Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3

mckay architects

New Residence
32 Malcolm Rd
Jamacia Plain, MA

April 10, 2024
Updated 5.28.2024
Updated 7.9.2024

GENERAL NOTES

General:
1. The governing building code for the design and construction is the Massachusetts State Building Code for 1& 2 family dwellings (9th edition).
2. Architectural drawings shall be used in conjunction with structural, mechanical, electrical and shop drawings.
3. The contractor shall confirm all dimensions and notify architect of any discrepancies, ambiguities, or inconsistences prior to proceeding with the work. The contractor shall also notify the architect, prior to proceeding with the work, if any construction needs to be adjusted due to field conditions.
4. An assumption has been made that the elevation difference between the garage slab and the first floor is 24" the general contractor shall notify the architect if this is inconsistent with the site conditions prior to beginning construction.
5. All flashing in contact with pressure treated lumber shall be corrosion resistant.
6. All ductwork and hot water piping shall be insulated and where necessary, a vapor barrier for the ductwork will be provided to prevent condensation.
7. All chimneys to be constructed so the top of the flue is 2'-0" above any roof/wall within 10'-0".
8. Provide continuous pitch break vents at all roof/wall intersections where soffit vents are installed.

Dimensions:
1. Dimensions standards within the documents are as follows unless otherwise noted:
   a. Dimensions to exterior walls are from outside face of a stud or concrete wall
   b. Dimensions at windows and exterior doors represents a dimension to the center of that opening from the center of another opening or the outside face of a stud or concrete wall.
   c. Interior dimensions at stud walls represents a dimension to the middle of the stud (unless interior wall is also an exterior wall, then dimension is to face of stud).
2. Interior dimensions at stairs represents a dimension to the finished face of the stair.
3. Dimensions/locations of walls enclosing tub/shower units, pre-manufactured fireplaces and all other built-ins must be confirmed with the fixture manufacturer for the required RO and attachment.
4. Dimensions depicting the building height, shown of the architectural and structural drawings are for the building and building components only. The overall building height depicted is from the 1st floor deck. The owner/G.C. is responsible for coordinating and establishing the grade relative to the 1st floor, to ensure compliance with zoning and building code height requirements.
5. All dimensions from existing surfaces are from face of existing surface.
6. Closet doors that are not dimensioned are typically centered within the closet.
7. All other doors that are not dimensioned are typically 4" to 6" (depending on the finish casing width) from face finish to the door opening on the butt side.
8. Dimensions locating cased openings are typically dimensioned to the center of that opening unless otherwise noted.

Stairways/Balconies:
1. Stairways shall not be less than 3'- 0" in clear width at all points above the permitted handrail height and below the required headroom height. Maximum riser height shall be 8 ¼". Minimum tread depth shall be 4" with nosing not to exceed 1 ¼". Wider treads shall have a min depth equal to the straight run tread depth at a distance of 12" from the narrower side with a min. tread depth of 3" at any point. Minimum headroom shall be 6' 6" measured vertically from the sloped plane adjoining the tread nosing or from the floor surface of a landing or platform.
2. Handrails shall be provided on at least one side of each continuous run of treads or flight of stairs with 4 or more risers. Minimum height shall not be less than 34" with a maximum not to exceed 38". Handrails shall be continuous for the full length of the flight.
3. Guardrails, 36" minimum in height, shall be installed in floor, porch, and/or balcony area more than thirty (30) inches above a floor or grade below. Guardrails on open sides of stairs, with a total rise of more than thirty (30) inches above a floor or grade below, shall be not less than 34" in height measured vertically from the nosing of the treads. The maximum clear opening between rails, balusters, and floors shall not exceed four (4) inches.

Exception:
1. The triangular openings formed by the riser, tread and bottom rail of a guard at the open side of a stairway may be of such a size that a six inch (6) sphere cannot pass through. Openings for required guards on the sides of stair treads shall not allow a sphere 4-3/8 inches to pass through.

4. An insulated door shall be provided at the top of unfinished basement stairs or insulate the walls and the underside of stairs and provide an insulated door at the bottom of basement stairs.
5. An insulated door shall be provided at the top of attic stairs or insulate the walls and underside of stairs and provide an insulated door at the bottom of attic stairs. Emergency escape and rescue openings.

Emergency Escape and Rescue Openings/Exterior Windows and Doors:
1. Window sizes shown on the drawings are based generically and the owner (or general contractor where applicable) shall choose the final manufacturer. Window sizes shall be verified by the general contractor prior to ordering rough opening sizes shall be provided by the manufacturer.
2. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain more than one sleeping room, each shall have an emergency escape and rescue opening but adjoining areas shall nor require one. Emergency escape and rescue openings shall meet the following criteria:
   a. Sill height shall not be more than 44 inches above the floor.
   b. Where a door having a threshold below the adjacent ground elevation is used as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead shall provide direct access to the basement and when the bulkhead is fully opened it shall provide the minimum net clear opening of 5.7 square feet.
   c. Emergency escape and rescue openings with a sill elevation below the adjacent ground elevation shall be provided with a window well with a minimum horizontal area of 9 square feet and a minimum horizontal projection of 36". The window well shall allow the emergency escape and egress opening to be fully opened.
   d. All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet.

Exceptions:
1. Grade floor openings shall have a minimum net clear opening of 5.0 square feet
2. Double hung windows used for emergency escape shall be permitted to have a new clear opening of 3.3 square feet provided that at least one operable sash meets the minimum height and width requirements and operations constraints.

   e. The minimum net clear opening shall be 24 inches x 20 inches in either direction
   f. Emergency escape and rescue openings shall be operational from the inside without the use of key's or tools
   g. In dwelling units, where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Operable sections of windows shall not permit openings that allow passage of a 4 inch diameter sphere where such openings are located within 24 inches of the finished floor.

Exceptions:
1. Windows whose openings will not allow a 4 inch diameter sphere to pass through the opening when the opening is in its largest opened position
2. Openings that are provided with window fall prevention devices that comply with section R6123.
3. Openings that are provided with fall prevention devices that comply with ASTM F2040.
4. Windows that are provided with openings limiting devices that comply with section R6124.

Egress:
1. Stairways, ramps, exterior exit balconies, hallways and doors shall meet all minimum egress requirements.
2. All required exits shall be positively anchored to the primary structure to resist both vertical and lateral forces.
3. Enclosed accessible space under stairs shall have walls, under stair surface and any soffits protected on the enclosed side with ½" gypsum board.
4. Hallways shall be minimum of 3 feet clear
5. Egress from dwelling units shall be by means of two exit doors. The minimum normal width of at least one of the required exit doors shall be not less than 36" with a nominal height shall of six feet eight inches and side hinged. All other required exit doors shall not be less than 32" in nominal width or six feet eight inches in nominal height and may be sliding or side-hinged.
6. Egress through an attached garage is permitted provided that the attached garage is also provided with a 32" exit door
7. All other exterior doors in excess of the two required exit doors are not required to comply with these minimum dimensions.
8. All interior doors providing access to habitable rooms shall have a nominal width of 30 inches and nominal height of six feet 6 inches except bathrooms which are permitted to be 24 inches in nominal width.
9. A floor or landing shall be provided on each side of an exterior door. The width of each landing shall not be less than the door served and have a minimum dimension of 36 inches measured in the direction of travel.

Minimum Room Requirements:
1. Habitable rooms, hallways, corridors, bathrooms, toilet rooms, laundry rooms and basements shall have a ceiling height of not less than seven (7) feet measured from the finish floor to the lowest projection from the ceiling

Exceptions:
1. Beams and girders spaced not less than four (4) feet on center may project not more than six (6) inches below the required ceiling height
2. Ceilings in basements without habitable space may project to within six feet eight inches of the finished floor except that beams, girders, ducts and other obstructions may project to within six feet four inches of the finished floor.
3. Not more than 50% of the required floor area of a room is permitted to have a sloped ceiling less than seven feet in height with no portion of the required floor area less than five feet in height.
4. Bathrooms shall have a minimum ceiling height of six feet eight inches over the fixture and at the front clearance area for the fixtures. A shower or tub with a showerhead shall have a minimum ceiling height of six feet eight inches above a minimum 30" X 30" area at the showerhead.

2. Every dwelling shall have at least one habitable room with a gross floor area of at least 150 square feet
3. Other habitable rooms shall have a floor area of not less than 70 square feet except kitchens
4. Habitable rooms shall not be less than seven feet in any horizontal except kitchens
5. Portions of a room with a sloping ceiling measuring less than five (5) feet or a furred ceiling measuring less than seven (7) shall not be considered as contributing to the minimum required habitable area for that room.

Roofing and Siding:
1. Provide continuous 3' 0" wide fiberglass reinforced, bituthene, ice and water shield at all roof edges, centered on all valleys and at roof wall intersections carried 1' 0" up the wall (refer to manufacturers installation instructions).
2. Provide aluminum step flashing at roof/wall and roof/chimney intersections.
3. Provide aluminum flashing over all window and doors head trim and at the connection between all exterior walls and exterior decks.
4. Provide continuous soffit vents or continuous venter drip edge at all soffit overhangs
5. Provide15" felt under all roof shingles (unless specified otherwise).
6. Provide continuous ridge vents (unless specified as otherwise). See building elevation for extent.
7. All gutters and downspouts to be prefinished alum. Color to be selected by owner.

Light/Ventilation and Insulation:
1. All habitable rooms shall be provided with aggregate glazing of not less than 8% of the floor area being ventilated.

Exceptions:
a. The glazed areas need not be openable when the opening is not required to be an emergency escape and rescue opening and an approved mechanical ventilation system is provided capable of producing 0.35 air exchange per hour in the room or a whole-house mechanical ventilation system is installed capable of supplying outdoor ventilation air of 1.5 CFM per occupant with 2 for the first bedroom and one for every additional bedroom.
b. The glazed areas need not be provided in rooms where the above exception is met and artificial light is provided capable of producing an average illumination of six foot candles over the area of the room at a height of 30 inches.

2. All bathrooms, water closet compartments and other similar rooms shall be provided with aggregate glazing area of not less than three square feet, ½ of which must be openable.

Exception:
a. The glazed area shall not be required where artificial light and a mechanical ventilation system are provided. Ventilation air from the space shall be exhausted directly to the outside.

3. Attic ventilation with a ceiling vapor barrier, provide at least one (1) square foot of free area for each three hundred (300) square feet of ceiling area.
4. Attic ventilation without a ceiling ventilation vapor barrier, provide at least one (1) square foot of free area for each one hundred-fifty (150) square feet of ceiling area.
5. The contractor is responsible to provide a moisture barrier and properly insulate all walls and ceilings to air leakage into unconditioned spaces.
6. If mechanical, electrical or plumbing equipment is to be placed in attics, eves, overhangs and other similar unconditioned, uninsulated spaces, the contractor is responsible to provide a proper enclosure, insulation, direct ventilation, etc. to avoid moisture, condensation, freeze thaw, ice damming, and other similar issues.

Plumbing:
1. All sanitary lines within walls and floors adjoining living spaces are to be sound insulated.
2. All plumbing within wall or floor cavities which border unconditioned spaces are to be insulated and on the warm side of the cavity insulation to avoid freezing.

Smoke and Carbon Monoxide Detectors/Alarms:
1. Combination smoke and carbon monoxide alarms are acceptable provided said alarms have simulated voice and tone alarms the clearly distinguish between the two types of emergencies. If combination alarms are to be used than all required criteria for smoke and carbon monoxide detectors need to be met.
2. Fire departments are required to inspect, upon sale or transfer, all dwelling units for required smoke and carbon monoxide detectors.
3. Consumers shall check with local building and/or fire officials for accepted alarm types and locations for proper installation in accordance with all applicable codes and regulations.

Smoke Alarms/Detectors:
1. All one and two family dwellings shall be equipped with a household fire warning system. All devices shall be installed and maintained in accordance with all applicable codes, manufacturers instructions and listing criteria.
2. Smoke detectors are required to be permanently wired to an AC primary power source and shall have secondary (standby) power supplied from monitored batteries.
3. Where more than one smoke detector is required, all required detectors shall be installed so that the activation of any detector shall cause the alarm in all required smoke detectors in the dwelling unit to sound (min. 85 dba at 10 feet, 75 dba in bedrooms)
4. Smoke detectors shall be provided in the following locations:
   a. In the immediate vicinity of bedrooms
   b. In all bedrooms
   c. In each story of a unit (including basements & cellars) For each 1,200 sq.ft or part thereof
   d. Near the base of all stairs where such stairs lead to another occupied floor
5. Photo electric smoke detectors are required if located within 20 feet of a kitchen or bathroom
6. When one or more sleeping rooms are added or created to an existing dwelling, the entire building shall be provided with smoke detectors designed and located as required for new dwellings.

Carbon Monoxide Alarms/Detectors:
1. All one and two family dwellings shall be equipped with a household carbon monoxide warning system. All devices shall be installed and maintained in accordance with all acceptable codes, manufacturers instruction and listing criteria.
2. Carbon monoxide detectors shall be located on every level of the dwelling unit including basements and cellars (but not including crawl spaces and uninhabitable attics).
3. All alarm-sounding appliances shall have a minimum rating of 85 dba at 10 feet

Heat Detectors:
1. Heat detectors shall be installed in any integral or attached garage to the main house
2. A new addition attached garage to an existing dwelling installed in accordance with all applicable criteria. If the existing dwelling contains a fire detection system that is compatible with the garage heat detector, the garage heat detector shall be interconnect to the existing dwelling fire detection system. If the detector is not compatible than the detector shall be connected to a sounder or compatible heat detector containing a sounding device, located in the dwelling unit and within 20 feet of the nearest door to the garage
3. For flat-finished garage ceilings, the detector shall be located on or near the center of the garage ceiling. For vaulted/ slopped ceilings, the detector shall be placed in the approximate center of the vaulted space.
4. The required heat detector shall be listed for and required to be interconnected to all smoke detectors of the required household fire alarm system, such that the activation of the heat detector will activate all of the audible alarms of the household fire alarm system throughout the dwelling.

Sprinklers:
1. All one and two-family dwellings having an aggregate area greater than 14,400 square feet, including basements, but not including garages and unfinished attics shall be equipped with an automatic sprinkler system and shall be installed in accordance with NFPA 13D.

GRAPHIC SYMBOLS

- 3 / A-3.1 — BUILDING CROSS SECTION
- 1 — DOOR NUMBER
- 106 — ROOM NUMBER
- A — WINDOW NUMBER
- ELEVATION DESIGNATION
- 5 / A-3.3 — SECTION REFERENCE
- NEW DOOR TO BE INSTALLED
- EXISTING DOOR TO REMAIN
- PARTITION TYPE
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- DEMO CONSTRUCTION

CODE

GOVERNMENT BUILDING CODE

THE MASSACHUSETTS BUILDING CODE, 9TH EDITION

MATERIAL SYMBOLS

- BLOCKING
- CONCRETE
- EARTH
- BATT INSULATION
- GRAVEL
- WOOD
- DRYWALL
- TILE

ABBREVIATIONS

@	AT
AFF	ABOVE FINISH FLOOR
ATTEN	ATTENUATING
BLDG	BUILDING
CH	CEILING HEIGHT
CL	CENTER LINE
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
CT	CERAMIC TILE
DIM	DIMENSION
DWG(S)	DRAWING(S)
EA	EACH
EIFS	EXT INSUL. FINISH SYSTEM
ELEC	ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
EWC	ELECTRICAL WATER COOLER
EXT	EXTERIOR
FC	FIRE CODE/FIRE CORE
FD	FLOOR DRAIN
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR
FFE	FINISHED FLOOR ELEVATION
FIN	FINISH
FFL	FLUORESCENT LIGHTING
FOF	FACE OF FINISH
FOC	FACE OF CONCRETE
FOS	FACE OF STUD
FRT	FIRE RETARDANT TREATED
GC	GENERAL CONTRACTOR
GL	GLASS OR GLAZING
GWB	GYPSUM WALL BOARD
HC	HOLLOW CORE
HDWR	HARDWARE
HM	HOLLOW METAL
HOR	HORIZONTAL
HT	HEIGHT
HVAC	HEATING, VENT, A/C
HWH	HOT WATER HEATER
INSUL	INSULATION
INT	INTERIOR
L	LENGTH
LAV	LAVATORY
LH	LEFT HAND(ED)
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MD	MEDIUM DENSITY
MIN	MINIMUM
MO	MASONRY OPENING
MTL	METAL
NIC	NOT IN CONTRACT
NL	NIGHT LIGHT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OPPOSITE HANDED
PLAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
PT	PRESSURE TREATED
PR	PAIR
PT	PAINTED
QT	QUARRY TILE
R	RISER
RAD	RADIUS
REQ	REQUIRED
REF	REFERENCE
REV	REVISION(S)
RH	RIGHT HAND(ED)
RO	ROUGH OPENING
RTU	ROOF TOP UNIT
SA	SOUND ATTENTION BATTS
SD	SMOKE DETECTORS
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
SQ FT	SQUARE FEET
SS	STAINLESS STEEL
STL	STEEL
STN	STAIN
SV	SHEET VINYL
T	TREAD
THK	THICKNESS
TP	TOILET PAPER DISPENSER
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
VIF	VERIFY IN FIELD
VTR	VENT THROUGH ROOF
W/	WITH
WC	WATER CLOSET
WD	WOOD
X-REF	CROSS REFERENCE

DRAWING INDEX

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NEW RESIDENCE

32
MALCOLM ROAD
JAMAICA PLAIN, MA

OWNER

mckay architects
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Dedham
Ma, 02026
ph. 781.326.5400
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REGISTERED ARCHITECT MICHAEL L. McKAY NO. AR 6947 COMMONWEALTH OF MASSACHUSETTS

DATE	ISSUANCE

OWNERSHIP & USE OF DOCUMENTS

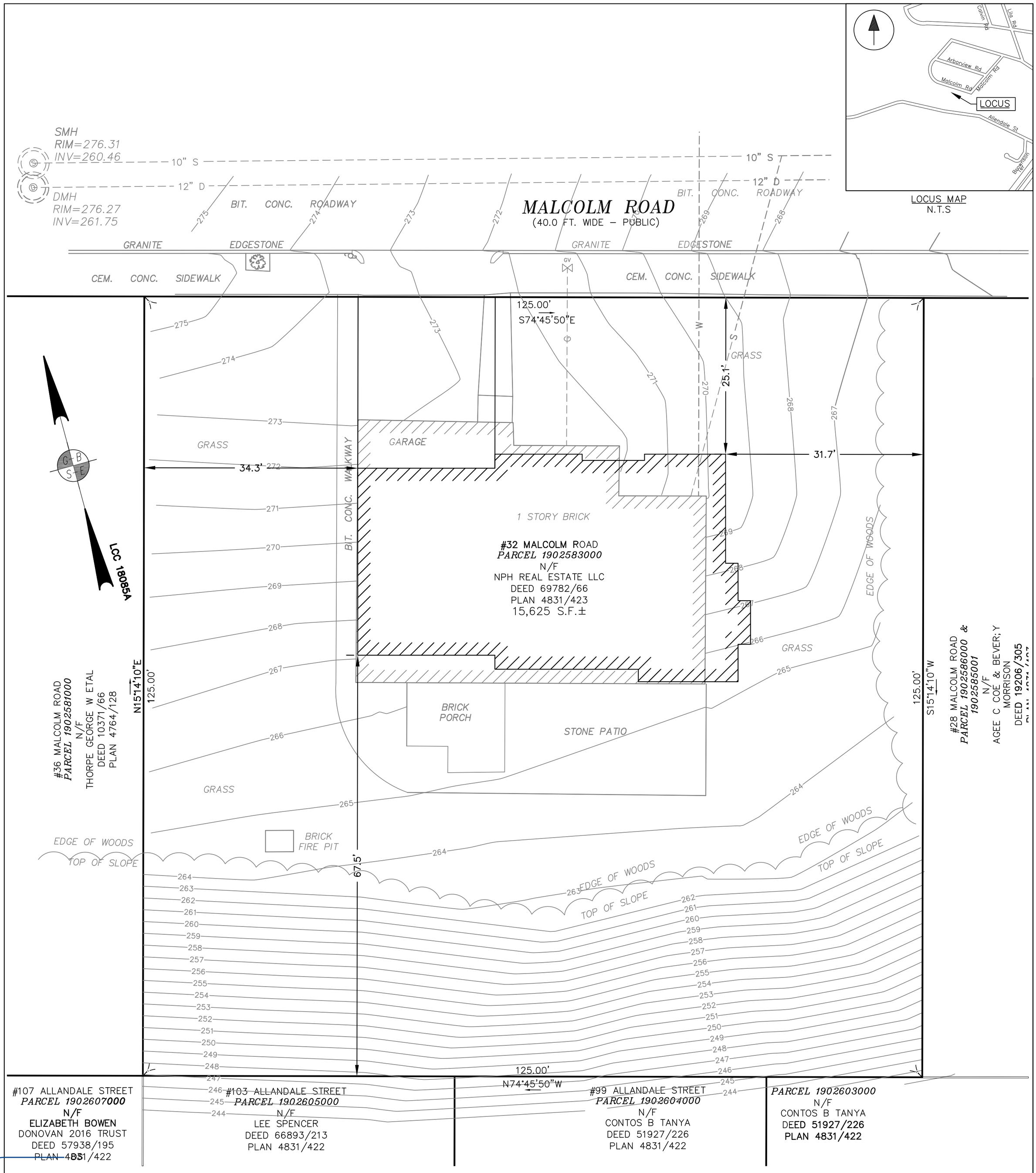
These drawings and specifications are the property and copyright of McKay Architects and shall not be used in whole or in part, or shall be assigned to a third party without the express written permission of McKay Architects.
Contractor to verify all information and dimensions in the field prior to start of construction and is to notify McKay Architects of any discrepancies

Title Sheet

JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

T-1.1

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3



APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY
SIGNATURE

Approved pursuant to the requirements in a Neighborhood Design Overlay District. Any changes to these plans must be submitted to the Planning Dept. for approval.

07/10/2024

COMMONWEALTH OF MASSACHUSETTS
PAUL J. TYRELL
No. 40038
PROFESSIONAL LAND SURVEYOR

PJT
3-6-24

0 5 10 20 40
SCALE: 1"=10'

PLAN OF LAND
32 MALCOLM ROAD
BOSTON, MASSACHUSETTS
(WEST ROXBURY DISTRICT)

PREPARED FOR
TONY FERRARA
394 WASHINGTON STREET
DEDHAM, MA 02026
617-438-2171

GREATER BOSTON SURVEYING AND ENGINEERING
19 FREDITH ROAD
WEYMOUTH, MA 02189
(781) 331-6128

CALC BY: PJT	DATE: FEBRUARY 22, 2024	SCALE: 1"=10'

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3

SCALE: 1" = 10'-0"
0 5' 10' 25'

DS

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SIGNATURE

07/10/2024

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Tree Protection Prior to Site Work:

1. Prior to initiating site work, the Contractor shall install a Temporary Tree Protection Fence around all trees to remain.
2. In locations where excavation and construction work will be within the Tree Protection Zone (TPZ), the Contractor shall meet with the Landscape Architect to describe the scope of excavation or filling. Equipment shall not operate within the TPZ except as approved and directed by Landscape Architect. Typically, equipment shall set up and operated from beyond the TPZ. This may involve some adjustment in the location of fencing.
3. A certified arborist shall be hired to cut and prune limbs and branches that may hinder construction operations or overhang the existing building.
4. Install 2 to 3 inches of woodchip mulch or a blend of composted woodchips and bark mulch over the entire TPZ .
5. The tree protection fence shall not be removed until the end of the construction of the buildings at such time as the lawn work and plantings work is initiated.
6. The Contractor shall set up and provide a temporary irrigation system in all the TPZ areas as directed by the Arborist. During the growing season (June 1 through October 1), the irrigation system shall supply 1" of water after any period of over 1 week when there is no natural rainfall. This added water will support vigorous tree growth allowing the tree to recover from the root damage from construction.

Tree Survey

Location	DBH (inches)	Species	To Be Removed	Protected or Invasive
1	7	Japanese Maple		Protected
2	42	Japanese Maple		Protected
3	22	Red Oak		Protected
4	20	Red Oak		Protected
5	8	Amur Cork		Protected
6	17	Japanese Maple		Protected
7	15	Amur Cork		Protected
8	9	Amur Cork		Protected
9	10	Red Oak		Protected
10	6	Maple		Protected
11	13.5	Red Oak		Protected
12	8.5	Red Oak		Protected
13	11	Red Oak		Protected
14	8	Maple		Protected
15	13.5	Red Oak		Protected
16	13.5	Black Cherry		Protected
17	7	Norway Spruce		Protected
18	11	Maple		Protected
19	11.5	Maple		Protected
20	8	Amur Cork		Protected
21	13	Red Oak		Protected
22	8	Black Cherry		Protected
23	16	Red Oak		Protected
24	16	Red Oak		Protected
25	9	Black Cherry		Protected
26	9	Beech		Protected
27	14	Amur Cork		Protected
28	17	Red Oak		Protected
29	15	Red Oak		Protected
30	11	Red Oak		Protected
31	18	Red Oak		Protected
32	13	Norway Spruce		Protected
33	12	Maple		Protected
34	9	Japanese Maple		Protected

Tree Mitigation

	Number of Caliper Inches To Be Removed	Total Number of Proposed Caliper Inches
Existing Trees TBR	0	
Proposed Trees		17

DBH = Diameter at Breast Height = trunk diameter measured 4 ½ feet from the ground
CAL = Caliper = trunk diameter measured 6" above the soil line on trees that measure 4" caliper or smaller. Over 4" caliper trees are measured 12" above the soil line.

***TREE LOCATIONS APPROXIMATE, VERIFY IN FIELD

LEGEND

#28 Existing Tree to be removed, typ.
Existing Deciduous Tree, typ.
Existing Evergreen Tree, typ.

VERDANT
LANDSCAPE ARCHITECTURE
318 Harvard Street, Suite 25, Brookline, MA 02446
Verdant Landscape Architecture.com
617.735.1180

32 MALCOLM ROAD
JAMAICA PLAIN, MA
TREE SURVEY

COMMONWEALTH OF MASSACHUSETTS
KATYA PODSIADLO
No. 3019
REGISTERED LANDSCAPE ARCHITECT

REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION
ISSUE:
DATE: 05/24/2024
SCALE: AS NOTED

PROJECT NUMBER:
DRAWN BY: MJ
CHECKED BY: NA

DRAWING TITLE
TREE SURVEY

DRAWING NUMBER
L1

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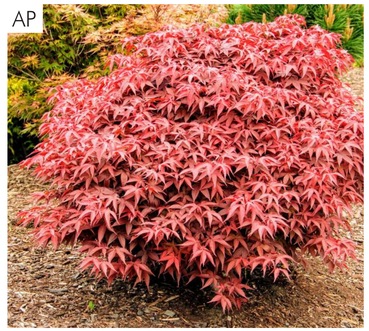
Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3

MALCOLM ROAD PLANT SCHEDULE

SYM	#	LATIN NAME	COMMON NAME	SIZE	NOTES
TREE:					
AG	2	Amelanchier graniflora	'Autumn Brilliance' Serviceberry	1.5-2" cal.	B&B
AP	1	Acer palmatum	'Rhode Island Red' Japanese Maple	4' Ht.	B&B
MV	2	Magnolia virginiana	Sweetbay Magnolia	6-8' ht.	B&B
QR	2	Quercus rubra	Red Oak	2.5-3.5" cal.	B&B
TP	12	Thuja plicata	Green Giant Arborvitae	8-10' Ht.	B&B
UA	2	Ulmus americana	Jefferson American Elm	2.5-3" cal.	B&B
SHRUBS:					
CO	1	Chamaecyparis obtusa 'Gracilis'	Slender Hinoki False Cypress	7 gal.	Pots
FS	7	Forsythia spp.	Forsythia	5 gal.	Pots
HP	6	Hydrangea paniculata	'Little Lime' Panicle Hydrangea	3 gal.	Pots
HQ	6	Hydrangea quercifolia	'Munchkin' Oakleaf Hydrangea	3 gal.	Pots
IG	17	Ilex glabra 'Densa'	Inkberry	5 gal.	Pots
MD	9	Microbiota decussata	Siberian Cypress	3 gal.	Pots
RF	8	Rosa spp.	'The Fairy' Rose	3 gal.	Pots
RS	14	Rhododendron scintillation	'April Song' Pink Rhododendron	5 gal.	Pots
SN	1	Sambucus nigra	'Black Lace' Elderberry	5 gal.	Pots
PERENNIALS					
cp	15	Carex pensylvanica	Pennsylvania sedge	Plugs/Space 10" o.c.	
hma	10	Hakonechloa macra 'All Gold'	All Gold Japanese Forest Grass	1 gal.	Pots

AG

AP



MV

QR

TP

UA

FS

HP

RS

DS

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07/10/2024

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SCALE: 1" = 10'-0"
0 5' 10' 25'

VERDANT
LANDSCAPE ARCHITECTURE
318 Harvard Street, Suite 25, Brookline, MA 02446
Verdant Landscape Architecture.com
617.735.1180

32 MALCOLM ROAD
JAMAICA PLAIN, MA
LANDSCAPE PLAN

MASSACHUSETTS KATYA PODBERSKY No. 3019 REGISTERED LANDSCAPE ARCHITECT

REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION
ISSUE:
DATE: 05/24/2024
SCALE: AS NOTED

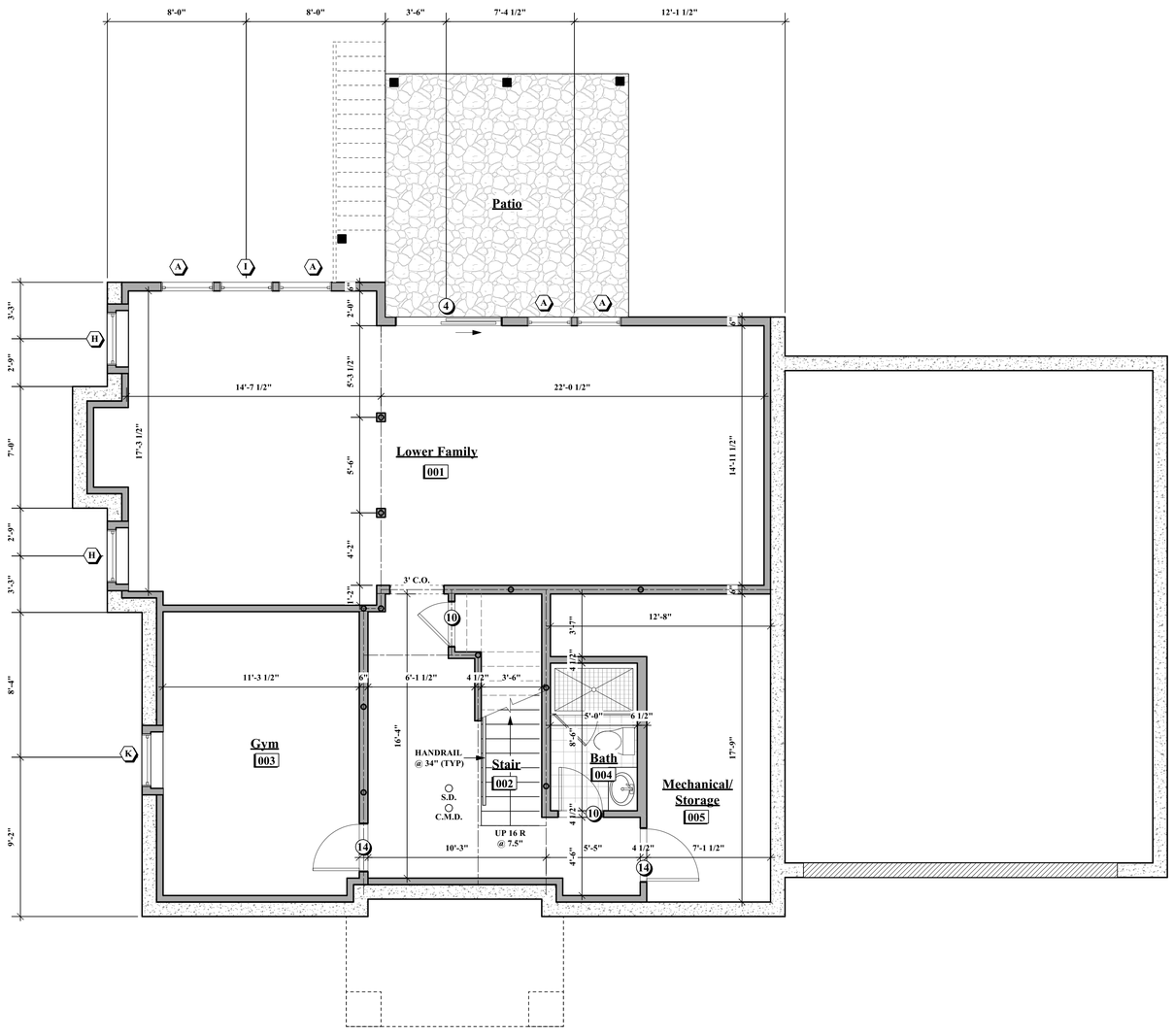
PROJECT NUMBER:
DRAWN BY: MJ
CHECKED BY: NA

DRAWING TITLE
LANDSCAPE PLAN

DRAWING NUMBER
L2

© Verdant Landscape Architecture

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3



1
A-1.1
Basement Plan
1/4" = 1'-0"

FINISHED BASEMENT: 1,105 SF

NEW RESIDENCE

32
MALCOLM ROAD
JAMAICA PLAIN, MA

OWNER

mckay architects
35 Bryant Street
Dedham
Ma. 02026
ph. 781.326.5400
www.mckayarchitects.net

REGISTERED ARCHITECT
MICHAEL L. McKAY
NO. AR 6947
COMMONWEALTH OF MASSACHUSETTS

DATE	ISSUANCE

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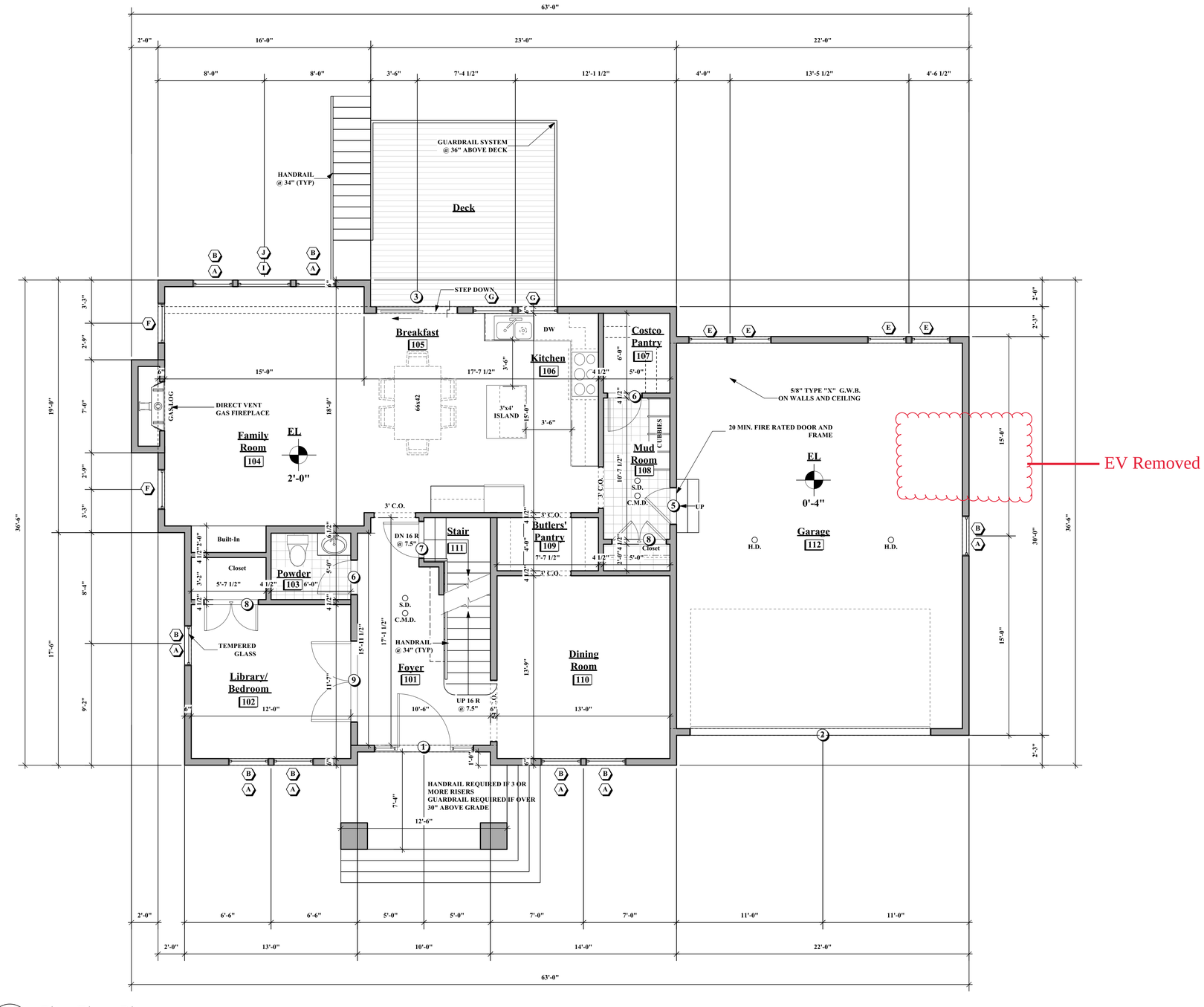
Basement Floor Plan

JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

A-1.1

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3



1 / A-1.2 First Floor Plan
1/4" = 1'-0"

FINISHED FLOOR AREA: 1,338 SF
GARAGE: 668 SF

EV Removed 5.28.2024

NEW RESIDENCE

32 MALCOLM ROAD JAMAICA PLAIN, MA

OWNER

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35 Bryant Street
Dedham
Ma. 02026
ph. 781.326.5400
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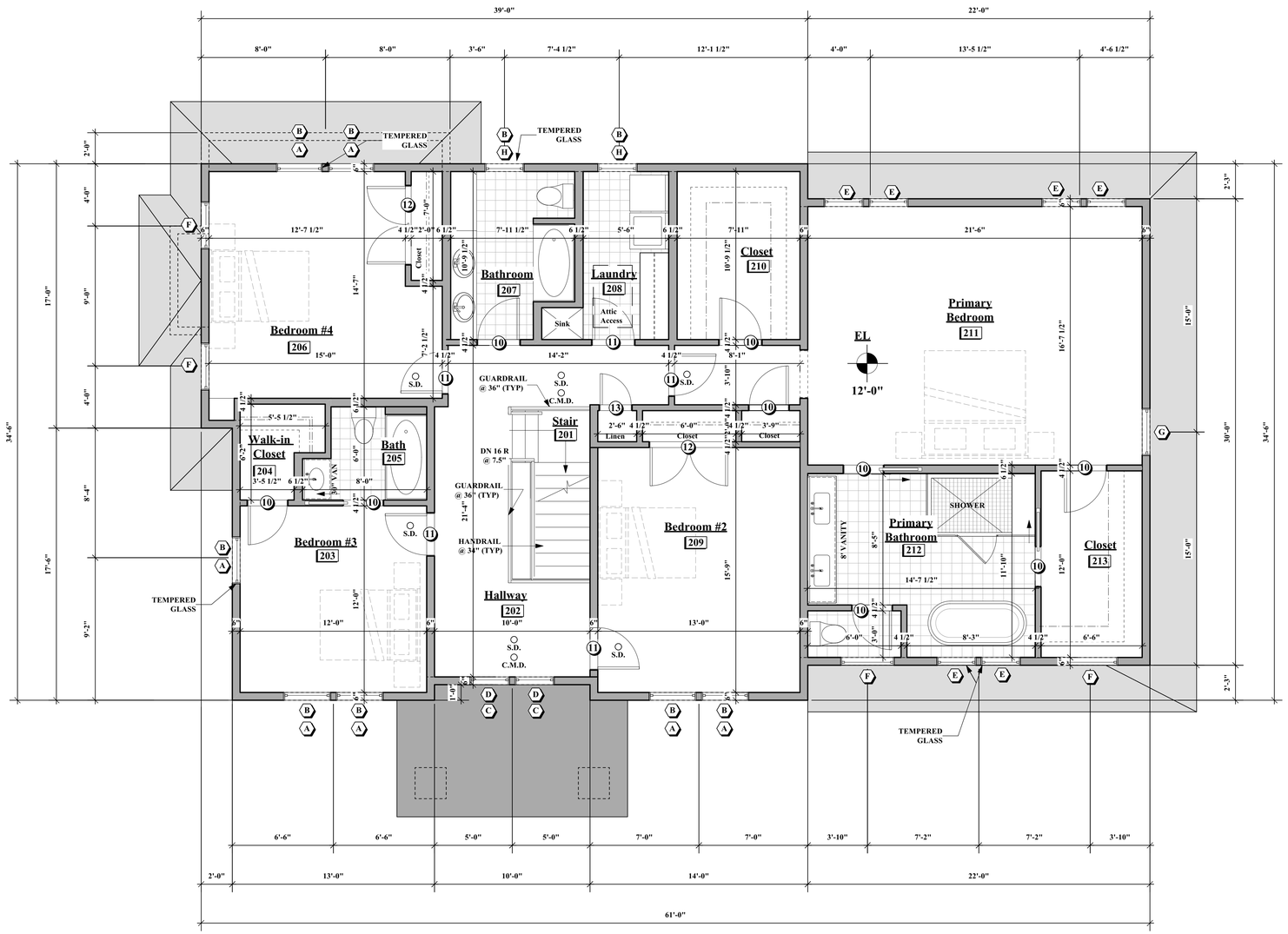
First Floor Plan

JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

A-1.2

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3



1
A-1.3
Second Floor Plan
1/4" = 1'-0"

FINISHED FLOOR AREA: 1,961 SF

NEW RESIDENCE

32 MALCOLM ROAD JAMAICA PLAIN, MA

OWNER

mckay architects
35 Bryant Street
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ph. 781.326.5400
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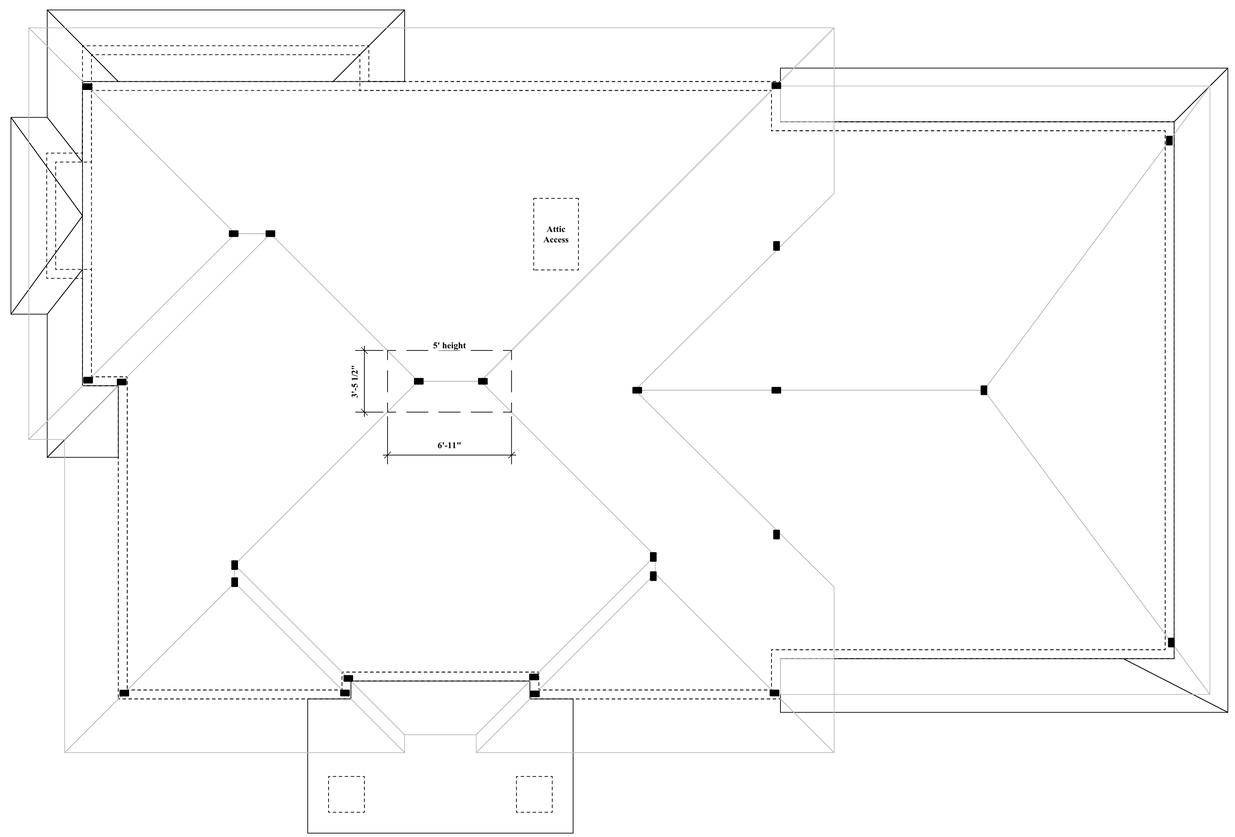
Second Floor Plan

JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

A-1.3

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3



1
A-1.4
Attic Floor Plan
1/4" = 1'-0"

NEW RESIDENCE

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MALCOLM ROAD
JAMAICA PLAIN, MA

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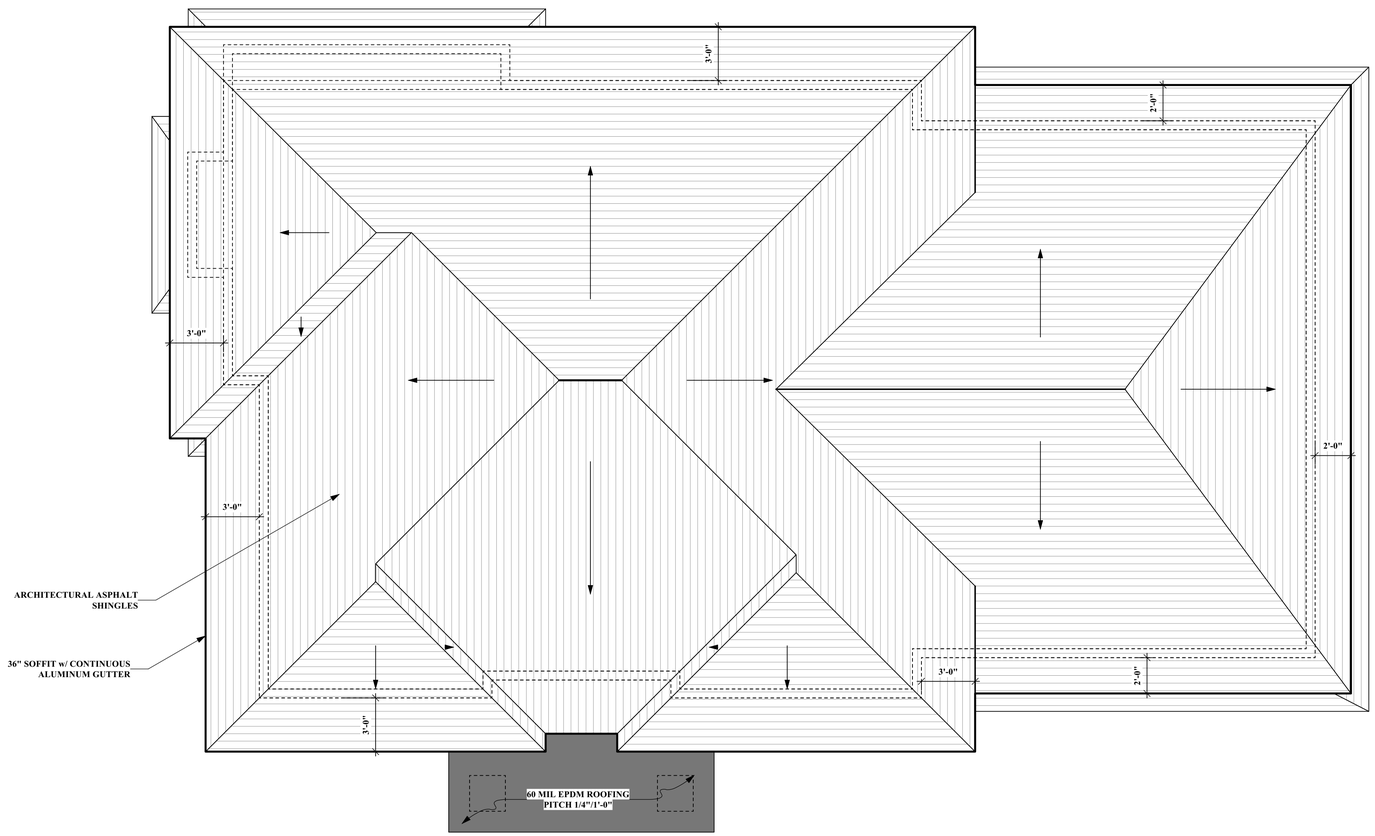
Attic Floor Plan

JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

A-1.4

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3



1 / A-1.5 Roof Plan
1/4" = 1'-0"

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OWNER

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Dedham
Ma, 02026

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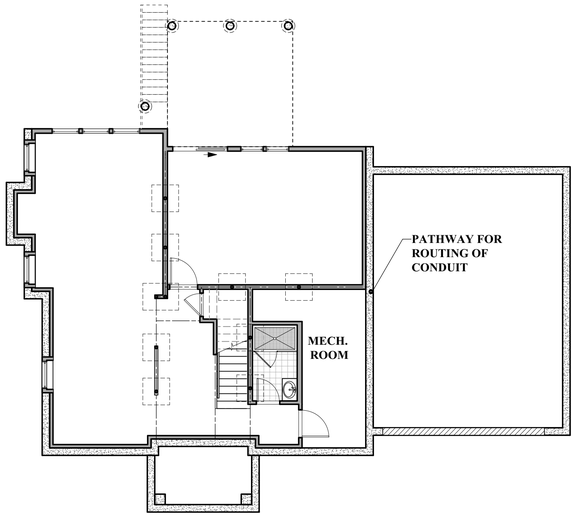
Roof Plan

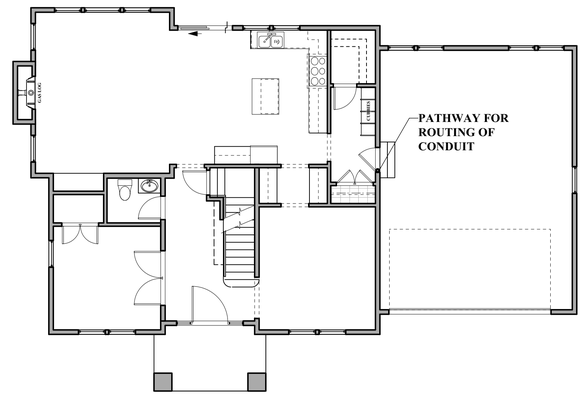
JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

A-1.5

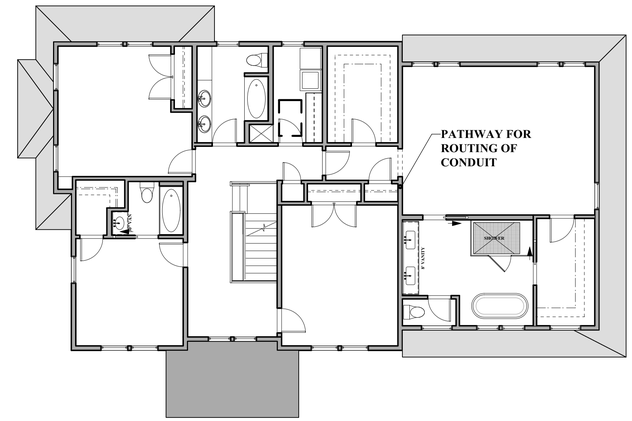
Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3



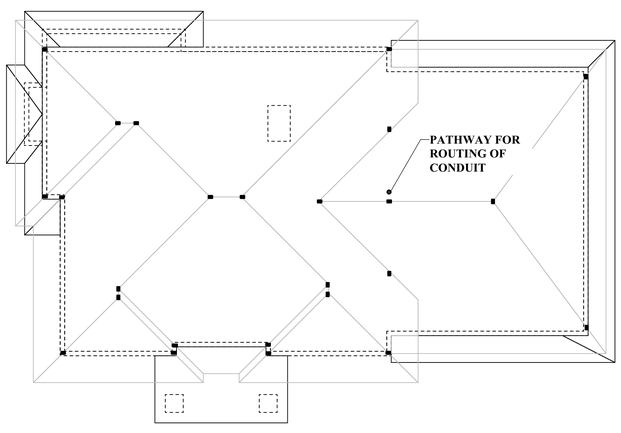
1 / A-1.1 **Basement Floor Plan**
1/8" = 1'-0"



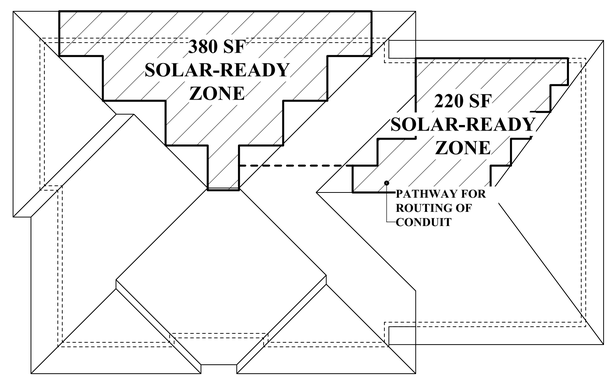
1 / A-1.2 **First Floor Plan**
1/8" = 1'-0"



1 / A-1.3 **Second Floor Plan**
1/8" = 1'-0"



1 / A-1.4 **Attic Floor Plan**
1/8" = 1'-0"



1 / A-1.5 **Roof Plan**
1/8" = 1'-0"

N

MUST COMPLY WITH MASSACHUSETTS BUILDING CODE
-REFER TO SECTION AU102-AU103 OF THE CODE AND RB 103.5, 8, 9 & RB 103.1

ELECTRICAL PANEL
-RESERVE SPACE TO ALLOW INSTALLATION OF A DUAL POLE CIRCUIT BREAKER FOR FUTURE SOLAR ELECTRIC INSTALLATION
-LABELED "FOR FUTURE SOLAR ELECTRIC"
-THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION
-A PERMANENT CERTIFICATE INDICTING SOLAR-READY ZONE SHALL BE POSTED NEAR THE ELECTRICAL DISTRIBUTION PANEL

SOLAR READY AREA
-ROOF AREA ORIENTED BETWEEN 110 AND 270 DEGREES OF TRUE NORTH
-SHALL BE FREE OF OBSTRUCTIONS AND CHIMNEYS

NEW RESIDENCE

32
MALCOLM ROAD
JAMAICA PLAIN, MA

OWNER

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Dedham
Ma. 02026

ph. 781.326.5400

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REGISTERED ARCHITECT
MICHAEL L. McKAY
NO. AR 6947
COMMONWEALTH OF MASSACHUSETTS

DATE	ISSUANCE

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Solar

JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

A-1.6

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3

DS

APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY
SIGNATURE

07/10/2024

Approved pursuant to the requirements in a Neighborhood Design Overlay District. Any changes to these plans must be submitted to the Planning Dept. for approval.

1 / A -2.1 Front Elevation
1/4" = 1'-0"

NEW RESIDENCE

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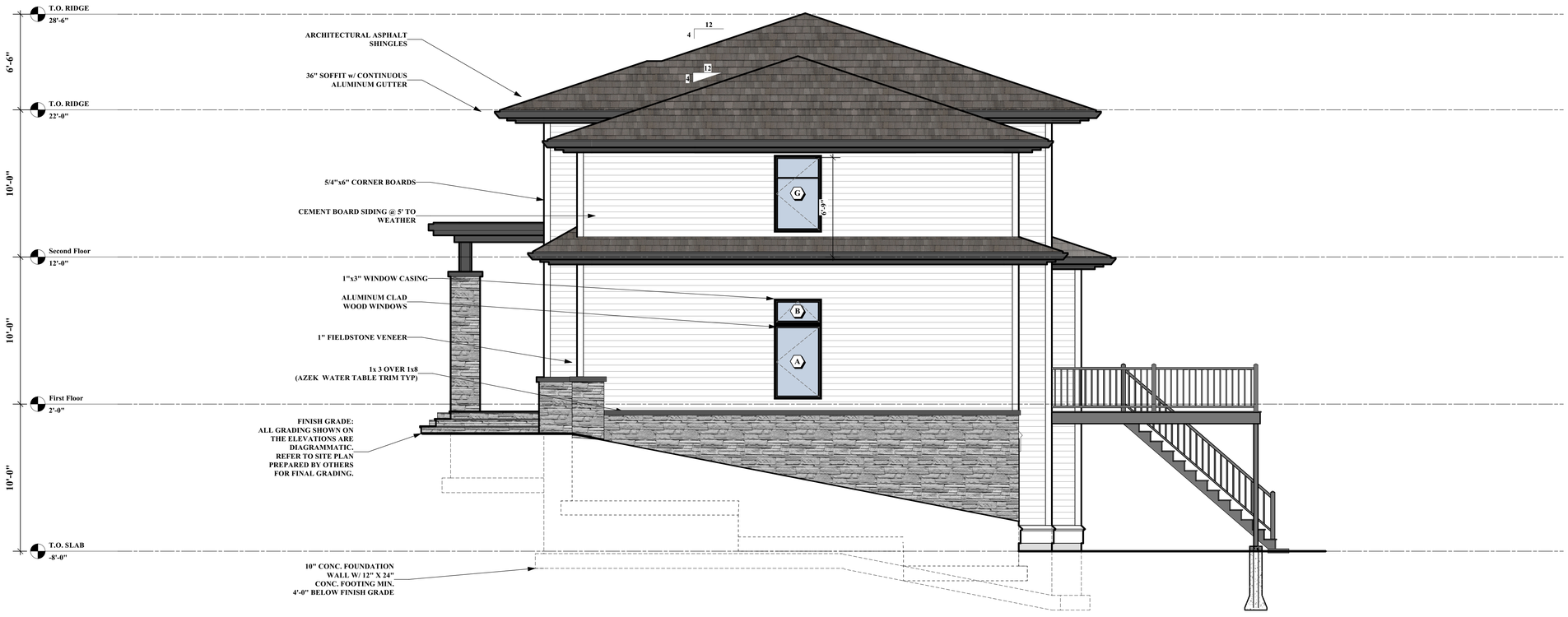
Front Elevation

JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

A-2.1

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3



DS

APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY
SIGNATURE

07/10/2024

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1 / A -2.2 Right Side Elevation
1/4" = 1'-0"

NEW RESIDENCE

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OWNER

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Ma. 02026
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Right Side Elevation

JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

A-2.2

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3

DS

APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY
SIGNATURE

07/10/2024

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1 / A -2.3 Rear Elevation
1/4" = 1'-0"

NEW RESIDENCE

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OWNER

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Dedham
Ma. 02026
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www.mckayarchitects.net

REGISTERED ARCHITECT MICHAEL L. McKAY NO. AR 6947 COMMONWEALTH OF MASSACHUSETTS

DATE	ISSUANCE

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Rear Elevation

JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

A-2.3

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3

DS

APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY
SIGNATURE

07/10/2024

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1 / A -2.4 Left Side Elevation
1/4" = 1'-0"

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Dedham
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Left Side Elevation

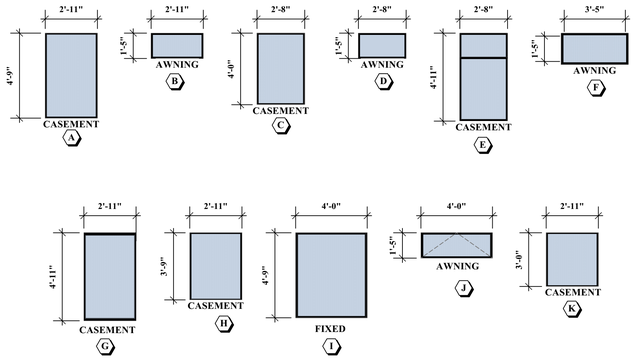
JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

A-2.4

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3

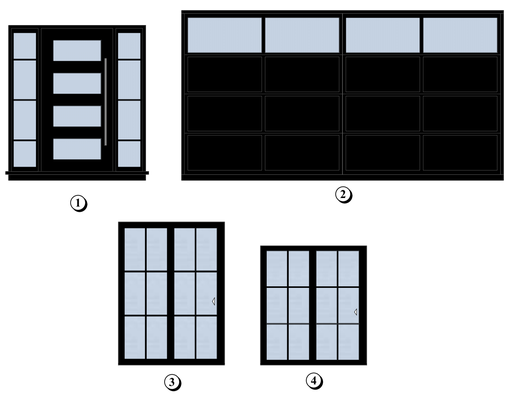
WINDOW SCHEDULE

VERIFY SWING DIRECTIONS



SHOP DRAWINGS OF WINDOWS ARE TO BE PROVIDED PRIOR TO ORDERING.

ALL WINDOWS AND PATIO DOORS ARE TO BE MANUFACTURED BY PELLA WINDOWS OR OWNER APPROVED EQUAL. PROVIDE SIMULATED DIVIDED LITE PATTERNS AS INDICATED. ALL UNITS ARE TO BE BLACK CLAD. UNITS ARE TO HAVE 6 5/16" JAMB THICKNESS & WHITE HARDWARE WITH FACTORY PROVIDED SCREENS. INTERIOR OF UNIT IS TO BE FACTORY PRIMED WHITE. PATIO DOORS ARE TO HAVE LOCKING HARDWARE PROVIDED WITH SCREEN DOOR UNITS. ALL GLAZING IS TO BE LOW-E INSULATED GLASS WITH U-VALUE OF .30 OR BETTER.



DOOR SCHEDULE

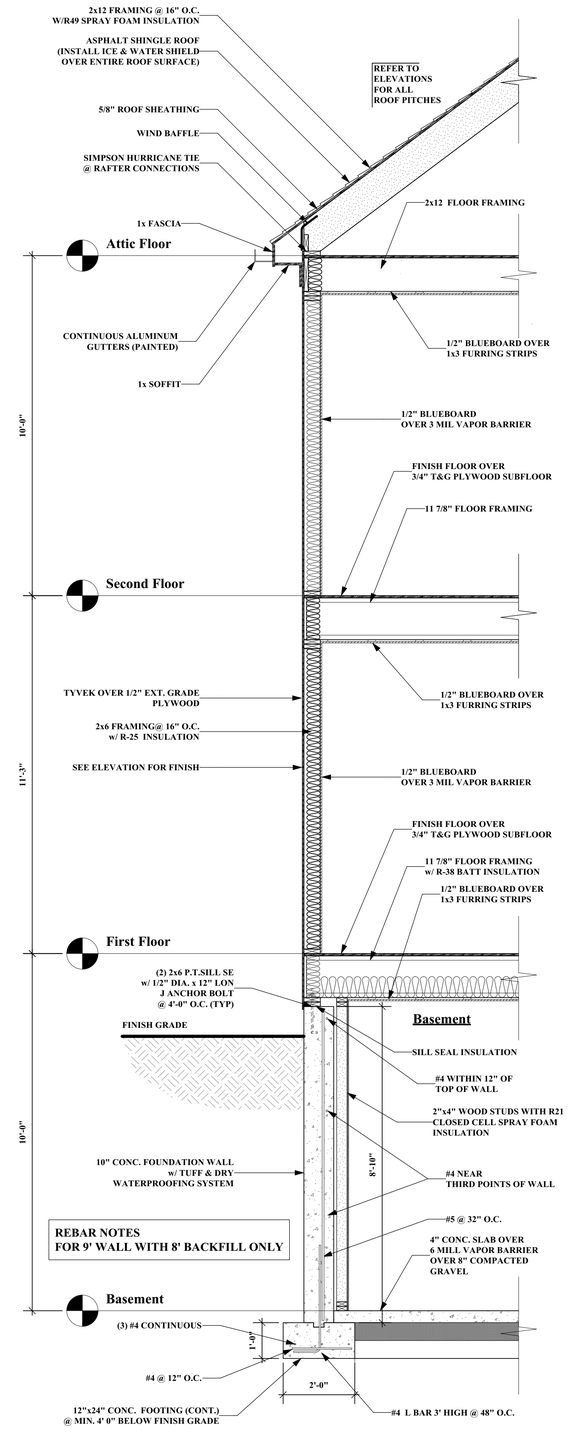
DOOR NO.	LOCATION / TYPE	SIZE	DETAILS		REMARKS
			HEAD	JAMB	
1	EXTERIOR / ENTRY	4'-0"x8'-0" w/ 1'-6" SIDELIGHTS	WOOD	WOOD	
2	EXTERIOR / GARAGE	18'-0"x9'-0"	WOOD	WOOD	GARAGE OVERHEAD
3	EXTERIOR / BREAKFAST	6'-0"x8'-0"	WOOD	WOOD	SLIDER
4	EXTERIOR / GYM	6'-0"x6'-8"	WOOD	WOOD	SLIDER
5	INTERIOR / GARAGE	3'-0"x8'-0"	WOOD	WOOD	"C" LABEL DOOR
6	INTERIOR / (TYP)	2'-6"x8'-0"	WOOD	WOOD	
7	INTERIOR / (TYP)	2'-8"x8'-0"	WOOD	WOOD	
8	INTERIOR / (TYP)	(2) 2'-0"x8'-0"	WOOD	WOOD	PAIR
9	INTERIOR / (TYP)	(2) 3'-0"x8'-0"	WOOD	WOOD	PAIR
10	INTERIOR / (TYP)	2'-6"x6'-8"	WOOD	WOOD	
11	INTERIOR / (TYP)	2'-8"x6'-8"	WOOD	WOOD	
12	INTERIOR / (TYP)	(2) 2'-6"x6'-8"	WOOD	WOOD	PAIR
13	INTERIOR / (TYP)	2'-0"x6'-8"	WOOD	WOOD	
14	INTERIOR / (TYP)	3'-0"x6'-8"	WOOD	WOOD	

NOTE:

SHOP DRAWINGS OF DOORS ARE TO BE PROVIDED PRIOR TO ORDERING.

FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	REMARKS
				NORTH	EAST	SOUTH	WEST		
001	FAMILY ROOM	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
002	STAIR	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
003	GYM	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
004	BATH	TILE	WOOD	GWB	GWB	GWB	GWB	GWB	
005	MECHANICAL/STORAGE								
101	FOYER	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
102	LIVING ROOM	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
103	POWDER	TILE	WOOD	GWB	GWB	GWB	GWB	GWB	
104	FAMILY	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
105	BREAKFAST	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
106	KITCHEN	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
107	PANTRY	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
108	MUD ROOM	TILE	WOOD	GWB	GWB	GWB	GWB	GWB	
109	BUTLER'S PANTRY	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
110	DINING	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
111	STAIR	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
112	GARAGE			GWB	GWB	GWB	GWB	GWB	5/8" TYPE "X" GWB
201	STAIR	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
202	HALLWAY	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
203	BEDROOM 3	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
204	WIC	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
205	BATH	TILE	WOOD	GWB	GWB	GWB	GWB	GWB	
206	BEDROOM 4	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
207	BATHROOM	TILE	WOOD	GWB	GWB	GWB	GWB	GWB	
208	LAUNDRY	TILE	WOOD	GWB	GWB	GWB	GWB	GWB	
209	BEDROOM 2	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
210	CLOSET	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
211	PRIMARY BEDROOM	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
212	PRIMARY BATH	TILE	WOOD	GWB	GWB	GWB	GWB	GWB	
213	WIC	WOOD	WOOD	GWB	GWB	GWB	GWB	GWB	
301	UNFINISHED ATTIC								



1 / A-3.1 Typical Section
1/2" = 1'-0"

NEW RESIDENCE

32 MALCOLM ROAD JAMAICA PLAIN, MA

OWNER

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Schedules & Section

JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

A-3.1

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3

General Notes Design Loads
Massachusetts state building code code regulation 780 CMR 51.00 9th edition

1. Floor live loads: residential: 40 PSF
2. Ground snow load (PG): 40 PSF
3. Wind load basic wind speed (exposure C)- 127 MPH
4.Temporary shores shall be designed, erected, supported, braced, and maintained by the contractor to support safely all dead loads presently carried by the structural work being shored, and any construction live loads.
5. All dimensions, elevations, shelves, beam pockets, cut-outs, underground utilities, piers, footings, slabs, and all other items shall be fully coordinated with civil, geotechnical, mechanical, architectural and all other trades' drawings prior to construction

Foundation Plan:
Scale:1/4" = 1'-0"

Foundation Plan Notes:
1. T.O. First floor sub floor shall be called elevation 0'-0"
2. All dimensions, elevations, shelves, beam pockets, cut-outs, underground utilities, piers, footings, slabs, and all other items shall be fully coordinated with civil, geotechnical, mechanical, architectural and all other trades' drawings prior to construction.
3. See general notes for additional foundation information & specifications.

Foundation Notes:
1. All topsoil, subsoil, and oil containing organic or unsuitable bearing material shall be cleared from the building footprint.
2. All soil supported footings shall be founded upon compacted natural subgrade or compacted bank run gravel fill with a bearing capacity of at least 3000 PSF. Soil bearing capacity shall be verified by a professional engineer registered in the project state.
3. G.C. shall be responsible for determining the site's suitability to support the building. Furthermore, the G.C. shall be responsible for constructing the building and surrounding site/subgrade in strict accordance with this requirement.
4. All footings shall extend at least 48" below finished grade. G.C. shall coordinate all proposed grades prior to construction.
5. Bedrock/ Ledge shall be excavated a minimum of 4" below bottom of footing elevation and covered with a layer of compacted gravel.
6. Soil shall be compacted to not less than 95% of maximum dry density per ASTM D1557 in lifts not to exceed 6" loose depth.
7. Backfill symmetrically against all foundation walls in increments not to exceed 2 feet maximum differential.
8. See plumbing and electrical drawings for under floor systems and special granular fill material requirements.
9. No footings or slabs shall be poured into or against subgrade containing free water or ice.
10. All slabs-on-grade shall be placed on a layer of compacted fine granular fill under a 10 MIL. Poly vapor retarder. Coordinate additional subgrade preparation requirements with civil and/or geotechnical engineers of record.
11. All slabs-on-grade shall be placed on a vapor barrier on a 6" compacted gravel base.
12. Forces due to hydrostatic pressure have not been considered in the design of the foundation for this structure. It is the responsibility of the General Contractor/owner to confirm with a geotechnical engineer, civil engineer, or other qualified design professional to ensure hydrostatic forces do not exist.
13. General Contractor shall coordinate all insulation, drainage, damp-proofing and water-proofing details with Architect of record.
14. A modified proctor test shall be performed by a soils testing lab on each type of soil to be compacted.
15. Field density tests shall be performed by an independent soils testing lab to verify compaction. A copy of all test reports shall be filed with the Architect of record.

Concrete Notes:
1. All footing and wall concrete shall have a compressive strength of not less than 4000 PSI at 28 days (entrained air content between 4.5% and 7%)
2. All interior slab concrete shall have a compressive strength of not less than 3000 PSI at 28 days and contain no air entrainment.
3. All exterior slab concrete shall have a compressive strength of not less than 4000 PSI at 28 days (entrained air content between 4.5% and 7%).
4. All concrete shall contain an approved water-reducing admixture.
5. No calcium chloride shall be used in any concrete.
6. All reinforcing bars shall be ASTM A-615 grade 60 unless noted otherwise.
7. All reinforcing bar splices shall conform to requirements of ACI 318, but in no case shall they be less than 2'-0" or 48xDIA.
8. All welded wire fabric shall conform to ASTM A-185, Fy=60 KSI
9. All welded wire fabric shall be lapped two (2) full mesh panels at sides and ends and be securely wired together.
10. See architectural drawings for type and location of all floor finishes, floor depressions and cut outs.
11. Coordinate all foundation penetrations with Architect, plumbing, mechanical, electrical contractors and local agencies.
12. All concrete shall be detailed, formed, handled, placed, and protected in accordance with procedures and guidelines prescribed in the latest edition of "building code requirements for reinforced concrete" ACI-318, manual of standard practice for reinforced concrete structures, ACI-201, and ACI-305/306 guides for hot/cold weather concreting.
13. General Contractor shall carefully coordinate all form-work, rebar placement, concrete mix design, and concrete placement to ensure accurate and complete concrete distribution throughout. All precautions, shall be taken to avoid "honeycombing" and voids in concrete foundation. Techniques, such as pre-staging concrete vibrators in congested areas, modified concrete mix designs to promote complete distribution, etc. shall be employed at the contractor's discretion.
14. Concrete voids and excessive "honey-combing" shall be documented and reported to the Architect of record for analysis and preparation of a repair method. Parging, Dry-packing, and "floating" the adjacent slab to fill voids are un-acceptable methods of repair for filling significant voids.
15. G.C. shall coordinate all concrete finishes with Architect of record. All concrete that shall be considered architecturally exposed shall be poured and finished in a manner which will produce the desired architectural finish. G.C. shall coordinate the concrete mix design (I.E. self-consolidating concrete), rebar placement, and methods of vibration to produce a fully consolidated concrete pour fee of voids and/or "honey-combing".
16. Checked shop drawings (5 sets) showing reinforcing details, including steel sizes, spacing and placement, shall be submitted by the contractor for approval prior to fabrication. The General Contractor must review the shop drawings prior to submission to the Architect of record. All copies of the shop drawing submittals shall bear a dated and signed shop drawing stamp which documents the General Contractor's approval.
17. A mix design (5 copies) shall be submitted for approval for each type of concrete. Mix design submittal shall include historical break data for each mix of concrete.
18. A set of four (4) concrete tests cylinders shall be taken by an independent concrete testing lab on each day when concrete placement exceeds 5 cubic yards. One cylinder shall be broken at 7 days, two at 28 days, and one at 56 days. A copy of all test reports shall be filed with the Architect of record.

First Floor Framing:
Scale:1/4" = 1'-0"

Plan Notes:
1. #J-#K Jack and King studs shall be same dimensional stud lumber as adjacent studs. (i.e. 2J-2K means 2 full-height king studs with 2 jack studs supporting the header)
2. H1612 - indicates Simpson Strong-Tie type hanger required at beam connection. All Simpson hangers shall be installed per manufacturer's specifications with the maximum fastener size and quantity.
3. "Lally Column" all lally columns shall be filled solid with concrete. Provide 1/2" thick "Springfield" cap and base plates at all lally columns.
4. Unless otherwise notes on plans, all headers over door and window openings shall be supported on ea. end by a single jack stud ganged to a double king stud.
5. Beams and columns on plan marked "P.T." denote pressure treated or wolmanized lumber.
6. Refer to general notes for further requirements.
7. All full-height columns which pass through floor or ceiling framing systems shall be fully blocked and tied into that framing to effectively brace the column in both directions.
8. All platform framed posts, walls, and/or beam loads shall be transferred to supports below with cripple studs, "squash blocks", and/or full-depth solid blocking.
9. All multi-ply wood and/or engineered members shall be ganged together in accordance with manufacturer's requirements and prevailing state building code.
10. Refer to general notes and prevailing state building code for connections not specifically specified on plans.
11. Member layout depicted on this plan is intended as a general guide to framing. The exact framing layout, material take-off, and framing method shall be closely coordinated wit the architectural and structural drawings and ultimately determined by the General Contractor. Any substantial change in framing method/layout shall be reported to Architect of record.
12. All dimensions, elevations, shelves, beam pockets, cut-outs, underground utilities, piers, footings, slabs, and all other items shall be fully coordinated with civil, geotechnical, mechanical, architectural, and all other trades' drawings prior to construction.
13. All trim, soffits, rakes, eaves, brackets, gutters, corbels, build-outs, pad-outs, and all other applied architectural features and embellishments be the responsibility of others and fully coordinated with the Architect of record.

General Notes Pre-Engineered Wood Trusses:
1. Wood trusses shall be designed per the "design specification for metal plate connected wood trusses," published by the truss plate institute.
2. All roof trusses and overhanging wood members shall be held down with uplift anchors per truss manufacturer's requirements.
3. Wood truss fabricator shall submit to the Architect for approval prior to fabrication, shop drawings bearing seal and signature of the design professional engineer, registered in the state of Massachusetts. Shop drawings shall be reviewed and approved by the General Contractor prior to submitting to Architect. Shop drawings shall include but are not limited to: truss layout plan; truss detail sheets showing configuration, dimensions, loads, member sizes, and grades, member forces, connection plate sizes, permanent bracing requirements, uplift anchorage hardware (specified by truss designer), etc.
4. Truss designer shall include all loads required by the Massachusetts state building code and all further requirements included in the structural and architectural contract documents. Additional requirements may include, but are not limited to additional design loads due to wind and/or earthquake, snow drifting, point loads and/or additional loading from other framing members, special top chord slope requirements for drainage etc. truss designer shall carefully coordinate all loads due to mechanical equipment and plumbing fixtures with the G.C., Architect, and mechanical design.
5. Truss designer shall design, manufacture, and furnish all floor trusses which meet a live load deflection criteria of L/600 and all roof trusses which meet a total load deflection criteria of the lesser of ¾" or L/360 unless specifically approved otherwise.
6. Wood truss erector shall be responsible for design and installation of all temporary erection bracing.
7. Truss spacing shown in structural engineering plans are for reference only. General Contractor shall refer to approved truss shop drawings for actual truss layout and spacing (for both bidding and construction purposes).
8. Truss layout and design shall be coordinated with the mechanical equipment layout.

Structural Lumber, Engineered Lumber:
1. All material and workmanship shall be in accordance with the latest edition of "timber construction standards" of the American Institute of Timber Construction and the "National Design Specification for Stress-Grade Lumber and its Fastenings" of the National Forest Products Association.
2. The minimum grades and design values required for conventional, structural lumber shall be:
3. Studs: construction grade spruce-pine-fir, FC= 1000 PSI, E=1,300,000 PSI
4. Joists/Rafters/Beams: spruce-pine-fir No.2, FB=875 PSI, E=1,400,000 PSI
5. Pressure treated lumber: Southern Pine No.1, E=1,400,000 PSI
6. All exterior wall studs shall be at least 2x6 @ 16" O.C. unless noted otherwise. Furthermore, all wall studs adjacent to steel columns shall be fastened to face of column with Hilti X-U powder driven fasteners @ 16" O.C.
7. All multiple member beams and headers shall be supported on not less than an equal number of studs at each end, unless noted otherwise.
8. Wood columns made with three or more wood studs shall be nailed together with 16d nails. Nail spacing shall be in 2 rows, spaced 8" O.C. from both sides staggered 4" apart.
9. Unless otherwise noted, all exterior openings shall have not less than one jack stud and two full height studs at each side of the opening. All interior bearing wall openings shall have not less than two jack studs and one full height stud at each side of the opening unless noted otherwise.
10. All conventional lumber roof rafters shall have a Simpson Uplift Anchor at each bearing location. Use Simpson LSSU Skewed and/ or Sloped Hangers at each rafter as required. Provide and install 1.25"x20 GA ridge straps (10) 8d nails) at all conventional rafter pairs (or approved substitution).
11. Flush framing shall be supported by joist hangers designed for the full capacity of the supported member.
12. Provide and install double floor joists or properly designed trusses under all partitions running parallel to span.
13. All wood in contact with concrete or masonry shall be pressure treated with preservative.
14. Exterior wall sheathing shall be minimum 15/32 APA structural I rated sheathing or exterior grade. Sheathing shall be nailed with 8d nails not less than 6" O.C. on all panel edges. All wall horizontal panel edges within 48" of building corners must be blocked and nailed. Sheathing panels shall be installed to span across floor levels (centered on band joist) to achieve continuous uplift load path from roof to foundation.
15. Sub-flooring shall be ¾" tongue & groove APA Structural I Rated Sheathing exposure I unless noted otherwise. Fasten sub-floor to supporting framing with industry standard sub-floor adhesive and 8d nails @ 6" O.C.
16. Roof sheathing on flat roofs shall be minimum ¾" T&G APA Structural I Rated Sheathing.
17. Roof sheathing on non-curved sloping framing shall be minimum 5/8" T&G APA structural I rated sheathing.
18. Roof sheathing on flat roofs and non-curved sloping framing shall be nailed with 8d nails not more than 6" O.C. on all supported panel edges. Nails shall be spaced 4" O.C. in areas within 48" of ridges, hips, rakes, and eaves.
19. Roof sheathing on curved framing members shall be three layers on ¼" APA Rated Plywood sheathing with end and side joists staggered between successive layers. Each layer of sheathing shall be fastened to the supporting framing with 8d rink-shank nails @ 12" O.C. all nails shall be staggered between nails from successive layers.
20. Solid blocking shall be provided at ridges and eaves to support and fasten panel edges in all circumstances for all roof types where standard framing does not provide substrate for continuous panel edge support and fastening.
21. Engineered lumber supplier shall submit to the engineer of record for approval, shop drawings for all engineered lumber and I-Joists. Shop drawings shall include but are not limited to: Framing layout plan, member sizes, nailing patterns for multiple members, bearing lengths, connection hangers, blocking bridging, and squash blocks.
22. Laminated Veneer Lumber (LVL), Laminated Strand Lumber (LSL) and Parallel Strand Lumber (PSL) shall be versa-lam by boise cascade or equal.
23. LVL and PSL beams shall have the following minimum properties: FB=3100 PSI, FT= 2150 PSI, FC=750 PSI, FC= 3000 PSI, FV= 285 PSI, E=2,000,000 PSI
24. PSL columns/posts shall have the following minimum properties: FB=2650 PSI, FT=1650 PSI, FC=750 PSI, FC= 3000 PSI, FV=285 PSI, E=1,700,000 PSI
25. LVL's and PSL's shall be free of finger joints, scarf joints or mechanical connections for the full length of the member.
26. Adhesive used shall be waterproof, meeting the requirements of ASTM D-2559-76.
27. All Simpson Connectors (hangers, straps, uplift connectors, post caps, etc.) shall be coated with z-max corrosion resistance or approved substitute.
28. All fasteners in contact with pressure-treated lumber shall be certified for use with the preservative treatment used.
29. All fasteners exposed to moisture, expected condensation, pressure treated lumber, and/or the weather shall be made from non-corrosive materials or coated with an approved anti-corrosive coating certified and approved for use with the materials to be fastened.
30. All porch roof and floor beams shall be fastened to resist uplift loads with Simpson 20GA coil straps. Straps shall be centered over the top of the beam and bent down along both sides of post. Fasten straps with IOD nails through all available nail holes.
31. All ceiling framing (including truss bottom chords) adjacent to exterior walls shall be framed in order to brace the exterior walls against lateral movements. Coordinate all ceiling framing with Architect of record.
32. At all over framed roof conditions framed with conventional lumber, provide & install continuous 2x8 cleat fastened through sheathing and into each roof rafter with (2) #10 decking screws. Fasten over-framed rafters to cleat with (4) 16d toe-nails and single #10 decking screw through top of rafter.

Second Floor & Low Roof Framing
Scale:1/4" = 1'-0"

Plan Notes:
1. #J-#K jack and king studs shall be same dimensional stud lumber as adjacent studs. (i.e. 2J-2K means 2 full-height king studs with 2 jack studs supporting the header).

2. H1612 - indicates Simpson Strong-Tie type hanger required at beam connection. All Simpson hangers shall be installed per manufacturer's specifications with the maximum fastener size and quantity.
3. "Lally Column" all lally columns shall filled solid with concrete. Provide ½" thick "Springfield" cap and base plates at all lally columns.
4. Unless otherwise noted on plans, all headers over door and window openings shall be supported on ea. end by a single jack stud ganged to a double king stud.
5. Beams and columns on plan marked "P.T." denote pressure treated or wolmanized lumber.
6. Refer to general notes for further requirements.
7. All full-height columns which pass through floor or ceiling framing systems shall be fully blocked and tied into that framing to effectively brace the column in both directions.
8. All platform framed posts, walls, and/or beam loads shall be transferred to supports below with cripple studs, "squash blocks" and/or full-depth solid blocking.
9. All multi-ply wood and/or engineered members shall be ganged together in accordance with manufacturer's requirements and prevailing State Building Code.
10. Refer to general notes and prevailing State Building Code for connections not specifically specified on plans.
11. Member layout depicted on this plan is intended as a general guide to framing. The exact framing layout, material take-off, and framing method shall be closely coordinated with the architectural and structural drawings and ultimately determined by the General Contractor. Any substantial change in framing method/layout shall be reported to Architect of record.
12. All dimensions, elevations, shelves, beam pockets, cut-outs, underground utilities, piers, footings, slabs, and all other items shall be fully coordinated with civil, geotechnical, mechanical, architectural and all other trades' drawings prior to construction.
13. All trim, soffits, rakes, eaves, brackets, gutters, corbels, build-outs, pad-outs, and all other applied architectural features and embellishments be the responsibility of others and fully coordinated with the Architect of record.

Structural Steel Notes:
1. All detailing, fabrication and erection shall conform to the AISC specifications and codes, latest edition.
2. All wide flange section structural beams (W) shall be ASTM A992 Fy=50 KSI. Base plates, channels, angles, and misc. structural steel shall be ASTM A-36, Fy= 36 KSI. All square and rectangular hollow structural sections (HSS) shall be ASTM A-500 grade B FY minimum 46 KSI.
3. All anchor bolts and threaded rods shall conform to the requirements of ASTM F1554 and A307.
4. All bolts, nuts, and washers shall conform to the requirements of ASTM A-325 for ¾" diameter high strength bolts unless noted otherwise.
5. All welding electrodes shall be E7OXX.
6. All welding shall be done by certified welders and shall conform to the AWS "code for ARC and gas welding in building construction", latest edition.
7. No connection shall consist of less than two ¾" diameter bolts or welds developing a minimum of 10,000 pounds unless noted otherwise.
8. All fillet welds shall be a minimum of ¼" unless noted otherwise.
9. All welds shall be visually inspected and all full penetration welds shall be inspected by ultra-sonic testing.
10. An independent steel testing agency shall perform all inspection and testing. The structural steel fabricator and erector shall schedule all work to allow the above testing requirements to be completed. A copy of all test reports shall be filed with the Architect.
11. The contractor shall be responsible for the control of all erection procedures and sequences with relation to temperature differentials and stability.
12. After fabrication, all steel, except that to be galvanized shall be cleaned of all rust, loose mill scale and other foreign materials and receive one coat of approved primer paint or approved prefatory application specified by the corrosion inhibiting coating manufacturer.
13. The fabricator shall furnish checked shop and erection drawings and obtain approval prior to fabricating and structural steel.
14. Cuts, holes, openings, etc. required in structural steel members for the work of other trades shall be shown on shop drawings for structural steel and shall be made in the shop. Burning of holes or cuts in structural steel members in the field will not be permitted except by written permission from the structural engineer of record.
15. Full moment connections shall be designed and detailed to develop the full capacity of the members being connected.
16. Submit shop drawings for review and approval prior to construction.

Upper Roof Framing
Scale: ¼" = 1'- 0"

Plan Notes:
1. #J-#K jack and king studs shall be same dimensional stud lumber as adjacent studs. (e.e.2J-2K means 2 full height king studs with 2 jack studs supporting the header).

2. H1612 - indicates Simpson Strong-Tie type hanger required at beam connection. All Simpson hangers shall be installed per manufacturer's specifications with the maximum fastener size and quantity.
3. "Lally Column"- All lally columns shall be filled solid with concrete. Provide ½" thick "Springfield" cap and base plates at all lally columns.
4. Unless otherwise noted on plans, all headers over door and window openings shall be supported on ea. end by a single jack stud ganged to a double king stud.
5. Beams and columns on plan marked "P.T." denote pressure treated or wolmanized lumber.
6. Refer to general notes for further requirements.
7. All full-height columns which pass through floor or ceiling framing systems shall be fully blocked and tied into that framing to effectively brace the column in both directions.
8. All platform framed posts, walls, and/or beam loads shall be transferred to supports below with cripple studs, "squash blocks", and/or full-depth solid blocking.
9. All multi-ply wood and/or engineered members shall be ganged together in accordance with manufacturer's requirements and prevailing State Building Code.
10. Refer to general notes and prevailing State Building Code for connections not specifically specified on plans.
11. Member layout depicted on this plan is intended as a general guide to framing. The exact framing layout, material take-off, and framing method shall be closely coordinated with the architectural and structural drawings and ultimately determined by the General Contractor. Any substantial change in framing method/layout shall be reported to Architect of record.
12. All dimensions, elevations, shelves, beam pockets, cut-outs, underground utilities, piers, footings, slabs, and all other items shall be fully coordinated with civil, geotechnical, mechanical, architectural and all other trades' drawings prior to construction.
13. All trim, soffits, rakes, eaves, brackets, gutters, corbels, build-outs, pad -outs, and all other applied architectural features and embellishments be the responsibility of others and fully coordinated with the Architect of record.

First Floor Shear Walls
Scale: ¼" = 1'-0"

Holdown Notes:
1. All threaded rod holdowns shall be fastened to concrete foundations with Hilti Hit Hy 200 EPOXY system installed in strict accordance with manufacturer's requirements.
2. All multi-ply wall studs fastened to holdowns shall be ganged together in accordance with building code and general notes.
3. Where upper wall is not in line with lower wall, "STI" strap holdowns shall be extended through floor sheathing and fastened to beams/blocking below. Strap may be extended down and bent around underside of framing as required. See typical shearwall details for further information.
4. All dimensions, elevations, shelves, beam pockets cut-outs, underground utilities, piers, footings, slabs, and all other items shall be fully coordinated with civil, geotechnical, mechanical, architectural and all other trades' drawings prior to construction.

Second Floor Shear Walls
Scale: ¼" = 1'-0"

Holdown Notes:
1. All threaded rod holdowns shall be fastened to concrete foundations with Hilti Hit Hy 200 EPOXY system installed in strict accordance with manufacturer's requirements.
2. All multi-ply wall studs fastened to holdowns shall be ganged together in accordance with building code and general notes.
3. Where upper wall is not in line with lower wall, "STI" strap holdowns shall be extended through floor sheathing and fastened to beams/blocking below. Strap may be extended down and bent around underside of framing as required. See typical shearwall details for further information.
4. All dimensions, elevations, shelves, beam pockets cut-outs, underground utilities, piers, footings, slabs, and all other items shall be fully coordinated with civil, geotechnical, mechanical, architectural and all other trades' drawings prior to construction.

NEW RESIDENCE

32 MALCOLM ROAD JAMAICA PLAIN, MA

OWNER

mckay architects
35 Bryant Street
Dedham
Ma, 02026
ph. 781.326.5400
www.mckayarchitects.net

REGISTERED ARCHITECT MICHAEL L. McKAY NO. AR 6947 COMMONWEALTH OF MASSACHUSETTS

DATE	ISSUANCE

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Contractor to verify all information and dimensions in the field prior to start of construction and is to notify McKay Architects of any discrepancies

Structural Notes

JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

S-0.1

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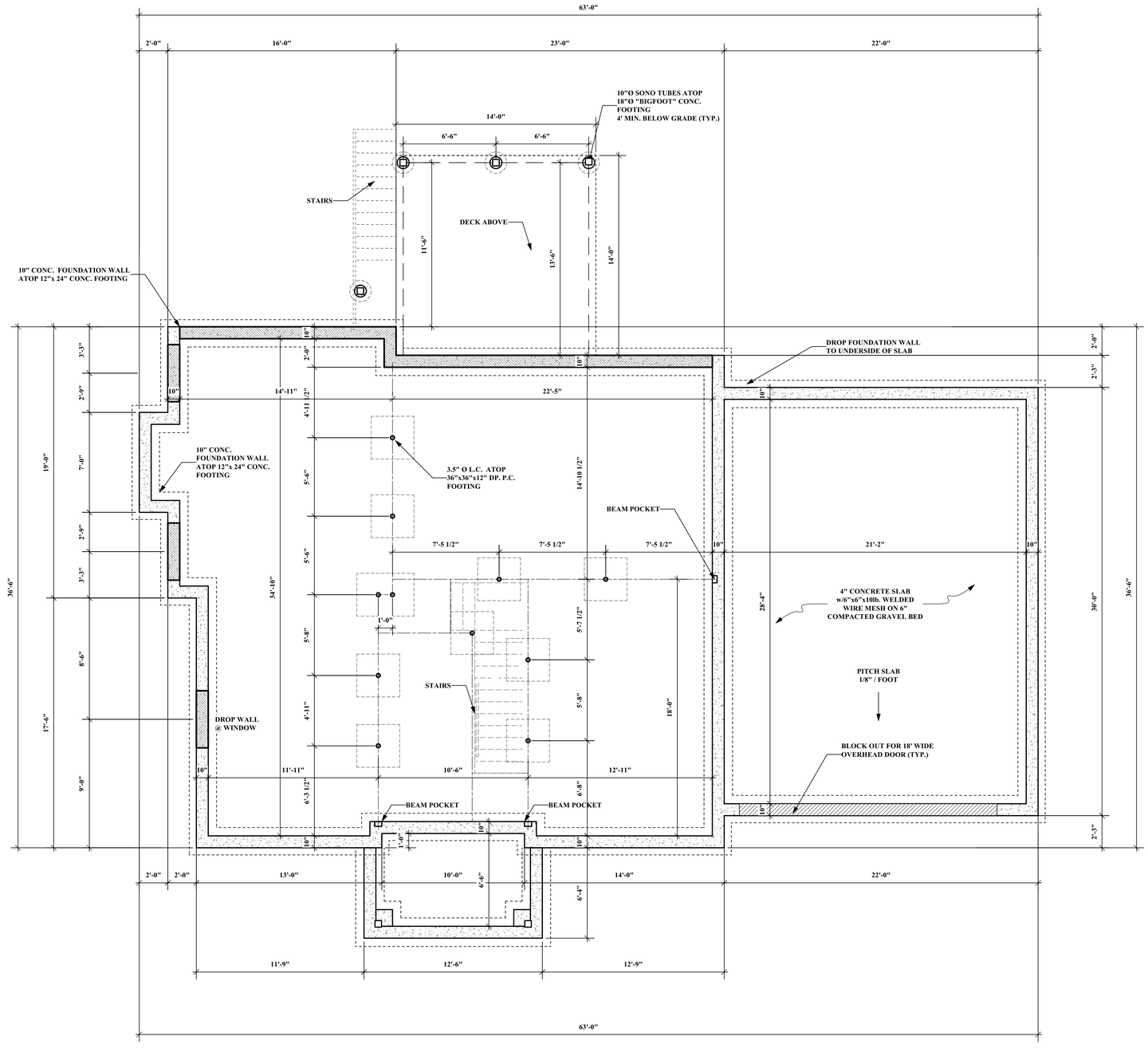

1
S-1.1
Foundation Plan
1/4" = 1'-0"

NEW RESIDENCE

32 MALCOLM ROAD JAMAICA PLAIN, MA

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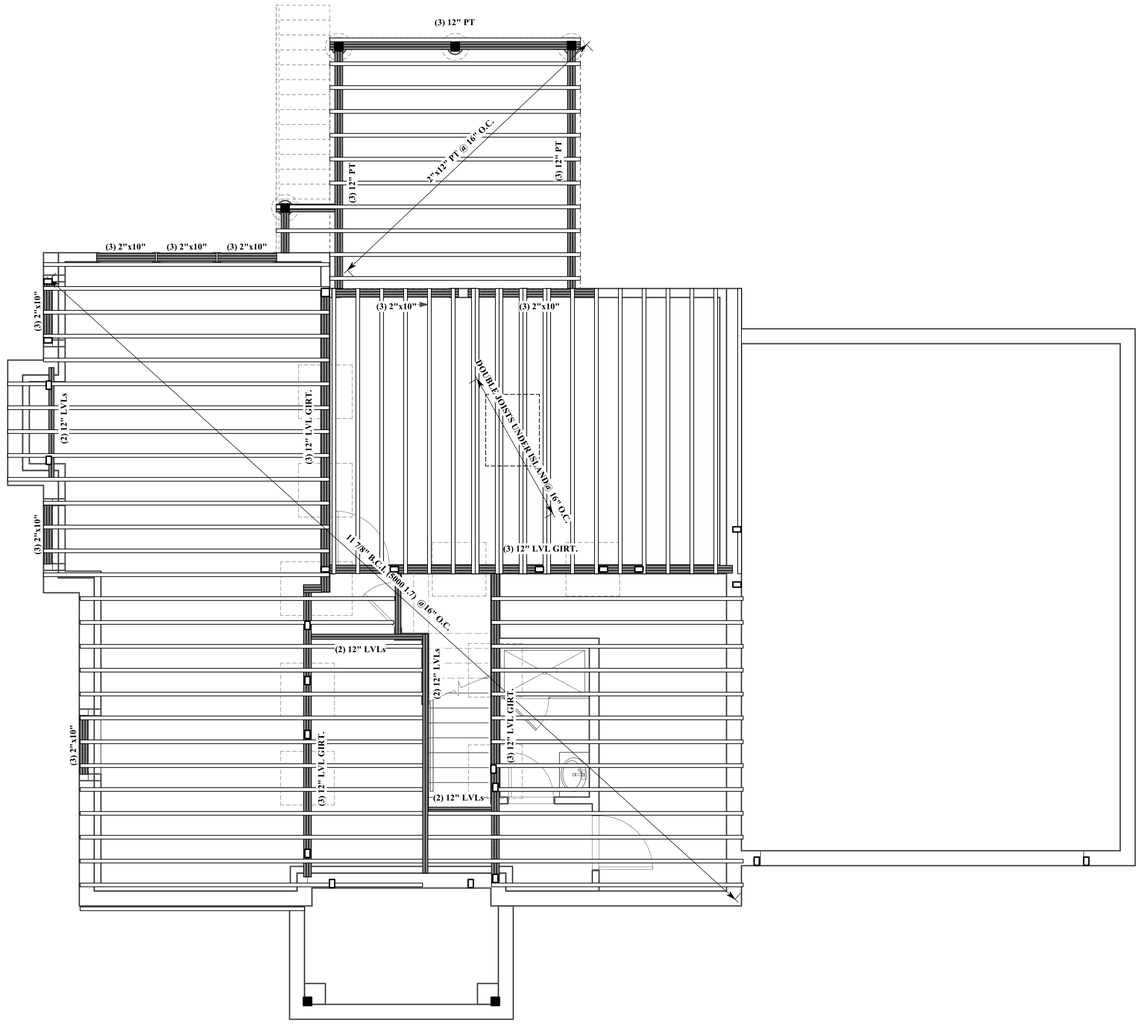
Foundation Plan

JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

S-1.1

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3



1
S-1.2
First Floor Framing Plan
1/4" = 1'-0"

FLOOR FRAMING NOTE:

6x6 PSL POST	■
4x6 PSL POST	■
4x4 PSL POST	■
4x6 DF POST	⊠
4x4 DF POST	⊠
POST UP	□
BEARING WALL	

NEW RESIDENCE

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First Floor Framing Plan

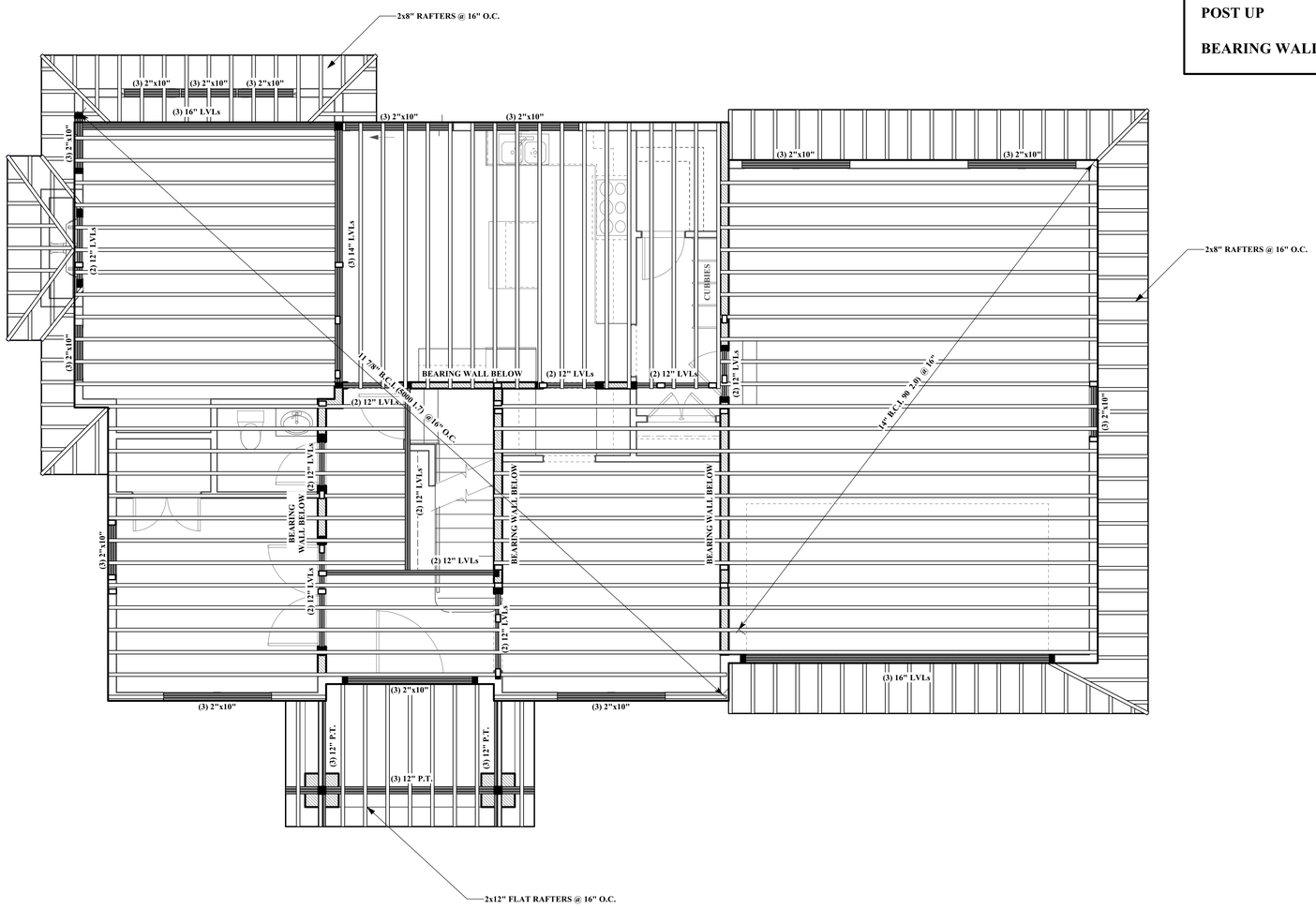
JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

S-1.2

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3

FLOOR FRAMING NOTE:

6x6 PSL POST	■
4x6 PSL POST	■
4x4 PSL POST	■
4x6 DF POST	⊠
4x4 DF POST	⊠
POST UP	□
BEARING WALL	▨



1 / S-1.3 Second Floor Framing Plan
1/4" = 1'-0"

NEW RESIDENCE

32
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Second Floor Framing Plan

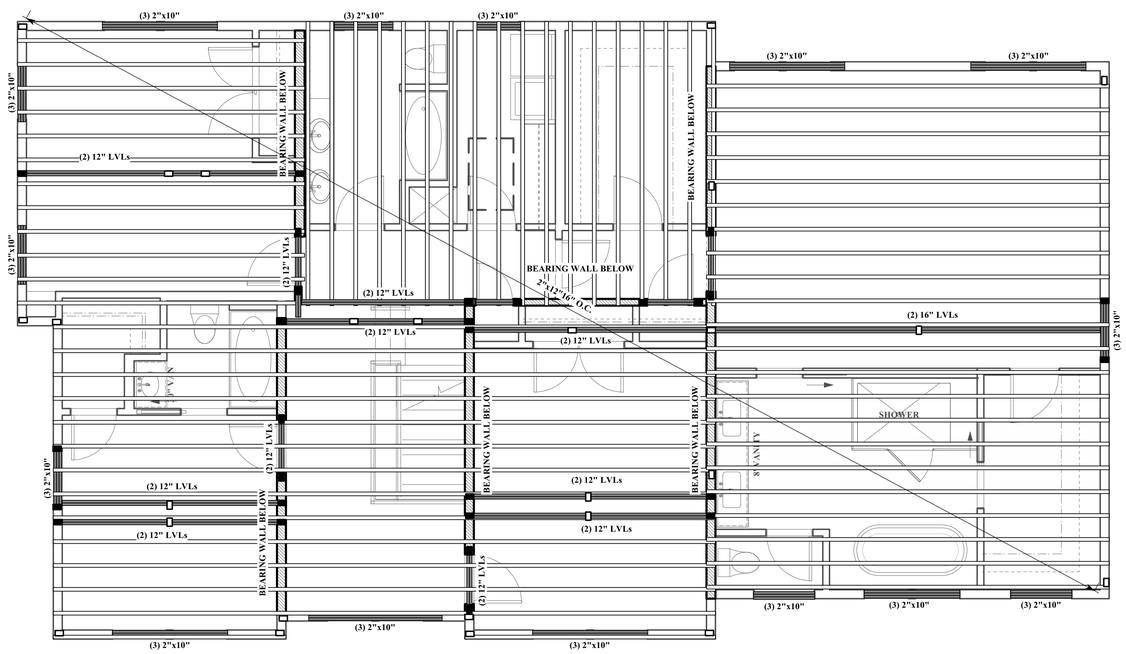
JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

S-1.3

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3

FLOOR FRAMING NOTE:

6x6 PSL POST	■
4x6 PSL POST	■
4x4 PSL POST	■
4x6 DF POST	⊠
4x4 DF POST	⊠
POST UP	□
BEARING WALL	▨



1
S-1.4
Attic Floor Framing Plan
1/4" = 1'-0"

NEW RESIDENCE

32
MALCOLM ROAD
JAMAICA PLAIN, MA

OWNER

mckay architects
35 Bryant Street
Dedham
Ma. 02026
ph. 781.326.5400
www.mckayarchitects.net

REGISTERED ARCHITECT
MICHAEL L. McKAY
NO. AR 6947
COMMONWEALTH OF MASSACHUSETTS

DATE	ISSUANCE

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Contractor to verify all information and dimensions in the field prior to start of construction and is to notify McKay Architects of any discrepancies

Attic Floor Framing Plan

JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

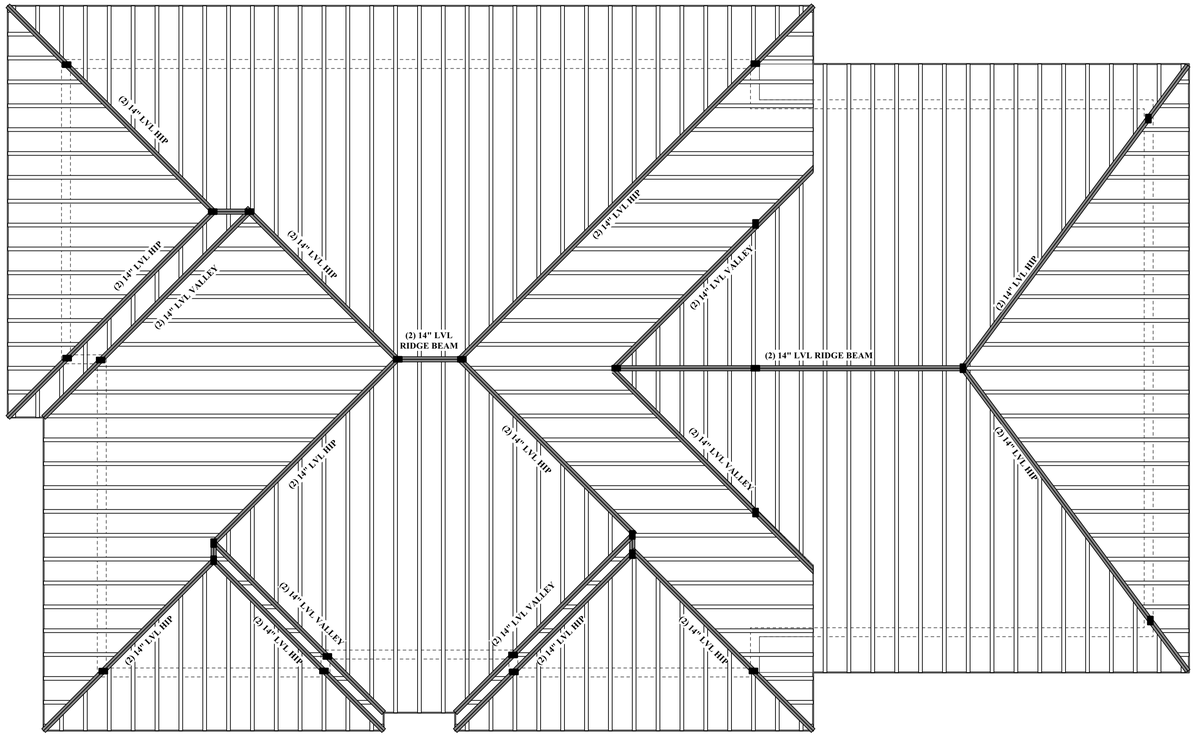
S-1.4

Docusign Envelope ID: 2FFEE8A5-E7E9-4E84-8CD8-E97EE8B648A3

ROOF FRAMING NOTE:

ALL RAFTERS TO BE 2x12 @ 16" O.C.
w/2x10 COLLAR TIES @ 16" O.C. (U.N.O.)

6x6 PSL POST	■
4x6 PSL POST	▮
4x4 PSL POST	▪
4x6 DF POST	⊠
4x4 DF POST	⊠
POST UP	▫
BEARING WALL	▨



1
S-1.5
Roof Framing Plan
1/4" = 1'-0"

NEW RESIDENCE

32
MALCOLM ROAD
JAMAICA PLAIN, MA

OWNER

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Roof Framing Plan

JOB NO	0050
DATE	04.10.2024
DWG BY	SH
CKD BY	MLM
SCALE	1/4" = 1'-0"

S-1.5