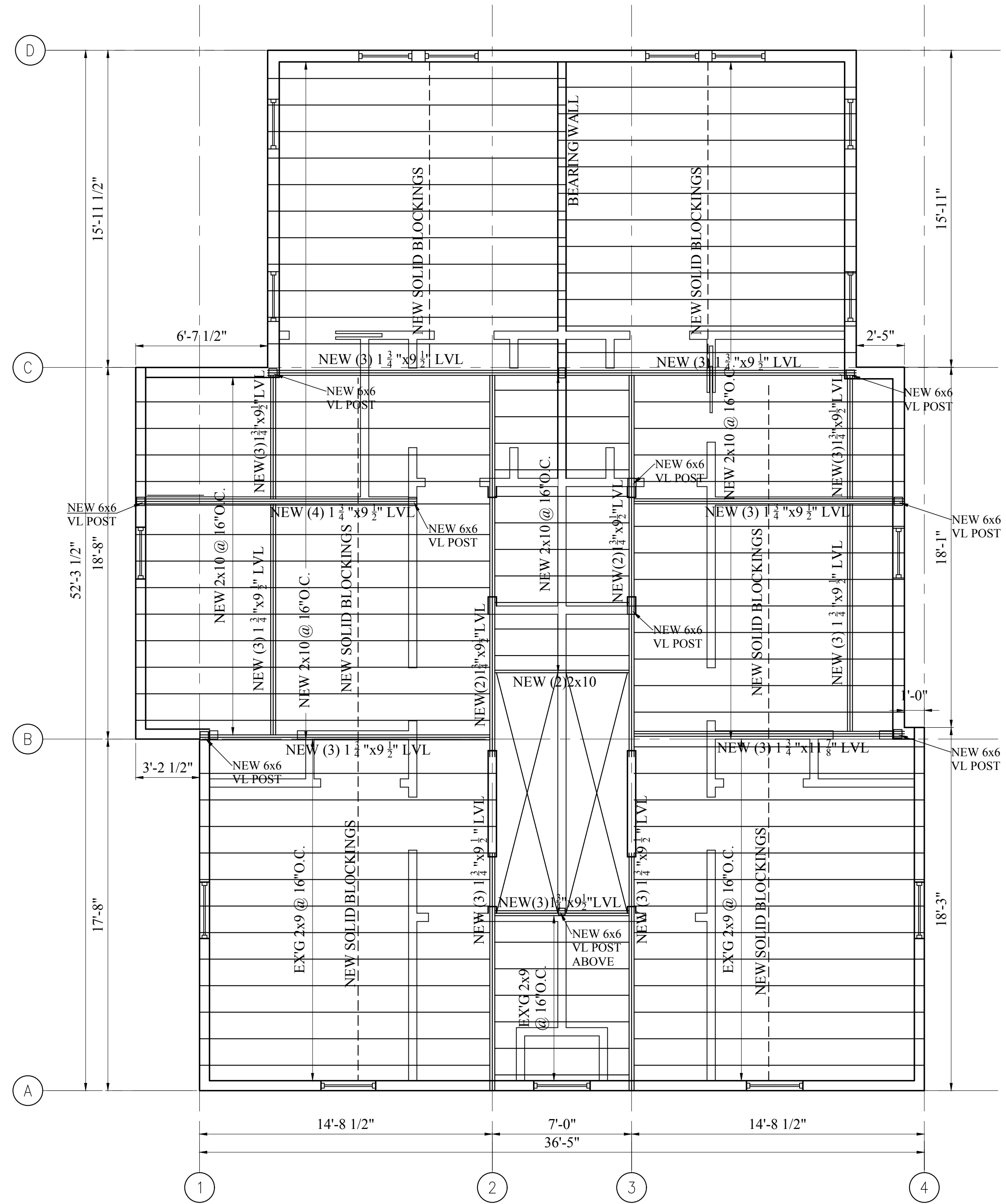
**PROPOSED
STRUCTURAL
PLANS**

Sheet No.
S-1.1



CHESHIRE STREET

1 PROPOSED SECOND FLOOR FRAMING
1/4" = 1'-0"

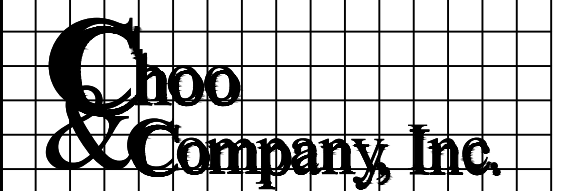


CHESHIRE STREET

2 PROPOSED THIRD FLOOR FRAMING
1/4" = 1'-0"

Location

PROPOSED ADDITION/
RENOVATION
19 CHESHIRE STREET
JAMAICA PLAIN, MA



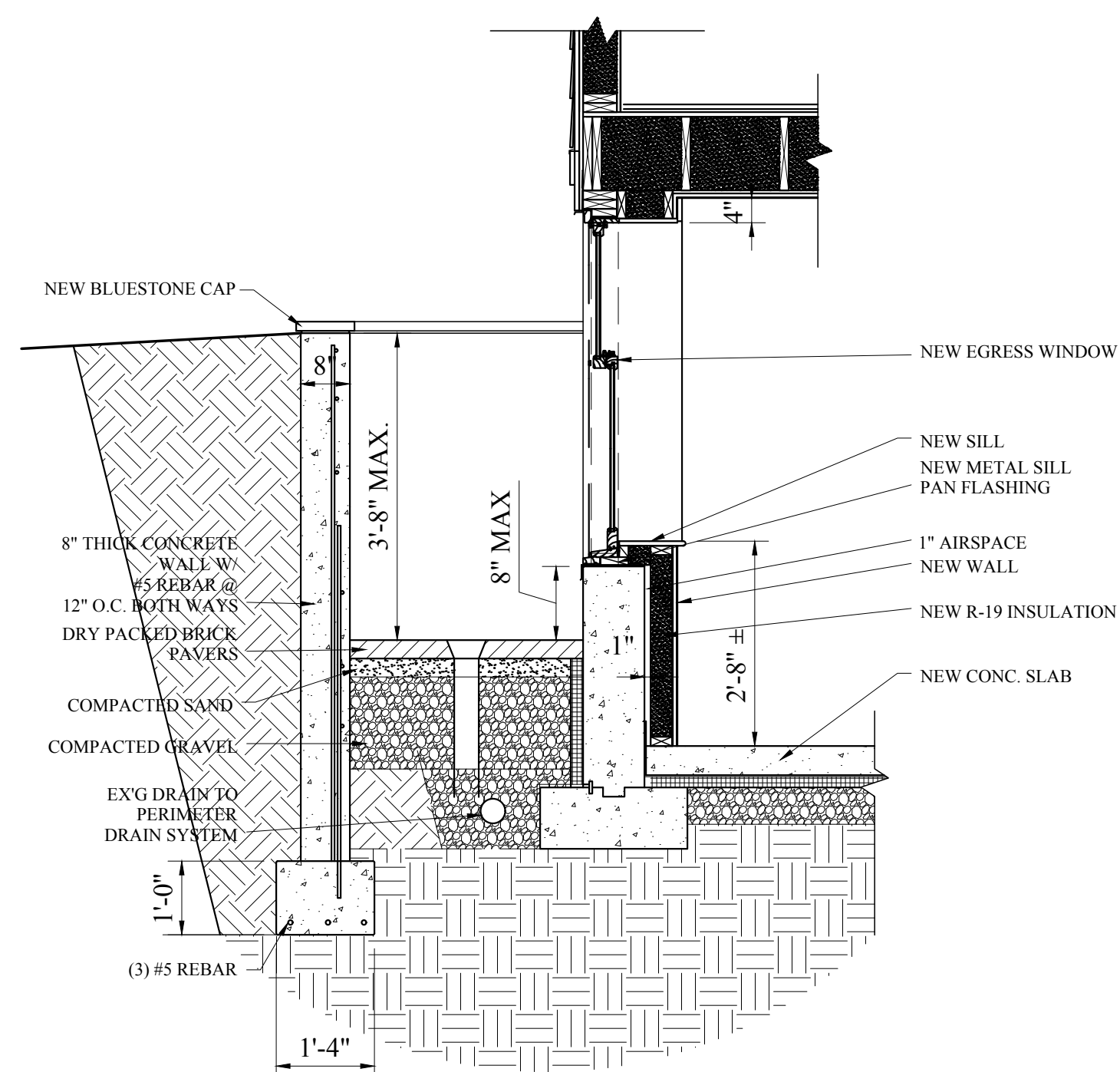
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
1	6-5-17

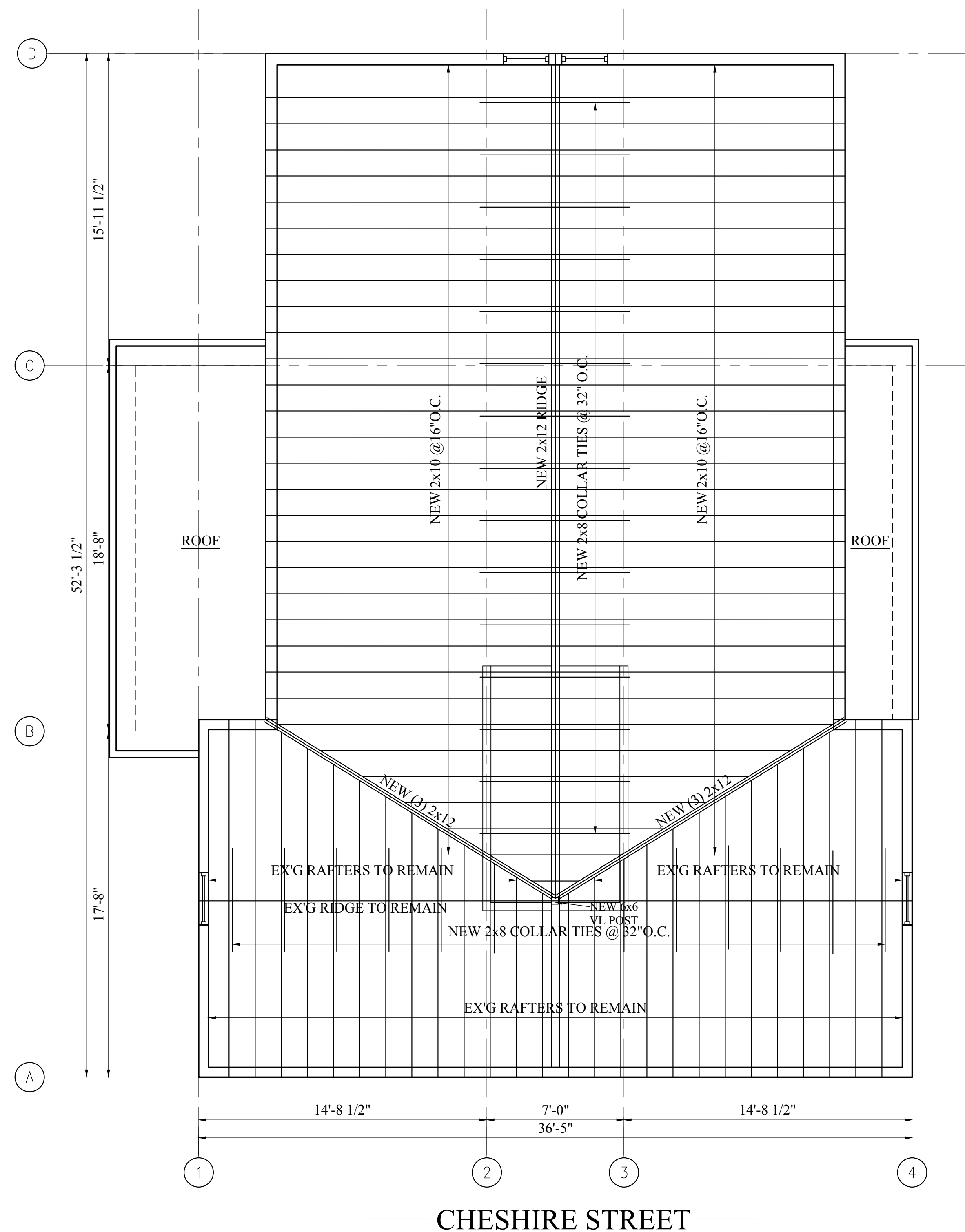
Project No: 17068
Scale: AS NOTED
Date: 05-27-16
Drawn By: AC

Drawing Name
**PROPOSED
STRUCTURAL
PLANS**

Sheet No.
5-1.2



4 PROPOSED WINDOW WELL DETAIL
1/2" = 1'-0"



1 PROPOSED ROOF FRAMING
1/4" = 1'-0"

Location
**PROPOSED ADDITION/
RENOVATION
19 CHESHIRE STREET
JAMAICA PLAIN, MA**

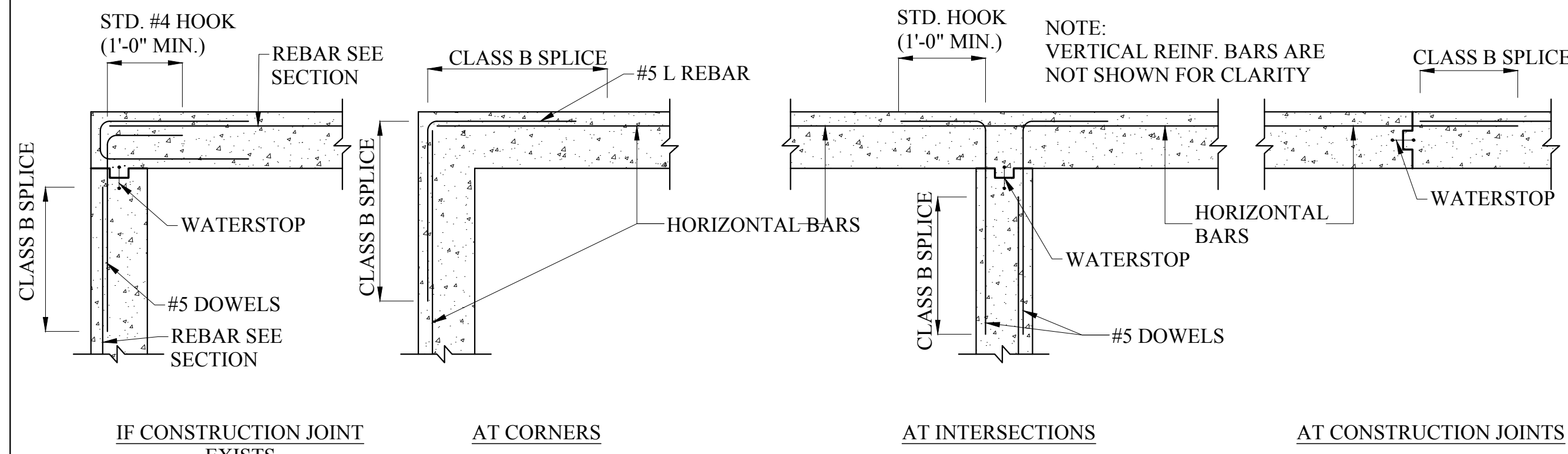
**Choo
& Company, Inc.**
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
1	6-5-17

Project No: 17068
Scale: AS NOTED
Date: 05-27-16
Drawn By: AC

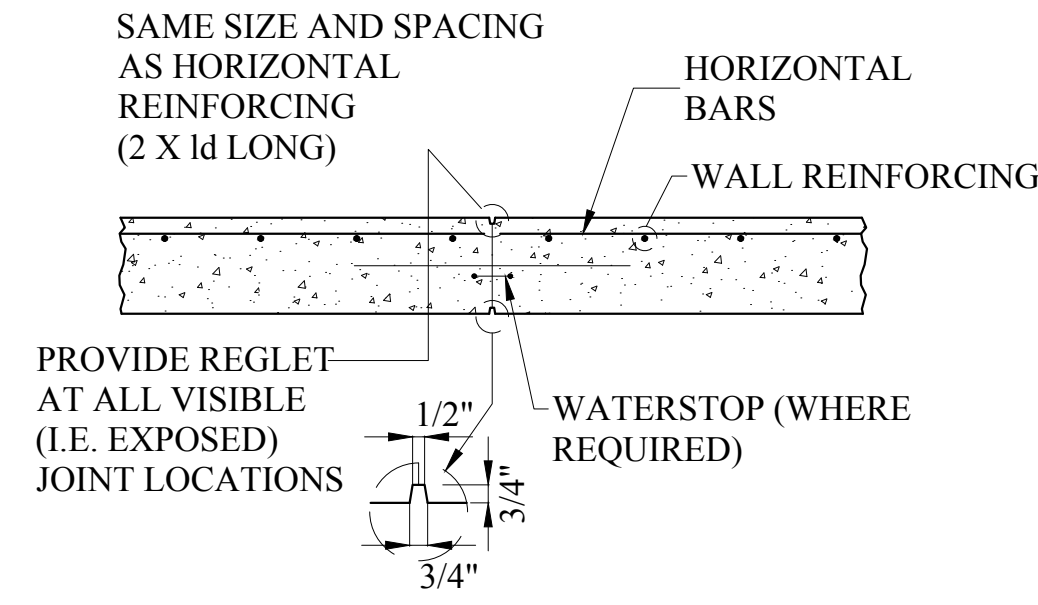
Drawing Name
**PROPOSED
STRUCTURAL
PLANS &
DETAIL**

Sheet No.
5-1.3

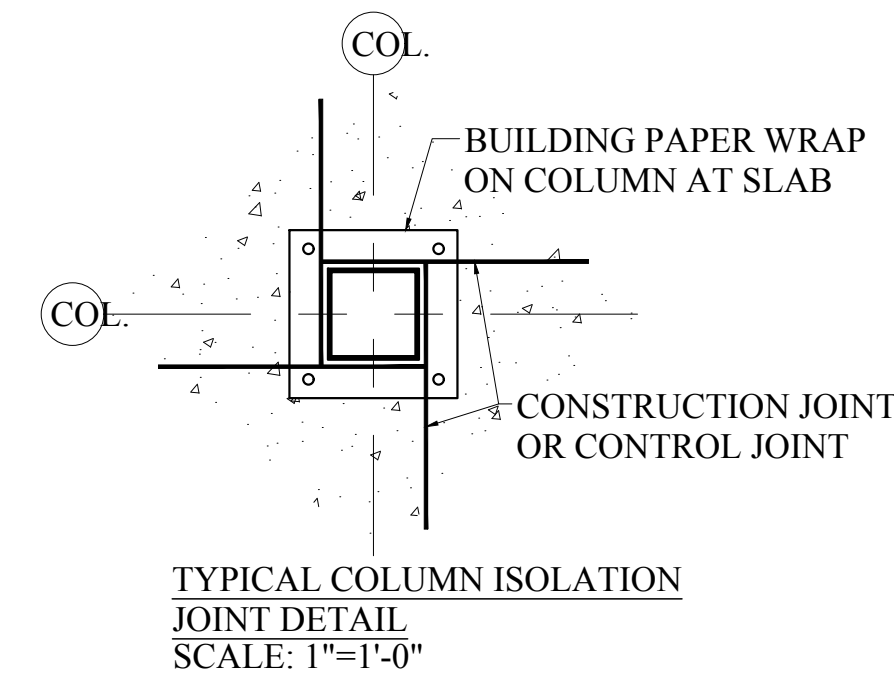


IF CONSTRUCTION JOINT EXISTS AT CORNERS
AT CORNERS
AT INTERSECTIONS
AT CONSTRUCTION JOINTS

TYPICAL PLAN OF HORIZONTAL WALL REINFORCING

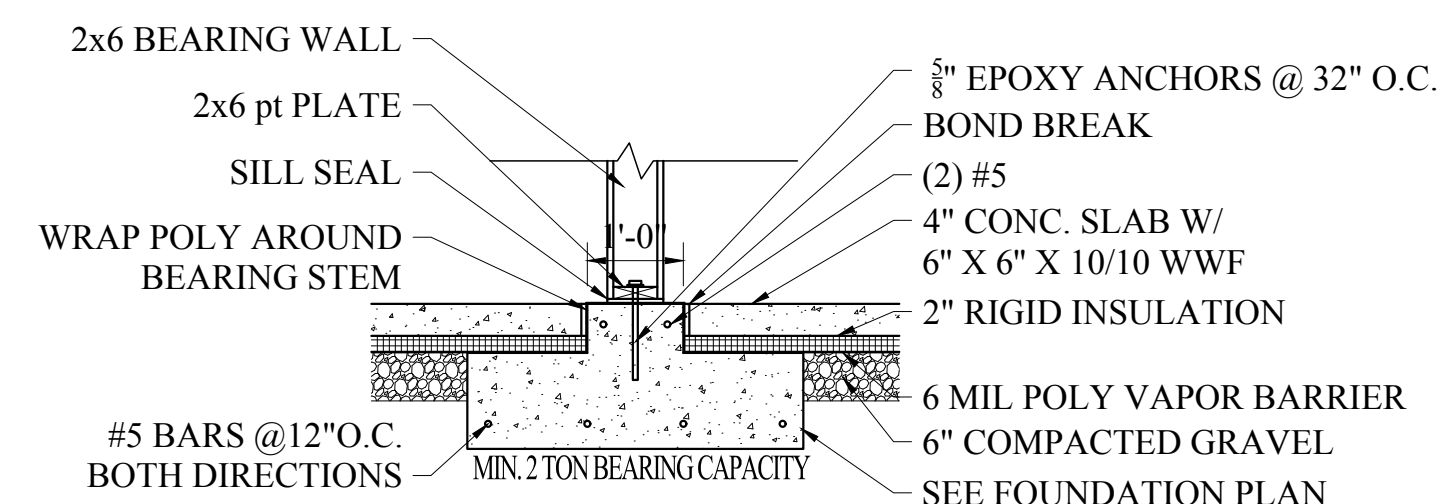


TYPICAL VERTICAL WALL CONTROL JOINT

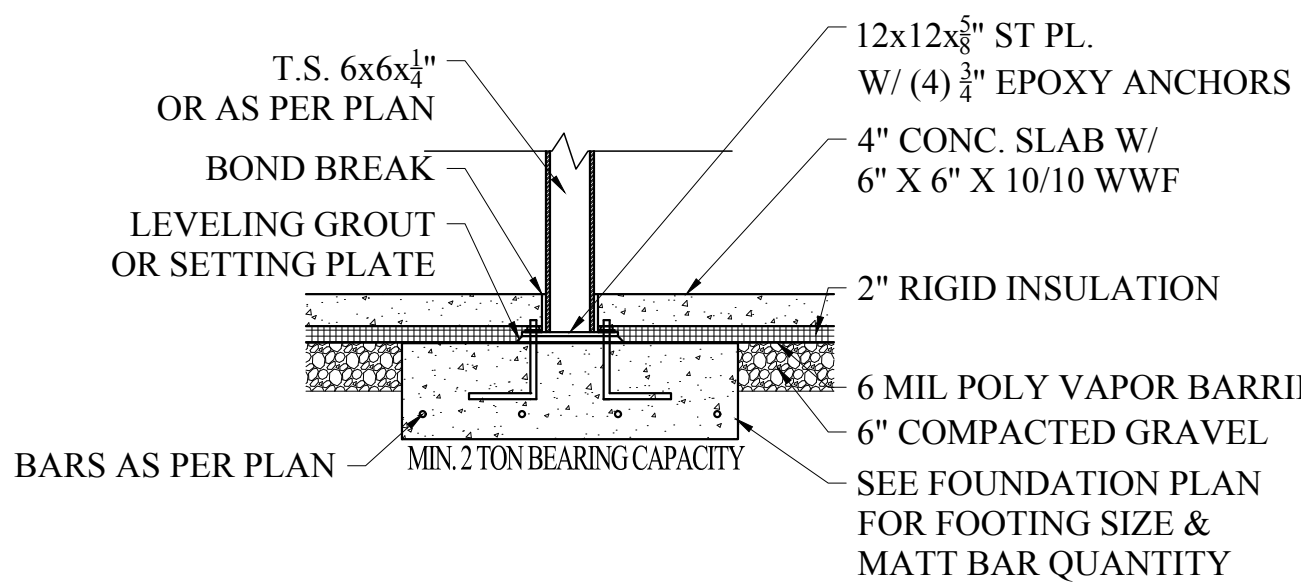


TYPICAL COLUMN ISOLATION JOINT DETAIL
SCALE: 1"=1'-0"

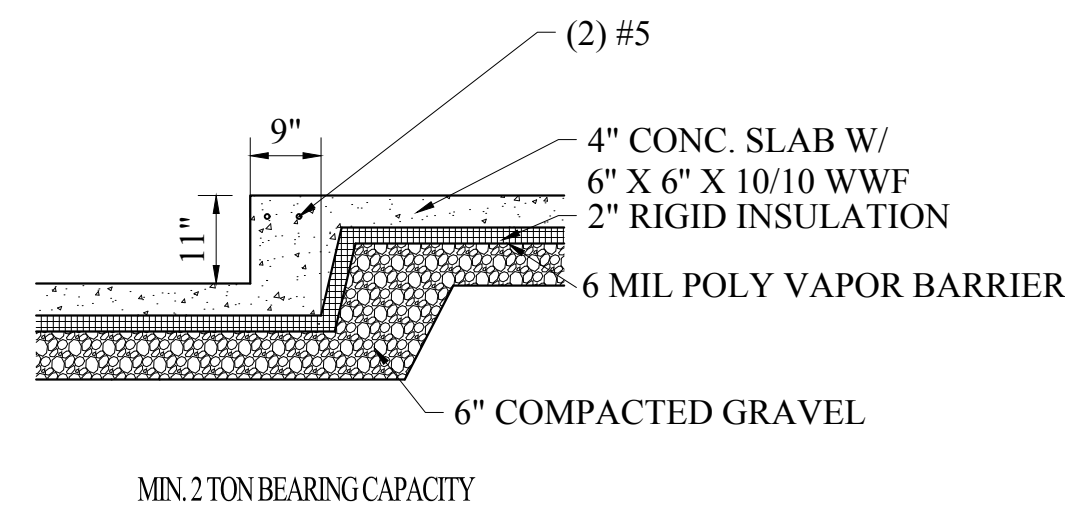
1 FOUNDATION DETAIL
1/2"=1'-0"



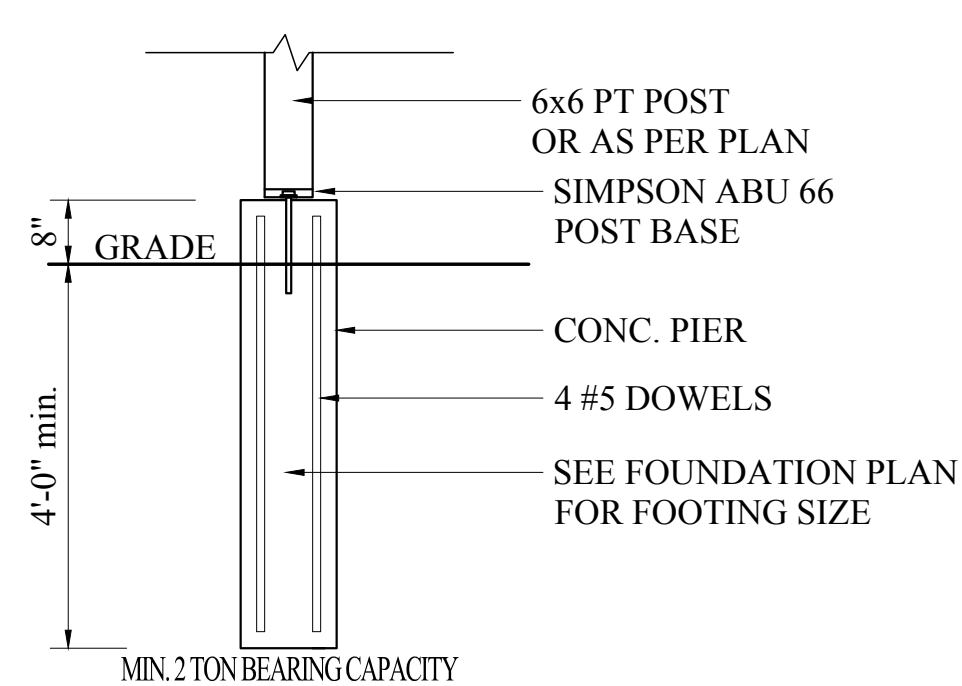
2 STRIP FOOTING DETAIL
1/2"=1'-0"



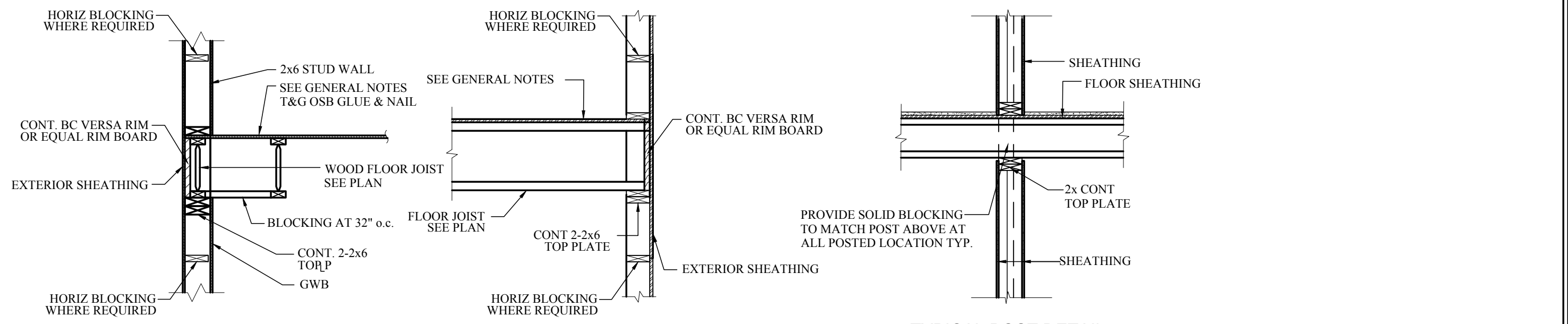
3 SQUARE FOOTING DETAIL
1/2"=1'-0"



4 STEPPED FOOTING DETAIL
1/2"=1'-0"

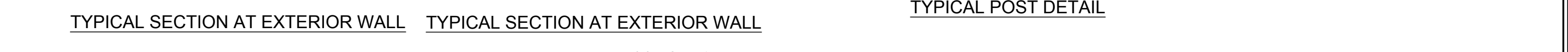


6 CONCRETE PIER DETAIL
1/2"=1'-0"



TYPICAL FRAMING AT NON-BEARING PARTITIONS
PARALLEL TO FRAMING
(REFER TO ARCH DWGS FOR WALL LOCATIONS)

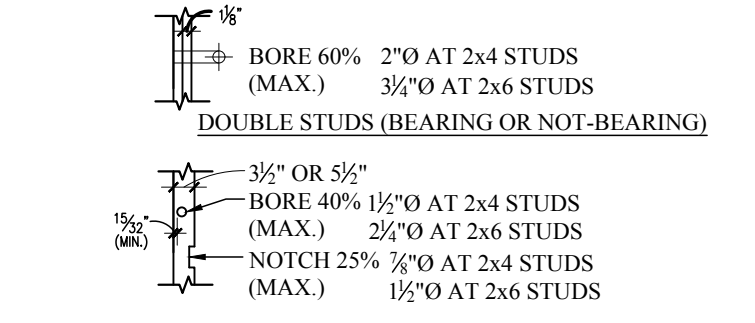
TYPICAL FRAMING AT NON-BEARING PARTITIONS
PERPENDICULAR TO FRAMING
(REFER TO ARCH DWGS FOR WALL LOCATIONS)



TYPICAL SECTION AT EXTERIOR WALL

TYPICAL SECTION AT EXTERIOR WALL

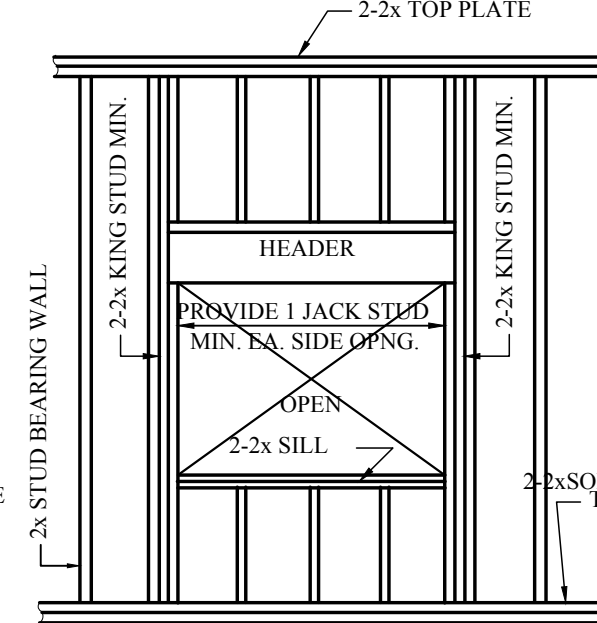
TYPICAL POST DETAIL



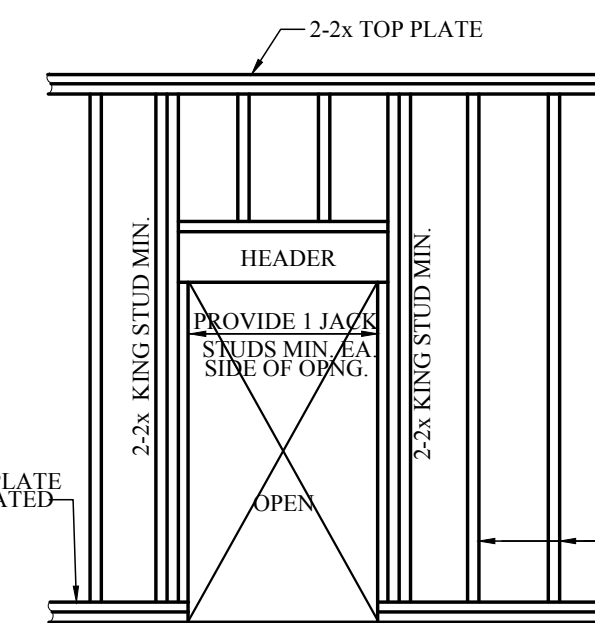
TYPICAL CUTTING AND BORING STUD DETAIL

HEADER SCHEDULE (UNO)			
OPNG. WIDTH	HDR. DEPTH	KING STUDS	TRIMMER
3'-0" OR LESS	6"	2-2x6	1-2x6
3'-0" TO 6'-0"	8"	2-2x6	1-2x6
6'-0" TO 10'-0"	SEE PLAN	2-2x6	2-2x6
10'-0" TO 16'-0"	SEE PLAN	2-2x6	2-2x6
NON-BEARING WALLS			
OPNG. WIDTH	HDR. DEPTH	KING STUDS	TRIMMER
4'-0" OR LESS	6"	2-2x6	1-2x6
4'-0" TO 7'-0"	8"	2-2x6	1-2x6
7'-0" TO 10'-0"	10"	2-2x6	2-2x6
10'-0" TO 14'-0"	12"	6-2x6	3-2x6

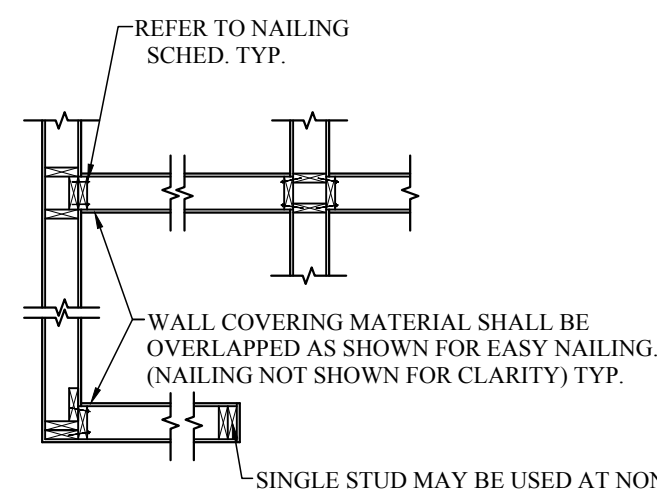
TYPICAL WINDOW OPENING



TYP. WINDOW OPENING

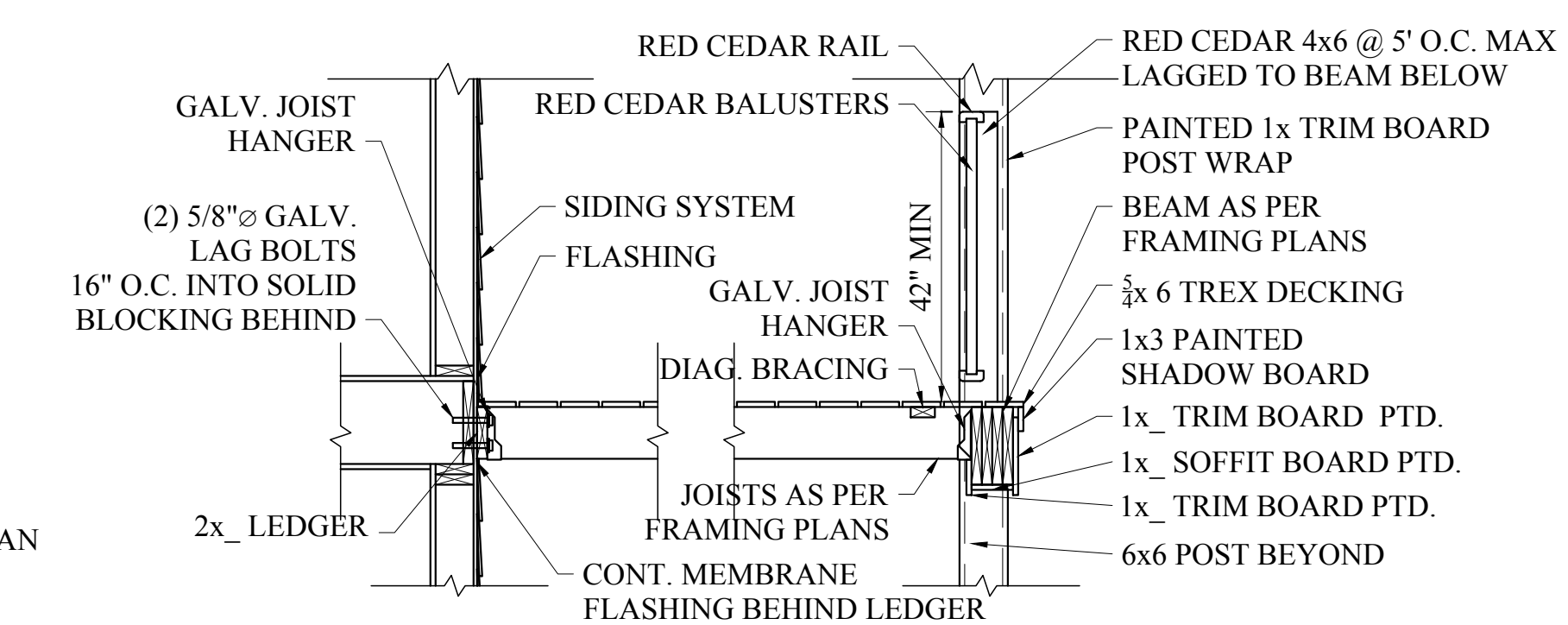


TYPICAL DOOR FRAMING



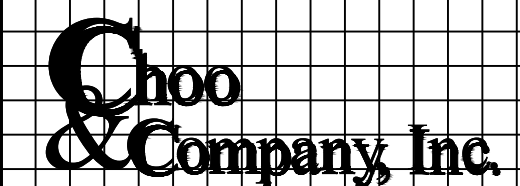
TYPICAL PLAN DETAILS

5 WOOD DETAILS
1/2"=1'-0"



7 DECK DETAIL
1/2"=1'-0"

PROPOSED ADDITION/
RENOVATION
19 CHESHIRE STREET
JAMAICA PLAIN, MA



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
1	6-5-17

Project No: 17068
Scale: AS NOTED
Date: 05-27-16
Drawn By: AC

PROPOSED
DETAILS

Sheet No.
S-2.1