



# Boston Inspectional Services Department

## Planning and Zoning Division

---

1010 Massachusetts Avenue, 5th Floor, Boston, MA 02118 Telephone: (617) 635-5300

Kim Janey  
Mayor

### MORE INFORMATION REQUEST LETTER

Marc Joseph  
Inspector of Buildings

August 24, 2021

SCHIEFER WOODWORKING, INC.  
1256 MAIN STREET  
WALTHAM, MA 02451

RE: Application #: **ALT1179106**  
Location: 21 Thomas ST, Ward 19  
Zoning District: Jamaica Plain Neighborhood, 2F-5000  
Purpose: Add **TWO (modified 8.24.21)** dormers to existing attic space. Renovate existing 2nd floor bathroom.

The following information shall be provided to Inspectional Services Department to complete the Building Permit Plan Review:

**1. City Agencies' Approvals:**

- Boston Planning and Development Agency: Two Sets of Approved Drawings: NDOD overlay

**2. Additional Information/Comments:**

Work description has been modified to show the changes made to your project related to the updated plans.

All construction documents shall be organized in two sets, submitted together (no partial information will be accepted), and dropped off at Inspectional Services Department with the above referenced application number or re-uploaded on the portal if it is an ePlan application. More information may be required. Please be advised that the time limitation of your application shall be 180 days, otherwise it shall be deemed abandoned per 780 CMR. Thank you for your assistance.

## DRAWING LIST

NO.	SHEET NAME	SHEET ISSUE DATE
A000	TITLE SHEET	08/05/2021
C100	SITE PLAN	08/01/2021
A102	THIRD FLOOR & ROOF PLANS	08/06/2021
A201	EXTERIOR ELEVATIONS	08/04/2021
A202	EXTERIOR 3D VIEWS	08/03/2021
A402	THIRD FLOOR BATHROOM PLAN & ELEVATIONS	08/06/2021
A601	WINDOW & DOOR SCHEDULES	08/04/2021
S101	ROOF FRAMING PLAN & DORMER SECTION	08/04/2021
D102	THIRD FLOOR & ROOF DEMO PLANS	05/04/2021
X102	THIRD FLOOR & ROOF EXISTING CONDITION PLANS	05/04/2021
X201	EXISTING EXTERIOR ELEVATIONS	02/24/2021

# 21 THOMAS

21 Thomas Street  
Jamaica Plain MA 02130



OWNER:  
MEG AND SETH  
ABRAMOWITZ

ARCHITECT:  
HELIOS DESIGN GROUP  
116 ST BOTOLPH ST BOSTON,  
MA

GENERAL CONTRACTOR:  
TIM SCHIEFER  
WOODWORKING

PHASE:  
CONSTRUCTION

SET DATE:  
08/06/21

THIS PROJECT MEETS THE REQUIREMENTS OF 780 CMR 51:00 MASSACHUSETTS RESIDENTIAL CODE, 2015 IRC WITH MASS. AMENDMENTS, 2018.

ENERGY REQUIREMENTS:  
APPENDIX AA: STRETCH ENERGY CODE  
IECC 2015 WITH MASS. AMENDMENTS, 2018  
780 CMR 115.AA MASS ENERGY STRETCH CODE METHODOLOGY

ADDITION COMPLIES WITH IECC 2015 SECTION R501, AND R502, ADDITIONS WITH MASS. AMENDMENTS, 2018

SUBSECTION R402.1  
PRESCRIPTIVE OPTION FOR RESIDENTIAL

CLIMATE ZONE 5  
PROJECT MEETS THE FOLLOWING REQUIREMENTS FROM TABLE 402.1.2:

WOOD FRAME WALL R-VALUE MINIMUM = R-20  
ROOF/CEILING INSULATION MINIMUM = R-49  
FLOOR R-VALUE MINIMUM = R-30  
FENESTRATION U FACTOR = .32, SKYLIGHT U FACTOR .55



REVISIONS:		
No.	DATE	REVISION DESCRIPTION

**21 THOMAS**

21 THOMAS STREET  
JAMAICA PLAIN MA 02130

OWNER:

**MEG AND SETH  
ABRAMOWITZ**

PHASE:

**CONSTRUCTION**

DRAWING TITLE:

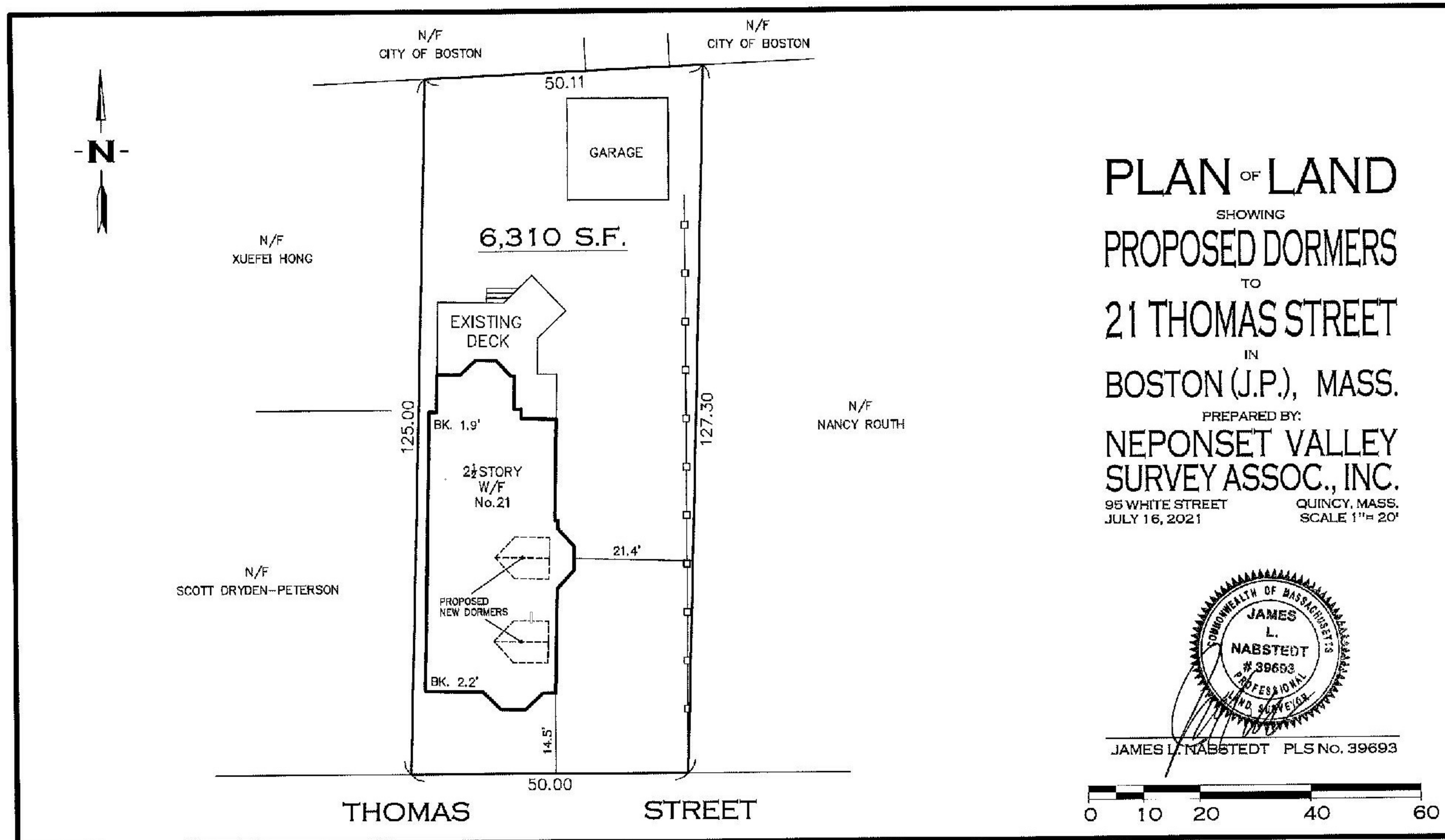
**SITE PLAN**

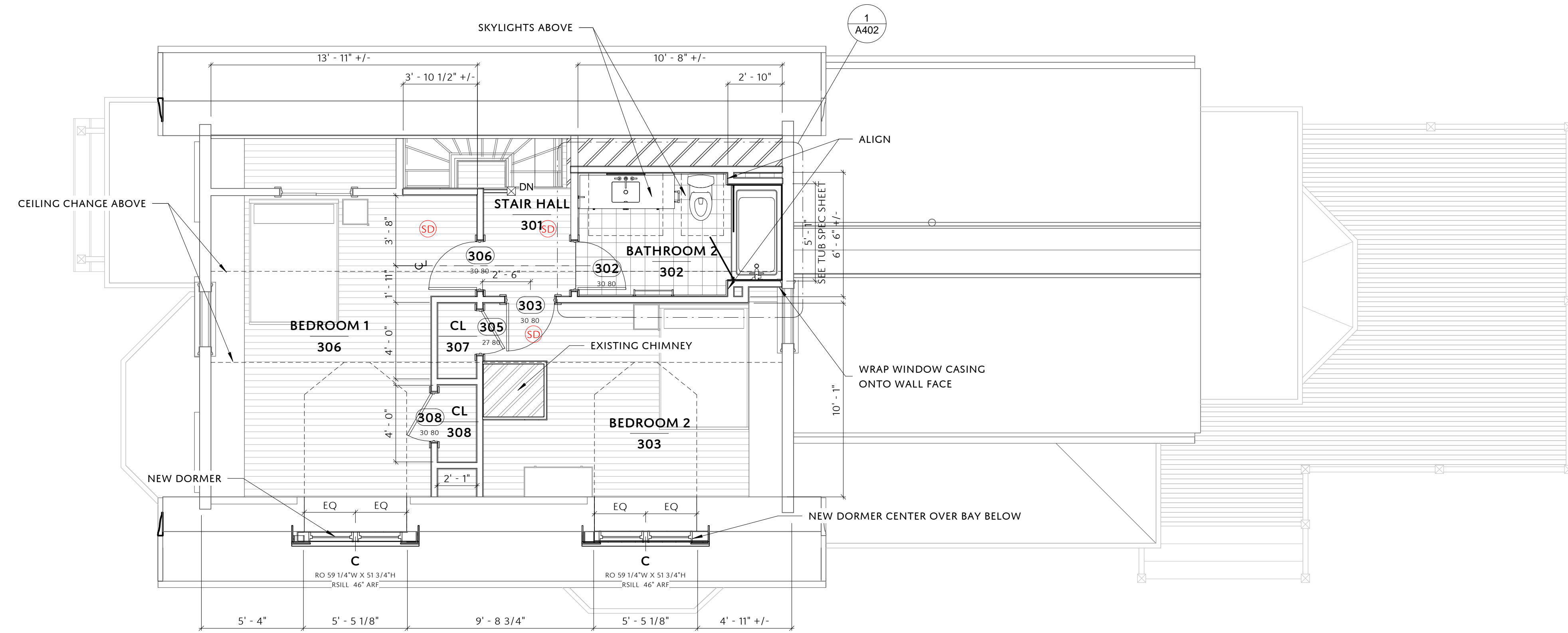
SCALE: 1" = 10'-0"

SHEET DATE: 08/01/2021 SET DATE: 08/06/21

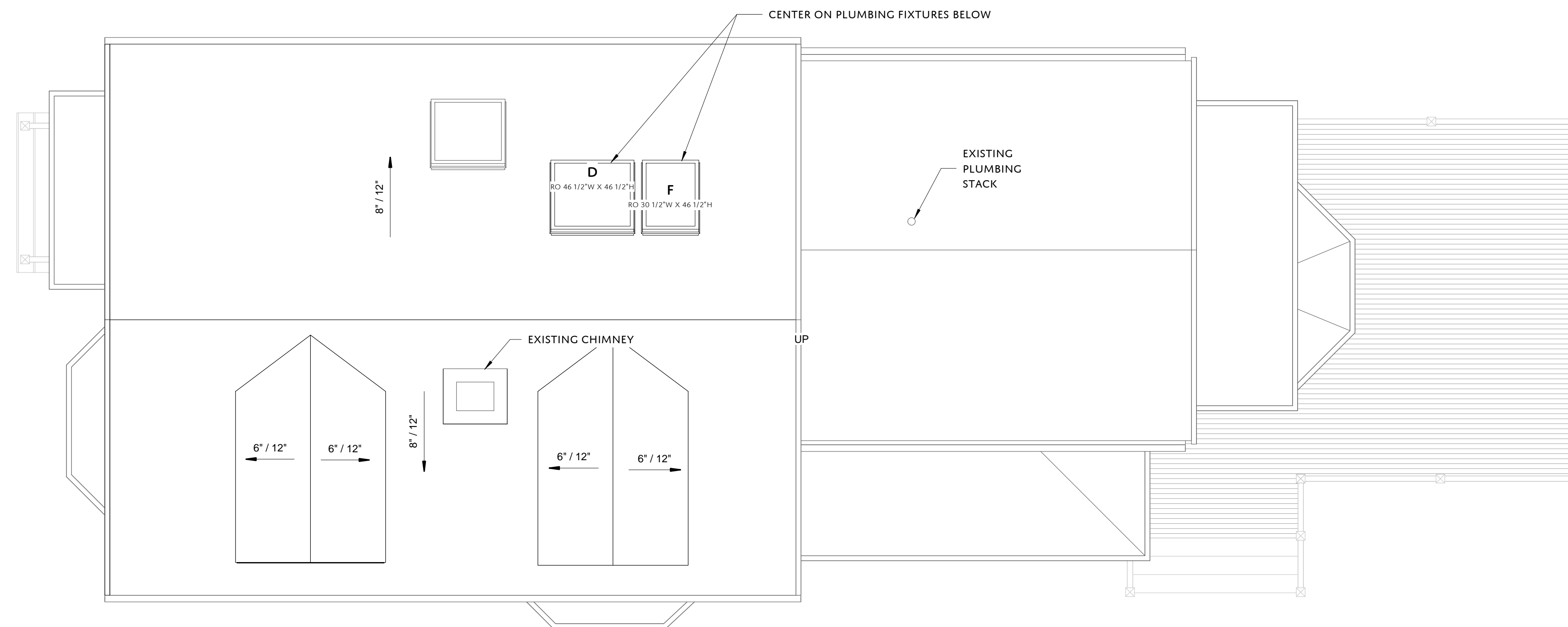
SHEET NUMBER:

**C100**





1 A1.3 - THIRD FLOOR PLAN  
1/4" = 1'-0"



2 A1.4 - ROOF PLAN  
1/4" = 1'-0"

NOTE ABOUT VENT COVERS (NEW ONLY):  
VENT COVERS ON THE THIRD FLOOR FLOOR TO BE  
PACIFIC REGISTER CAST ALUMINUM CLOVER  
FINISH FOR FLOOR LOCATIONS - NONE  
FINISH FOR WALL & CEILING LOCATIONS -  
WHITE POWDER COAT



116 St Botolph Street, Boston, MA 02115

REVISIONS:

No.	DATE	REVISION DESCRIPTION

## 21 THOMAS

21 THOMAS STREET  
JAMAICA PLAIN MA 02130

OWNER:  
**MEG AND SETH  
ABRAMOWITZ**

PHASE:  
**CONSTRUCTION**

DRAWING TITLE:  
**THIRD FLOOR &  
ROOF PLANS**

SCALE: 1/4" = 1'-0"  
SHEET DATE: 08/06/2021 SET DATE: 08/06/21  
SHEET NUMBER:

# A102





No.	DATE	REVISION DESCRIPTION

## 21 THOMAS

21 THOMAS STREET  
JAMAICA PLAIN MA 02130

OWNER:  
**MEG AND SETH  
ABRAMOWITZ**

PHASE:  
**CONSTRUCTION**

DRAWING TITLE:  
**EXTERIOR  
ELEVATIONS**

SCALE: 1/4" = 1'-0"  
SHEET DATE: 08/04/2023 SET DATE: 08/06/21  
SHEET NUMBER:

# A201



1 EXTERIOR EAST ELEV.  
1/4" = 1'-0"

2 EXTERIOR NORTH ELEV.  
1/4" = 1'-0"



3 EXTERIOR SOUTH ELEV.  
1/4" = 1'-0"

4 EXTERIOR WEST ELEV.  
1/4" = 1'-0"





HELIOS

116 St Botolph Street, Boston, MA 02115

REVISIONS:  
No. DATE REVISION DESCRIPTION

**21 THOMAS**

21 THOMAS STREET  
JAMAICA PLAIN MA 02130

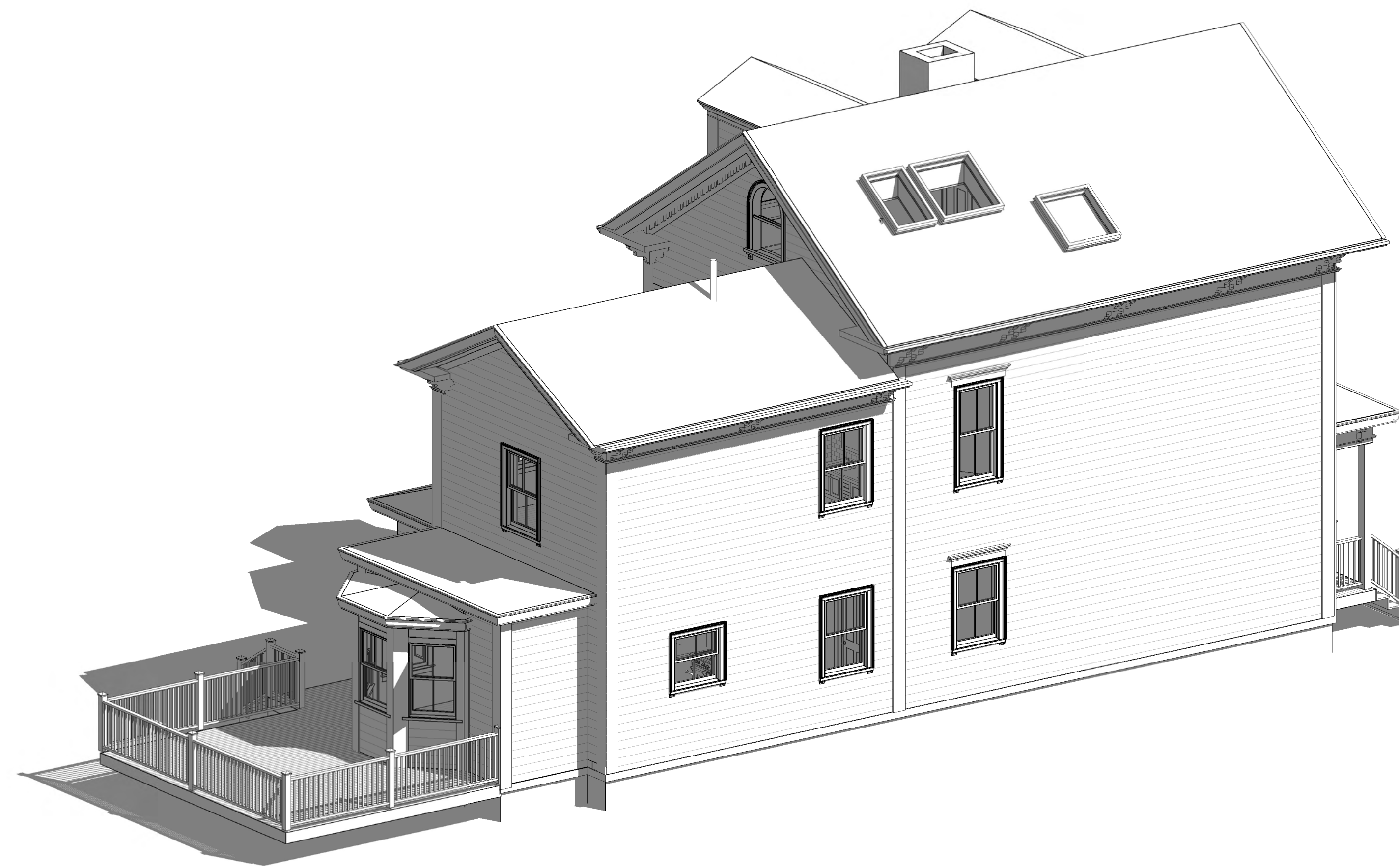
OWNER:  
**MEG AND SETH  
ABRAMOWITZ**

PHASE:  
**CONSTRUCTION**

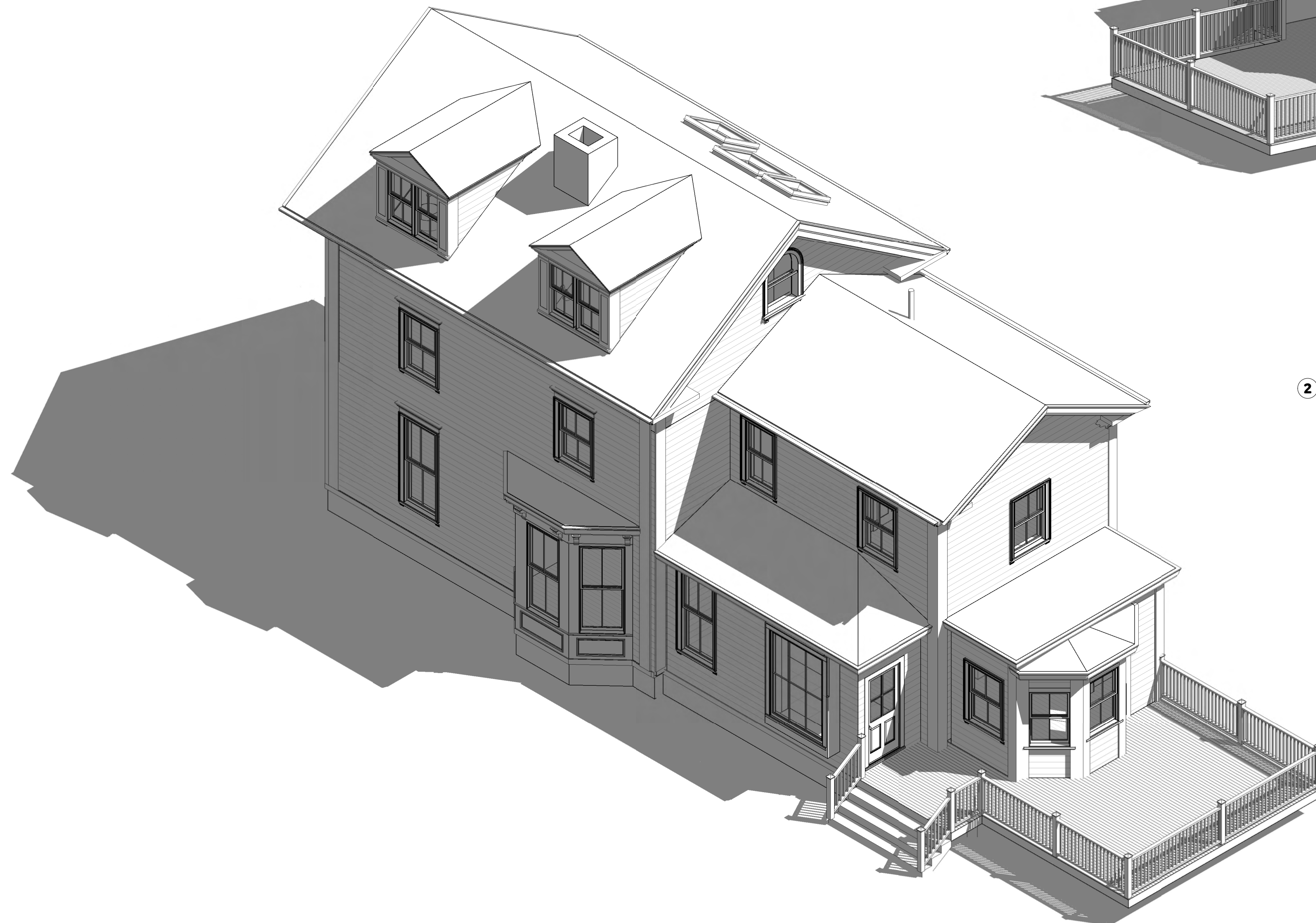
DRAWING TITLE:  
**EXTERIOR 3D VIEWS**

SCALE:  
SHEET DATE: 08/03/2021 SET DATE: 08/06/21  
SHEET NUMBER:

**A202**



2 EXTERIOR SOUTH AXON.



1 EXTERIOR NORTH AXON.



WINDOW SCHEDULE																	
Type Mark	Count	Frame Size		Rough Opening		Manufacturer	Model	Material	Window Finish		Glass Type	Grille Type	Screen Type	Screen Finish	Window Hardware		Comments
		Width	Height	Width	Height				Interior	Exterior					Style	Finish	
A	1	3'-0"	4'-7"	3'-0 3/4"	4'-7 3/4"	TBD	TBD		PRIME PAINTED	BLACK	CLEAR LOW E ARGON FILLED INSULATING GLASS	SDL w/Spacer Bar	FULL	TBD	TBD	TBD	WINDOW IN BASEMENT
C	2	4'-10 1/2"	4'-3"	4'-11 1/4"	4'-3 3/4"	TBD	TBD		PRIME PAINTED	BLACK	CLEAR LOW E ARGON FILLED INSULATING GLASS	SDL w/Spacer Bar	FULL	TBD	TBD	TBD	
D	1	4'-2"	4'-2"	3'-10 1/2"	3'-10 1/2"	VELUX	VCM 4646		PRE-FINISHED	BLACK	CLEAR LOW E ARGON FILLED INSULATING GLASS	NA	NA	NA	TBD	TBD	
F	1	2'-6"	4'-2"	2'-6 1/2"	3'-10 1/2"	VELUX	VCM 3046		PRE-FINISHED	BLACK	CLEAR LOW E ARGON FILLED INSULATING GLASS	NA	NA	NA	TBD	TBD	

**HELIOS**

116 St Botolph Street, Boston, MA 02115

REVISIONS:		
No.	DATE	REVISION DESCRIPTION

**21 THOMAS**

21 THOMAS STREET  
JAMAICA PLAIN MA 02130

OWNER:  
**MEG AND SETH  
ABRAMOWITZ**

PHASE:  
**CONSTRUCTION**

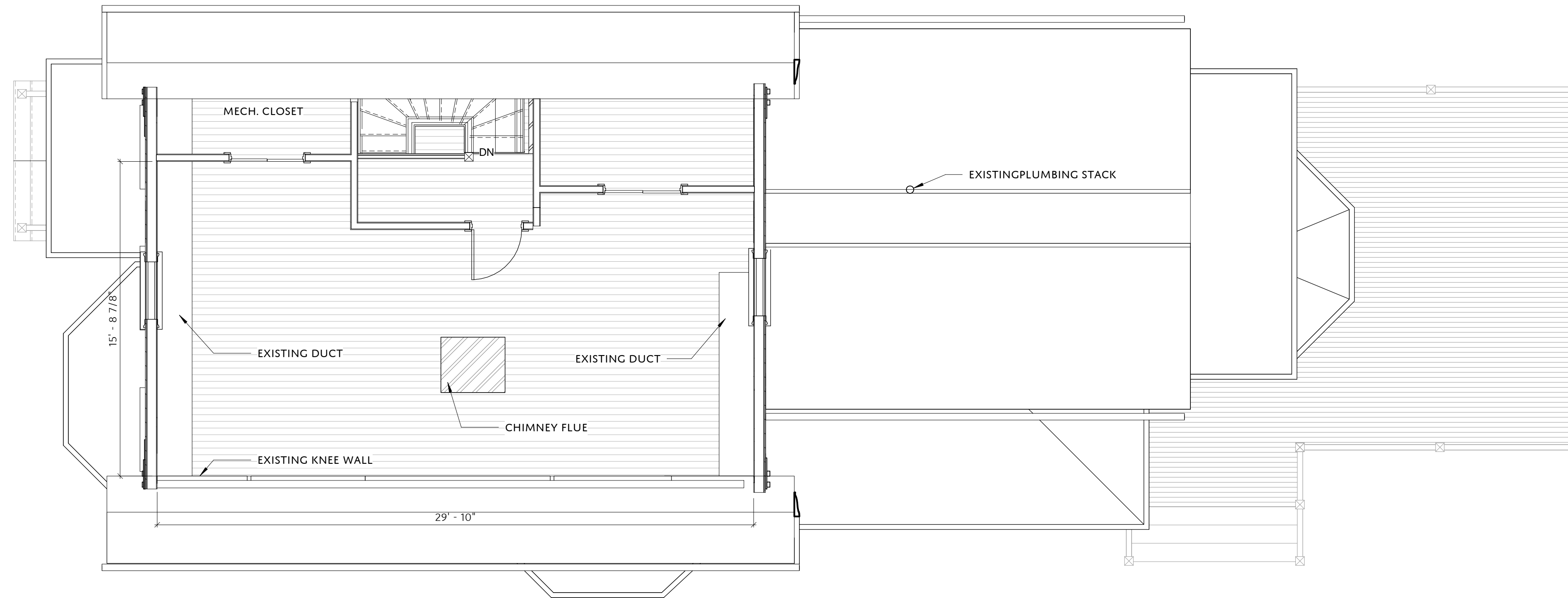
DRAWING TITLE:  
**WINDOW & DOOR  
SCHEDULES**

SCALE:  
SHEET DATE: 08/04/2021 SET DATE: 08/06/21  
SHEET NUMBER:

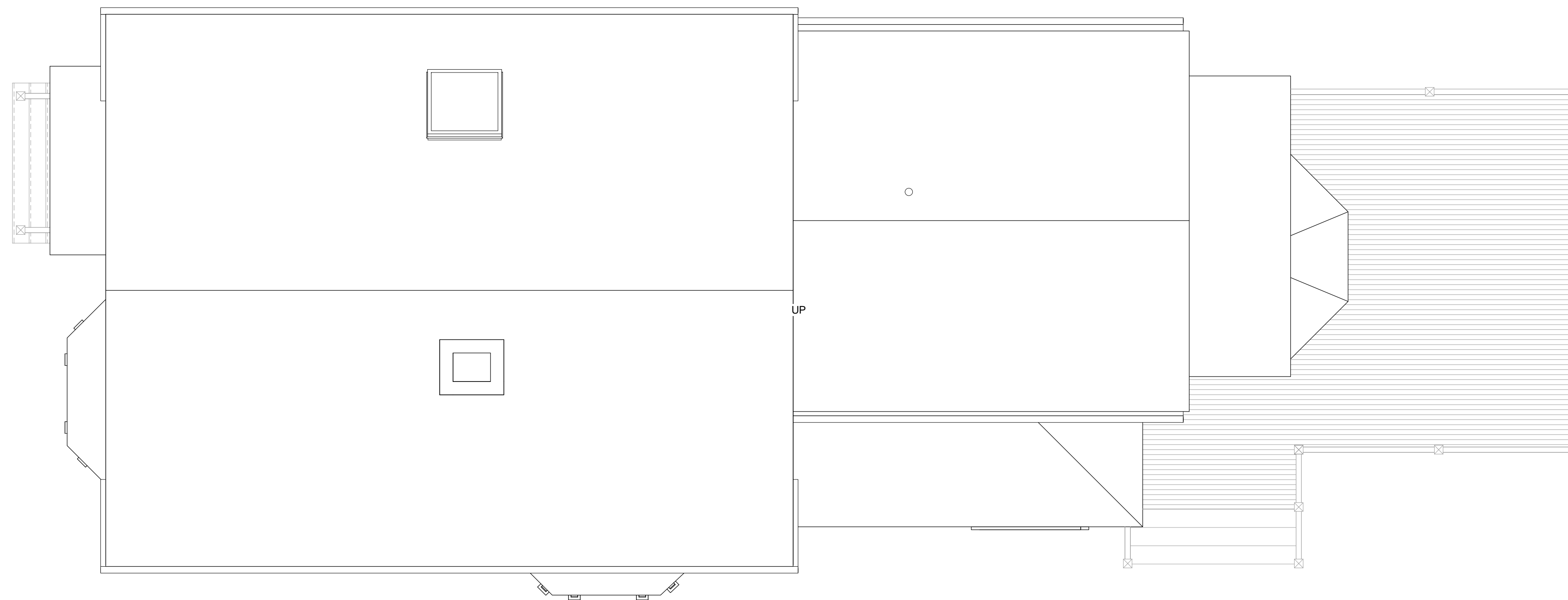
**A601**



DOOR SCHEDULE																				
DOOR NUMBER	DESCRIPTION	MANUFACTURER	MODEL	SIZE		ROUGH DIMENSIONS		CONSTRUCTION		FIRE RATING	FINISH			HARDWARE			HINGE/SLIDER FINISH	HINGE/SLIDER SETUP	COMMENTS	
				WIDTH	HEIGHT	WIDTH	HEIGHT	PANEL STYLE	STICKING		DOOR	FRAME	TYPE	MANF.	FINISH	MODE				
102	SLIDING PAIR	TRUSTILE	TS4140	4'-0"	6'-8"	4'-2 1/2"	6'-9 1/4"	4 PANEL - FLAT	QB - QUARTER BEAD	NA	PAINTED	PAINTED	FLUSH PULL	EMTEK	OIL RUBBED BRONZE	#8 STYLE, 6"				
205	SINGLE SWING	TRUSTILE	TS4140	2'-6"	6'-8"	2'-8 1/2"	6'-9 1/4"	4 PANEL - FLAT	QB - QUARTER BEAD	NA	PAINTED	PAINTED	DUMMY SET	EMTEK	ICE WHITE KNOB, OIL RUBBED BRONZE ROSETTE	AMERICAN HERITAGE/REGULAR ROSETTE	OIL RUBBED BRONZE	(2) 4" W/ RADIUS CORNERS, PLAIN BRASS BEARING W/ BALL TIP		
302	SINGLE SWING	TRUSTILE	TS4140	2'-6"	6'-8"	2'-8 1/2"	6'-9 1/4"	4 PANEL - FLAT	QB - QUARTER BEAD	NA	PAINTED	PAINTED	PASSAGE SET	EMTEK	ICE WHITE KNOB, OIL RUBBED BRONZE ROSETTE	AMERICAN HERITAGE/REGULAR ROSETTE	OIL RUBBED BRONZE	(2) 4" W/ RADIUS CORNERS, PLAIN BRASS BEARING W/ BALL TIP		
303	SINGLE SWING	TRUSTILE	TS4140	2'-6"	6'-8"	2'-8 1/2"	6'-9 1/4"	4 PANEL - FLAT	QB - QUARTER BEAD	NA	PAINTED	PAINTED	PASSAGE SET	EMTEK	ICE WHITE KNOB, OIL RUBBED BRONZE ROSETTE	AMERICAN HERITAGE/REGULAR ROSETTE	OIL RUBBED BRONZE	(2) 4" W/ RADIUS CORNERS, PLAIN BRASS BEARING W/ BALL TIP		
305	SINGLE SWING	TRUSTILE	TS4140	2'-3"	6'-8"	2'-5 1/2"	6'-9 1/4"	4 PANEL - FLAT	QB - QUARTER BEAD		PAINTED	PAINTED	DUMMY SET	EMTEK	ICE WHITE KNOB, OIL RUBBED BRONZE ROSETTE	AMERICAN HERITAGE/REGULAR ROSETTE	OIL RUBBED BRONZE	(2) 4" W/ RADIUS CORNERS, PLAIN BRASS BEARING W/ BALL TIP		
306	SINGLE SWING	TRUSTILE	TS4140	2'-6"	6'-8"	2'-8 1/2"	6'-9 1/4"	4 PANEL - FLAT	QB - QUARTER BEAD	NA	PAINTED	PAINTED	PASSAGE SET	EMTEK	ICE WHITE KNOB, OIL RUBBED BRONZE ROSETTE	AMERICAN HERITAGE/REGULAR ROSETTE	OIL RUBBED BRONZE	(2) 4" W/ RADIUS CORNERS, PLAIN BRASS BEARING W/ BALL TIP		
308	SINGLE SWING	TRUSTILE	TS4140	2'-6"	6'-8"	2'-8 1/2"	6'-9 1/4"	4 PANEL - FLAT	QB - QUARTER BEAD	NA	PAINTED	PAINTED	DUMMY SET	EMTEK	ICE WHITE KNOB, OIL RUBBED BRONZE ROSETTE	AMERICAN HERITAGE/REGULAR ROSETTE	OIL RUBBED BRONZE	(2) 4" W/ RADIUS CORNERS, PLAIN BRASS BEARING W/ BALL TIP		



3 X1.3 - EXISTING THIRD FLOOR PLAN  
1/4" = 1'-0"



4 X1.4 - EXISTING ROOF PLAN  
1/4" = 1'-0"

HELIOS

116 St Botolph Street, Boston, MA 02115

REVISIONS:

No.	DATE	REVISION DESCRIPTION

21 THOMAS

21 THOMAS STREET  
JAMAICA PLAIN MA 02130

OWNER:

MEG AND SETH  
ABRAMOWITZ

PHASE:

CONSTRUCTION

DRAWING TITLE:

THIRD FLOOR &  
ROOF EXISTING  
CONDITION PLANS

SCALE: 1/4" = 1'-0"

SHEET DATE: 05/04/2021 SET DATE: 08/06/21

SHEET NUMBER:

X102



REVISIONS:		
No.	DATE	REVISION DESCRIPTION

21 THOMAS

21 THOMAS STREET  
JAMAICA PLAIN MA 02130

OWNER:

MEG AND SETH  
ABRAMOWITZ

PHASE:

CONSTRUCTION

DRAWING TITLE:

EXISTING EXTERIOR  
ELEVATIONS

SCALE: 1/4" = 1'-0"

SHEET DATE: 02/24/2021 SET DATE: 08/06/21

SHEET NUMBER:

X201



1 EXISTING EXTERIOR EAST ELEV.  
1/4" = 1'-0"

2 EXISTING EXTERIOR NORTH ELEV.  
1/4" = 1'-0"



3 EXISTING EXTERIOR SOUTH ELEV.  
1/4" = 1'-0"

4 EXISTING EXTERIOR WEST ELEV.  
1/4" = 1'-0"



**OUTLINE SPECIFICATIONS**  
**GENERAL**

G-1: ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE 8TH EDITION OF THE MASSACHUSETTS STATE RESIDENTIAL BUILDING CODE, IRC 2009, AND ASCE 7.05 AND THE REFERENCED STANDARDS INCLUDED THEREIN THAT ARE APPLICABLE TO THIS PROJECT.

G-2: THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER BEFORE PROCEEDING WITH THE AFFECTED WORK. ANY VARIATIONS OR SUBSTITUTIONS OF MATERIALS OR DETAILS FROM THOSE INDICATED ON THE DRAWINGS MAY BE MADE ONLY WITH PRIOR APPROVAL OF THE PROJECT ENGINEER.

G-3: NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED OR CUT WITHOUT THE APPROVAL OF THE PROJECT ENGINEER.

G-4: FOR EXACT LOCATION OF FLOOR & ROOF OPENINGS, SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND SHOP DRAWINGS.

G-5: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB SAFETY DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO SHEETING, SHORING AND GUYING STRUCTURES, BARRIERS AND SIGNAGE.

G-6: ALL STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND SHOP DRAWINGS AND SPECIFICATIONS.

G-7: UNLESS OTHERWISE INDICATED, DETAILS SHOWN ON ANY DRAWING ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.

G-8: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, COORDINATION OF OTHER TRADES AND TECHNIQUES TO PRODUCE A SOUND AND QUALITY BUILDING. ALL DIMENSIONS, ELEVATIONS AND CONDITIONS MUST BE VERIFIED BY THE GENERAL CONTRACTOR OR RESPONSIBLE TRADES.

**DESIGN LOADS**

DL-1: THE BUILDING STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING LOADS IN ACCORDANCE WITH THE 8TH EDITION OF THE MASSACHUSETTS STATE RESIDENTIAL BUILDING CODE, IRC 2009 AND ASCE 7.05.

DL-2: SNOW LOAD: GROUND SNOW LOAD = 40 PSF;  $P_f(\text{min}) = 30$  PSF IMPORTANCE FACTOR I=1.0 DRIFTING AND SLIDING SNOW INCLUDED WHERE APPLICABLE

DL-3: FLOOR LIVE LOAD:

DL-3.1: LIVING AREAS	40 PSF
DL-3.2: SLEEPING AREAS	30 PSF
DL-3.3: ATTICS	20 PSF
DL-3.4: DECKS	40 PSF

DL-4: WIND: WIND VELOCITY -  $V_{ult} = 128$  MPH (3 SEC. GUST)  
DL-4.1: EXPOSURE B  
DL-4.2: IMPORTANCE FACTOR I=1.0

**EXISTING CONDITIONS**

EC-1: THESE DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF THE WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR COVERED CONDITIONS NOT SHOWN ON THESE DRAWINGS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO BIDDING AND VERIFIED THE INFORMATION HEREIN SUPPLIED.

**STRUCTURAL LUMBER**

SL-1: CODE CONFORMANCE

SL-1.1: NATIONAL FOREST PRODUCTS ASSOCIATION "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" INCLUDING SUPPLEMENT.

SL-1.2: AMERICAN INSTITUTE OF TIMBER CONSTRUCTION "TIMBER CONSTRUCTION STANDARDS" - ATC 100.

SL-1.3: U.S. DEPARTMENT OF COMMERCE - PS 20 FOR LUMBER.

SL-1.4: U.S. DEPARTMENT OF COMMERCE - PS 166 FOR SOFTWOOD PLYWOOD.

SL-1.5: AMERICAN WOOD PRESERVERS INSTITUTE - ST-1 STANDARDS.

SL-2: MATERIALS

SL-2.1: SOLID LUMBER (19 PER-CENT MAXIMUM MOISTURE CONTENT)

SL-2.1.1: STUDS - 2X4, 2X6 SPRUCE PINE FIR, STUD GRADE.

SL-2.1.2: FRAMING: SPRUCE PINE FIR NO. 2 - 2 INCHES THICK AND WIDER

SL-2.1.2.1: BASE DESIGN VALUES -  $F_b = 875$  PSI (1000 PSI REPEATED),  $F_v = 135$  PSI,  $E = 1400$  KSI

SL-2.2: LAMINATED VENEER LUMBER BEAMS - GLUE LAMINATED VENEER LUMBER OF SOUTHERN PINE WITH THE FOLLOWING MINIMUM DESIGN VALUES:

SL-2.2.1: BASE DESIGN VALUES -  $F_v = 285$  PSI,  $F_b = 2600$  PSI,  $E = 1,900,000$  PSI

SL-2.3: PARALLEL STRAND LUMBER (PSL) - GLUE LAMINATED LUMBER STRANDS WITH THE FOLLOWING MINIMUM DESIGN VALUES

SL-2.3.1: BASE DESIGN VALUES -  $F_v = 290$  PSI,  $F_b = 2900$  PSI,  $E = 1800$  KSI

SL-2.4: PRESSURE TREATED OR "WOLMANIZED" PSI BEAMS HAVE ALLOWABLE STRESSES ADJUSTED FOR SERVICE LEVEL 1, 2 OR 3

SL-2.5: BOLTS, NUTS & WASHERS - ASTM - A307.

SL-2.6: NAILS - COMMON WIRE, EXCEPT BARBED NAILS AT PLYWOOD SHEATHING. GALVANIZED NAILS AT EXPOSED FRAMING.

SL-2.7: METAL CONNECTORS - APPROVED ITEMS OF PROPER TYPE & GAUGE AS SHOWN ON DRAWINGS - GALVANIZED.

SL-2.8: ALL CONNECTORS AND FASTENERS AT PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.

SL-2.9: PLYWOOD - APA RATED WITH EXTERIOR GLUE.

SL-2.9.1: ROOF 5/8" THICK EXPOSURE 1, 40/20 SPAN RATING

SL-2.9.2: WALLS 1/2" THICK EXPOSURE 1, 32/16 SPAN RATING

SL-2.9.3: SUBFLOORS 3/6" THICK TONGUE & GROOVE ADVANTEC OR EQUAL GLUE & NAIL

SL-2.10: PRESSURE TREATED WOOD AT ALL EXPOSED FRAMING WITH APPROVED CLEAR WATER BORNE PRESERVATIVE. ALL MEMBERS TO BE STAMPED BY APPROPRIATE AGENCY.

SL-2.11: SIMPSON STRONG TIE FRAMING CONNECTORS, FASTENERS AND HARDWARE AS PER SIMPSON STRONG TIE COMPANY WOOD CONSTRUCTION CONNECTORS MANUAL C-2013

SL-2.12: SIMPSON TITEN HD CONCRETE AND MASONRY SCREW PER SIMPSON C SAS 2009 SPECIFICATION.

SL-2.13: TIMBERLOK HEAVY DUTY FRAMING SCREW BY FASTENMASTER

**STRUCTURAL LUMBER (CONTINUED)**

SL-3: CONSTRUCTION

SL-3.1: ALL WOOD MEMBERS TO BE NAILED IN ACCORDANCE WITH MASS. STATE CODE FASTENER SCHEDULE IN APPENDIX 120.0

SL-3.2: PLYWOOD SUBFLOORS SHALL BE GLUED AND NAILED AT 6" O.C. AT ALL JOINTS AND EDGES AND 10" O.C. AT OTHER SUPPORTS.

SL-3.3: PLYWOOD ROOF SHALL BE NAILED AT 6" O.C. THRU OUT

SL-3.4: PLYWOOD SHEAR WALLS SHALL BE NAILED AT 6" O.C. AT ALL JOINTS AND EDGES AROUND ALL OPENINGS, AT TOP, BOTTOM AND ENDS AND WALL PERIMETER. BLOCK ALL EDGES.

SL-3.5: PROVIDE FASTENERS FOR ALL CONNECTORS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

**HELIOS**

179 BOYLSTON STREET, JAMAICA PLAIN, MA 02130

**REVISIONS**



**SJG ENGINEERING LLC**

6 Golden Gate Drive  
Hooksett, NH 03106  
603.232.6142  
sjeng@comcast.net

21 Thomas

21 Thomas St.  
Jamaica Plain, MA

**OWNER:**

**MEG AND SETH  
ABRAMOWITZ**

**PHASE:**

**CONSTRUCTION**

**DRAWING TITLE:**

**STRUCTURAL  
Outline  
Specifications**

**SCALE: NOTED**

SHEET DATE 7/20/2021 SET DATE issue date

**SHEET NUMBER:**

**S - 001**



REVISION		
No.	DATE	REVISION DESCRIPTION

**SJG Engineering LLC**

6 Golden Gate Drive  
 Hooksett, NH 03106  
 (o) 603.232.6142  
 (M) 207.752.3274  
 sjgeng@comcast.net



**21 THOMAS**

21 Thomas Street  
 Jamaica Plain MA 02130

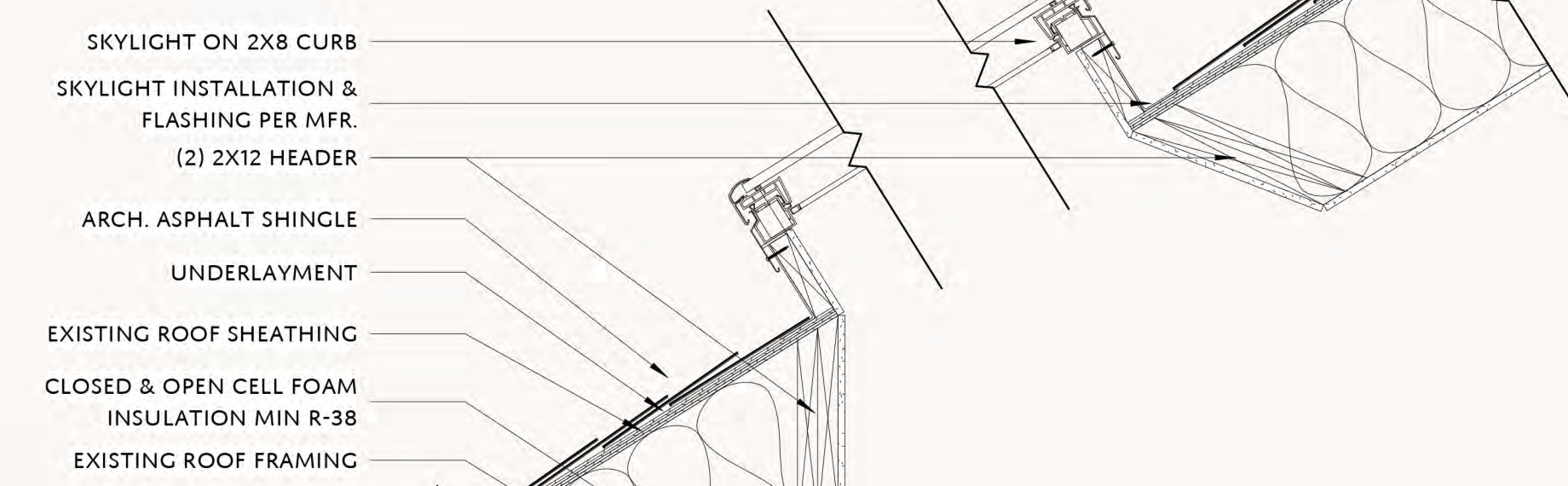
OWNER:  
**MEG AND SETH  
 ABRAMOWITZ**

PHASE:  
**CONSTRUCTION**

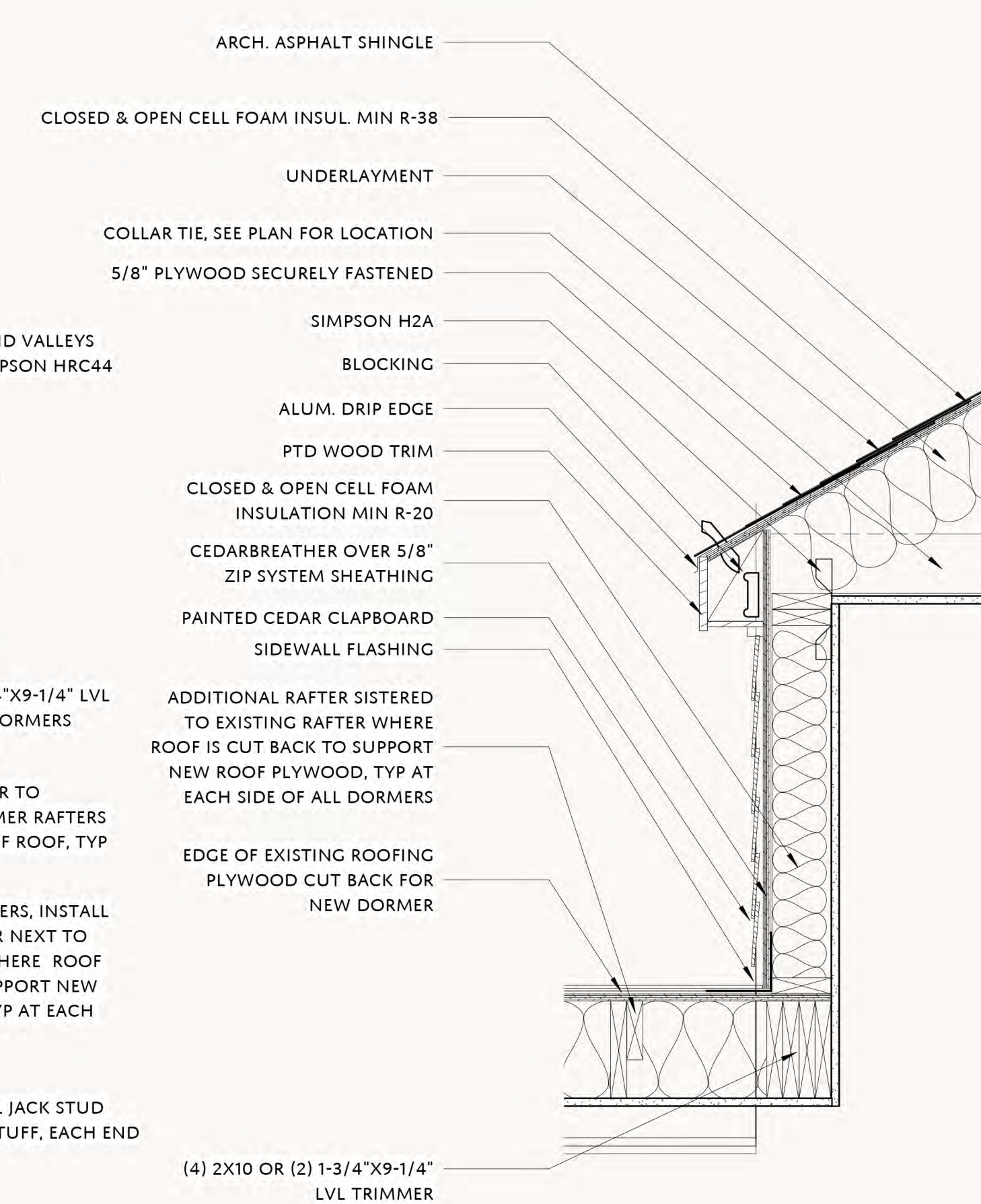
DRAWING TITLE:  
**ROOF FRAMING  
 PLAN & DORMER  
 SECTION**

SCALE	As indicated	
SHEET	07/20/21	SET 05/11/21
SHEET		

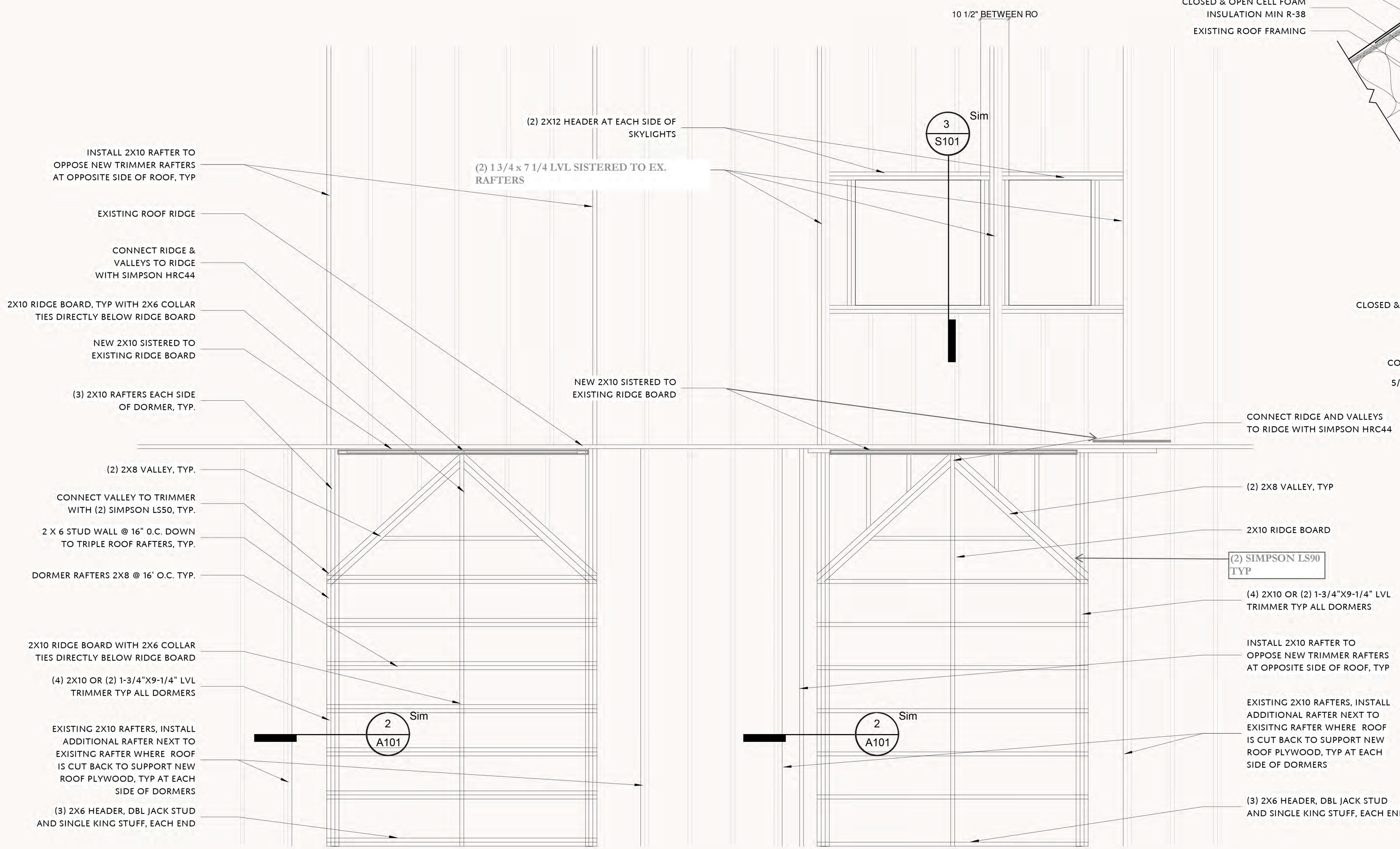
**S101**



**3 SKYLIGHT ROOF SECTION**  
 1" = 1'-0"



**2 DORMER SIDEWALL SECTION TYP.**  
 1" = 1'-0"



**1 ROOF FRAMING PLAN**  
 1/2" = 1'-0"



**OUTLINE SPECIFICATIONS**  
**GENERAL**

G-1: ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE 8TH EDITION OF THE MASSACHUSETTS STATE RESIDENTIAL BUILDING CODE, IRC 2009, AND ASCE 7.05 AND THE REFERENCED STANDARDS INCLUDED THEREIN THAT ARE APPLICABLE TO THIS PROJECT.

G-2: THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER BEFORE PROCEEDING WITH THE AFFECTED WORK. ANY VARIATIONS OR SUBSTITUTIONS OF MATERIALS OR DETAILS FROM THOSE INDICATED ON THE DRAWINGS MAY BE MADE ONLY WITH PRIOR APPROVAL OF THE PROJECT ENGINEER.

G-3: NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED OR CUT WITHOUT THE APPROVAL OF THE PROJECT ENGINEER.

G-4: FOR EXACT LOCATION OF FLOOR & ROOF OPENINGS, SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND SHOP DRAWINGS.

G-5: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB SAFETY DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO SHEETING, SHORING AND GUYING STRUCTURES, BARRIERS AND SIGNAGE.

G-6: ALL STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND SHOP DRAWINGS AND SPECIFICATIONS.

G-7: UNLESS OTHERWISE INDICATED, DETAILS SHOWN ON ANY DRAWING ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.

G-8: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, COORDINATION OF OTHER TRADES AND TECHNIQUES TO PRODUCE A SOUND AND QUALITY BUILDING. ALL DIMENSIONS, ELEVATIONS AND CONDITIONS MUST BE VERIFIED BY THE GENERAL CONTRACTOR OR RESPONSIBLE TRADES.

**DESIGN LOADS**

DL-1: THE BUILDING STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING LOADS IN ACCORDANCE WITH THE 8TH EDITION OF THE MASSACHUSETTS STATE RESIDENTIAL BUILDING CODE, IRC 2009 AND ASCE 7.05.

DL-2: SNOW LOAD: GROUND SNOW LOAD = 40 PSF;  $P_f(\text{min}) = 30$  PSF IMPORTANCE FACTOR I=1.0 DRIFTING AND SLIDING SNOW INCLUDED WHERE APPLICABLE

**DL-3: FLOOR LIVE LOAD:**

DL-3.1: LIVING AREAS	40 PSF
DL-3.2: SLEEPING AREAS	30 PSF
DL-3.3: ATTICS	20 PSF
DL-3.4: DECKS	40 PSF

DL-4: WIND: WIND VELOCITY -  $V_{ult} = 128$  MPH (3 SEC. GUST)  
DL-4.1: EXPOSURE B  
DL-4.2: IMPORTANCE FACTOR I=1.0

**EXISTING CONDITIONS**

EC-1: THESE DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF THE WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR COVERED CONDITIONS NOT SHOWN ON THESE DRAWINGS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO BIDDING AND VERIFIED THE INFORMATION HEREIN SUPPLIED.

**STRUCTURAL LUMBER**

**SL-1: CODE CONFORMANCE**

SL-1.1: NATIONAL FOREST PRODUCTS ASSOCIATION "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" INCLUDING SUPPLEMENT.

SL-1.2: AMERICAN INSTITUTE OF TIMBER CONSTRUCTION "TIMBER CONSTRUCTION STANDARDS" - AITC 100.

SL-1.3: U.S. DEPARTMENT OF COMMERCE - PS 20 FOR LUMBER.

SL-1.4: U.S. DEPARTMENT OF COMMERCE - PS 166 FOR SOFTWOOD PLYWOOD.

SL-1.5: AMERICAN WOOD PRESERVERS INSTITUTE - ST-1 STANDARDS.

**SL-2.0: MATERIALS**

SL-2.1: SOLID LUMBER (19 PER-CENT MAXIMUM MOISTURE CONTENT)

SL-2.1.1: STUDS - 2X4, 2X6 SPRUCE PINE FIR, STUD GRADE.

SL-2.1.2: FRAMING: SPRUCE PINE FIR NO. 2 - 2 INCHES THICK AND WIDER

SL-2.1.2.1: BASE DESIGN VALUES -  $F_b = 875$  PSI (1000 PSI REPEATED),  $F_v = 135$  PSI,  $E = 1400$  KSI

SL-2.2: LAMINATED VENEER LUMBER BEAMS - GLUE LAMINATED VENEER LUMBER OF SOUTHERN PINE WITH THE FOLLOWING MINIMUM DESIGN VALUES:

SL-2.2.1: BASE DESIGN VALUES -  $F_b = 285$  PSI,  $F_v = 2600$  PSI,  $E = 1,900,000$  PSI

SL-2.3: PARALAM STRAND LUMBER (PSL) - GLUE LAMINATED LUMBER STRANDS WITH THE FOLLOWING MINIMUM DESIGN VALUES

SL-2.3.1: BASE DESIGN VALUES -  $F_b = 290$  PSI,  $F_v = 2900$  PSI,  $E = 1800$  KSI

SL-2.4: PRESSURE TREATED OR "WOLMANIZED" PSI BEAMS HAVE ALLOWABLE STRESSES ADJUSTED FOR SERVICE LEVEL 1, 2 OR 3

SL-2.5: BOLTS, NUTS & WASHERS - ASTM - A307.

SL-2.6: NAILS - COMMON WIRE, EXCEPT BARBED NAILS AT PLYWOOD SHEATHING. GALVANIZED NAILS AT EXPOSED FRAMING.

SL-2.7: METAL CONNECTORS - APPROVED ITEMS OF PROPER TYPE & GAUGE AS SHOWN ON DRAWINGS - GALVANIZED.

SL-2.8: ALL CONNECTORS AND FASTENERS AT PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.

SL-2.9: PLYWOOD - APA RATED WITH EXTERIOR GLUE.

SL-2.9.1: ROOF 5/8" THICK EXPOSURE 1, 40/20 SPAN RATING

SL-2.9.2: WALLS 1/2" THICK EXPOSURE 1, 32/16 SPAN RATING

SL-2.9.3: SUBFLOORS 3/6" THICK TONGUE & GROOVE ADVANTEC OR EQUAL GLUE & NAIL

SL-2.10: PRESSURE TREATED WOOD AT ALL EXPOSED FRAMING WITH APPROVED CLEAR WATER BORNE PRESERVATIVE. ALL MEMBERS TO BE STAMPED BY APPROPRIATE AGENCY.

SL-2.11: SIMPSON STRONG TIE FRAMING CONNECTORS, FASTENERS AND HARDWARE AS PER SIMPSON STRONG TIE COMPANY WOOD CONSTRUCTION CONNECTORS MANUAL C-2013

SL-2.12: SIMPSON TITEN HD CONCRETE AND MASONRY SCREW PER SIMPSON C SAS 2009 SPECIFICATION.

SL-2.13: TIMBERLOK HEAVY DUTY FRAMING SCREW BY FASTENMASTER

**STRUCTURAL LUMBER (CONTINUED)**

**SL-3.0: CONSTRUCTION**

SL-3.1: ALL WOOD MEMBERS TO BE NAILED IN ACCORDANCE WITH MASS. STATE CODE FASTENER SCHEDULE IN APPENDIX 120.0

SL-3.2: PLYWOOD SUBFLOORS SHALL BE GLUED AND NAILED AT 6" O.C. AT ALL JOINTS AND EDGES AND 10" O.C. AT OTHER SUPPORTS.

SL-3.3: PLYWOOD ROOF SHALL BE NAILED AT 6" O.C. THRU OUT

SL-3.4: PLYWOOD SHEAR WALLS SHALL BE NAILED AT 6" O.C. AT ALL JOINTS AND EDGES AROUND ALL OPENINGS, AT TOP, BOTTOM AND ENDS AND WALL PERIMETER. BLOCK ALL EDGES.

SL-3.5: PROVIDE FASTENERS FOR ALL CONNECTORS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

**HELIOS**

179 BOYLSTON STREET, JAMAICA PLAIN, MA 02130

**REVISIONS**



**SJG ENGINEERING LLC**

6 Golden Gate Drive  
Hooksett, NH 03106  
603.232.6142  
sjgeng@comcast.net

21 Thomas

21 Thomas St.  
Jamaica Plain, MA

**OWNER:**

**MEG AND SETH  
ABRAMOWITZ**

**PHASE:**

**CONSTRUCTION**

**DRAWING TITLE:**

**STRUCTURAL  
Outline  
Specifications**

**SCALE: NOTED**

SHEET DATE 7/20/2021 SET DATE issue date

**SHEET NUMBER:**

**S - 001**

REVISION		
No.	DATE	REVISION DESCRIPTION

**SJG Engineering LLC**

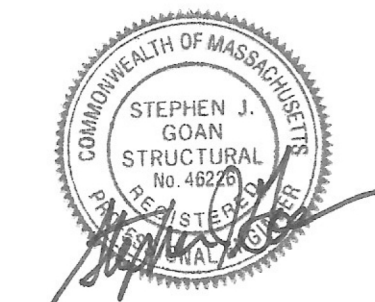
6 Golden Gate Drive

Hooksett, NH 03106

(o) 603.232.6142

(M) 207.752.3274

sjgeng@comcast.net



**21 THOMAS**

21 Thomas Street  
Jamaica Plain MA 02130

OWNER:

**MEG AND SETH  
ABRAMOWITZ**

PHASE:

**CONSTRUCTION**

DRAWING  
TITLE:

**ROOF FRAMING  
PLAN & DORMER  
SECTION**

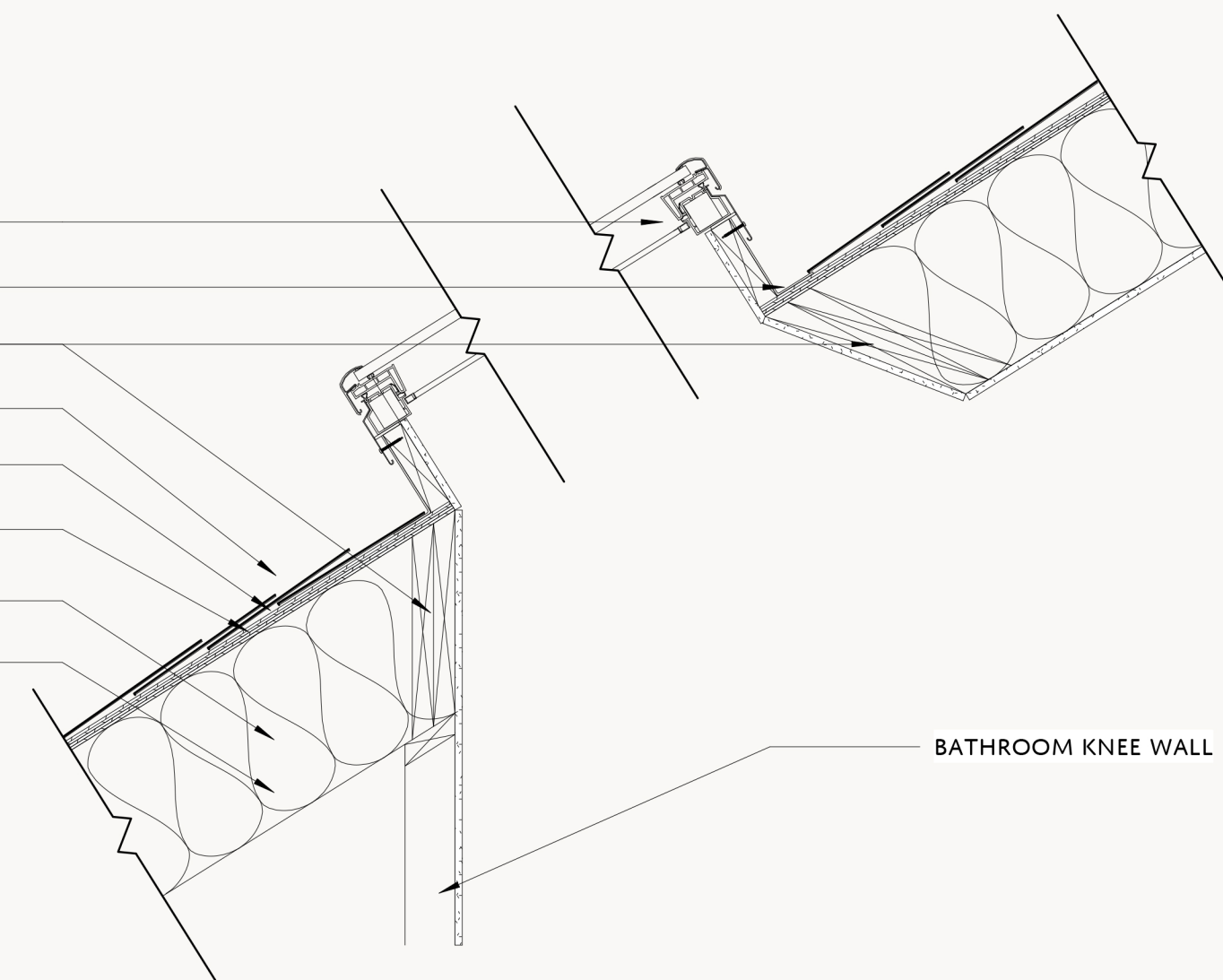
SCALE As indicated

SHEET 07/20/21 SET 05/11/21

SHEET

**S101**

- SKYLIGHT ON 2X8 CURB
- SKYLIGHT INSTALLATION & FLASHING PER MFR.
- (2) 2X12 HEADER
- ARCH. ASPHALT SHINGLE
- UNDERLAYMENT
- EXISTING ROOF SHEATHING
- CLOSED & OPEN CELL FOAM INSULATION MIN R-38
- EXISTING ROOF FRAMING



**3 SKYLIGHT ROOF SECTION**  
1" = 1'-0"

- ARCH. ASPHALT SHINGLE
- CLOSED & OPEN CELL FOAM INSUL. MIN R-38
- UNDERLAYMENT
- COLLAR TIE, SEE PLAN FOR LOCATION
- 5/8" PLYWOOD SECURELY FASTENED

- SIMPSON H2A
- BLOCKING
- ALUM. DRIP EDGE
- PTD WOOD TRIM

- CLOSED & OPEN CELL FOAM INSULATION MIN R-20
- CEDARBREATHER OVER 5/8" ZIP SYSTEM SHEATHING
- PAINTED CEDAR CLAPBOARD
- SIDEWALL FLASHING

- ADDITIONAL RAFTER SISTERED TO EXISTING RAFTER WHERE ROOF IS CUT BACK TO SUPPORT NEW ROOF PLYWOOD, TYP AT EACH SIDE OF ALL DORMERS
- EDGE OF EXISTING ROOFING PLYWOOD CUT BACK FOR NEW DORMER

- (4) 2X10 OR (2) 1-3/4"x9-1/4" LVL TRIMMER

- (2) 2X8 VALLEY, TYP
- 2X10 RIDGE BOARD
- (2) SIMPSON LS90 TYP

- (4) 2X10 OR (2) 1-3/4"x9-1/4" LVL TRIMMER TYP ALL DORMERS

- INSTALL 2X10 RAFTER TO OPPOSE NEW TRIMMER RAFTERS AT OPPOSITE SIDE OF ROOF, TYP

- EXISTING 2X10 RAFTERS, INSTALL ADDITIONAL RAFTER NEXT TO EXISTING RAFTER WHERE ROOF IS CUT BACK TO SUPPORT NEW ROOF PLYWOOD, TYP AT EACH SIDE OF DORMERS

- (3) 2X6 HEADER, DBL JACK STUD AND SINGLE KING STUFF, EACH END

**2 DORMER SIDEWALL SECTION TYP.**  
1" = 1'-0"

10 1/2" BETWEEN RO

3 Sim  
S101

(2) 2X12 HEADER AT EACH SIDE OF SKYLIGHTS

(2) 1 3/4 x 7 1/4 LVL SISTERED TO EX. RAFTERS

NEW 2X10 SISTERED TO EXISTING RIDGE BOARD

INSTALL 2X10 RAFTER TO OPPOSE NEW TRIMMER RAFTERS AT OPPOSITE SIDE OF ROOF, TYP

EXISTING ROOF RIDGE

CONNECT RIDGE & VALLEYS TO RIDGE WITH SIMPSON HRC44

2X10 RIDGE BOARD, TYP WITH 2X6 COLLAR TIES DIRECTLY BELOW RIDGE BOARD

NEW 2X10 SISTERED TO EXISTING RIDGE BOARD

(3) 2X10 RAFTERS EACH SIDE OF DORMER, TYP.

(2) 2X8 VALLEY, TYP.

CONNECT VALLEY TO TRIMMER WITH (2) SIMPSON L550, TYP.

2 X 6 STUD WALL @ 16" O.C. DOWN TO TRIPLE ROOF RAFTERS, TYP.

DORMER RAFTERS 2X8 @ 16" O.C. TYP.

2X10 RIDGE BOARD WITH 2X6 COLLAR TIES DIRECTLY BELOW RIDGE BOARD

(4) 2X10 OR (2) 1-3/4"x9-1/4" LVL TRIMMER TYP ALL DORMERS

EXISTING 2X10 RAFTERS, INSTALL ADDITIONAL RAFTER NEXT TO EXISTING RAFTER WHERE ROOF IS CUT BACK TO SUPPORT NEW ROOF PLYWOOD, TYP AT EACH SIDE OF DORMERS

(3) 2X6 HEADER, DBL JACK STUD AND SINGLE KING STUFF, EACH END

2 Sim  
A101

2 Sim  
A101

**1 ROOF FRAMING PLAN**  
1/2" = 1'-0"

**2 DORMER SIDEWALL SECTION TYP.**  
1" = 1'-0"





# SCHIEFER

WOODWORKING INC.

## **Schiefer Woodworking Site Safety Plan**

Project Address: 21 Thomas Street, Boston, MA 02130

### **Health and Safety Measures:**

- Workers onsite will complete a daily COVID-19 self-certification form.
- Workers onsite will be able to confirm they have been virus-symptom free for at least the past two weeks.
- Workers onsite will be able to confirm they have not had contact with anyone exhibiting symptoms in the past 2 weeks (to the best of their knowledge).
- If a worker onsite feels ill during the day, they will leave the site immediately.
- Wear a face mask or covering at all times.
- No handshaking.
- Have workers wash hands often with soap for at least 20 seconds or use an alcohol-based hand sanitizer with at least 60% ethanol or 70% isopropanol.
- Restrict access to the field office or trailer to only authorized personnel.
- Avoid face to face meetings as much as possible. When face to face meetings are required, the discussion shall follow social distancing. Do not convene face to face meetings of more than 10 people.
- Conduct all individual work crew meetings / tailgate talks outside and follow social distancing.
- Keep crews a minimum of 6' apart, to the maximum extent possible, to reduce the potential of cross contamination. If not possible, make sure each worker has personal protection equipment.
- Workers will be encouraged to avoid touching eyes, nose, and mouth with their hands.
- Limit multi-person activities, as much as feasible.



# COVID -19 DAILY PRE-WORK SELF CERTIFICATION

Date: \_\_\_\_\_

Project Name: \_\_\_\_\_

Company Name: \_\_\_\_\_

Employee Name: \_\_\_\_\_

Please check each box below acknowledging the above named employee is in conformance with COVID 19 Guidelines and procedures distributed by the Commonwealth of Massachusetts prior to the start of any shift. This document can be made available upon request. Please read the project Safety Plan specific to COVID 19 prior to starting work on any project.

- Prior to start of shift each employee will self-certify to their supervisor that they have no signs of a fever or a measured temperature above 100.3 degrees or greater.
- No Coughing within the past 24 hour.
- No trouble breathing within the past 24 hours.
- No close contact with an individual diagnosed with COVID 19.

"Close Contact" means living in the same household as a person who has tested positive for COVID 19, caring for a person who has tested positive for COVID19, being within 6' of a person who has tested positive for COVID19 for about 15 minutes, or coming in direct contact with secretions (e.g., sharing utensils, being coughed on) from a person who has tested positive for COVID19, while that person was symptomatic.

- Have not been asked to self-isolate or quarantine by a doctor or local public health official
- Acknowledge that a "No Congregation" policy is in effect requiring all employees to maintain 6'0" from each individual person.
- Acknowledge that it is recommended that safety glasses be worn at all times.
- Task appropriate gloves must be worn at all times when on site.
- Acknowledgement that individual has not carpooled when arriving or leaving from the jobsite.
- Acknowledge COVID 19 contractor specific JHA/SSSP training.
- Acknowledge employee has not traveled within the last fourteen (14) days to any destination within the United States that is experiencing widespread transmission or to a Level 3 Health Notice Country as identified by the CDC (Currently fifty six (56) countries as of March 27th, 2020) If employee has questions please ask your supervisor.

<https://www.cdc.gov/coronavirus/2019ncov/travelers/aftertravelprecautions.html>

**If any box is not checked the employee is not allowed to work. Please return home immediately**

**Please sign below acknowledging acceptance to work.**

Employee Signature





Commonwealth of Massachusetts  
Division of Professional Licensure  
Board of Building Regulations and Standards

**Construction Supervisor**

CS-106390

TIMOTHY SCHIEFER  
3 CHURCHILL ST  
NEWTONVILLE MA 02460

Expires: 10/10/2021



Commissioner

*Nancy W. Symonds*



## **AGREEMENT FOR CONTRACTING SERVICES**

This agreement (“the Contract”) is entered into this 2nd day of April 2021 by and between **Schiefer Woodworking Inc (“Contractor”)**, a corporation with a principal address of 1256 Main Street, Waltham, MA 02451 and Meg and Seth Abramowitz (“Client”), whose primary address is 21 Thomas Street, Jamaica Plain, MA 02130. Client owns the property located at 21 Thomas Street, Jamaica Plain, MA 02130 (“the Premises”). Contractor is a Massachusetts registered Home Improvement Contractor, Registration # 192833, and a licensed Massachusetts Construction Supervisor, License # CS 106390, in good standing with the Commonwealth of Massachusetts. Client has asked Contractor to perform certain restoration and/or renovation services on the Premises and Contractor has agreed to perform these services. This Contract, being executed by the parties on this same date, sets forth numerous terms and conditions of the parties’ agreement relative to subject restoration or renovation services.

### **I. SCOPE OF WORK**

The parties agree that Contractor shall perform the following work subject to the terms and conditions of this Contract and the parties’ Agreement: Client agrees to the Price of One Hundred Fifty-Three Thousand Nine Hundred Fifty and 00/100 Dollars (\$153,950.00) for work described in proposal from Schiefer Woodworking and in provided plans by: Helios Design Group dated March 26th, 2021 (“Plans”). Change orders, mutually agreed upon by the Client and the Contractor, will impact the scope of work and price mentioned above, and must be in writing and signed by all parties

### **Materials:**

As of the date this Contract is executed, Contractor intends to use the following materials in performance of the work: See Architectural plans from Helios Design Group dated March 26th, 2021 and proposal from Schiefer Woodworking dated March 3rd, 2021 and attached to this agreement which together constitute the Work.

**Involved Salespersons:**

The following salespersons were involved in this transaction: Timothy Schiefer, Principal of Schiefer Woodworking Inc

**II. PAYMENT**

In consideration of Contractor's performance of the Work, Client agrees to pay Contractor as the Work is completed, or partially completed, and billed to the Client. Client will initially be billed for 7% of the total project price as a deposit. Thereafter, Client will be billed every 3-5 weeks using the Expenditure Schedule attached to this document as Appendix B. At each billing, Contractor will discount bill amount by 7% so as to return the deposit to the Client over the course of the project.

**Late Payments:**

**If any payment is not made within 10 business days of invoicing, as required in this Section, Contractor may suspend work until such payment is made. Any past due payments will be subject to an 18% annual finance charge (1.5% per month) beginning with the 15<sup>th</sup> day the payment is past due.**

**III. TIME OF PERFORMANCE**

The Work shall be started on or about June 2021 and completed on or about October 2021. Changes to the Work specified in Clause I, agreed upon by the Contractor and the Client, will change the amount of time required for project completion. Contractor shall not be responsible to Client for any damages or losses allegedly caused by any delay in the performance of the specified work. In the event that there is a delay in work due to a government agency, weather conditions, change orders, Client delays, acts of war, acts of terrorism or acts of God, the date the Work shall be completed shall be extended accordingly. Changes to the Work specified in Clause I, agreed upon by the Contractor and the Client, shall extend the date of completion of the Work accordingly. Unforeseen circumstances created



by existing conditions or by the local department of inspectional services shall extend the date of completion of the Work accordingly.

#### **IV. COMPLETION OF WORK**

The Work shall be considered Substantially Complete when all of the following conditions are satisfied:

- 1) Approval by Client that the Work is Substantially Complete and was performed in a good workmanlike manner using new and first quality materials, provided that Client's approval shall not be unreasonably withheld.
- 2) Final inspections have begun.

#### **V. PUNCHLIST**

After the Work is Substantially Complete, a punch list will be created by the Client and approved by the Contractor. Upon approval, Contractor will be given adequate time to address items on the punch list but in no event more than sixty (60) days unless prevented due to back order of materials. Upon completion of the punch list final payment will be made.

#### **VI. CHANGE ORDERS**

This Contract, including the provisions relating to price and payment schedule, cannot be modified or amended except by a written Change Order signed by both Contractor and Client or via email. Any additional work not included in Section I of this Contract ("Scope of Work") will be presented as a written Change Order or communicated via email. Change Orders may be due to Client's request or to hidden or unforeseen conditions discovered by Contractor. In any case, work will not commence until a signature or written authorization is obtained from the Client or Client's representative. All Change Orders are considered amendments to this Contract and are subject to all terms and conditions of this Contract unless otherwise stated on the Change Order. Work will be done at a rate of \$95 per man hour plus materials costs with a 20% mark up unless specified otherwise in the Change Order.

## **VII. PERMITS**

It shall be Contractor's obligation to obtain any and all necessary construction-related permits related to the Work. Contractor shall not be responsible for delays in the Work where such delays arise from the inaction, inefficiency, mistakes or negligence of any government agency, regulatory body, or other permit authority or any employees or agents thereof.

**Note: Clients who secure their own construction related permits or deal with unregistered contractors shall be excluded from the Massachusetts Guarantee Fund which provides reimbursement for damages suffered by homeowners because of a contractor's acts or omissions.**

## **VIII. INSURANCE**

Contractor provides insurance to protect the Client against injuries to Contractor's employees and subcontractors during the performance of the Work. Contractor shall furnish Client with certificates of such insurance upon request.

However, Client shall be solely responsible for ensuring adequate insurance coverage or other protection for subcontractors or other workers hired, retained or provided directly by Client. Client agrees to indemnify and hold Contractor harmless from any and all claims, damages and liabilities arising from injury to such other subcontractors or workers.

## **IX. WARRANTIES AND WORKMANSHIP**

### **A. Workmanship**

Contractor will complete the Work in a substantial and good workmanlike manner according to standard practices prevalent in Contractor's trade and in accordance with all state and local codes.

### **B. Repair or Replacement by Contractor**

Contractor agrees to repair or replace, at its option, any substantial



defects in workmanship or materials supplied by Contractor for a period of one year from date of Substantial Completion, with the one year commencing on punch list items on the date each is completed. This warranty shall survive any inspection performed in connection with the Work. The warranty shall not apply to damages or defects arising from normal wear and tear under normal usage, nor to damages or defects arising from Client's neglect or other failure to properly use and maintain and portion of the Work.

### **C. Client's Duty to Notify Contractor of Complaints or Dissatisfaction**

Contractor wants Client to be completely satisfied with all aspects of the Work. However, such satisfaction requires that Client notify Contractor in a timely manner of any complaints, concerns, or dissatisfaction with the Work. Thus, Client agrees to promptly notify Contractor of any complaint, concern, or dissatisfaction with the Work.

### **D. Client Obligation to Allow Contractor Right to Remedy**

Client agrees to allow Contractor, whenever practicable, a reasonable opportunity of 30 days to make any corrections and modifications to the Work necessary to achieve compliance with applicable laws, regulations, ordinances and codes, as well as with any warranties, and also to achieve Client's complete satisfaction. If Client does not provide Contractor such reasonable opportunity, then Contractor shall not be liable to Client for any damages suffered by Client -- including but not limited to damages for breach of contract -- that arise out of any aspect of the Work for which Client did not provide Contractor such reasonable opportunity.

### **E. No Warranty Where Contractor Lacks Complete Control**

Notwithstanding any other provisions of this Contract, Contractor does not warranty or otherwise guarantee the quality of any work where Contractor did not have full control of the purchasing, delivering, and installation of materials. Further, Contractor does not warrant or otherwise guarantee the quality of any work performed by persons or entities other than Contractor's employees or subcontractors.

## **F. Warranties for Contractor Supplied Equipment**

All warranties for equipment supplied by the Contractor under this Agreement shall be those given by the manufacturers of such equipment, which shall be and are hereby passed through directly to the Client. Contractor warrants that such equipment was installed based on manufacturer's specifications. Under such manufacturers' warranties, Client may be required to register or mail in a warranty card or other evidence of ownership and use of such equipment in order to activate such warranties. Client's failure to mail in or register such documentation, which failure voids or otherwise limits the manufacturer's warranty, shall not create any responsibility for the Contractor to warranty such equipment.

## **G. Client-Supplied Materials**

Contractor will bill Client for any Client-supplied materials which Contractor installs but which need to be replaced or repaired for any reason. In addition, Client agrees to hold Contractor harmless for any damage to the Premises caused by faulty or defective materials provided by Client. Client shall be solely responsible for such damage.

## **X. SUBCONTRACTING**

Those portions of the Work that Contractor does not customarily perform with its own personnel shall be performed under subcontracts or by other appropriate agreements with Contractor. Contractor agrees that, notwithstanding any agreement for materials and/or labor between Contractor and a third party, Contractor is responsible to Client for completion of all work described in a timely and workmanlike manner.

Client agrees that the direct supervision of the workers, including subcontractors, unless hired by the Client, rests exclusively with Contractor. Contractor agrees to be on site for all inspections and for the majority of time that Work is being performed. In addition, Client agrees not to issue any instructions to such workers regarding performance of the work. Client further agrees not to interfere in any way with Contractor's relationship with its subcontractors or other workers.

**\*Please note that Contractor does not warranty or otherwise guarantee the quality of any work performed by persons or entities other than Contractor's employees or subcontractors.**

## **XI. HOME IMPROVEMENT CONTRACTOR REGISTRATION**

Unless specifically exempt from registration by provisions of Chapter 142a of the General Laws, all Massachusetts home improvement contractors and subcontractors engaged in home improvement contracting must be registered with the Commonwealth of Massachusetts.

Inquiries about registration and status should be made to:

**Office of Consumer Affairs and Business Regulation  
Ten Park Plaza, Suite 5170  
Boston, MA 02116  
(617) 973-8700**

**\*Clients who deal with unregistered contractors shall be excluded from the Massachusetts Guarantee Fund which provides reimbursement for damages suffered by homeowners because of a contractor's acts or omissions.**

Contractor's Registration information is as follows:

*Registrant's Name: Timothy Schiefer (Owner Schiefer Woodworking, Inc)  
HIC Registration Number: 172989  
MA Construction Supervisor License Number: CS 106390*

## **XII. RIGHT TO CANCEL**

Client may cancel this Contract provided that Client notifies Contractor in writing at Contractor's main office or branch by mail, facsimile, electronic mail or hand delivery received not later than midnight of the third business day following the signing of this Contract.



Client may also cancel this Contract without penalties if work is substantially delayed without reasonable cause, or if Contractor is unable or unwilling to complete the work on schedule, or if quality of work is poor. Delays directly caused by Client's failure to choose materials, appliances, or make other work-related decisions, shall not constitute a reason for cancellation. The parties shall make a good faith effort to resolve disputes prior to cancellation.

In case of cancellation, Client agrees to pay Contractor for all work performed to date, and materials ordered or delivered.

### **XIII. DISPUTE RESOLUTION**

If any dispute arises under the terms of this agreement, the parties agree to select a mutually agreeable neutral third party to help them mediate it. If an agreeable third party cannot be found, or if mediation is deemed unsuccessful, the parties agree that the dispute shall be directly submitted to binding arbitration under the rules issued by the American Arbitration Association. The decision of the arbitrator shall be final.

### **XIV. ADDITIONAL TERMS AND CONDITIONS – Please Read**

#### **A. Client Signing of Satisfaction Statement When Work Complete**

Client agrees, upon completion of the Work according to the terms of this Contract and to Client's complete satisfaction, to sign a statement provided by Contractor stating that the work has, in fact, been completed according to the terms of the Contract and to Client's complete satisfaction.

#### **B. Matching Existing Finishes and Materials**

Contractor shall use its best efforts to match existing finishes and materials. However, due to factors beyond Contractor's control, Contractor does not guarantee an exact match. These factors include, but are not limited to, discoloration from aging; differences in dye lots; and the difficulty of precisely matching certain finishes, colors, and surfaces.

### **C. Photography**

Contractor may photograph the project before, during, and after construction for public relations and marketing documents. Contractor shall maintain Client's anonymity in photographs. The photographs shall be the sole property of Contractor.

### **D. Non-Binding Items**

Any specifications, drawings, letters, pricing, or conversation between Client and Contractor prior to acceptance of this Contract and not referenced herein, are to be used as guides only and are not binding upon Contractor, unless formally agreed upon between contractor and client (e.g. via change order, email acknowledgement, contractor project website)

### **E. Indemnification**

Client and Contractor each agree to indemnify and hold the other harmless, as well as their respective officers, employees, agents and representatives, from and against liability for all claims, losses, damages and expenses, including reasonable attorney's fees, to the extent such claims, losses, damages, or expenses are caused by the indemnifying party's negligent acts, errors or omissions. In the event claims, losses, damages or expenses are caused by the joint or concurrent negligence of the Client and Contractor, they shall be borne by each party in proportion to its negligence.

### **F. Force Majeure – Matters Beyond Parties' Control**

Neither party shall be deemed in breach of this Contract to the extent that any delay or failure in the performance of its obligations results from any cause beyond its reasonable control and without its negligence.

## **G. Hazardous Materials**

It is the responsibility of the Contractor to report any hazardous materials or potentially dangerous work environments existing or produced on any job site. Contractor will notify Client of any dangerous materials or conditions. Client will have 48 hours to respond. Contractor is not responsible for the removal/abatement of hazardous materials unless contracted to do so. All expenses, delays in production and fines (if applicable) are the sole responsibility of the Client.

## **H. Amendments**

This Contract may be modified or amended only by a subsequent writing executed by the parties or their designated agents or representatives.

## **I. Waiver**

If either party fails to enforce or attempt to enforce any term or condition of this Contract, or otherwise allows a breach to occur without attempt at remediation, such failure to act shall not be construed as a waiver by that party of any of that party's rights or benefits under this Contract. Neither party shall be deemed to have waived any rights or benefits under this Contract unless such waiver is made in a writing executed by the party, or by the party's authorized agent or representative, and which specifically refers to this Contract.

## **J. Applicable Law**

This Contract is subject to and shall be interpreted and enforced in accordance with the laws of the Commonwealth of Massachusetts in all respects. Likewise, any and all disputes arising out of this Contract shall also be subject to and governed by the laws of the Commonwealth of Massachusetts in all respects (and without regard to conflict of law principles).

**K. Severability**

If any portion of this Contract is adjudged to be invalid, against public policy, or otherwise unenforceable, such ruling shall not invalidate or otherwise render unenforceable any other provision(s) of this Contract not so adjudged.

**L. Copy of Agreement to be Given to Client**

This Contract is governed by the laws of the Commonwealth of Massachusetts. Pursuant to Massachusetts law, the Agreement must be executed in duplicate, and an original signed copy must be given to Client at the time of execution. No work under the Agreement shall begin before the Agreement has been signed and Client has received an original signed copy.

**M. Acceptance of Contract**

Client is hereby advised not to sign this Contract unless and until all blank sections have been filled in or marked as void, deleted or not applicable and until all exhibits and documents referenced herein (if any) are attached hereto.



Client's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Print: \_\_\_\_\_

Contractor, Schiefer Woodworking, Inc.:

\_\_\_\_\_ Date: \_\_\_\_\_  
By it's President, Timothy E. Schiefer

## **Appendix A**

## Schiefer Woodworking

**Schiefer Woodworking, Inc.**  
1256 Main St • Waltham, MA 02451 • Phone: (617) 610-3861

Meg Abramowitz

21 Thomas St  
Jamaica Plain, MA

Print-date: 4-1-2021

### Price Breakdown

Code	Description	Qty / Unit	Unit Price	Price
1010 - Permits and Fees	Aquire all necessary permits	1	2,124.00	\$2,124.00
1130 - Engineering	By other	1	0.00	\$0.00
1150 - Supervision/Management	Stand for all inspections, supervise subs, manage schedule and budget.	1	10,000.00	\$10,000.00
1160 - Clean-up / Set-up / Organize	Daily site prep	1	2,000.00	\$2,000.00
1170 - Materials Handling (On/Off-Site)	Materials runs, loading and unloading	1	2,000.00	\$2,000.00
1200 - Site Protection	Protect floors and non construction areas from damage	1	1,536.00	\$1,536.00
1300 - Demolition	Demo existing master bath	1	5,000.00	\$5,000.00
1350 - Debris Removal/Dumpster	Allow for two 20 yard dumpsters	2	767.00	\$1,534.00
3150 - Materials (Interior/Exterior)	Framing material, plywood, flat stock, trim, sealants, fasteners, etc.	1	14,160.00	\$14,160.00
3220 - Interior Carpentry/Finished Trim (Labor)	Framing, blocking, strapping, layout, trim work, hardware installation, cabinet installation, etc.	1	18,000.00	\$18,000.00
3300 - Doors/Windows Installation and Repair	Allow for new door and window installation	1	2,032.00	\$2,032.00
3310 - Doors (Materials)	Allow for one new door to bathroom	1	708.00	\$708.00
3320 - Windows (Materials)	Allow for 3 new windows	1	2,832.00	\$2,832.00
3500 - Custom Cabinetry Fabrication	Allow for two custom vanities	1	10,000.00	\$10,000.00
3610 - HVAC (Heating and Cooling)	Heated floor in tile number	1	0.00	\$0.00
3720 - Plumbing	Allowance: new shower, toilet, two vanities and tub.	1	15,340.00	\$15,340.00

3726 - Plumbing Fixtures	Allowance: Shower fixtures, toilets, tub and faucets, sinks and faucets, hardware. To be purchase by other	1	10,000.00	\$10,000.00
3810 - Electrical	Allowance: for bathroom(s)	1	10,030.00	\$10,030.00
3815 - Electrical fixtures	By other	1	0.00	\$0.00
3900 - Insulation	Allowance:	1	4,720.00	\$4,720.00
5100 - Board and Plaster	New walls and ceilings where necessary Misc patching	1	6,490.00	\$6,490.00
5300 - Painting—interior	Prep, prime and paint new baths and affected areas	1	5,000.00	\$5,000.00
5450 - Countertops	Allowance: stone for vanities, shower curbing	1	4,720.00	\$4,720.00
5510 - Tile	Allowance: for bathrooms and floor heat	1	16,520.00	\$16,520.00
5515 - Tile Materials (Ceramic Tiles, Grout, etc)	Allowance: Misc tiles	1	4,720.00	\$4,720.00
5610 - Hardware (Doors, Bathroom and Cabinetry)	Allowance: by other	1	0.00	\$0.00
5620 - Shower doors and Mirrors	Allowance: glass doors	1	4,484.00	\$4,484.00

**Total Price: \$153,950.00**

**Signature**

\_\_\_\_\_

**Print Name:**

\_\_\_\_\_

**Date:**

\_\_\_\_\_

## **Appendix B**





Client's Signature: M. Deli Date: 4/2/21

Print: Margaret Abramowitz

Contractor, Schiefer Woodworking, Inc.:

\_\_\_\_\_ Date: \_\_\_\_\_  
By it's President, Timothy E. Schiefer

# CITY of BOSTON

## COVID-19 Safety Plan - Compliance Affidavit

The undersigned Permittee (“Contractor”) certifies the following under the pains and penalties of perjury:

The Contractor hereby acknowledges the City’s concerns regarding safety at the Project worksite due to the COVID-19 pandemic. The Contractor agrees that it shall conduct its operations in strict compliance with all applicable regulations, guidelines, and requirements imposed by the Center for Disease Control (“CDC”), Occupational Safety and Health Administration (“OSHA”), and that it will comply with the Commonwealth of Massachusetts COVID-19 Guidelines and Procedures for All Construction Sites and Workers at All Public Work, as well as Industry Best Practices involving COVID-19 construction safety.

The Contractor understands that it is the Contractor’s responsibility to develop, maintain, and follow a written project-specific COVID-19 Safety Plan specifying how it will meet its obligations. The Contractor understands that the City’s Covid-19 Construction Site Best Practices Worksheet, attached hereto as **Exhibit A**, is a sampling of the CDC, OSHA, Commonwealth of Massachusetts, and industry best practices to help address potential project hazards due to COVID-19. The Contractor also understands that the City provided **Exhibit A** merely as a baseline for the Utility to reference when crafting the Utility’s own project-specific COVID-19 Safety Plan. The Contractor acknowledges that it is also responsible for consulting with guidance provided by the CDC, OSHA, Commonwealth of Massachusetts, and Industry Best Practices when crafting its COVID-19 Safety Plans.

The Contractor certifies that it has created and implemented a COVID-19 Safety Plan for the site subject to this permit that complies with, and will satisfy, all regulations, guidelines, and requirements imposed by the CDC, OSHA, and the Commonwealth of Massachusetts COVID-19 Guidelines and Procedures for All Construction Sites and Workers at All Public Work that are applicable to the site. Specifically, the Contractor certifies that the COVID-19 Safety Plan for this site achieves each of the Best Practices listed in **Exhibit A**, or that the plan specifies why a listed Best Practice is not applicable to the job site. The Contractor also certifies that each Subcontractor, Sub-subcontractor, and other parties that will perform work on the Project worksite will also comply and will satisfy these requirements.

The Contractor agrees that the COVID-19 Safety Plan shall be in place and submitted to ISD or Public Works before any work may begin. The Contractor agrees to provide their COVID-19 Safety Plan to any City Inspector, and all workers, on-site. The Contractor understands that the City’s acceptance of the Contractor’s COVID-19 Safety Plan is not an explicit or implied approval of the measures taken to combat the COVID-19 pandemic by the Contractor.

The Contractor acknowledges and agrees that non-compliance with any of the requirements above, including failure to abide by its own COVID-19 Safety Plan, may result in suspension or termination of work in progress or revocation of the City’s permit for such work; provided, however that the City reserves the right to allow the Contractor the opportunity to immediately correct or cure violations prior to the City issuing a suspension or termination of work in progress or revocation of the City’s permit for such work.

Dan C Johnson

Signature of Authorized Representative

Dan Johnson

Type/Print Representative’s Name

Director dan@schieferwoodworking.com

Type/Print Title and Contact Info

Schiefer Woodworking, Inc

Type/Print Name of Contractor

5/18/2020

Date

Office of Consumer Affairs and Business Regulation  
1000 Washington Street - Suite 710  
Boston, Massachusetts 02118  
Home Improvement Contractor Registration

SCHIEFER WOODWORKING, INC.  
1256 MAIN ST  
WALTHAM, MA 02451

Type: Corporation  
Registration: 192833  
Expiration: 08/19/2022

---

---

---

---

Update Address and Return Card.

Office of Consumer Affairs & Business Regulation  
**HOME IMPROVEMENT CONTRACTOR**  
TYPE: Corporation

Registration      Expiration  
192833              08/19/2022

SCHIEFER WOODWORKING, INC.

Registration valid for individual use only  
before the expiration date. If found return to:  
Office of Consumer Affairs and Business Regulation  
1000 Washington Street - Suite 710  
Boston, MA 02118

TIMOTHY E. SCHIEFER  
1256 MAIN ST  
WALTHAM, MA 02451

  
Undersecretary

---

Not valid without signature



SCHIWO-01

ABOOTHBY

# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

1/4/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> <b>Armfield, Harrison &amp; Thomas, LLC</b> 458 South Ave. Whitman, MA 02382	<b>CONTACT NAME:</b> Christine Costa <b>PHONE (A/C, No, Ext):</b> (781) 447-5531 <b>FAX (A/C, No):</b> (781) 447-7230 <b>E-MAIL ADDRESS:</b> ccosta@ahtins.com
<b>INSURER(S) AFFORDING COVERAGE</b>	
<b>INSURED</b>	<b>NAIC #</b>
<b>Schiefer Woodworking Inc.</b> 1256 Main Street Waltham, MA 02451	<b>INSURER A : Main Street America Assurance</b> <b>29939</b>
	<b>INSURER B : NGM Insurance Company</b> <b>14788</b>
	<b>INSURER C : AmGUARD Insurance Company</b> <b>42390</b>
	<b>INSURER D :</b>
	<b>INSURER E :</b>
	<b>INSURER F :</b>

**COVERAGES                                          CERTIFICATE NUMBER:                                          REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
<b>A</b>	<input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b>  <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR   GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			<b>MPP8773U</b>	<b>7/2/2020</b>	<b>7/2/2021</b>	EACH OCCURRENCE \$ <b>2,000,000</b> DAMAGE TO RENTED PREMISES (Ea occurrence) \$ <b>500,000</b> MED EXP (Any one person) \$ <b>10,000</b> PERSONAL & ADV INJURY \$ <b>2,000,000</b> GENERAL AGGREGATE \$ <b>4,000,000</b> PRODUCTS - COMP/OP AGG \$ <b>4,000,000</b> \$
<b>B</b>	<b>AUTOMOBILE LIABILITY</b>  <input type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY			<b>M1P8773U</b>	<b>7/2/2020</b>	<b>7/2/2021</b>	COMBINED SINGLE LIMIT (Ea accident) \$ <b>1,000,000</b> BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<b>UMBRELLA LIAB</b> <input type="checkbox"/> OCCUR <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE  DED    RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
<b>C</b>	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> Y / N ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input checked="" type="checkbox"/> N <b>(Mandatory in NH)</b> If yes, describe under DESCRIPTION OF OPERATIONS below		<b>N / A</b>	<b>SCWC171008</b>	<b>12/31/2020</b>	<b>12/31/2021</b>	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ <b>1,000,000</b> E.L. DISEASE - EA EMPLOYEE \$ <b>1,000,000</b> E.L. DISEASE - POLICY LIMIT \$ <b>1,000,000</b>

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

**CERTIFICATE HOLDER**

**CANCELLATION**

	<p>SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.</p>
<p style="text-align: center;">AUTHORIZED REPRESENTATIVE   </p>	

## Rating Information

Last Updated: 12/31/2020 1:30 AM

Combo ID : 000983417  
 FEIN : 473945285  
 Coverage ID : 1036071

Schiefer Woodworking Inc  
 1256 Main St  
 Waltham, MA 02451

### RATING TYPE KEY

N : Normal  
 C : Contingent (missing USR data)  
 P : Preliminary (pending rate revision)  
 B : Both Preliminary and Contingent

### RATING RESULT KEY

DNQ : Did not qualify  
 MER : Merit Rating  
 CAL : Experience rating mod or ARAP was calculated  
 ENT : Entered Manually

### RATING STATUS KEY

ISS : Issued  
 NCC : No Current Coverage

EFF DATE	EXP DATE	FACTOR	ARAP	RATING RESULT	RATING STATUS	STATUS DATE	RATING TYPE
12/31/2020	12/31/2021	0.97	1.00	CAL	ISS	08/06/2020	N
12/31/2019	12/31/2020	0.89	1.00	CAL	ISS	07/25/2019	N
12/31/2018	12/31/2019	0.90	1.00	CAL	ISS	07/25/2018	N

<< Search Results

New Search

As of Tuesday, May 31, 2011 - Interstate Ratings are no longer available from this site. Interstate Ratings and Massachusetts ARAP factors associated with interstate Ratings are available from NCCI