

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JANUARY 3, 2017, 2016 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS ZONE "X" (AREA DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN).  
COMMUNITY-PANEL # 25025C0078G  
EFFECTIVE DATE: SEPTEMBER 25, 2009

**REFERENCES:**

DEED: BK 39438; PG 136  
PLAN: BK 7873; PG END  
BK 9547; PG 279  
BK 5786; PG 285  
LCC 29775-A



**NOTES:**

PARCEL ID: 1901864003

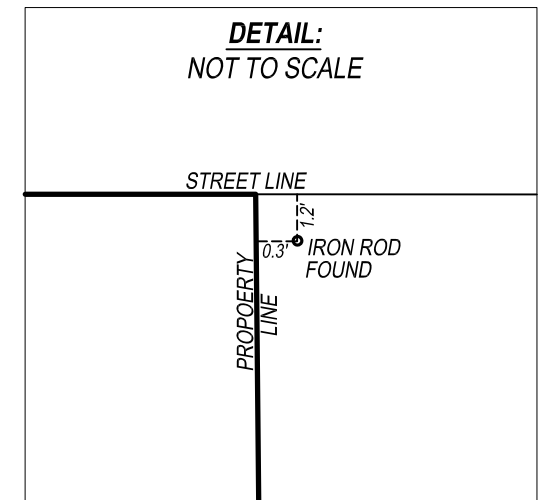
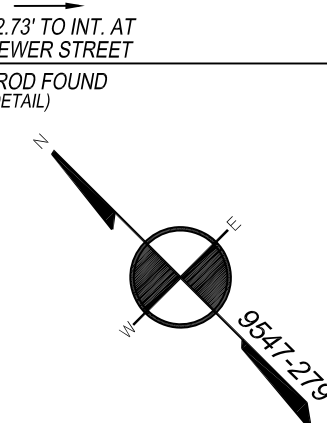
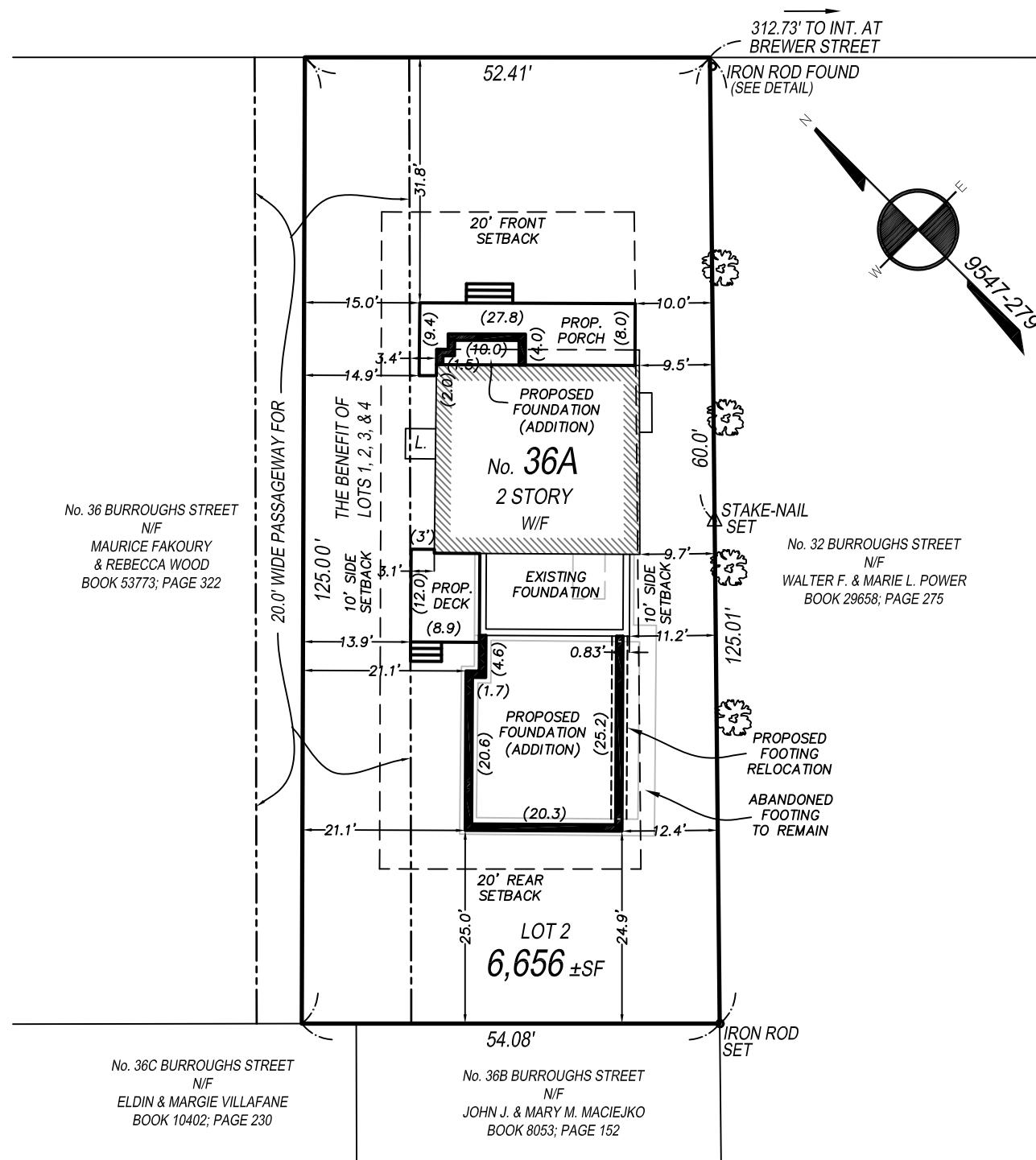
**Zoning**

Zoning District: Jamaica Plain Neighborhood  
Zoning Subdistrict: 2F-9000  
Subdistrict Type: Two-Family Residential Residential use: maximum of two units per parcel

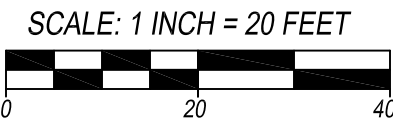
Overlays: NDOD, A neighborhood containing an historically significant streetscape. Buildings in a Neighborhood Design Overlay District may be subject to special provisions per the requirements of Article 80E.

Map No.: 9A-9C  
Article: 55 (Table)

**BURROUGHS (PUBLIC - 40.0' WIDE) STREET**



FIELD BOOK	PAGE	INSP. BY	DRAFT. BY	CHECKED BY
D38	137	D-T	DRM	GCC
DATE: JANUARY 25, 2017				
JOB # 16-00921				
FILE # 16-00921-CPP.DWG				



**CERTIFIED PLOT PLAN**  
LOCATED AT  
**36A BURROUGHS STREET**  
**JAMAICA PLAIN, MA**

**PREPARED FOR:**  
LEE W. ELLENBERG  
36A BURROUGHS STREET  
JAMAICA PLAIN, MA.



# ADDITION & RENOVATION

## ELLENBERG MITCHELL RESIDENCE

36A BURROUGHS STREET  
BOSTON, MASSACHUSETTS 02130

### ZONING ANALYSIS

District: 2F-9000  
Parcel: 1901864003  
Existing Lot Size: 6,656 SF  
Front Yard: Northeast property line  
Rear Yard: Southwest property line  
Side Yards: Northwest & southeast property lines  
Single Family Residential Use in a Residential District

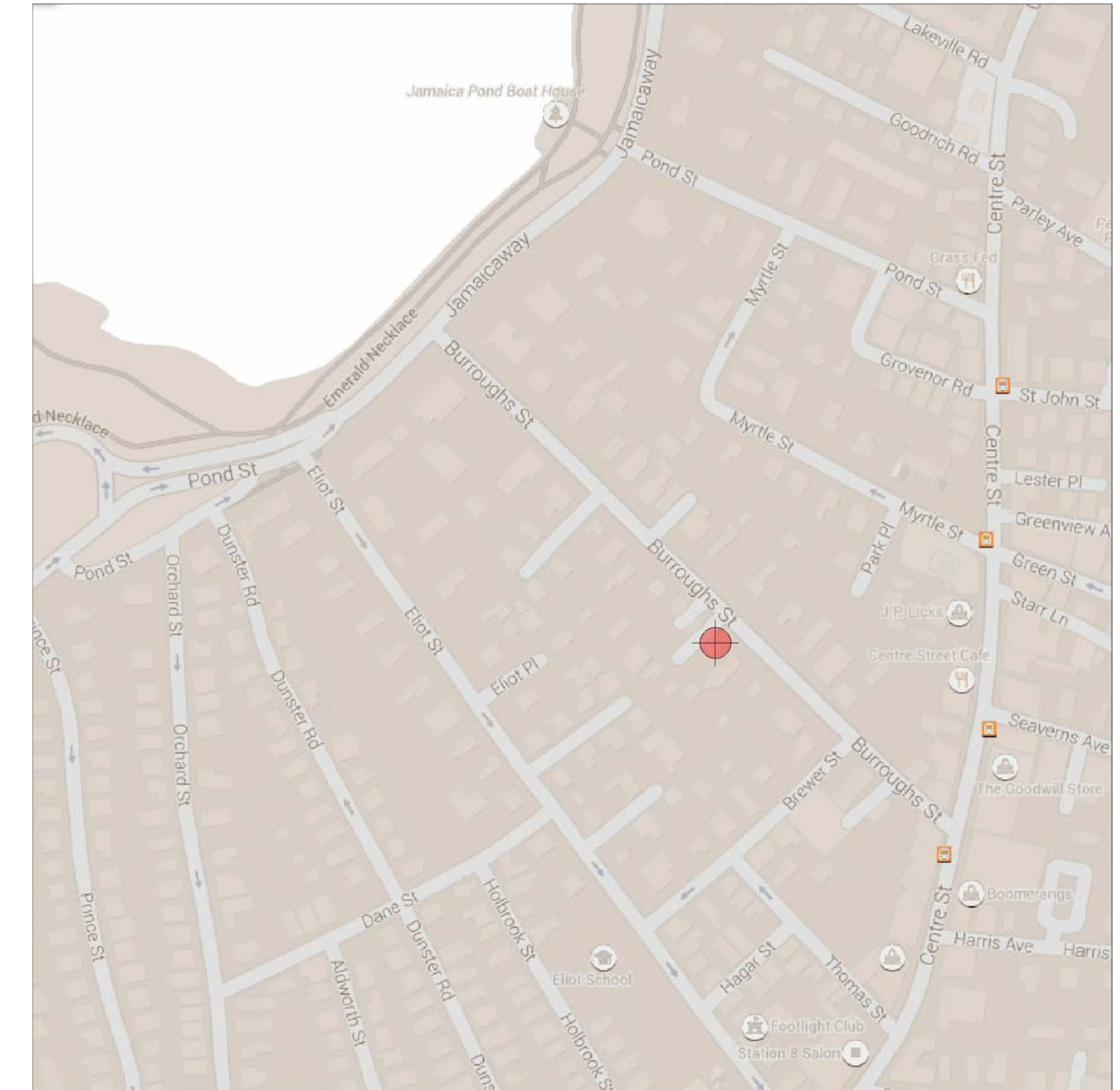
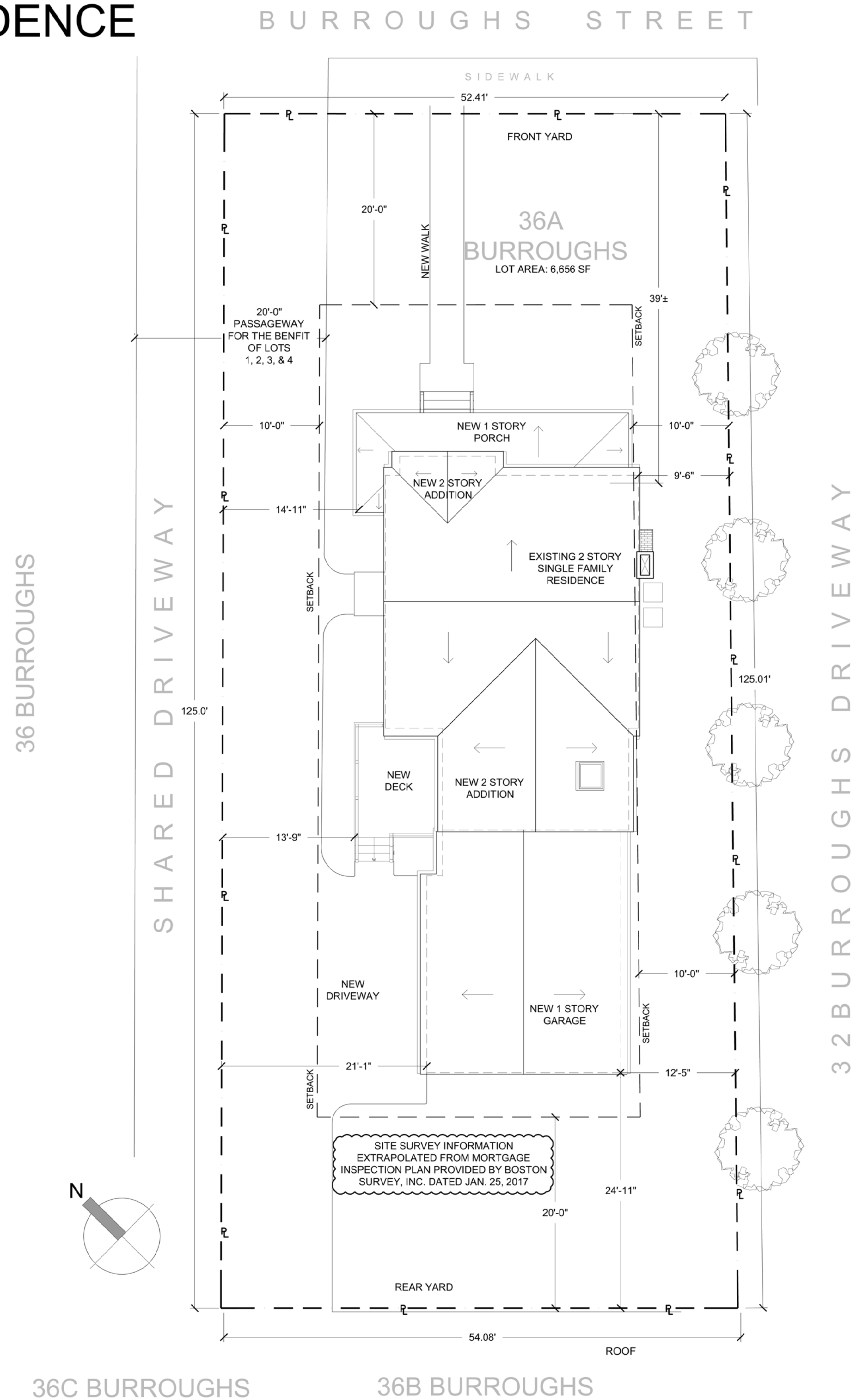
Existing Floor Area:  
First Floor 637 SF  
Second Floor 691 SF  
Total 1,328 SF

Proposed Additions:  
First Floor Addition 251 SF  
Second Floor Addition 227 SF  
Total 478 SF  
  
Unheated Garage 607 SF

Allowable Floor Area: 3,329 SF  
Total Proposed Floor Area: 1,806 SF

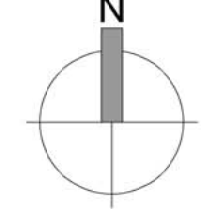
Maximum FAR: 0.5  
Existing FAR: 0.20  
Proposed FAR: 0.30

	Required:	Provided:
Minimum Lot Size:	6,000 SF	6,656F± conforming
Minimum Lot Width:	50'	52.41' conforming
Lot Depth:		125'
Minimum Frontage:	50'	52.41' conforming
Maximum Height:	35'	25'-5" conforming
	2.5 stories	2 stories conforming
Minimum Side Yard:	10'	10'-1" conforming
Minimum Front Yard:	20'	29'-11" conforming
Minimum Rear Yard:	20'	20'-2" conforming
Minimum Usable Open Space:	1,500 SF	3,706 SF conforming
Rear Yard Max. Occ. Acc. Bldg.	25%	22% conforming



2  
A-001

LOCUS  
NOT TO SCALE



**ARCHITECT**  
Marc A. Maxwell, AIA  
Principal Architect

Jeff Alex  
Job Captain

Maxwell Architects LLC  
20 Windsor Street  
Somerville, MA 02145  
617.666.9222

**OWNER**  
Lae Ellenberg & Ken Mitchell  
36A Burroughs Street  
Boston, MA 02130

**GENERAL CONTRACTOR**  
Dave Clark - Site Superintendent  
Kneeland Construction Corp.  
407R Mystic Avenue  
Medford, MA 02155  
781.393.9899

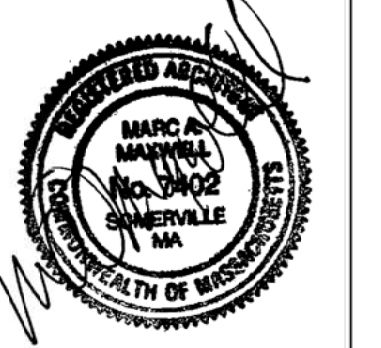
**STRUCTURAL ENGINEER**  
Reginald Roome, P.E.  
Roome & Guarracino, LLC  
48 Grove Street #301  
Somerville, MA 02144  
617.628.1700

**CIVIL ENGINEER**  
Boston Survey, Inc.  
P.O. Box 290220  
Charlestown, MA 02129  
617.242.1313

MAXWELL ARCHITECTS, LLC  
ARCHITECT  
PLANNING / PROGRAMMING / DESIGN  
Space Planning  
Project Management  
Facility Programming  
20 Windsor Street  
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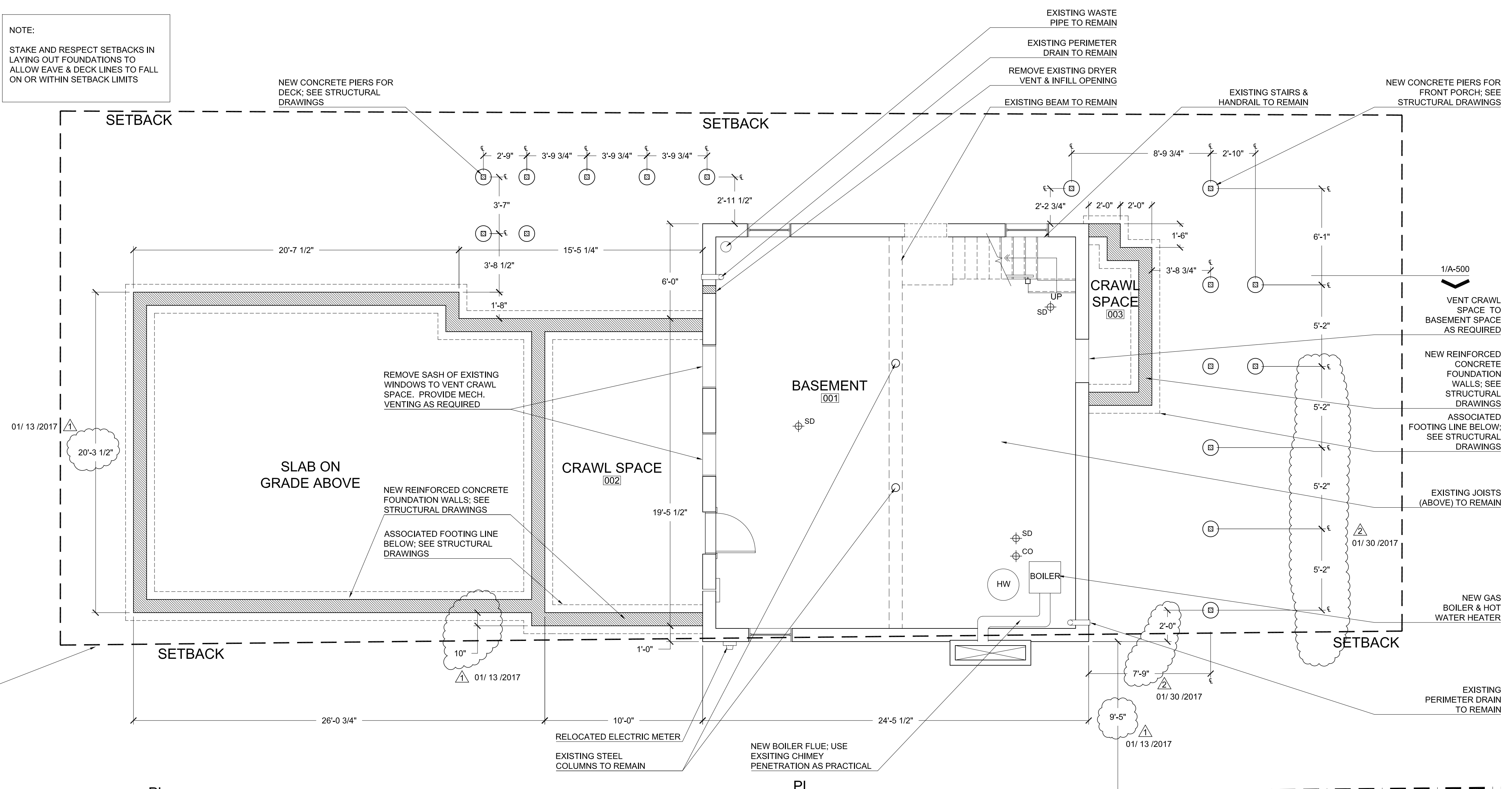
REVISIONS:  
01/30/2017

TITLE PAGE & GENERAL NOTES  
PROPOSED ADDITION & RENOVATION  
ELLENBERG MITCHELL RESIDENCE  
36A BURROUGHS STREET  
BOSTON, MASSACHUSETTS 02130



PROJECT NUMBER: 1524  
DRAWING NUMBER:  
A-001  
SCALE: AS NOTED  
DATE: 05.26.2016

NOTE:  
STAKE AND RESPECT SETBACKS IN LAYING OUT FOUNDATIONS TO ALLOW EAVE & DECK LINES TO FALL ON OR WITHIN SETBACK LIMITS

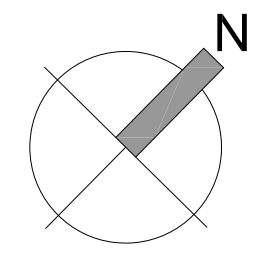


UPDATED SETBACK LINE BASED ON BOSTON SURVEY, INC.; SURVEY 01/25/2017  
01/30/2017

UPDATED PROPERTY LINE BASED ON BOSTON SURVEY, INC.; SURVEY 01/25/2017  
01/30/2017

1  
A-100

PROPOSED BASEMENT FLOOR PLAN  
1/4" = 1'-0"



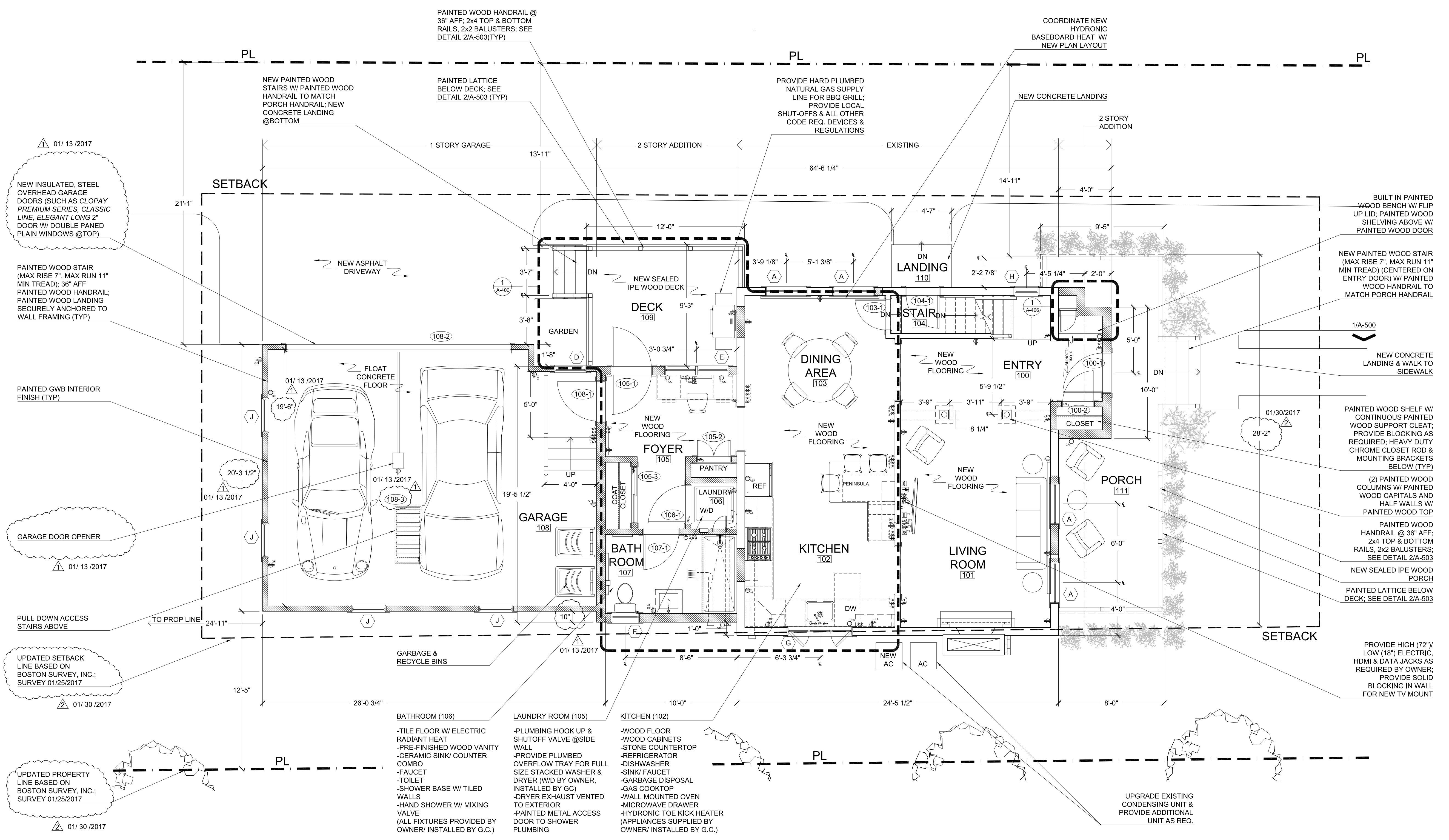
REVISIONS:  
01/13/2017  
01/30/2017

PROPOSED BASEMENT FLOOR PLAN  
ELLENBERG/MITCHELL  
36A BURROUGHS STREET  
JAMAICA PLAIN, MASSACHUSETTS 02130



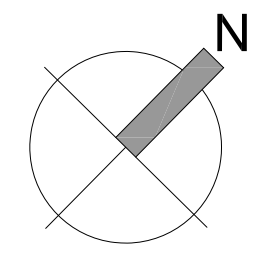
PROJECT NUMBER: 1524  
DRAWING NUMBER:  
A-100  
SCALE: 1/4" = 1'-0"  
DATE: 01.13.2017

**PROPOSED FIRST FLOOR PLAN**  
 ELLENBERG/MITCHELL  
 36A BURROUGHS STREET  
 JAMAICA PLAIN, MASSACHUSETTS 02130



**1**  
**A-101**

**PROPOSED FIRST FLOOR PLAN**  
 1/4" = 1'-0"



01/13/2017  
 NEW INSULATED, STEEL OVERHEAD GARAGE DOORS (SUCH AS CLOPAY PREMIUM SERIES, CLASSIC LINE ELEGANT LONG 2" DOOR W/ DOUBLE PANED PLAIN WINDOWS @TOP)

PAINTED WOOD STAIR (MAX RISE 7", MAX RUN 11" MIN TREAD); 36" AFF PAINTED WOOD HANDRAIL; PAINTED WOOD LANDING SECURELY ANCHORED TO WALL FRAMING (TYP)

PAINTED GWB INTERIOR FINISH (TYP)

GARAGE DOOR OPENER  
 01/13/2017

PULL DOWN ACCESS STAIRS ABOVE  
 TO PROP LINE  
 24'-11"

UPDATED SETBACK LINE BASED ON BOSTON SURVEY, INC.; SURVEY 01/25/2017  
 01/30/2017

UPDATED PROPERTY LINE BASED ON BOSTON SURVEY, INC.; SURVEY 01/25/2017  
 01/30/2017

PAINTED WOOD HANDRAIL @ 36" AFF; 2x4 TOP & BOTTOM RAILS, 2x2 BALUSTERS; SEE DETAIL 2/A-503 (TYP)

PAINTED LATTICE BELOW DECK; SEE DETAIL 2/A-503 (TYP)

PROVIDE HARD PLUMBED NATURAL GAS SUPPLY LINE FOR BBQ GRILL; PROVIDE LOCAL SHUT-OFFS & ALL OTHER CODE REQ. DEVICES & REGULATIONS

COORDINATE NEW HYDRONIC BASEBOARD HEAT W/ NEW PLAN LAYOUT

BUILT IN PAINTED WOOD BENCH W/ FLIP UP LID; PAINTED WOOD SHELVEING ABOVE W/ PAINTED WOOD DOOR

NEW PAINTED WOOD STAIR (MAX RISE 7", MAX RUN 11" MIN TREAD) (CENTERED ON ENTRY DOOR) W/ PAINTED WOOD HANDRAIL TO MATCH PORCH HANDRAIL

NEW CONCRETE LANDING & WALK TO SIDEWALK

PAINTED WOOD SHELF W/ CONTINUOUS PAINTED WOOD SUPPORT CLEAT; PROVIDE BLOCKING AS REQUIRED; HEAVY DUTY CHROME CLOSET ROD & MOUNTING BRACKETS BELOW (TYP)

(2) PAINTED WOOD COLUMNS W/ PAINTED WOOD CAPITALS AND HALF WALLS W/ PAINTED WOOD TOP

PAINTED WOOD HANDRAIL @ 36" AFF; 2x4 TOP & BOTTOM RAILS, 2x2 BALUSTERS; SEE DETAIL 2/A-503

NEW SEALED IPE WOOD PORCH

PAINTED LATTICE BELOW DECK; SEE DETAIL 2/A-503

PROVIDE HIGH (72") LOW (18") ELECTRIC, HDMI & DATA JACKS AS REQUIRED BY OWNER; PROVIDE SOLID BLOCKING IN WALL FOR NEW TV MOUNT

**BATHROOM (106)**  
 -TILE FLOOR W/ ELECTRIC RADIANT HEAT  
 -PRE-FINISHED WOOD VANITY  
 -CERAMIC SINK/ COUNTER COMBO  
 -FAUCET  
 -TOILET  
 -SHOWER BASE W/ TILED WALLS  
 -HAND SHOWER W/ MIXING VALVE  
 (ALL FIXTURES PROVIDED BY OWNER/ INSTALLED BY G.C.)

**LAUNDRY ROOM (105)**  
 -PLUMBING HOOK UP & SHUTOFF VALVE @SIDE WALL  
 -PROVIDE PLUMBED OVERFLOW TRAY FOR FULL SIZE STACKED WASHER & DRYER (W/D BY OWNER, INSTALLED BY GC)  
 -DRYER EXHAUST VENTED TO EXTERIOR  
 -PAINTED METAL ACCESS DOOR TO SHOWER PLUMBING

**KITCHEN (102)**  
 -WOOD FLOOR  
 -WOOD CABINETS  
 -STONE COUNTERTOP  
 -REFRIGERATOR  
 -DISHWASHER  
 -SINK/ FAUCET  
 -GARBAGE DISPOSAL  
 -GAS COOKTOP  
 -WALL MOUNTED OVEN  
 -MICROWAVE DRAWER  
 -HYDRONIC TOE KICK HEATER (APPLIANCES SUPPLIED BY OWNER/ INSTALLED BY G.C.)

UPGRADE EXISTING CONDENSING UNIT & PROVIDE ADDITIONAL UNIT AS REQ.

NOTE: EXISTING WOOD FLOORING TO REMAIN; PATCH W/ SALVAGED FROM 1st FLOOR OR SIMILAR AS REQUIRED

MASTER CLOSET (205)  
 -FIXED LONG HANG RODS W/ PAINTED WOOD SHELF ABOVE  
 -PAINTED WOOD SHELF UNIT  
 -PAINTED WOOD SHOE SHELF UNIT  
 -PAINTED WOOD BASE/CROWN MOLDING  
 -SALVAGED HARDWOOD FLOOR

HVAC DUCT CHASE AS REQUIRED

NEW BUILT-IN GLASS SHELVING  
 EXISTING BATHROOM FIXTURES TO BE REINSTALLED

PATCH FLOORING AS REQ. W/ SALVAGED HARDWOOD

EXISTING ATTIC STAIR TO REMAIN; INSULATE @ATTIC LEVEL

COORDINATE EXISTING HYDRONIC BASEBOARD HEAT W/ NEW PLAN LAYOUT

REUSE EXISTING CLOSET DOORS AS PRACTICED

BUILT IN PAINTED WOOD SHELVES

1/A-500

UPDATED SETBACK LINE BASED ON BOSTON SURVEY, INC.; SURVEY 01/25/2017

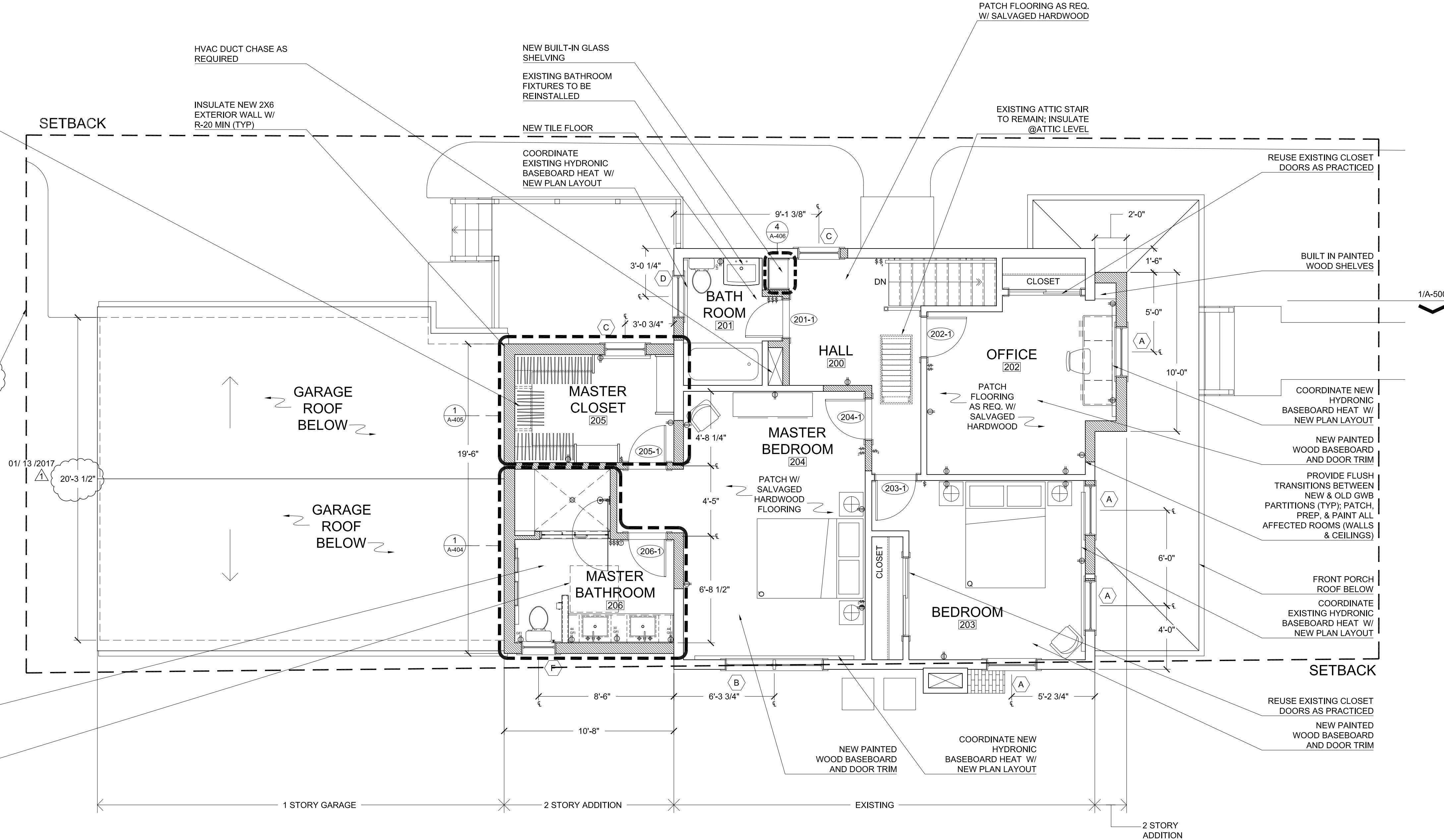
01/30/2017

GARAGE ROOF BELOW

GARAGE ROOF BELOW

MASTER BATHROOM (206)  
 -TILE FLOOR W/ ELECTRIC RADIANT HEAT  
 -PAINTED WOOD BASE  
 -WOOD VANITY  
 -STONE COUNTERTOP  
 -TOILET  
 -TILE SHOWER W/ STONE CURB  
 -GLASS SHOWER ENCLOSURE W/ GLASS DOOR  
 -SHOWERHEAD/ MIXING VALVE  
 -STONE BENCH  
 -SKYLIGHT  
 (ALL FIXTURES PROVIDED BY OWNER/ INSTALLED BY S.C.)

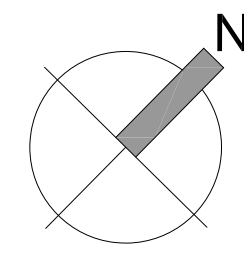
NEW SKYLIGHT ABOVE W/ INTEGRATED BLINDS; VAULTED CEILING



1  
A-102

PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"



MAXWELL ARCHITECTS, LLC  
 PLANNING / PROGRAMMING / DESIGN  
 Architecture  
 Space Planning  
 Project Management  
 Facility Programming

REVISIONS:  
 1 01/13/2017  
 2 01/30/2017

PROPOSED SECOND FLOOR PLAN  
 ELLENBERG/ MITCHELL  
 36A BURROUGHS STREET  
 JAMAICA PLAIN, MASSACHUSETTS 02130

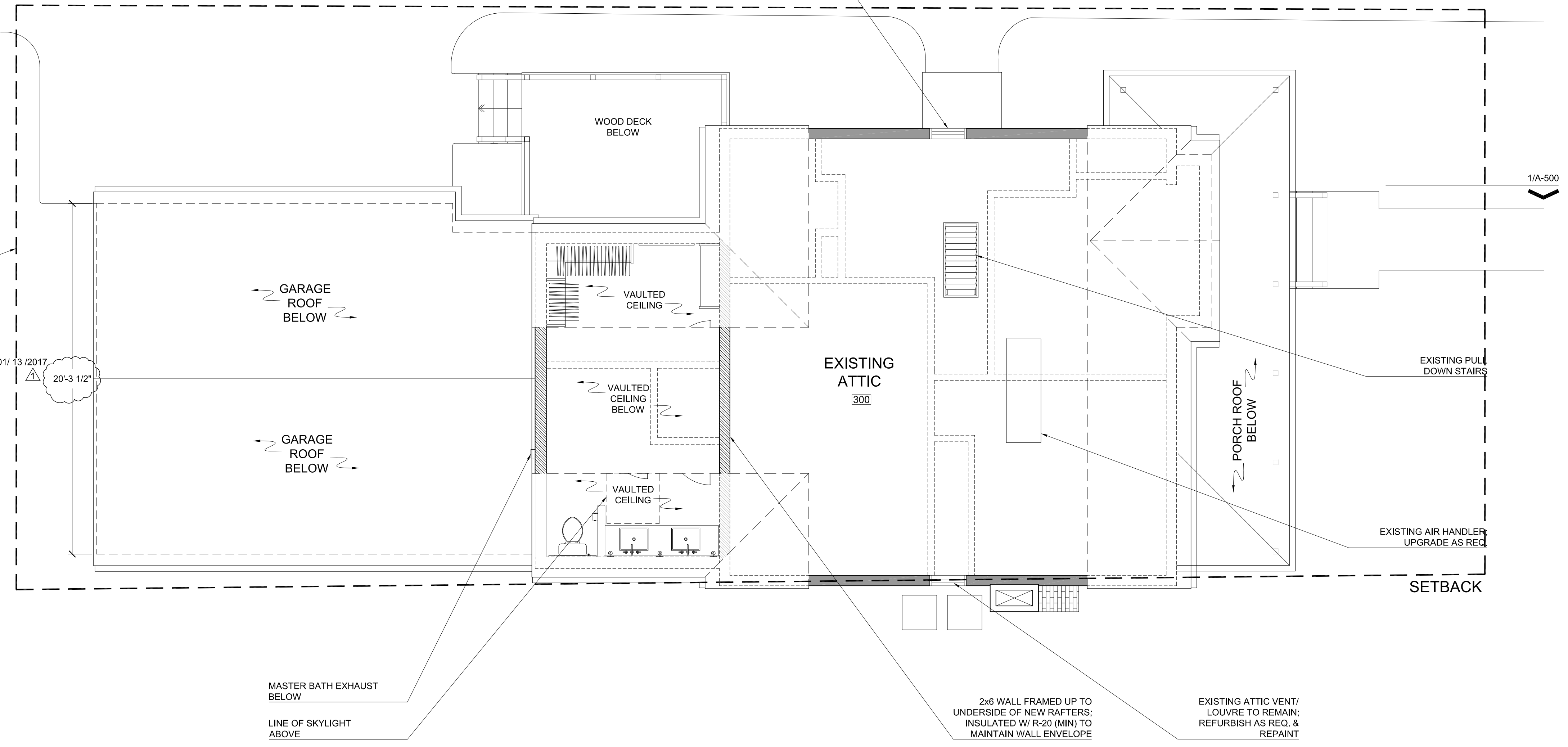


PROJECT NUMBER: 1524  
 DRAWING NUMBER:  
**A-102**  
 SCALE: 1/4" = 1'-0"  
 DATE: 01.13.2017

UPDATED SETBACK  
LINE BASED ON  
BOSTON SURVEY, INC.;  
SURVEY 01/25/2017

01/30/2017

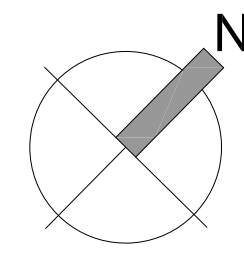
01/13/2017  
20'-3 1/2"



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A-103

PROPOSED ATTIC PLAN

1/4" = 1'-0"



REVISIONS:  
 ▲ 01/13/2017  
 △ 01/30/2017

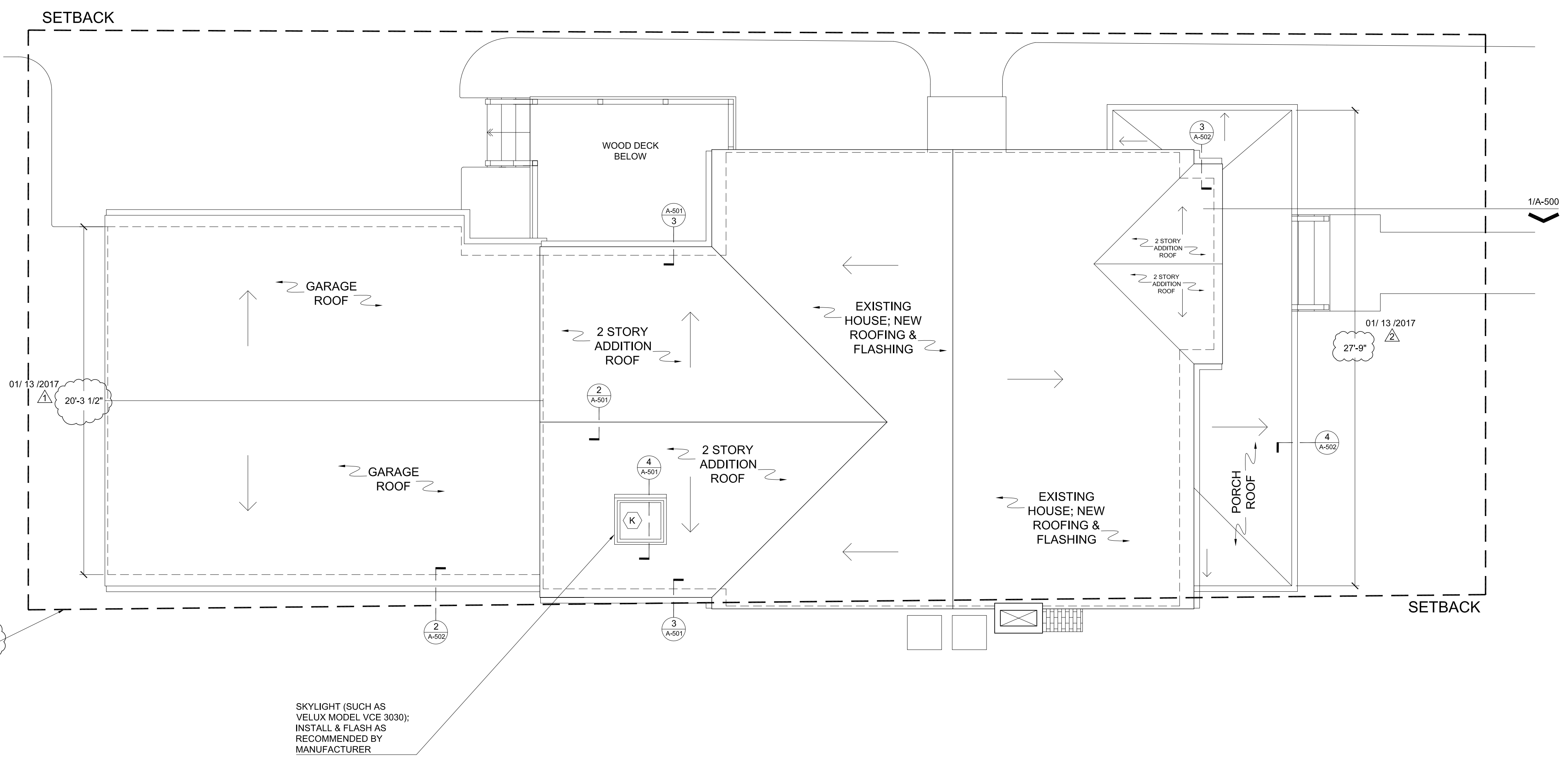
PROPOSED ATTIC PLAN  
 ELLENBERG/ MITCHELL  
 36A BURROUGHS STREET  
 JAMAICA PLAIN, MASSACHUSETTS 02130



PROJECT NUMBER: 1524  
 DRAWING NUMBER:  
**A-103**  
 SCALE: 1/4" = 1'-0"  
 DATE: 01.13.2017

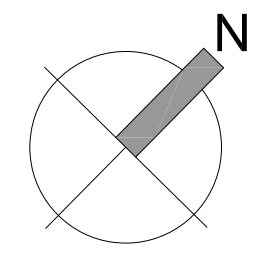
NOTE:  
 ROOFING  
 -CONTINUOUS ALUMINUM DRIP EDGE @ ALL EAVES & GABLE ENDS (TYP)  
 -30# (MIN) CONTINUOUS FELT ROOF DECK PROTECTION (TYP)  
 -ICE & WATER BARRIER CONTINUOUS UP TO 3' @ ALL EAVES, CONTINUOUS IN ALL VALLEYS & AROUND ALL PENETRATIONS (TYP)  
 -25 YR (MIN) COMPOSITE ARCHITECTURAL ASPHALT SHINGLES (TYP)

UPDATED SETBACK LINE BASED ON BOSTON SURVEY, INC.; SURVEY 01/25/2017



1  
A-104

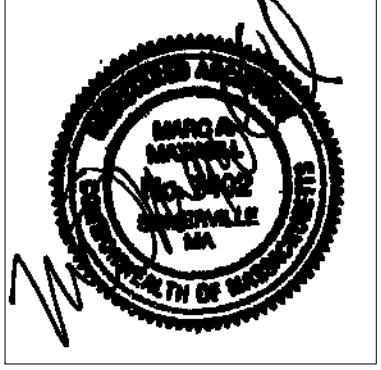
PROPOSED ROOF PLAN  
 1/4" = 1'-0"



REVISIONS:

△	01/13/2017
△	01/30/2017

PROPOSED ROOF PLAN  
 ELLENBERG/ MITCHELL  
 36A BURROUGHS STREET  
 JAMAICA PLAIN, MASSACHUSETTS 02130



PROJECT NUMBER: 1524  
 DRAWING NUMBER:  
**A-104**  
 SCALE: 1/4" = 1'-0"  
 DATE: 01.13.2017

