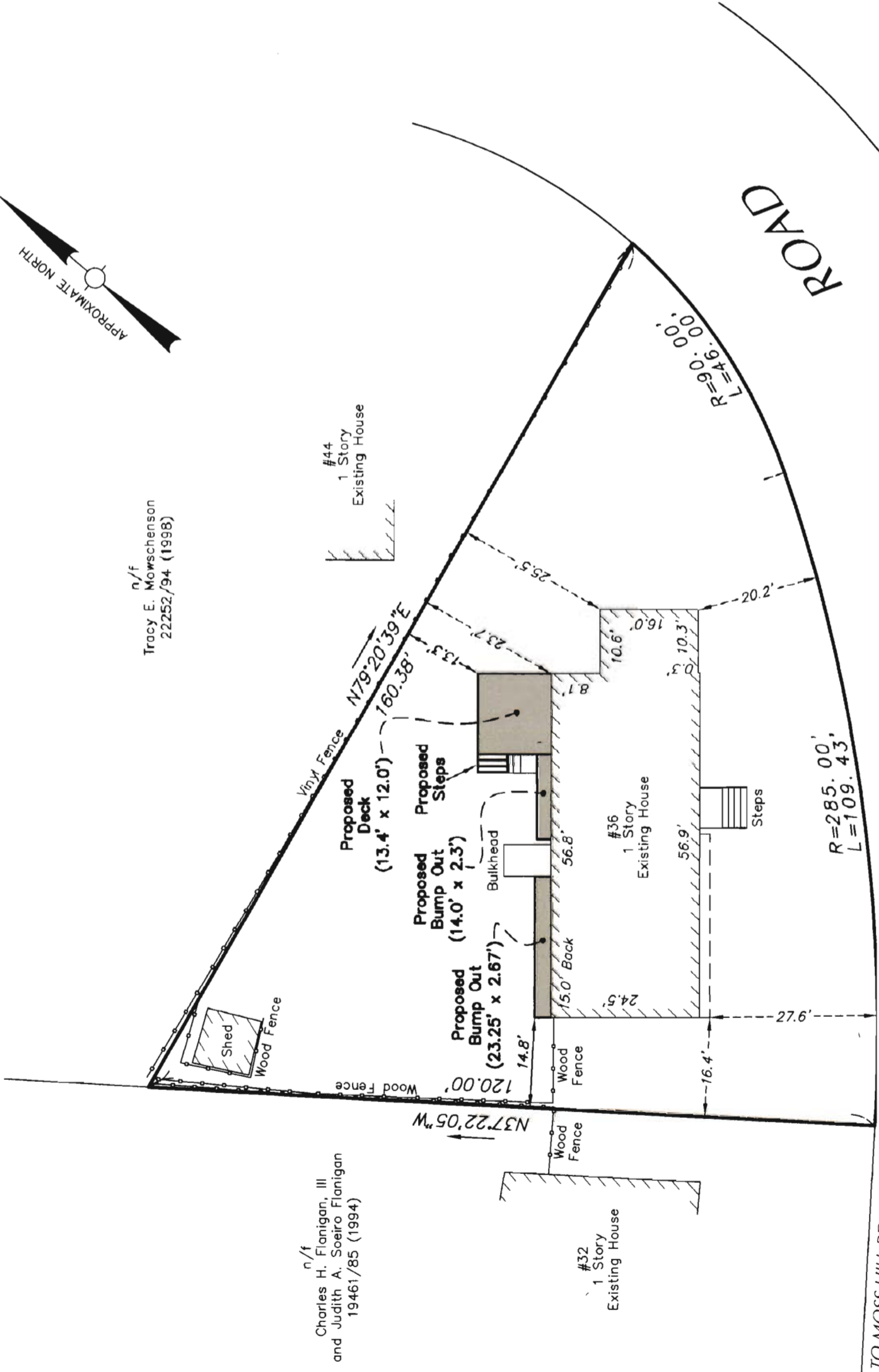


n/f
Tracy E. Mowschenson
22252/94 (1998)

n/f
Charles H. Flanigan, III
and Judith A. Soeiro Flanigan
19461/85 (1994)

#44
1 Story
Existing House



OPEN SPACE AREA = 8,355± SQ. FT. OR 82%±

REFERENCE

OWNER OF RECORD: n/f KATHLEEN K. MILMOE
20273/190 (1993) DEED
PLAN BOOK 7129, PAGE 9 (1955)
AREA = 10,131 SQ. FT.

NOTE

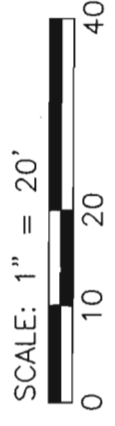
- 1) FIELD SURVEY PERFORMED: FEBRUARY 11, 2015.
- I HEREBY CERTIFY THAT:
THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED
ON AN ON-THE-GROUND SURVEY AND PRESENT THE FACTS
AS FOUND AT THE TIME OF THE SURVEY.



7-15-15 Antoni Szaresundwicz
DATE PROFESSIONAL LAND SURVEYOR

**PROPOSED
ADDITION PLAN**
36 MOSSDALE ROAD
JAMAICA PLAIN, MASS.
SUFFOLK COUNTY
1" = 20' JULY 14, 2015

Paul Lindholm, P.E.
Civil/Environmental Consulting
80 Tarbox Street, Dedham, MA 02026
(781) 461-1083 Fax: (781) 461-0274



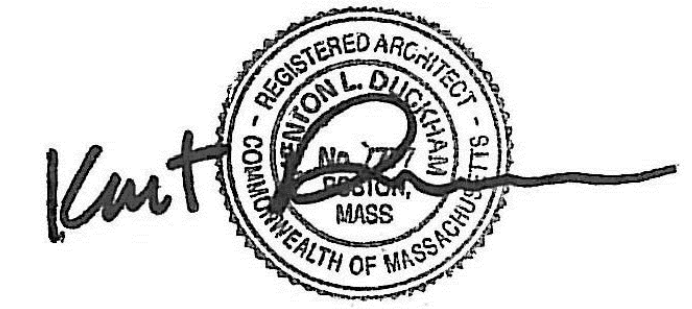
MOSSDALE

TO MOSS HILL RD.

MILMOE RESIDENCE

36 Mossdale Road
Jamaica Plain, Massachusetts

PERMIT SET - March 24, 2015
Revised - July 9, 2015



ZONING COMPUTATIONS:

BUILDING ZONE	F1-9000	(BUILT: 1958)	
LOT SIZE	10,131 SQ.FT.		
SQUARE FOOTAGE DISTRIBUTION:			
FLOOR:	EXISTING:	ADDITIONS:	PROPOSED:
BASEMENT	880	+0	880
GARAGE	500	+0	500
FIRST FLOOR	1,594	+62	1,656
TOTAL:	2,974 SQ.FT.	+62 SQ.FT.	3,036 SQ.FT.
DECK			158

ENERGY COMPLIANCE

ALL CONSTRUCTION WILL BE IN COMPLIANCE WITH THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE. ALL INSULATION WILL MATCH ENERGY COMPLIANCE CERTIFICATE SUPPLIED BY ARCHITECT. ALL WALLS TO BE MIN. R-20, ALL CEILINGS, ROOFS & CEILINGS TO BE MIN. R-38, ALL FLOORS TO BE MIN. R-30, ALL GLAZING TO BE MIN. U-0.32. HOUSEWRAP WILL BE INSTALLED PER MANUFACTURERS INSTRUCTION. ALL OPENINGS WILL BE SEALED IN COMPLIANCE WITH THE 2012 IECC.

PROJECT DIRECTORY

OWNER:
Kathy and James Milmoe
36 Mossdale Road
Jamaica Plane, MA
T. (781) 329-7272

ARCHITECT:
Duckham Architecture
53 Central Avenue
Needham, MA 02494
T. (617) 422-0952
Contact: Kent Duckham

CIVIL/SITE SURVEY:
Civil/Environmental Consulting
80 Tarbox Street
Dedham, MA 02026
T. (781) 461-1083
Contact: Paul Lindholm, P.E.

STRUCTURAL ENGINEER:
Swanson Structural
116 Forest Street
Franklin, MA 02038
T. (508) 520-1333
F. (508) 520-1334
Contact: Paul Swanson

GENERAL CONTRACTOR:
Robert E. Wallace, Jr.
81 Neck Hill Road
Mendon, MA 01756
T. (508) 918-9888

DRAWING INDEX

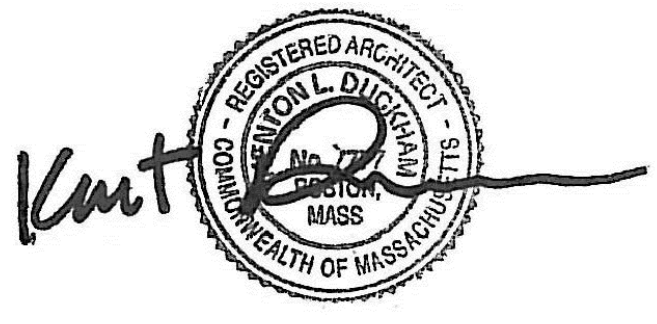
	COVER SHEET
D100	BASEMENT DEMOLITION PLAN
D101	FIRST FLOOR DEMOLITION PLAN
S100	PROPOSED FOUNDATION PLAN
S101	PROPOSED FIRST FLOOR FRAMING PLAN
S102	PROPOSED ROOF FRAMING PLAN
A001	SYMBOLS, LEGENDS & ABBREVIATIONS
A100	PROPOSED BASEMENT PLAN
A101	PROPOSED FIRST FLOOR PLAN
A201	PROPOSED EXTERIOR ELEVATIONS
A301	BUILDING SECTION

GENERAL NOTES

- ALL WORK PERFORMED, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, AND MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE AND THE LATEST REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE AND THE APPLICABLE CITY OR TOWNSHIP, ALL LOCAL AND STATE HANDICAP AND FEDERAL REQUIREMENTS, AND GENERAL CONDITIONS PER AIA DOCUMENT #A205 AND OWNER/CONTRACTOR AGREEMENT DOCUMENT #A105.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE OWNER AND THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING AGENCIES.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THAT ALL EXISTING CONDITIONS AGREE WITH THE INFORMATION SHOWN ON THE DRAWINGS. ANY CONFLICTS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF ANY WORK. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON BEHALF OF THE ARCHITECT FOR ANY ADDITIONAL EXPENSES WHICH ARE INCURRED DUE TO NEGLIGENCE OR WHICH COULD HAVE BEEN REASONABLY FORESEEN BY PRIOR INSPECTION OF EXISTING CONDITIONS.
- PRIOR TO COMMENCING WORK, ORDERING OF MATERIALS AND SHOP FABRICATION OF ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS INDICATED ON THE DRAWINGS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
- DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE AND TYPICAL DETAIL FOR CONSTRUCTION. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS, FOR CONDITIONS NOT ILLUSTRATED, NOTIFY ARCHITECTS FOR CLARIFICATION AND/OR SIMILAR DETAIL.
- THE SCOPE OF WORK INCLUDES ALTERATION TO EXISTING FACILITIES. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED OR PROVIDE A COMPLETE AND FINISHED PRODUCT WITHIN THE SCOPE OF WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED ON THE CONTRACT DOCUMENTS, SHALL BE PERFORMED BY THE CONTRACTOR AND BE INCLUDED IN THE BID. CONTRACTOR TO INSPECT AT TIME OF DELIVERY ALL FIXTURES PROVIDED BY OWNER TO INSURE PROPER QUANTITY, THAT ITEMS ARE DEFECT FREE, AND MATCH INVOICE. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION, WHICH MAY INCLUDE BLOCKING, SHIMMING, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL ITEMS SUPPLIED BY OWNER'S VENDORS AND TO VERIFY THAT ALL MATERIALS RECEIVED ARE IN ACCORDANCE WITH THE SPECIFICATIONS, HEREIN. ANY DAMAGED ITEMS OR DISCREPANCIES BETWEEN MATERIALS SPECIFIED AND MATERIALS SHIPPED, SHALL BE REPORTED TO THE ARCHITECT PROMPTLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS MATERIALS AND FINISHES WITH THE PROPOSED CONSTRUCTION AREA AND ALL ADJOINING PROPERTY AFFECTED BY CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. ANY EXISTING MATERIALS AND FINISHES WHICH ARE DAMAGED, SHALL BE REPLACED AS NECESSARY WITH NEW MATCHING MATERIALS AT THE CONTRACTOR'S OWN COST AND EXPENSE.
- THE CONTRACTOR SHALL DO ALL CUTTING, CHASING, CORE DRILLING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL THE WORK THAT MAY BE INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PATCHING SHALL MATCH ADJACENT SYSTEMS, MATERIALS AND FINISHES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL EMPLOY ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK. ALL WORK SHALL BE PERFORMED BY DULY LICENSED PROFESSIONALS AND AS REQUIRED BY STATE AND LOCAL GOVERNMENTS FOR EACH APPLICABLE TRADE, (PLUMBING, ELECTRICAL, ETC.), WHO SHALL ARRANGE FOR AND OBTAIN REQUIRED INSPECTIONS AND SIGN-OFFS.
- THESE DRAWINGS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTOR, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WORK OF ALL TRADES AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS, AND SHALL VERIFY THAT ANY WORK RELATING TO THEM WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL PROVIDE STRUCTURAL BACKING/BLOCKING FOR ALL WALL MOUNTED FIXTURES, FINISHES AND EQUIPMENT, AND FOR ALL HANGING FIXTURES, BLINDS, ETC.
- CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURERS WRITTEN INSTRUCTIONS AND/OR RECOMMENDATIONS.
- CONTRACTOR SHALL AT ALL TIMES DURING THE COURSE OF THE CONTRACT KEEP ADJOINING PREMISES, INCLUDING STREETS AND OTHER AREAS ASSIGNED TO OR USED BY THE CONTRACTOR, FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY CONTRACTOR'S EMPLOYEES, SUBCONTRACTOR OR THEIR WORK.
- CONTRACTOR SHALL ASSIST DELIVERY AND STORAGE OF OWNER SUPPLIED ITEMS, AND DISPOSE OF ANY RESULTING TRASH.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL TRADES PRIOR TO INSTALLATION, AND SAMPLES OF ALL MATERIAL AND COLOR/FINISHES FOR ARCHITECT'S APPROVAL ON ANY DEVIATION/SUBSTITUTION FROM CONTRACT DOCUMENTS.
- CONTRACTOR TO VERIFY ALL FIXTURE COUNTS, AS APPLICABLE TO THEIR CONTRACT, WITH OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLOSEOUT, PRIOR TO FINAL PAYMENT, INCORPORATING ALL STANDARD GUARANTIES AND WARRANTIES AND ORIGINALS OF ALL APPLICABLE CERTIFICATES OF TESTING, INSPECTION, TEMPORARY FINAL CERTIFICATE OF OCCUPANCY, COORDINATE WITH OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH, PROFESSIONAL CLEANING OF THE ENTIRE FACILITY PRIOR TO OWNER TAKEOVER DATE. ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING MUST BE WIPED CLEAN AND FREE OF DUST; WALLS, EXPOSED STRUCTURAL MEMBERS, STAIRS AND RAILINGS, CABINETRY. ALL FLOORS MUST BE MOPPED CLEAN.
- CONTRACTOR TO PROVIDE 3 COPIES OF AS BUILT INFORMATION, OPERATION AND MAINTENANCE MANUALS, INCLUDING ALL PRODUCT GUARANTIES AND WARRANTIES.
- CONTRACTOR TO KEEP A SET OF THE MOST CURRENT DRAWINGS ON SITE AT ALL TIMES.

PERMIT SET

MARCH 11, 2015



Issues

Number	Date	Description

Revisions

Number	Date	Description
1	07.09.2015	Cantilever Master Bedroom & Sun Room Wall Removed

Checked by :

Drawn by :

Milmoe Residence
36 Mossdale Road
Boston, MA

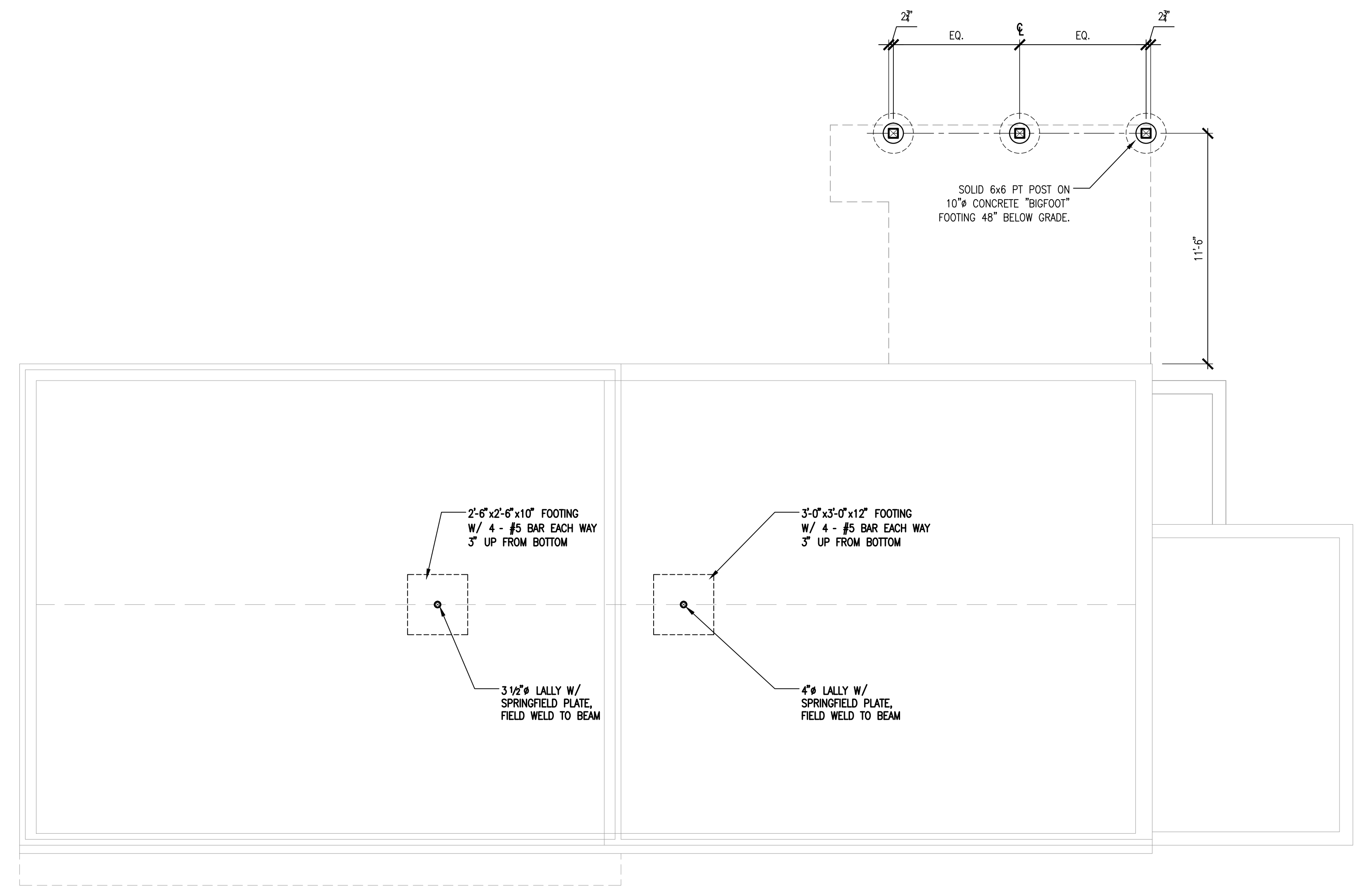
FOUNDATION PLAN

Drawing Scale:
1/4"=1'-0"

Project Number:
201502.00

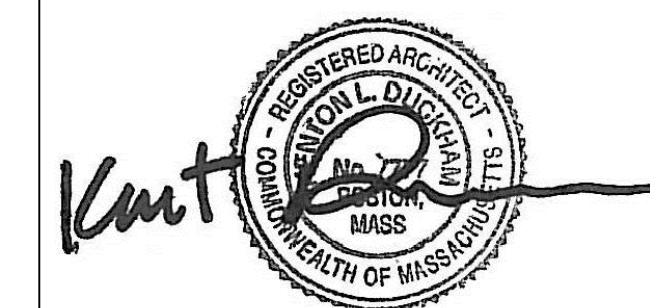
Date Issued:
07.09.2015

S100



PERMIT SET

MARCH 11, 2015



Issues

Number	Date	Description
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Revisions

Number	Date	Description
1	07.09.2015	Cantilever Master Bedroom & Sun Room Wall Removed

Checked by:

Drawn by:

Milmoe Residence
36 Mossdale Road
Boston, MA

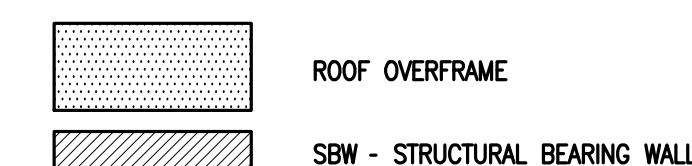
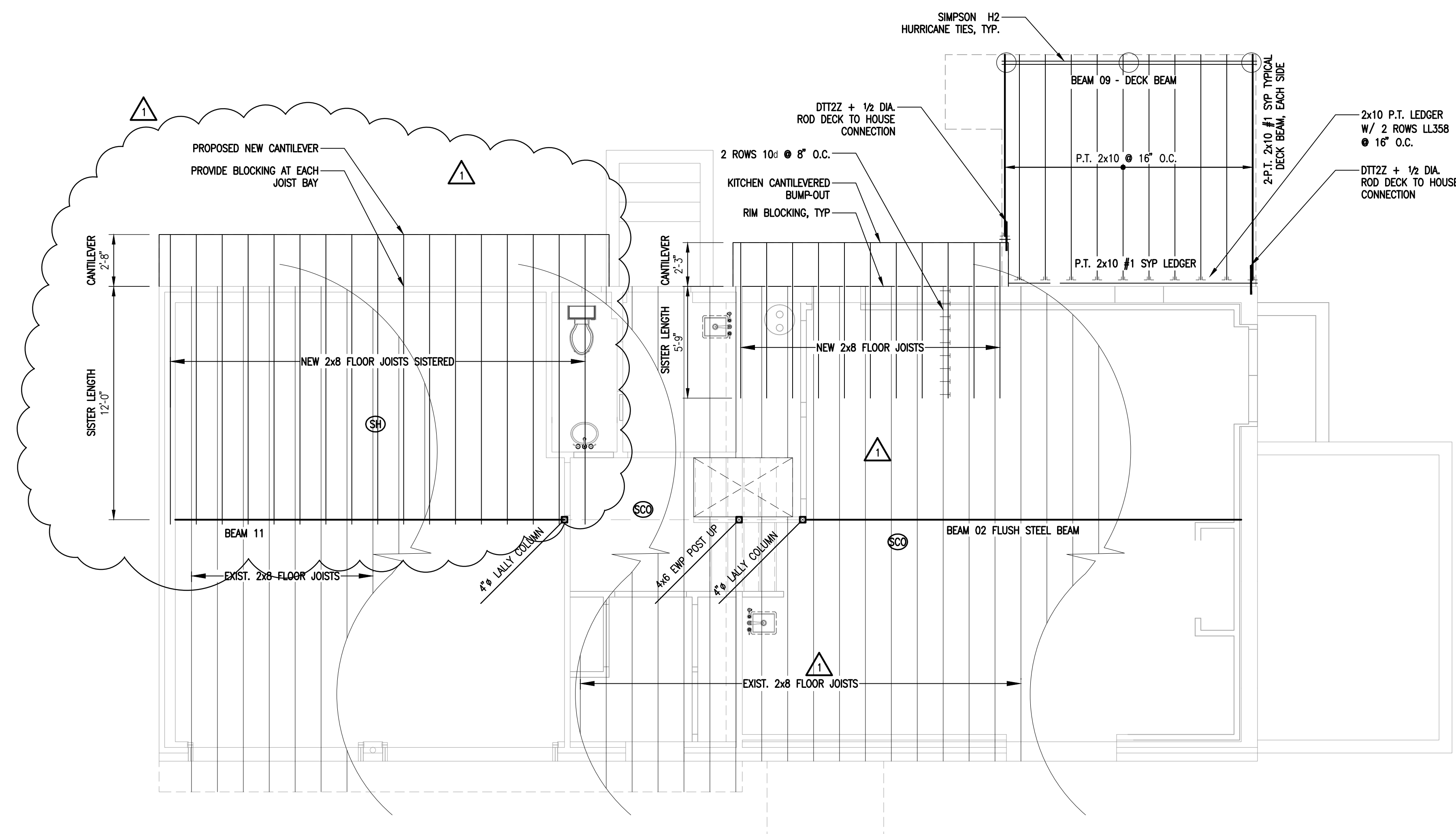
FIRST FLOOR FRAMING PLAN

Drawing Scale:
1/4"=1'-0"

Project Number:
201502.00

Date Issued:
07.09.2015

S101



STRUCTURAL NOTES:
ALL CEILING JOISTS TO BE 2x10 @16 O.C.

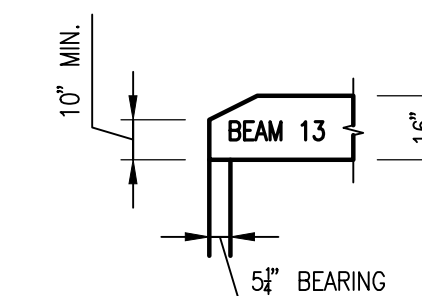
SBW = STRUCTURAL BEARING WALL

EWP = ENGINEERED WOOD POST

BLOCK SOLID UNDER POSTS THROUGH I-JOIST CAVITY

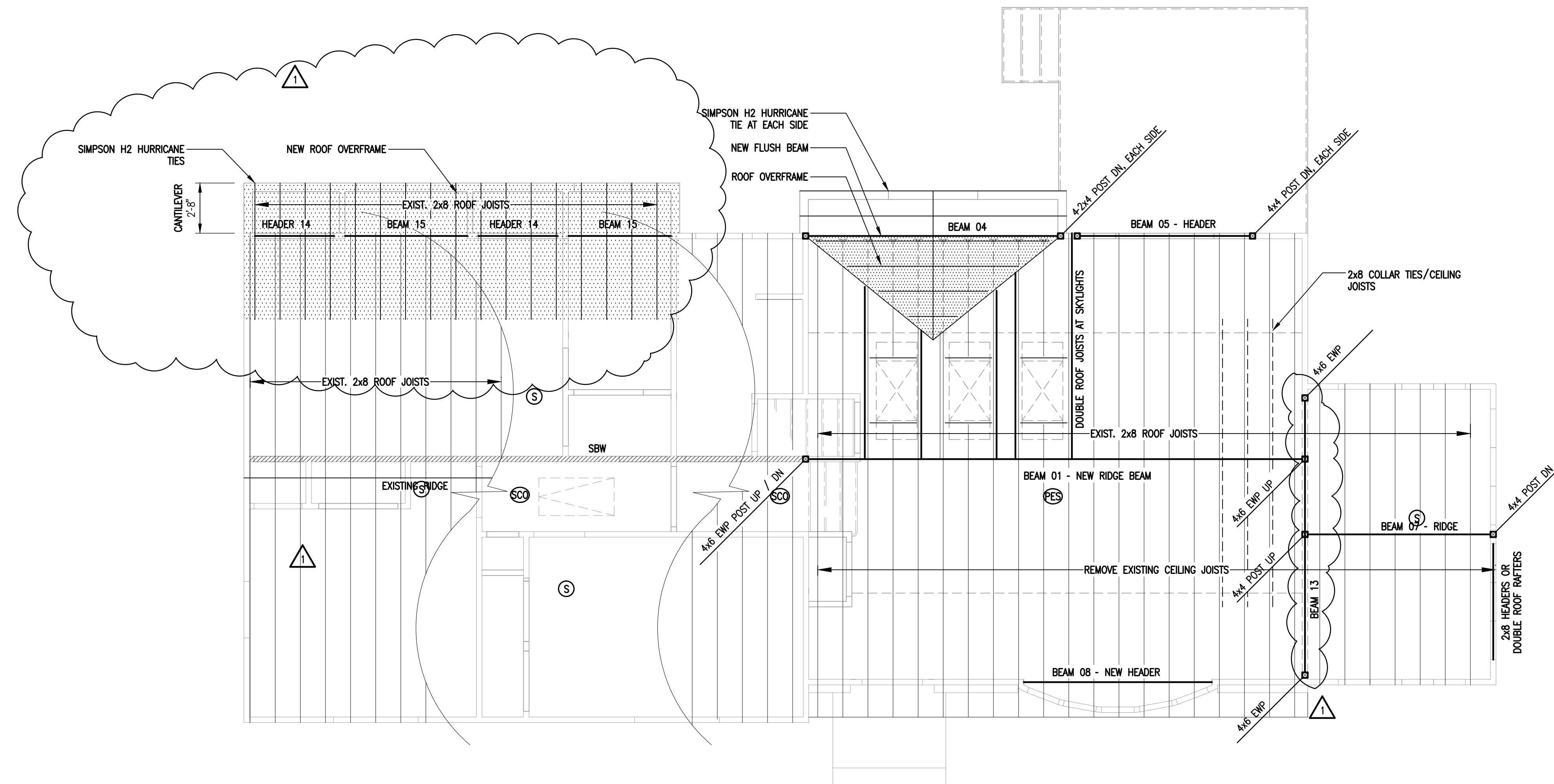
BEAM LEGEND:

BEAM 1	2-1 3/4" x 24" LVL
BEAM 2	WB48 FLUSH STEEL BEAM
BEAM 3	NOT USED
BEAM 4	2-1 3/4" x 11 7/8" LVL - BEVEL CUT ENDS TO CLEAR ROOF, MIN. 6" HEEL HEIGHT
BEAM 5	2-1 3/4" x 9 1/2" LVL
BEAM 6	2-2" x 10'S SPF #2
BEAM 7	2-1 3/4" x 7 1/4" LVL
BEAM 8	2-1 3/4" x 8 1/2" LVL (CUT FROM 9 1/2" LVL)
BEAM 9	3-2" x 10" P.T. #1 SYP.
BEAM 10	NOT USED
BEAM 11	3-1 3/4" x 18" LVL
BEAM 12	3-2x10'S FLUSH
BEAM 13	2-1 3/4" x 16" LVL - BEVEL CUT ENDS 5/12 SLOPE; SEE DIAGRAM BELOW
BEAM 14	2-2x8'S DROPPED
BEAM 15	3-2x10'S FLUSH



PERMIT SET

MARCH 11, 2015



- ROOF OVERFRAME
- SBW - STRUCTURAL BEARING WALL

STRUCTURAL NOTES:
ALL CEILING JOISTS TO BE 2x10 @16 O.C.

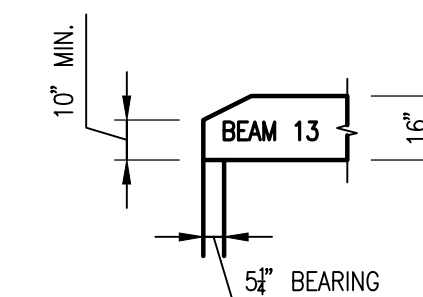
SBW = STRUCTURAL BEARING WALL

EWP = ENGINEERED WOOD POST

BLOCK SOLID UNDER POSTS THROUGH I-JOIST CAVITY

BEAM LEGEND:

- BEAM 1 2-1 3/4" x 24" LVL
- BEAM 2 W6x48 FLUSH STEEL BEAM
- BEAM 3 NOT USED
- BEAM 4 2-1 3/4" x 11 7/8" LVL - BEVEL CUT ENDS TO CLEAR ROOF, MIN. 6" HEEL HEIGHT
- BEAM 5 2-1 3/4" x 9 1/2" LVL
- BEAM 6 2-2" x 10'S SPF #2
- BEAM 7 2-1 3/4" x 7 1/4" LVL
- BEAM 8 2-1 3/4" x 8 1/2" LVL (CUT FROM 9 1/2" LVL)
- BEAM 9 3-2" x 10' P.T. #1 SYP.
- BEAM 10 NOT USED
- BEAM 11 3-1 3/4" x 18" LVL
- BEAM 12 3-2x10'S FLUSH
- BEAM 13 2-1 3/4" x 16" LVL - BEVEL CUT ENDS 5/12 SLOPE; SEE DIAGRAM BELOW
- BEAM 14 2-2x8'S DROPPED
- BEAM 15 3-2x10'S FLUSH



Issues

Number	Date	Description

Revisions

Number	Date	Description
1	07.09.2015	Cantilever Master Bedroom & Sun Room Wall Removed

Checked by:
Drawn by:

Milmo Residence
36 Mossdale Road
Boston, MA

ROOF FRAMING PLAN

Drawing Scale:
1/4"=1'-0"

Project Number:
201502.00

Date Issued:
07.09.2015

S102

PERMIT SET

MARCH 11, 2015



Issues

Number	Date	Description

Revisions

Number	Date	Description
1	07.09.2015	Cantilever Master Bedroom & Sun Room Wall Removed

Checked by:

Drawn by:

Milmoe Residence
36 Mossdale Road
Boston, MA

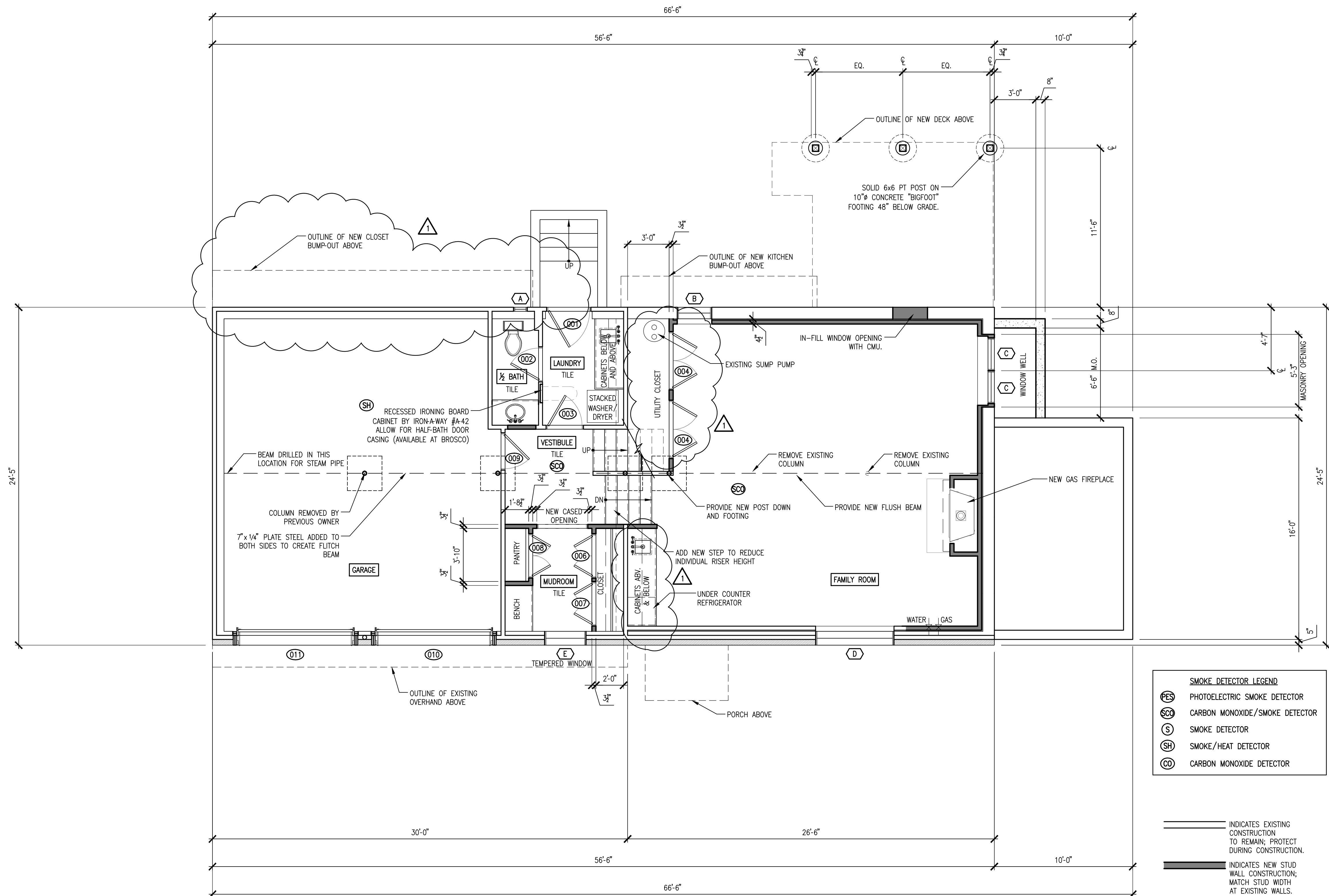
PROPOSED LOWER LEVEL FLOOR PLAN

Drawing Scale:
1/4"=1'-0"

Project Number:
201502.00

Date Issued:
07.09.2015

A100



PERMIT SET

MARCH 11, 2015



Issues

Number	Date	Description

Revisions

Number	Date	Description
1	07.09.2015	Cantilever Master Bedroom & Sun Room Wall Removed

Checked by:

Drawn by:

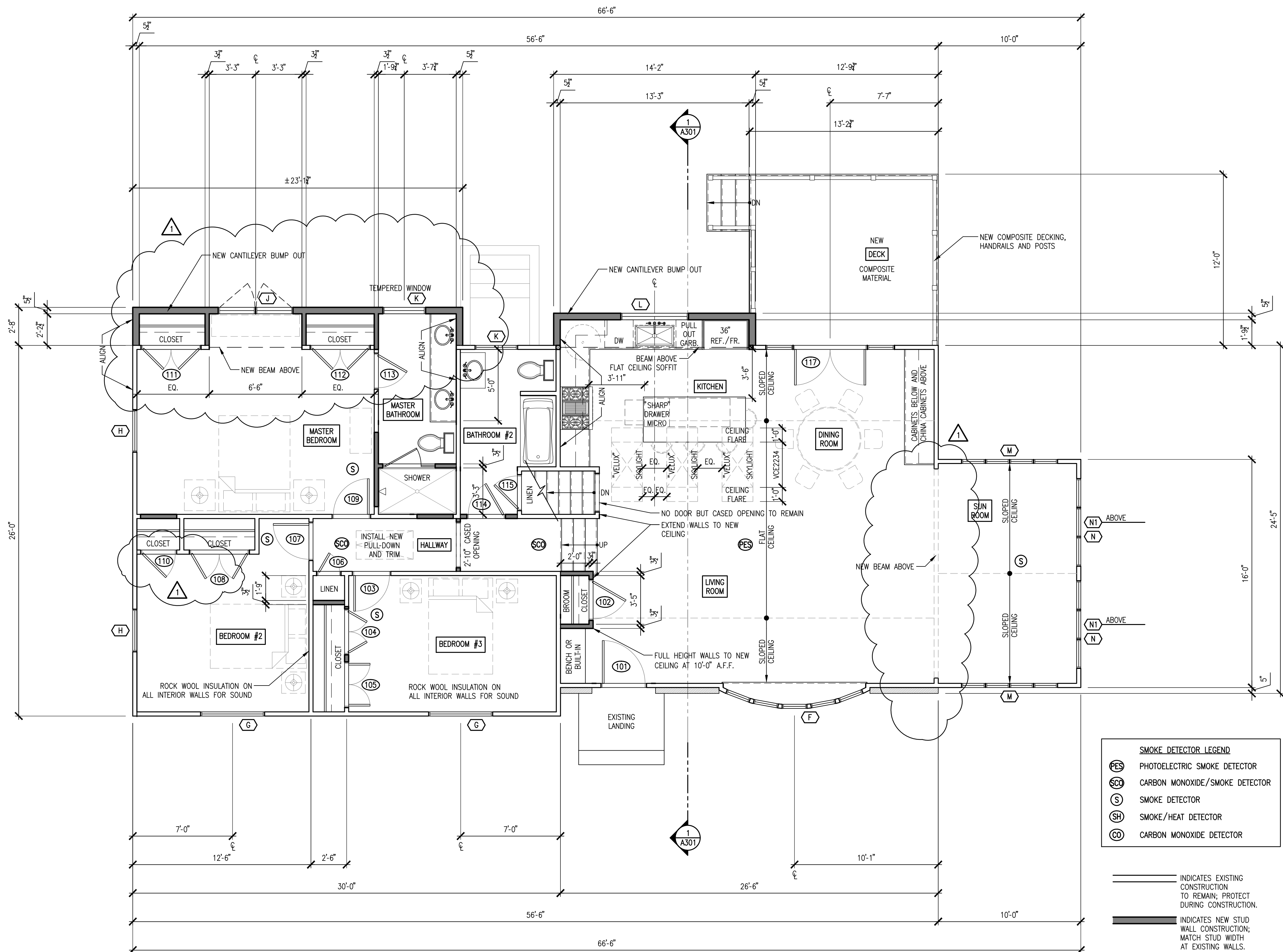
Milmoe Residence
36 Mossdale Road
Boston, MA

PROPOSED FIRST FLOOR PLAN

Drawing Scale:
1/4" = 1'-0"

Project Number:
201502.00

Date Issued:
07.09.2015

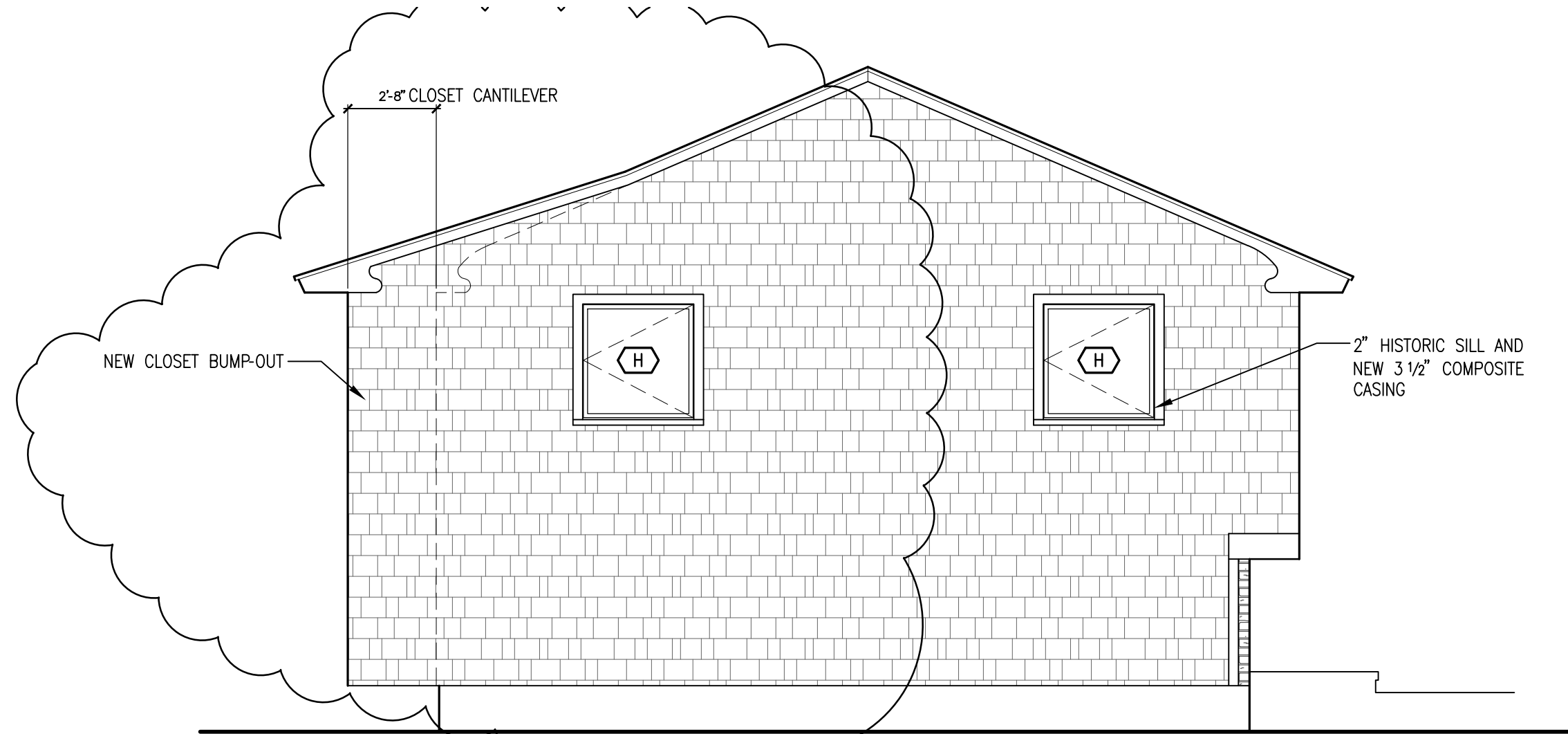


PERMIT SET

MARCH 11, 2015



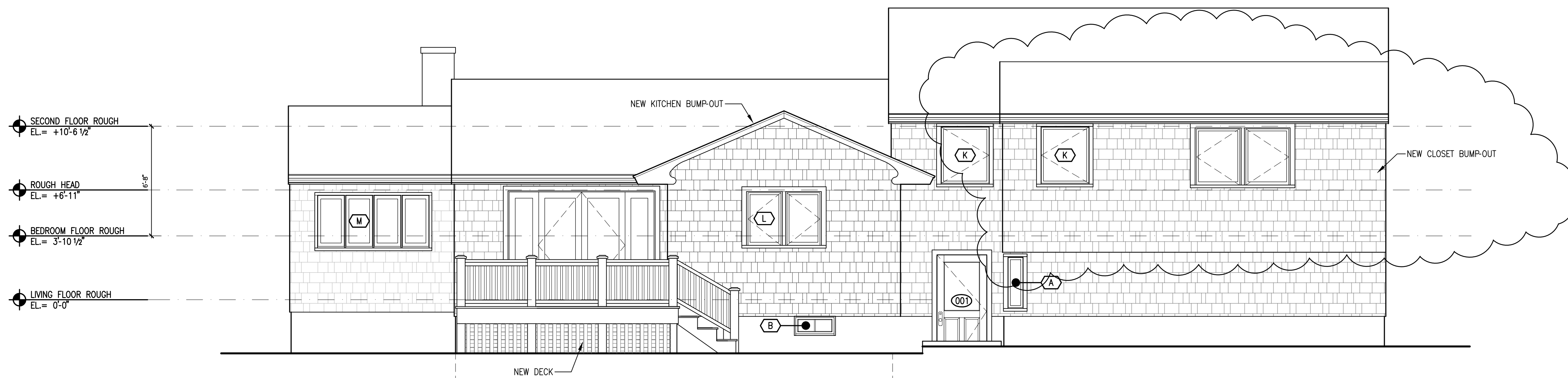
1 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

Issues

Number	Date	Description

Revisions

Number	Date	Description
1	07.09.2015	Cantilever Master Bedroom & Sun Room Wall Removed

Checked by: _____
Drawn by: _____

Milmoe Residence
36 Mossdale Road
Boston, MA

PROPOSED ELEVATIONS

Drawing Scale:
1/4" = 1'-0"

Project Number:
201502.00

Date Issued:
07.09.2015

A201

PERMIT SET

MARCH 11, 2015



Issues

Number	Date	Description

Revisions

Number	Date	Description
1	07.09.2015	Cantilever Master Bedroom & Sun Room Wall Removed

Checked by:

Drawn by:

Milmoe Residence
36 Mossdale Road
Boston, MA

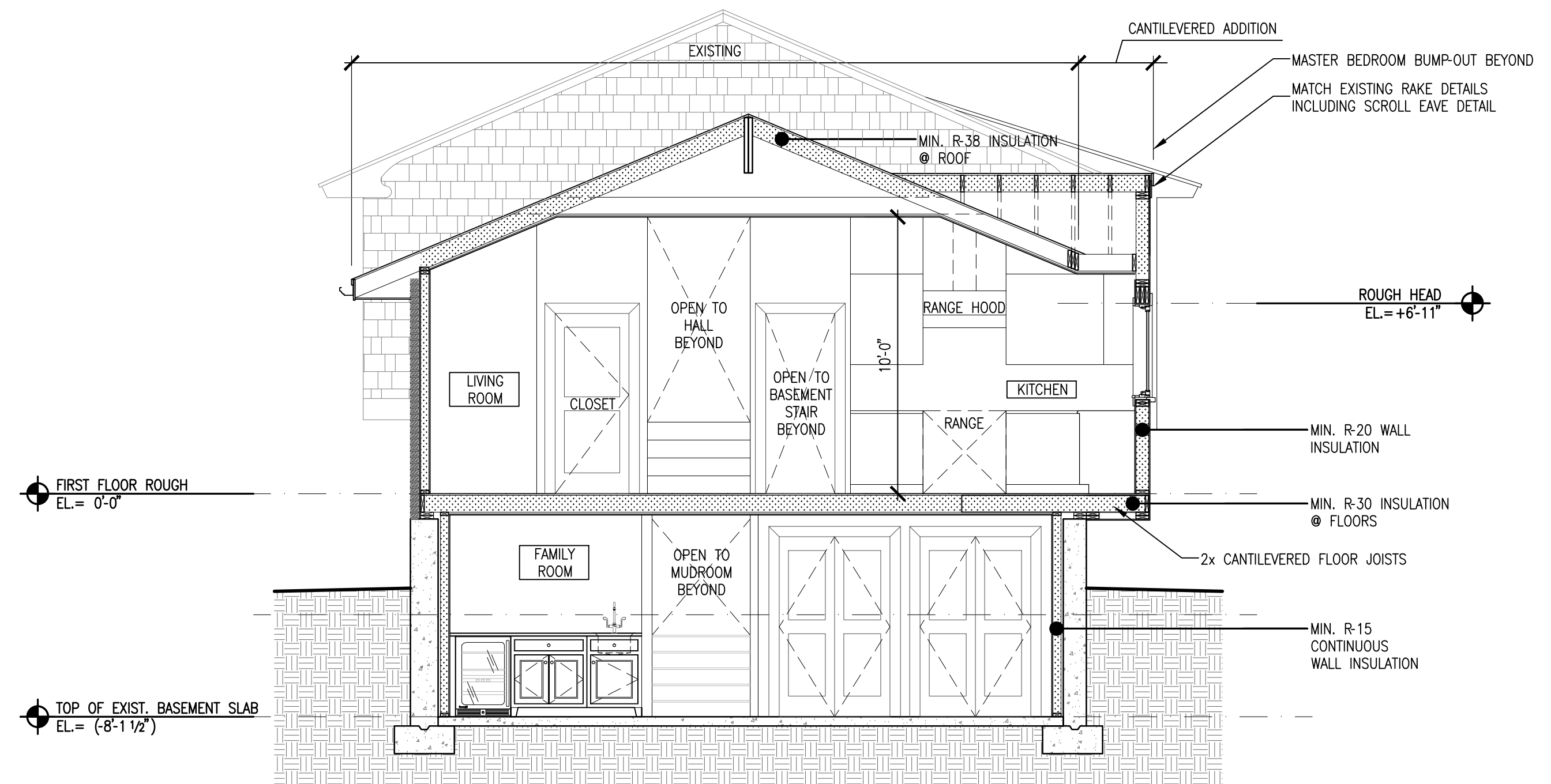
BUILDING SECTION

Drawing Scale:
1/4" = 1'-0"

Project Number:
201502.00

Date Issued:
07.09.2015

A301



1 PROPOSED BUILDING SECTION
SCALE: 1/4" = 1'-0"