

Clay Residence

44 Pond Street Jamaica Plain, MA

OWNER:

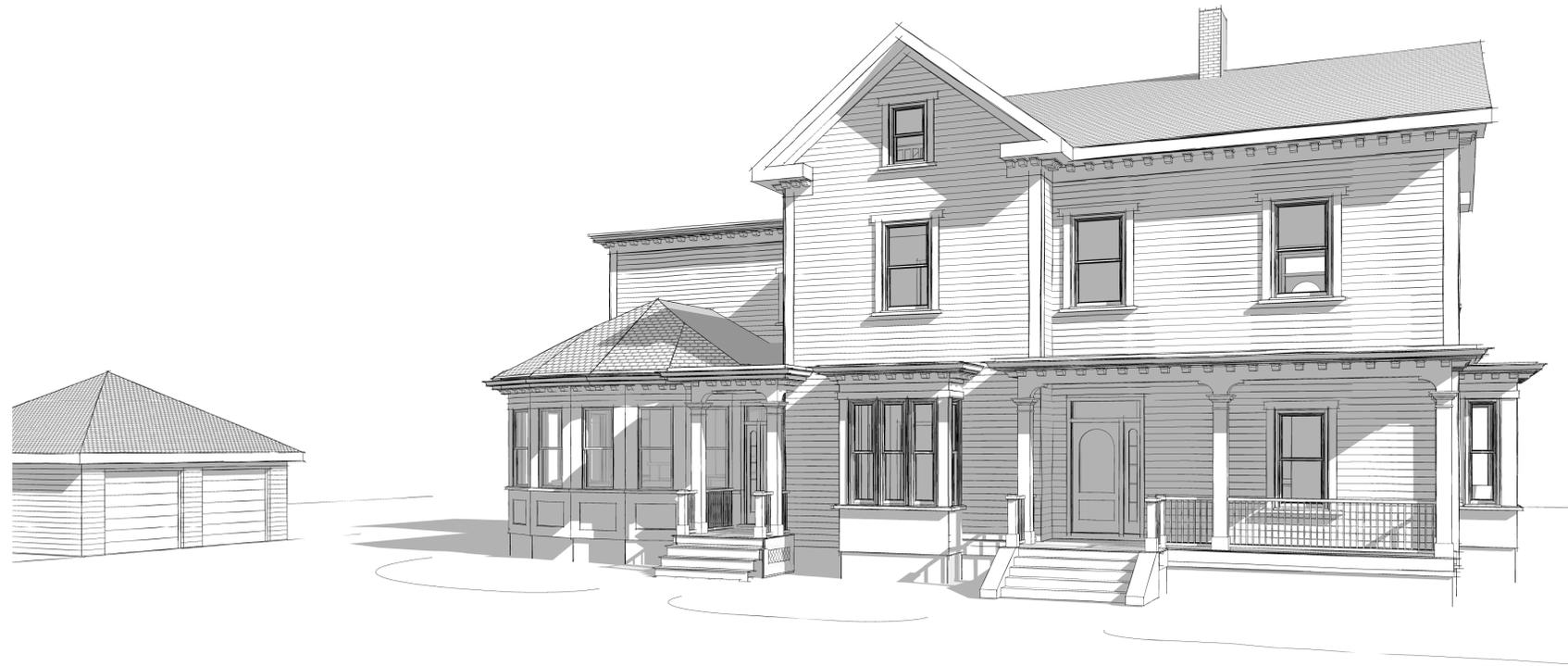
Phillip & Cassandra Clay

ARCHITECT:

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DRAWING LIST

A001	Site Plan, Zoning & Energy Efficiency	S100	General Notes
A100	Basement Floor Plan	S101	First Floor Framing Plan
A101	First Floor Plan - New and Demo	S102	Second Floor Framing Plan
A102	Second Floor Plan - New and Demo	S103	Third Floor Framing Plan
A103	Third Floor Plan - New and Demo	S104	Roof Framing Plan
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A202	Left & Right Elevations	S201	Sections II
A301	Building Sections	S202	Sections III
A302	Building Sections	E101	Basement & First Floor Electrical Plan
A303	Building Sections	E102	Second & Third Floor Electrical Plan
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A401	Finish Schedule		
A402	Interior Elevations		
A403	Interior Elevations		
A501	Details - Exterior		

APPLICABLE CODES AND REGULATIONS

INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO-FAMILY DWELLINGS
780 CMR MA STATE BUILDING CODE, 8TH EDITION (MASSACHUSETTS AMENDMENTS TO IBC 2009), WITH 2014 AMENDMENTS, 2015 IECC CHAPTER 4 RESIDENTIAL ENERGY EFFICIENCY

Zoning District: Jamaica Plain Neighborhood
Zoning Sub District: 2F-9000
Subdistrict Type: Two Family Residential
Overlays: NOD, Greenbelt Protection

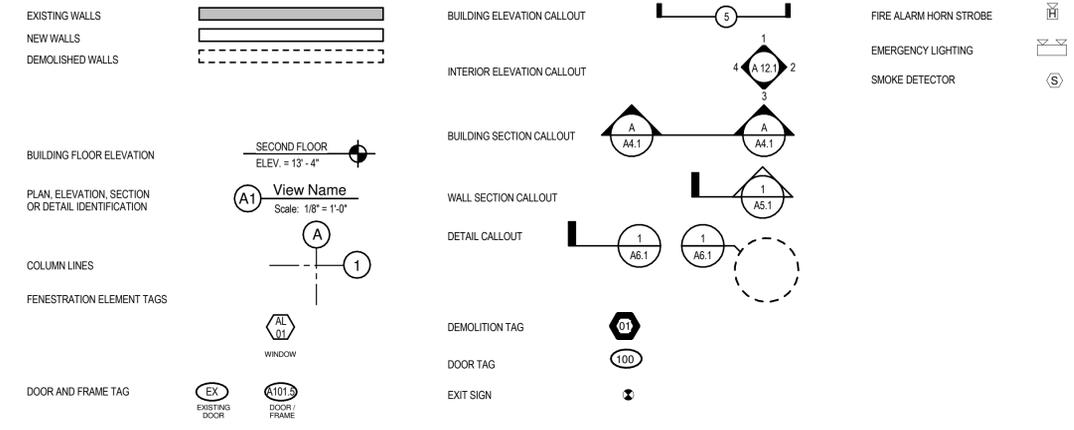
PROJECT SCOPE AND REQUIREMENTS

- DRAWINGS, NOTES, AND ANY SPECIFICATIONS HEREIN REPRESENT A LIMITED SCOPE OF ARCHITECTURAL SERVICES AND INFORMATION, AND ARE TO BE USED FOR DESIGN REVIEW, PERMITTING, AND CONSTRUCTION PRICING PURPOSES ONLY. THESE DOCUMENTS ARE MEANT TO GRAPHICALLY CONVEY THE PROJECT DESIGN'S GENERAL SCOPE AND CONCEPT ONLY, AND DO NOT DEFINE OR ADDRESS ALL CONDITIONS EITHER KNOWN OR UNKNOWN THAT MAY BE ENCOUNTERED DURING THE CONSTRUCTION PHASE OF WORK. CONTRACTOR AND OWNER SHALL BE RESPONSIBLE FOR VERIFYING ALL APPLICABLE CODES AND REGULATIONS AND COMPLETING ALL WORK IN ACCORDANCE THEREOF. THE CONTRACTOR IS TO NOTIFY ARCHITECT OF ANY AND ALL DISCREPANCIES, EXISTING CONDITIONS, OR OTHER SPECIAL CONDITIONS, THAT REQUIRE CLARIFICATION OR INSTRUCTION, ONCE DISCOVERED AND PRIOR TO CONTINUING WITH WORK.
- SCOPE OF WORK INCLUDES COORDINATED SITING OF ADDITIONS ON SITE WITH OWNER, ARCHITECT AND CONTRACTOR, SITE EXCAVATION, AND PREPARATION OF AREAS AS REQUIRED TO CONSTRUCT NEW WORK. NEW WORK TO INCLUDE CONSTRUCTION OF FRONT AND REAR ADDITION, AND INTERIOR ALTERATIONS.
- PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS ARE REQUIRED BY SMOKE ALARM REGULATIONS - 527 CMR 1.00:13.7

GENERAL NOTES

- THE GENERAL CONTRACTOR (GC) SHALL SUPERVISE AND DIRECT THE WORK. THE GC SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, WHETHER TEMPORARY OR PERMANENT AND WHETHER OR NOT INCORPORATED OR TO BE INCORPORATED IN THE WORK. ALL WORK BY THE GC AND/OR ALL SUBCONTRACTORS SHALL BE COMPLETE AND PROPERLY INSTALLED IN ACCORDANCE WITH ALL MANUFACTURERS RECOMMENDATIONS. THE SCOPE OF WORK TO BE COMPLETED IS SHOWN ON THE DRAWINGS OR CAN BE REASONABLY INFERABLE AS BEING REQUIRED TO BE COMPLETED EVEN THOUGH THE WORK MAY NOT BE SHOWN OR BE PARTIALLY SHOWN ON THE DRAWINGS. ALL WORK AND MATERIAL SUPPLIED BY THE GC AND/OR THE SUBCONTRACTORS & SUPPLIERS SHALL CONFORM WITH THE CONTRACT REQUIREMENTS. ALL PRIMARY CONTRACTS AND SUBCONTRACTS SHALL BE GOVERNED BY THE REQUIREMENTS OF THE GENERAL CONDITIONS OF THE CONTRACT.
- THE ELECTRICAL SYSTEMS ARE TO BE DESIGN/BUILD BY THE ELECTRICAL CONTRACTOR (EC). THE EC SHALL BE RESPONSIBLE FOR THE PREPARATION OF STAMPED ELECTRICAL DRAWINGS AS MAY BE REQUIRED FOR THE WORK TO BE PROVIDED. SYSTEM SHALL MEET THE GC SHALL VERIFY THE PROPOSED LAYOUT AND DESIGN WITH THE OWNER AND ARCHITECT FOR APPROVAL. THE E.C. SHALL PROVIDE THE EQUIPMENT AND THE ELECTRICAL WIRING AND CONTROL COMPONENTS FOR THE ELECTRICAL SYSTEM. THE E.C. SHALL INCLUDE ANY AND ALL MODIFICATIONS REQUIRED AS PART OF THEIR SCOPE OF WORK. THE EC SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES. THE LOCATIONS, SIZE, AND UTILITY REQUIREMENTS FOR ALL SPECIAL ELECTRICAL EQUIPMENT SHALL BE PROVIDED BY THE OWNER TO THE GC FOR COORDINATION WITH THE EC PRIOR TO INSTALLATION.
- THE MECHANICAL AND HVAC SYSTEMS ARE TO BE DESIGN/BUILD BY THE MECHANICAL CONTRACTOR (MC). THE MC SHALL BE RESPONSIBLE FOR THE PREPARATION OF STAMPED MECHANICAL AND HVAC DRAWINGS AS MAY BE REQUIRED FOR THE WORK TO BE PROVIDED. PRIOR TO THE START OF ANY WORK THE MECHANICAL CONTRACTOR (MC) IN COORDINATION WITH THE GC SHALL VERIFY THE PROPOSED LAYOUT AND DESIGN WITH THE OWNER & ARCHITECT FOR APPROVAL. THE M.C. SHALL PROVIDE THE NEW EQUIPMENT & MODIFICATION OF THE MECHANICAL SYSTEMS AS PART OF THEIR SCOPE OF WORK. THE MC SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES. THE LOCATIONS, SIZE, AND UTILITY REQUIREMENTS FOR ALL MECHANICAL EQUIPMENT AND FIXTURES SHALL BE PROVIDED BY THE OWNER TO THE GC FOR COORDINATION WITH THE MC PRIOR TO INSTALLATION.
- ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE LATEST FEDERAL AND LOCAL BUILDING CODES, INSPECTION AUTHORITIES, AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- CONTRACTORS AND SUB CONTRACTORS ARE REQUIRED TO VISIT THE SITE PRIOR TO BIDDING THE WORK TO VERIFY FIELD CONDITIONS AND TO BECOME FAMILIAR WITH THE SCOPE OF WORK REQUIRED AT THE SITE, LIMITATIONS ON CONSTRUCTION, AND OTHER IMPACTS OF THE EXISTING CONDITIONS ON THE WORK REQUIRED.
- THE GENERAL CONTRACTOR AND ALL SUB CONTRACTORS SHALL GUARANTEE ALL LABOR AND EQUIPMENT FOR A MINIMUM OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- THE GC SHALL ENSURE THAT EACH SUBCONTRACTOR BEARS HIS FULL RESPONSIBILITY FOR DAILY CLEANING AND NECESSARY RUBBISH REMOVAL DURING CONSTRUCTION AND IMMEDIATELY UPON COMPLETION OF HIS WORK.
- THE GC AND ALL SUBCONTRACTORS SHALL COORDINATE ALL OF THEIR WORK WITH THE HVAC, PLUMBING, FIRE PROTECTION, FIRE ALARM, ELECTRICAL, AND MECHANICAL/ELECTRICAL WORK WITH THE OWNER SUPPLIED EQUIPMENT. ALL SUBCONTRACTORS SHALL BECOME FAMILIAR WITH THE OWNER'S EQUIPMENT TO BE INSTALLED AND LOCATE AND INSTALL THEIR OWN WORK IN ACCORDANCE WITH THE OWNER'S EQUIPMENT SO THAT THERE ARE ADEQUATE FACILITIES AND UTILITIES PROVIDED FOR THE OWNER'S EQUIPMENT. IF A COORDINATION PROBLEM IS OBSERVED OR IS PROBABLE, THE SUBCONTRACTOR SHALL IMMEDIATELY NOTIFY THE GC UPON DISCOVERY. THE GC SHALL NOTIFY THE OWNER AND THE ARCHITECT OF THE COORDINATION ISSUE IN WRITING.
- THESE DOCUMENTS ARE DESIGNED BASED ON EXISTING DOCUMENTATION AND FIELD INFORMATION. ALL VERIFICATIONS OF EXISTING UTILITIES, MANUFACTURERS INFORMATION AND DATA, AND DIMENSIONAL VERIFICATION IS THE RESPONSIBILITY OF THE GC AND SUBCONTRACTORS PRIOR TO THE START OF WORK. THE GC SHALL VERIFY ALL LOCATIONS AND IF THE EXISTING INFORMATION SHOWN ON THESE DRAWINGS IS IN CONFLICT WITH OTHER INFORMATION OR THE LOCATIONS OF THE EXISTING UTILITIES OR OTHER EXISTING CONDITIONS ARE IN CONFLICT OR DEVIATE FROM THE INFORMATION OR DESIGNS INDICATED ON THE PLANS, OR THE EXISTING CONDITIONS DO NOT ALLOW THE WORK TO BE CONSTRUCTED AS DESIGNED, THE SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GC IN WRITING, WHO SHALL THEN NOTIFY THE ARCHITECT IN WRITING.
- WHERE MANUFACTURERS DATA AND INFORMATION DIFFERS FROM THE INFORMATION SHOWN ON THESE DRAWINGS, THE GC AND ALL SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GC, OWNER AND THE ARCHITECT IN WRITING.
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- TYPICAL EXTERIOR WALL, 2x4 @16" OC, UNLESS OTHERWISE NOTED OR DIMENSIONED
- TYPICAL INTERIOR WALL, 2x4 @16" OC, UNLESS OTHERWISE NOTED OR DIMENSIONED
- PROVIDE DOORBELLS, TRANSFORM, AND CHIME AS SELECTED BY OWNER
- COORDINATE INSTALLATION AND SELECTION OF ALL INTERIOR FINISHES SUCH AS, BUT NOT LIMITED TO: WOOD TRIMS, BASEBOARDS, FLOORING TYPES, PAINT COLORS, LIGHTS, PLUMBING FIXTURES, AND HARDWARE, WITH THE OWNER.

SYMBOL KEY



ABBREVIATION LIST

MO	Masonry Opening	MAX	Maximum
NIC	Not In Contract	MIN	Minimum
BO	Bottom Of	NTS	Not To Scale
CMU	Concrete Masonry Unit	PLAM	Plastic Laminate
DN	Down	PT	Pressure Treated
EXT	Existing	PTD	Painted
GC	General Contractor	SIM	Similar
GWB	Gypsum Wall Board	SPEC	Specification
HC	Handicap	TYP	Typical
RO	Rough Opening	AFF	Above Finished Floor
EQ	Equal	CMD	Carbon Monoxide
OH	Opposite Hand	S	Smoke Detector

ZONING ANALYSIS

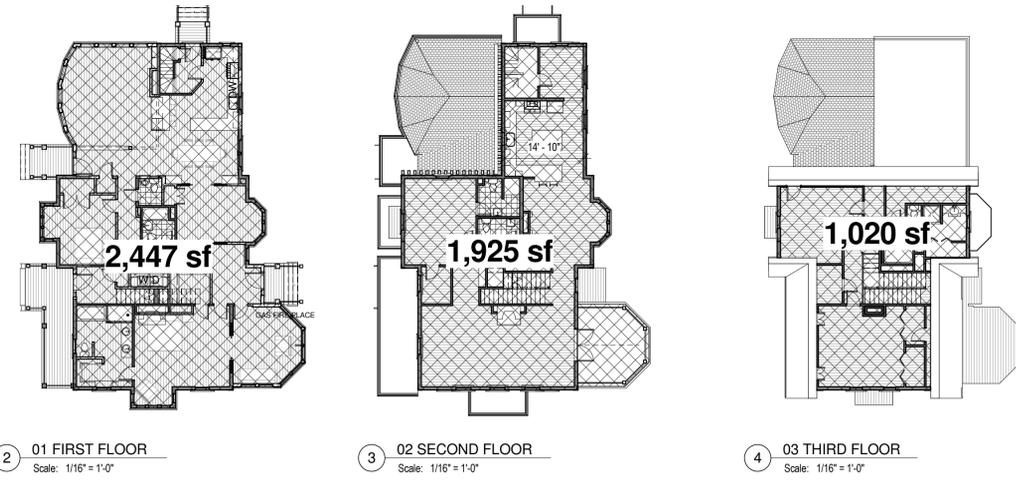
Zoning District: Jamaica Plain Neighborhood
 Zoning Sub District: 2F-9000
 Subdistrict Type: Two Family Residential
 Overlays: NDOD, Greenbelt Protection
 Map No: 9A - 9C
 Article: 55
 Lot Size: 12,365 sf (compliant)

BRA Zoning - Two Family Dwelling - Table E
 Lot Area, Min = 9000 sf
 Additional Lot Area (Add Dwelling Unit) = 3000 sf
 Lot Width Min (Feet) = 50
 Lot Frontage Min (Feet) = 50
 Floor Area Ratio = Maximum = .5
 Building Height (Stories = 2.1/2 Feet = 35)
 Usable Open Space Min SF/Dwelling Unit = 1500 for 1 Unit Plus 750 for additional Unit
 Front yard Min Depth - 20
 Side Yard Min Width - 10
 Rear Yard Min Depth - 20
 Rear yard Maximum Occupancy by Accessory Building = 25%

FAR Allowed = 6,182 sf
 FAR = 1st Floor = 2,447 sf
 2nd Floor = 1,925 sf
 2 1/2 Floor = 1,020 sf
 Total FAR = 5,392 sf (compliant)

Lot Min Width = 108' 3" (compliant)
 Front Yard Setback = 26' - 7" (compliant)
 Right Side Yard Setback = 22' - 4" (compliant)
 Left Yard Setback = 13' - 0" (compliant)
 Rear Yard Setback = 58' - 0" (compliant)

Usable Open Space = 9,130 sf (compliant)



01 FIRST FLOOR
 Scale: 1/16" = 1'-0"

02 SECOND FLOOR
 Scale: 1/16" = 1'-0"

03 THIRD FLOOR
 Scale: 1/16" = 1'-0"

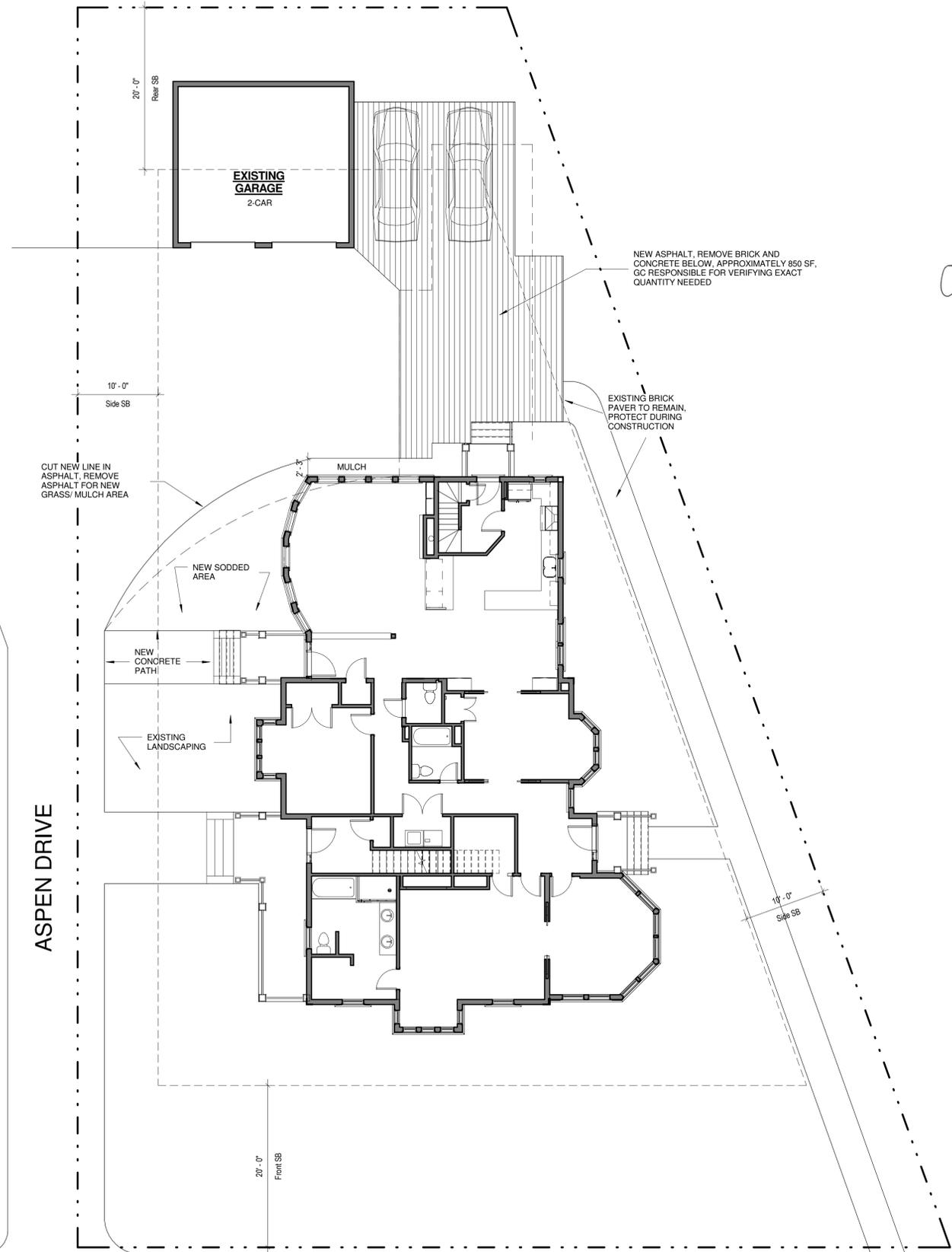
ENERGY EFFICIENCY REQUIREMENTS

TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENTS (IECC 2015 ENERGY EFFICIENCY)

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE AND DEPTH	CRAWL SPACE WALL R-VALUE
5	0.32	0.55	NR	49	20 OR 13 + 5	13/17	30	15/19	10, 4 FT	15/19

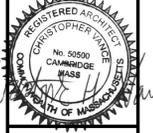
HERS RATING NOTES

- WINDOW GLASS SPECIFICATION SHOULD BE U 0.32 OR LOWER.
- INSULATED HEADERS: ASS FOAM OR OTHER INSULATION TO THE HEADER CROSS SECTION. AVOID SOLID WOOD OR AIR POCKETS.
- FRAMING DENSITY: AVOID BUILT-UP/STACKED/EXTRA STUDS UNLESS STRUCTURALLY REQUIRED. REDUCE EXTRA JACK & CRIPPLE STUDS AT FRAMING OPENINGS.
- OPEN FRAMING FRAME CALIFORNIA CORNERS AND SIDE WALL INTERSECTIONS WITH OPEN SIDE FOR INSULATION TO IN. AVOID SOLID WOOD OR INACCESSIBLE AIR POCKETS.
- KITCHEN EXHAUST FANS OVER 400 CFM REQUIRE AN AUTOMATIC DAMPER TO RELIEVE NEGATIVE PRESSURE IN THE HOUSE. SEE IRC M 1503.4.
- COOLING EQUIPMENT MAY NOT BE OVERSIZE MORE THAN 15%.
- SPRAY FOAM MUST BE COVERED WITH GWB (IGNITION BARRIER) OR INTUMESCENT PAINT.
- FIREPLACE CAVITIES BEHIND TUBS & SHOWERS, AND BUILT-INS MUST HAVE CONTINUOUS AND AIR TIGHT AIR BARRIERS IN CONTACT WITH WALL INSULATION BEFORE FIXTURES ARE INSTALLED.



1 Site Plan - Zoning
 Scale: 1/8" = 1'-0"

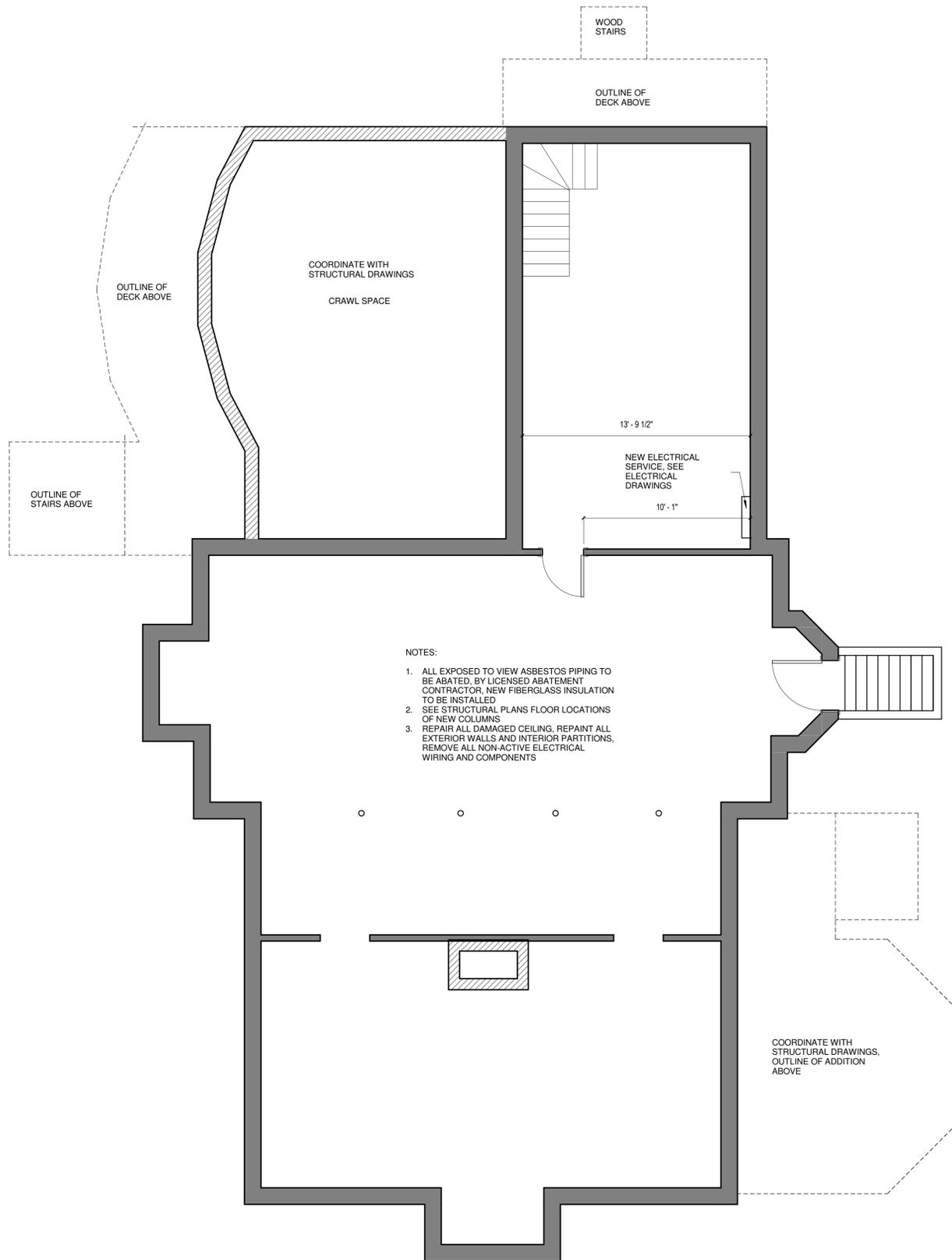
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PERMIT SET
 04/03/17

Clay Residence
 44 Pond Street
 Jamaica Plain, MA
Site Plan, Zoning & Energy Efficiency
 SCALE: As indicated

DRAWING NUMBER
A001
 JOB NUMBER R106 - 44 POND



- NOTES:
1. ALL EXPOSED TO VIEW ASBESTOS PIPING TO BE ABATED, BY LICENSED ABATEMENT CONTRACTOR, NEW FIBERGLASS INSULATION TO BE INSTALLED
 2. SEE STRUCTURAL PLANS FLOOR LOCATIONS OF NEW COLUMNS
 3. REPAIR ALL DAMAGED CEILING, REPAINT ALL EXTERIOR WALLS AND INTERIOR PARTITIONS, REMOVE ALL NON-ACTIVE ELECTRICAL WIRING AND COMPONENTS

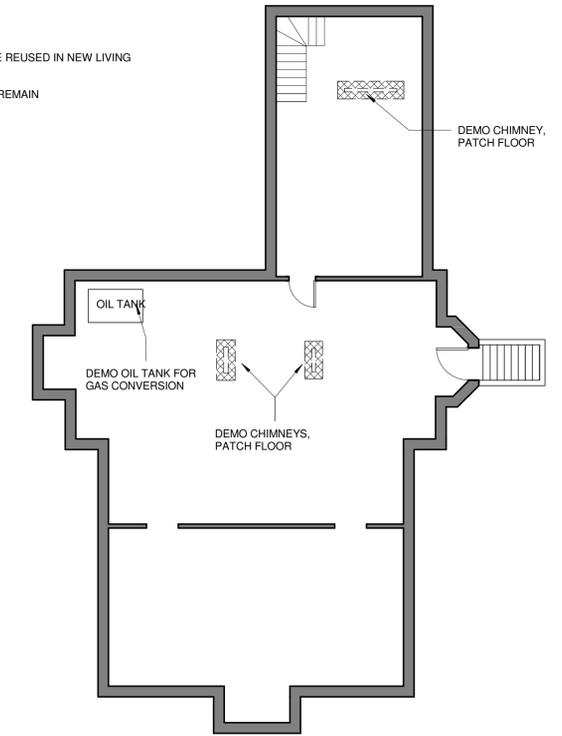
1 00 BASEMENT - NEW
Scale: 1/4" = 1'-0"

GENERAL DEMO NOTES

1. SEE NOTES ON A101

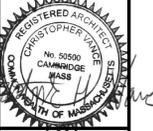
DEMOLITION NOTES

1. REMOVE ALL CARPET ON FLOOR & STAIRS, DEMO BALUSTERS AND RAIL, DEMO DOOR INTO EXISTING ROOM #9
2. DEMO WALLS & DOORS AS SHOWN, NEW OPENING FOR EXTERIOR WINDOW, AND NEW OPENING FOR DOOR
3. DEMO WALLS & DOORS AS SHOWN, DEMO MANTLE, SALVAGE CROWN TO BE REUSED
4. DEMO WALLS, DOORS AND FLOOR DOWN TO SUBFLOOR
5. DEMO WALLS, DOORS, AND FIRE PLACE
6. DEMO WALLS, DOORS AND DEMO ALL KITCHEN CABINETS AND APPLIANCES
7. DEMO WALLS AS SHOWN
8. DEMO WALLS AS SHOWN
9. DEMO WALLS, DOORS AND SALVAGE FIRE PLACE MANTLE TO BE REUSED IN NEW LIVING ROOM
10. DEMO RAILS AND BALUSTERS, ALL OTHER PARTS OF DECK TO REMAIN
11. DEMO DECK AND STAIR IN ENTIRETY AND SUN ROOM ABOVE

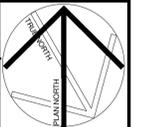


2 BASEMENT FLOOR
Scale: 1/8" = 1'-0"

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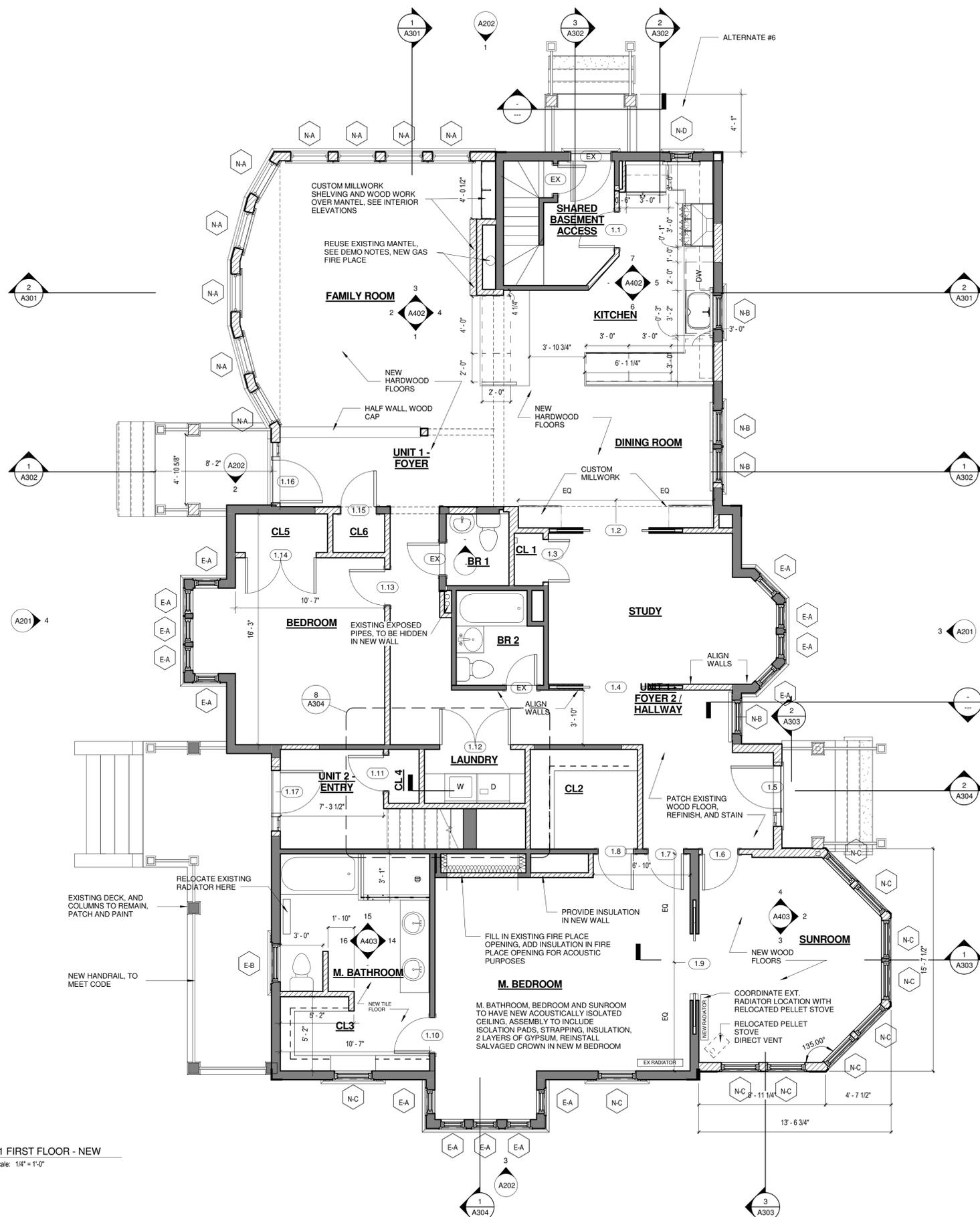


PERMIT SET
04/03/17



Clay Residence
44 Pond Street
Jamaica Plain, MA
Basement Floor Plan
SCALE: As indicated

DRAWING NUMBER
A100
JOB NUMBER R106 - 44 POND



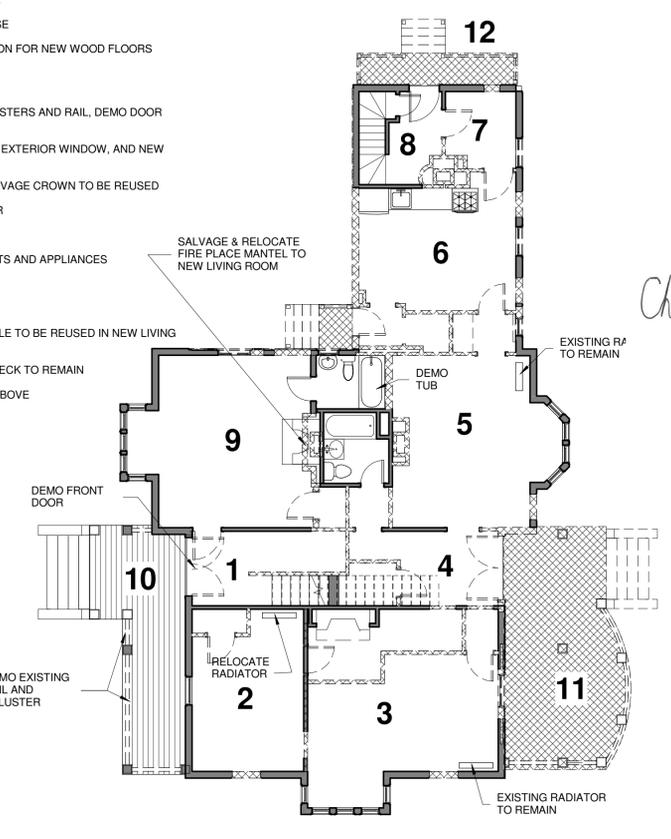
2 01 FIRST FLOOR - NEW
Scale: 1/4" = 1'-0"

GENERAL DEMO NOTES

- GC TO WALK THROUGH WITH ARCHITECT TO CONFIRM ALL DEMO REQUIREMENTS AND ITEMS TO BE SALVAGED PRIOR TO START OF DEMO
- COORDINATE REMOVAL OF ALL WALLS WITH STRUCTURAL DRAWINGS, SHORE UP ALL BEARING WALLS PRIOR TO REMOVAL
- UPON REMOVAL OF WALLS MAKE ALL ELECTRICAL SAFE
- SALVAGE ALL BASEBOARD, DOORS AND TRIM FOR REUSE
- DEMO ALL FLOORS DOWN TO SUBFLOOR IN PREPARATION FOR NEW WOOD FLOORS

DEMOLITION NOTES

- REMOVE ALL CARPET ON FLOOR & STAIRS, DEMO BALUSTERS AND RAIL, DEMO DOOR INTO EXISTING ROOM #9
- DEMO WALLS & DOORS AS SHOWN, NEW OPENING FOR EXTERIOR WINDOW, AND NEW OPENING FOR DOOR
- DEMO WALLS & DOORS AS SHOWN, DEMO MANTLE, SALVAGE CROWN TO BE REUSED
- DEMO WALLS, DOORS AND FLOOR DOWN TO SUBFLOOR
- DEMO WALLS, DOORS, AND FIRE PLACE
- DEMO WALLS, DOORS AND DEMO ALL KITCHEN CABINETS AND APPLIANCES
- DEMO WALLS AS SHOWN
- DEMO WALLS AS SHOWN
- DEMO WALLS, DOORS AND SALVAGE FIRE PLACE MANTLE TO BE REUSED IN NEW LIVING ROOM
- DEMO RAILS AND BALUSTERS, ALL OTHER PARTS OF DECK TO REMAIN
- DEMO DECK AND STAIR IN ENTIRETY AND SUN ROOM ABOVE



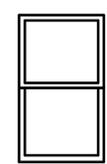
1 01 FIRST FLOOR - DEMOLITION PLAN
Scale: 1/8" = 1'-0"

GENERAL NOTES

- NEW INTERIOR WALLS TO BE 2x4 FRAMING 16" OC, 1/2" GYPSUM OR BLUEBOARD AND PLASTER TYP. NOTE: NEW WALLS THAT ARE TO ALIGN WITH EXISTING WALLS SHOULD BE FURRED OR ADDITIONAL GWB ADDED TO MATCH THICKNESS OF EXISTING WALLS.
- DEMISING WALLS SEE WALL SECTIONS FOR NEW EXTERIOR WALL FRAMING
- REFERENCE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL REQUIREMENTS
- SHOULD AN EXISTING CONDITION ARISE THAT DOES NOT REFLECT THE DRAWINGS SHOWN, BRING TO THE ATTENTION OF THE ARCHITECT FOR REVIEW
- PATCH AND PAINT ALL EXISTING WALLS, CEILING, TRIM AND DOORS, UNLESS OTHERWISE NOTED ON FLOOR PLANS
- PAINT ALL NEW WALLS, CEILINGS, DOORS AND TRIM
- NEW GAS FIRE PLACE IN FAMILY ROOM AND SUNROOM
- ALL NEW HARDWOOD FLOORS, 3 1/2" WHITE OAK, 3 COATS OF STAIN, 1 COAT OF POLY URETHANE

WINDOW SCHEDULE

Type	R.O.	OPERATION	MANUFACTURE / GLAZING	REMARKS
N-A	72" H X 32" W	DOUBLE HUNG	ANDERSON 400 / TILT WASH / LOW E4	VERIFY ALL WINDOWS SIZES IN FIELD, NEW WINDOWS TO MATCH EXISTING WINDOW SIZES
N-B	60" H X 30" W			
N-C	70" H X 32" W			
N-D	60" H X 18" W			
N-E	48" H X 30" W			
E-A	80" H X 21" W			
E-B	70" H X 32" W			
E-C	70" H X 38" W			
E-D	70" H X 34" W			
E-E	60" H X 34" W			
E-F	48" H X 30" W			



ALL TYPES
EXTERIOR COLOR BLACK,
INTERIOR COLOR AS SELECTED
BY OWNER

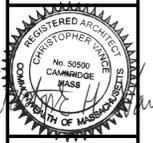
BIDDING NOTES

BREAK OUT COST FOR PURCHASE AND INSTALLATION FOR TYPES N-A THROUGH N-E AND E-A THROUGH E-F
ALL WINDOWS TO RECEIVE NEW 5/16" TRIM, AND NEW SILLS FOR TYPES N-A THROUGH N-E, FOR WINDOWS E-A THROUGH E-F ASSUME 50% NEW SILLS
PROVIDE TEMPERED GLASS FOR WINDOWS 18" AND UNDER ABOVE FINISH FLOOR
REFER TO HERR NOTES FOR ENERGY EFFICIENCY REQUIREMENTS

FLOOR PLAN KEY

- EXISTING WALLS
- NEW WALLS
- DEMOLITION

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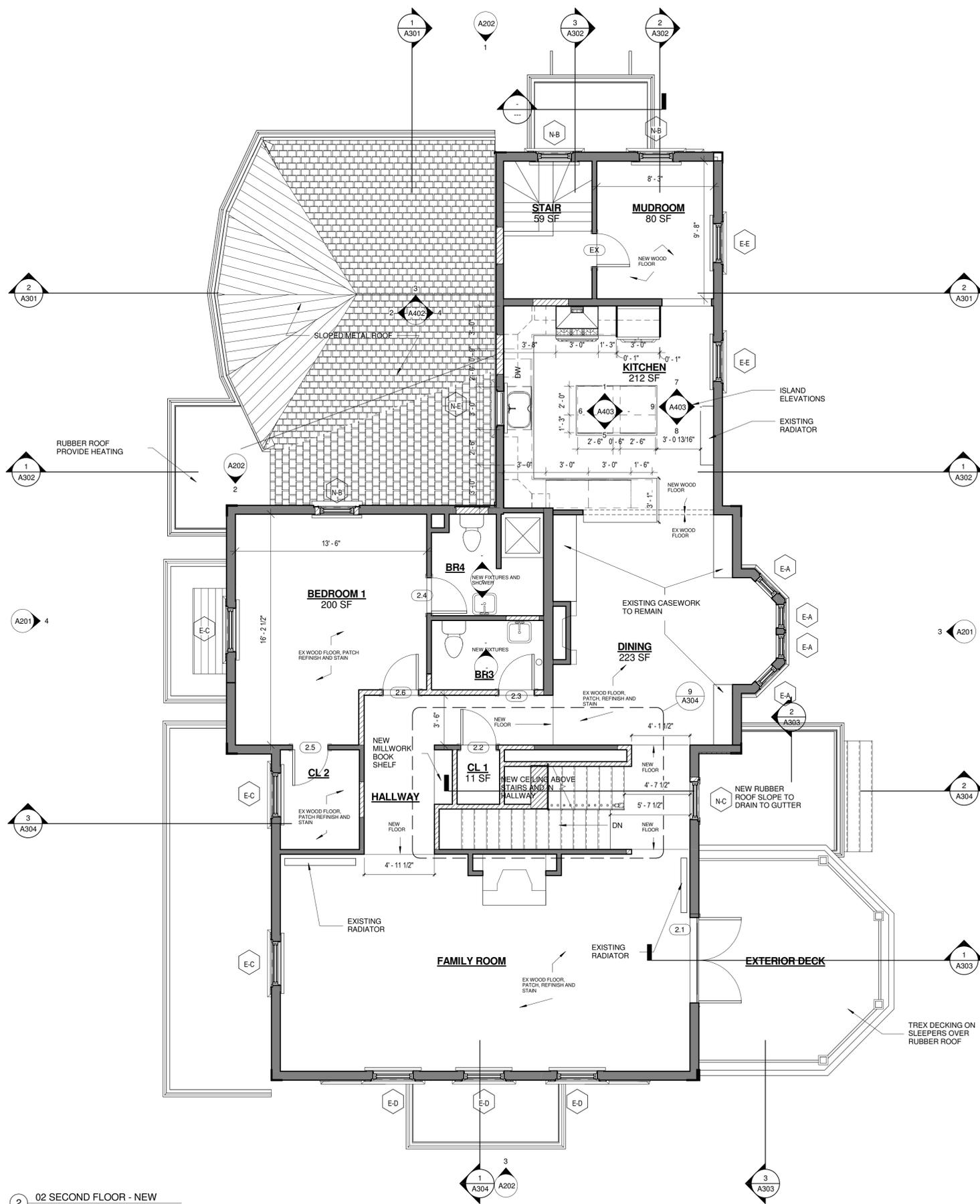


PERMIT SET
04/03/17



Clay Residence
44 Pond Street
Jamaica Plain, MA
First Floor Plan - New and Demo
SCALE As indicated

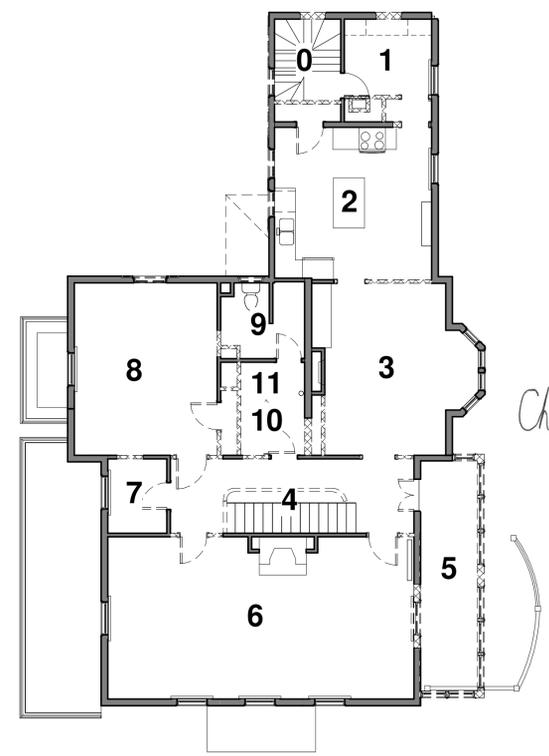
DRAWING NUMBER
A101
JOB NUMBER R106 - 44 POND



2 02 SECOND FLOOR - NEW
Scale: 1/4" = 1'-0"

GENERAL DEMO NOTES

- SEE NOTES ON A100
- DEMOLITION NOTES**
0. NORTH - Demo cabinets and exterior wall for new window, SOUTH - Demo wall for new door
1. SOUTH - Demo walls and chimney as indicated, Patch floor and ceiling @ chimney FLOOR - remove finish floor down to subfloor
2. ALL SIDES - Remove all kitchen cabinets and seat bench, salvage range, and refrigerator for reuse, Keep radiator and cabinet, strip floor down to subfloor
3. Demo built in to left of fire place, remove walls as indicated, patch walls as needed
4. Remove carpet to expose hardwood floors, salvage tray ceiling for reuse, demo walls and floor opening as shown on drawings, patch walls as necessary
5. Demo room in entirety
6. Selective demo walls, and doors as indicated on drawings
7. Demo ceiling at cracks
8. Selective demo walls as indicated on plans
9. Selective demo as shown on plans
10. Demo existing chimney and walls as shown on plans, patch walls floors and ceiling as necessary, carefully salvage tin wall for reuse
11. Salvage and reuse decorative aluminum wall panel, see new drawings for location.



1 02 SECOND FLOOR - DEMOLITION PLAN
Scale: 1/8" = 1'-0"

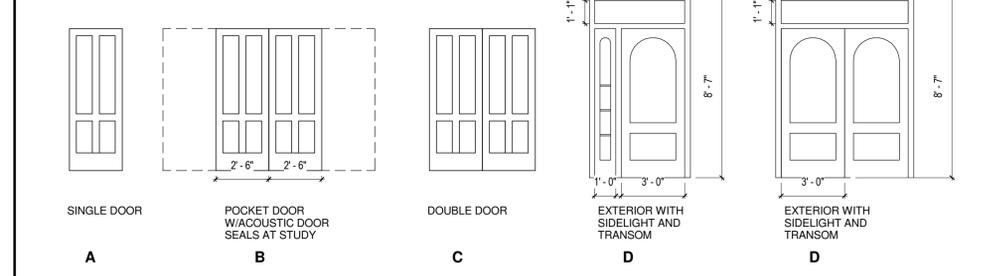
FLOOR PLAN KEY

- EXISTING WALLS
- NEW WALLS
- DEMOLITION

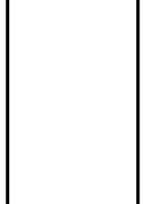
DOOR SCHEDULE

Door Number	Door TYPE	Door Size (Width x Height)	Door Operations	Door Description	Frame	Hardware	Remarks
1.1	A	2'-6" x 7'-0"	Swing	Interior Solid Wood	Solid Rabbett	Lockset Deadbolt	Height of new doors should match existing height.
1.2	B	6'-0" x 7'-0"	Pocket	Interior Solid Wood	Solid Rabbett	Pocket	VIF. Trim to match existing 5" trim. VIF
1.3	C	6'-0" x 7'-0"	Swing	Interior Solid Wood	Solid Rabbett	Passage	
1.4	B	6'-0" x 7'-0"	Pocket	Interior Solid Wood	Solid Rabbett	Pocket	
1.5	D	3'-0" x 7'-0"	Swing	Exterior Insulated	Standard	Lockset Deadbolt	
1.6	A	2'-6" x 7'-0"	Swing	Interior Solid Wood	Solid Rabbett	Passage	
1.7	A	2'-6" x 7'-0"	Swing	Interior Solid Wood	Solid Rabbett	Privacy	
1.8	A	2'-6" x 7'-0"	Swing	Interior Solid Wood	Solid Rabbett	Passage	
1.9	B	6'-0" x 7'-0"	Pocket	Interior Solid Wood	Solid Rabbett	Pocket	
1.10	A	2'-6" x 7'-0"	Swing	Interior Solid Wood	Solid Rabbett	Privacy	
1.11	A	2'-6" x 7'-0"	Swing	Interior Solid Wood	Solid Rabbett	Passage	
1.12	C	6'-0" x 7'-0"	Swing	Interior Solid Wood	Solid Rabbett	Passage	
1.13	A	2'-6" x 7'-0"	Swing	Interior Solid Wood	Solid Rabbett	Privacy	
1.14	C	6'-0" x 7'-0"	Pocket	Interior Solid Wood	Solid Rabbett	Passage	
1.15	A	2'-6" x 7'-0"	Swing	Interior Solid Wood	Solid Rabbett	Passage	
1.16	D	3'-0" x 7'-0"	Swing	Exterior Insulated	Standard	Lockset Deadbolt	
1.17	D	3'-0" x 7'-0"	Swing	Exterior Insulated	Standard	Lockset Deadbolt	
2.1	E	6'-0" x 7'-0"	Swing	Exterior Insulated	Standard	Lockset Deadbolt	
2.2	A	2'-6" x 7'-0"	Swing	Interior Solid Wood	Solid Rabbett	Privacy	
2.3	A	2'-6" x 7'-0"	Swing	Interior Solid Wood	Solid Rabbett	Privacy	
2.4	A	2'-6" x 7'-0"	Swing	Interior Solid Wood	Solid Rabbett	Passage	
2.5	A	2'-6" x 7'-0"	Swing	Interior Solid Wood	Solid Rabbett	Privacy	
2.6	A	2'-6" x 7'-0"	Swing	Interior Solid Wood	Solid Rabbett	Passage	
3.1	A	2'-6" x 6'-8"	Swing	Interior Solid Wood	Solid Rabbett	Privacy	
3.2	A	2'-0" x 6'-8"	Swing	Interior Solid Wood	Solid Rabbett	Passage	
3.3	A	1'-1" x 6'-8"	Swing	Interior Solid Wood	Solid Rabbett	Passage	
3.4	A	2'-6" x 6'-8"	Swing	Interior Solid Wood	Solid Rabbett	Passage	
3.5	A	2'-6" x 6'-8"	Swing	Interior Solid Wood	Solid Rabbett	Privacy	

DOOR TYPES



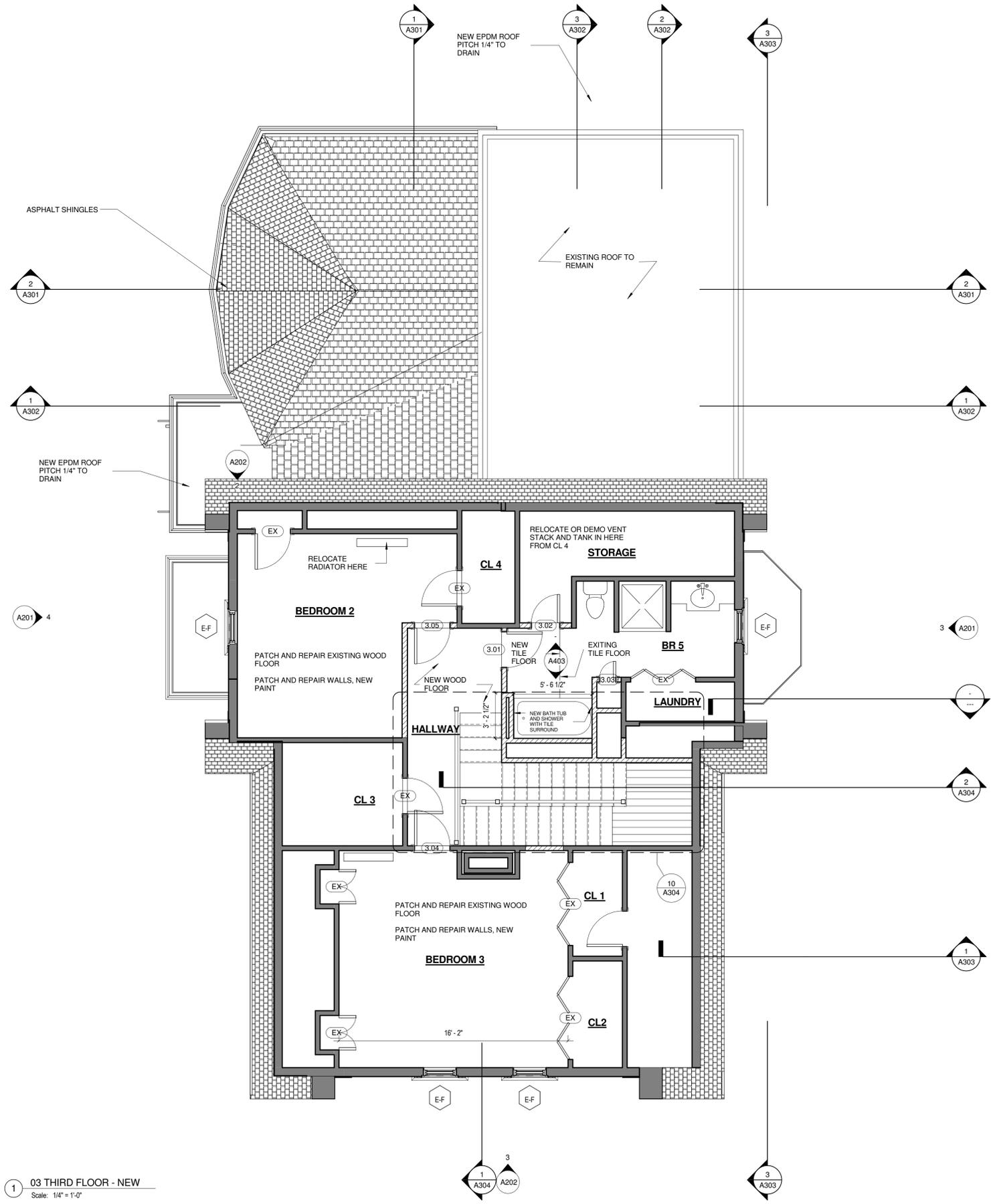
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PERMIT SET
04/03/17

Clay Residence
44 Pond Street
Jamaica Plain, MA
Second Floor Plan - New and Demo
SCALE: As indicated

DRAWING NUMBER
A102
JOB NUMBER R106 - 44 POND



1 03 THIRD FLOOR - NEW
Scale: 1/4" = 1'-0"

GENERAL DEMO NOTES

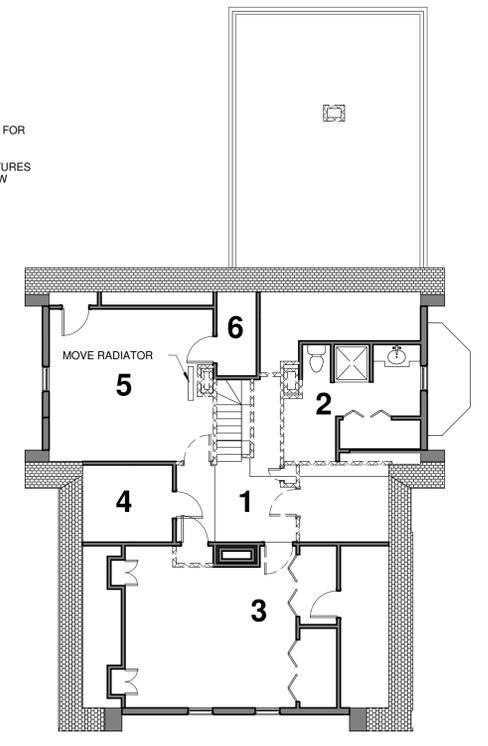
1. SEE GENERAL NOTES ON A100

DEMOLITION NOTES

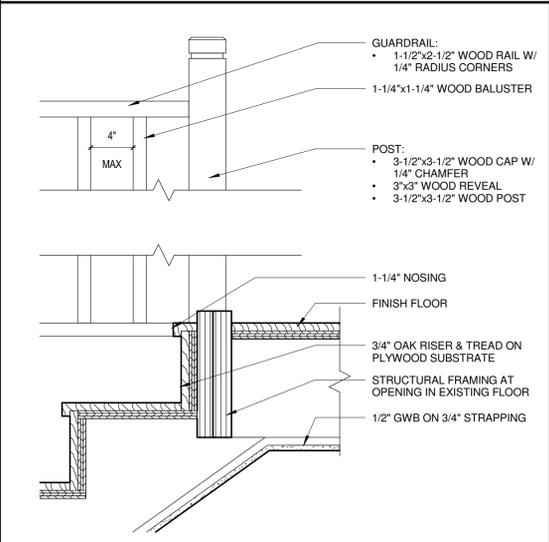
1. DEMO AS SHOWN ON DRAWINGS, COORDINATE WITH STRUCTURAL DRAWINGS FOR NEW STAIR OPENING, DEMO FLOORS TO SUBFLOOR
2. MAJORITY OF BATHROOM TO REMAIN AS IS. PROTECT EXISTING TILE AND FIXTURES PRIOR TO DEMO OF WALL. SALVAGE SMALL DOOR FOR POTENTIAL REUSE IN NEW FLOOR PLAN
3. DEMO AS SHOWN ON DRAWINGS, FLOORS TO REMAIN PROTECT
4. NO WORK
5. DEMO AS SHOWN ON DRAWINGS
6. NO WORK

FLOOR PLAN KEY

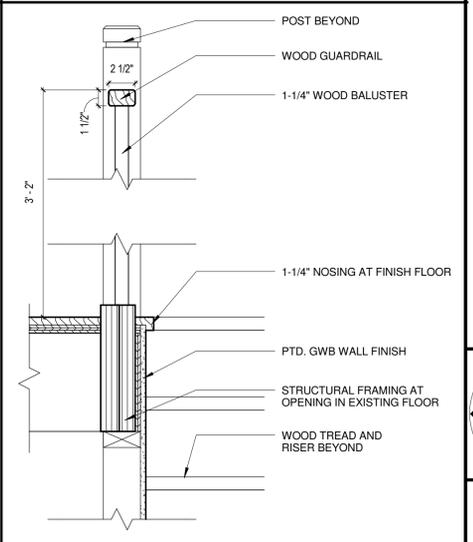
- EXISTING WALLS
- NEW WALLS
- DEMOLITION



2 03 THIRD FLOOR - DEMOLITION PLAN
Scale: 1/8" = 1'-0"

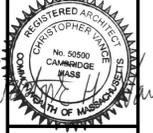


4 Detail - Stair Tread/Riser, Typ.
Scale: 1 1/2" = 1'-0"

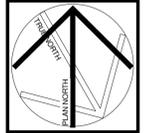


5 Detail - Third Floor Edge @ Stair Opening
Scale: 1 1/2" = 1'-0"

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PERMIT SET
04/03/17



Clay Residence
44 Pond Street
Jamaica Plain, MA
Third Floor Plan - New and Demo
SCALE: As indicated

DRAWING NUMBER
A103
JOB NUMBER R106 - 44 POND



GENERAL EXTERIOR DEMO NOTES

1. ALL WINDOWS TO BE DEMO'D AND REPLACED, WINDOWS SHOWN DASHED TO BE DEMO'D AND WALL FILLED IN, COORDINATE WITH NEW ELEVATION FOR NEW WINDOW OPENINGS
2. REMOVE ALL EXTERIOR VINYL SIDING, INSPECT CLAPBOARD BENEATH, SELECTIVE DEMO OF ROTTED TRIM AND CLAP BOARD UNSUITABLE FOR REUSE
3. DEMO CHIMNEY'S AS INDICATED ON FLOOR PLANS, PATCH HOLES IN ROOF
4. SHUTTERS NOT SHOW, SALVAGE ALL SHUTTERS FOR REUSE AFTER INSTALLATION OF NEW WINDOWS



2 FRONT ELEVATION - DEMOLITION
Scale: 1/8" = 1'-0"

ALL WINDOWS TO BE DEMO'D AND REPLACED, WINDOWS SHOWN DASHED TO BE DEMO'D AND WALL FILLED IN, COORDINATE WITH NEW ELEVATION FOR NEW WINDOW OPENINGS

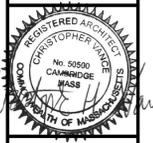


1 REAR ELEVATION - DEMOLITION
Scale: 1/8" = 1'-0"

GENERAL EXTERIOR PRICING NOTES

1. PATCH AND REPAIR EXISTING CLAPBOARD BENEATH VINYL SIDING
PRICE OPTION 1 - ALL NEW 4" CLAPBOARD, 6" CORNER BOARDS (CLOSEST STANDARD SIZE),
PRICE OPTION 2 - ALL NEW HARDI BOARD SIDING 4", 6" CORNER BOARDS (CLOSEST STANDARD SIZE)
 2. ALL NEW WINDOWS, DOUBLE HUNG, NO DIVIDED LIGHT, ALL NEW 5" TRIM, NEW SILLS AS NEEDED
 3. PATCH ROOF WHERE CHIMNEY'S ARE REMOVED, EXISTING ROOF TO REMAIN
PRICE OPTION 1 - NEW ARCHITECTURAL ASPHALT SHINGLES
 4. SHUTTERS NOT SHOW, REUSE EXISTING SHUTTERS, FOR NEW WINDOWS PROVIDE NEW SHUTTERS
 5. REPAINT HOUSE
 6. ALL NEW DENTILS TO MATCH EXISTING AT UPPER ROOF LINE
- NEW CONSTRUCTION PORTION
1. REFERENCE SECTIONS
NEW MDO WOOD PANEL FOR EXTERIOR
MATCH EXISTING DENTIL DETAILS, COLUMN DETAILS AT PORCH
NEW STANDING SEAM METAL ROOF (PRICE ALTERNATE ASPHALT SHINGLE ROOF)
LOW SLOPE RUBBER ROOF AT NEW DECK AND ENTRY ROOFS
NEW GUTTERS AND DOWN SPOUTS

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PERMIT SET
04/03/17

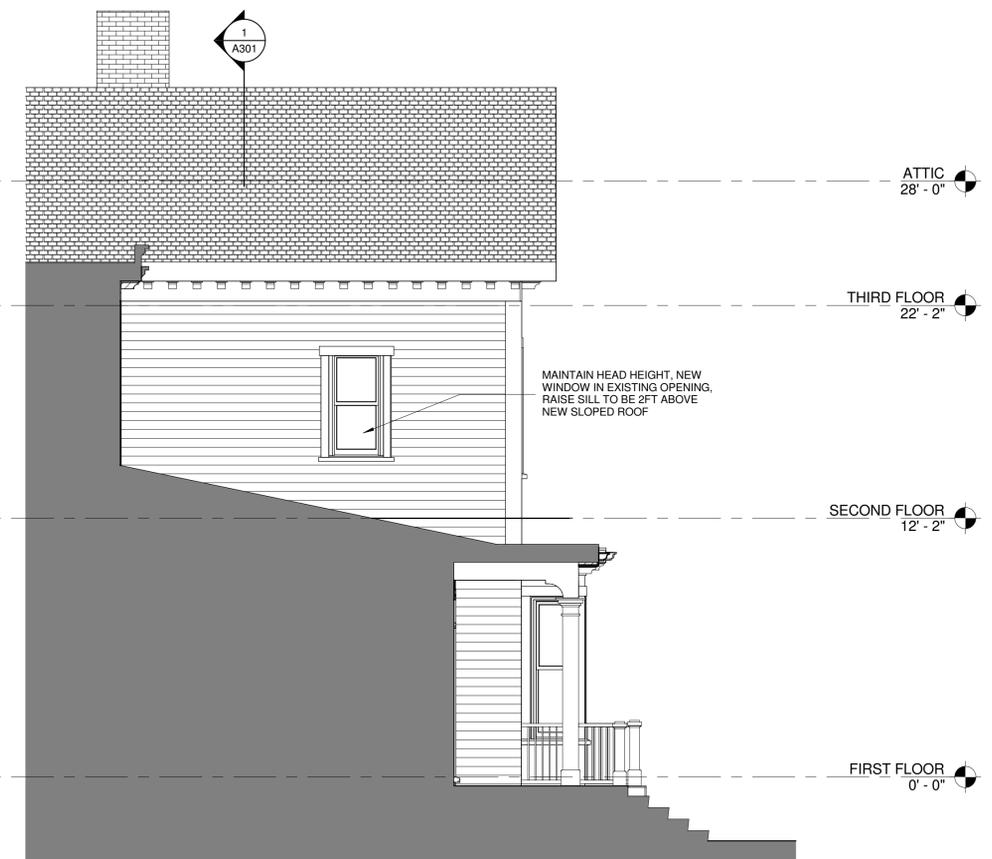
Clay Residence
44 Pond Street
Jamaica Plain, MA
Front & Rear Elevations
SCALE As indicated

DRAWING NUMBER
A201

JOB NUMBER R106 - 44 POND



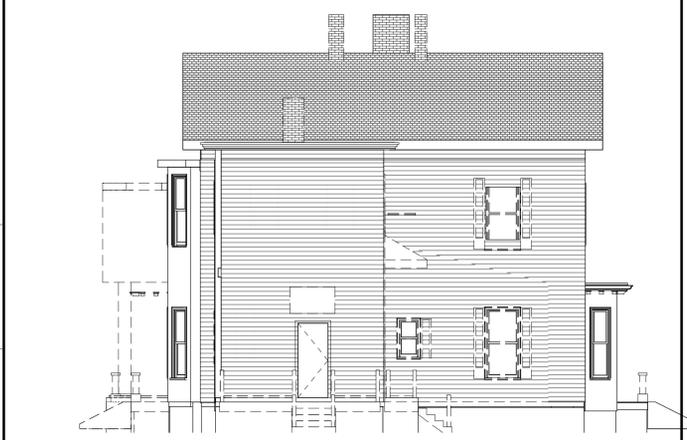
1 LEFT ELEVATION - NEW
Scale: 1/4" = 1'-0"



2 LEFT ELEVATION - PARTIAL - NEW
Scale: 1/4" = 1'-0"



3 RIGHT ELEVATION - NEW
Scale: 1/4" = 1'-0"



4 LEFT ELEVATION - DEMOLITION
Scale: 1/8" = 1'-0"



5 RIGHT ELEVATION - DEMOLITION
Scale: 1/8" = 1'-0"

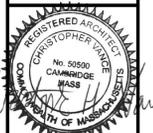
GENERAL EXTERIOR PRICING NOTES

- PATCH AND REPAIR EXISTING CLAPBOARD BENEATH VINYL SIDING
PRICE OPTION 1 - ALL NEW 4" CLAPBOARD, 6" CORNER BOARDS (CLOSEST STANDARD SIZE)
PRICE OPTION 2 - ALL NEW HARDI BOARD SIDING 4", 6" CORNER BOARDS (CLOSEST STANDARD SIZE)
 - ALL NEW WINDOWS, DOUBLE HUNG, NO DIVIDED LIGHT, ALL NEW 5" TRIM, NEW SILLS AS NEEDED
 - PATCH ROOF WHERE CHIMNEYS ARE REMOVED, EXISTING ROOF TO REMAIN
PRICE OPTION 1 - NEW ARCHITECTURAL ASPHALT SHINGLES
 - SHUTTERS NOT SHOW, REUSE EXISTING SHUTTERS, FOR NEW WINDOWS PROVIDE NEW SHUTTERS
 - REPAINT HOUSE
 - ALL NEW DENTILS TO MATCH EXISTING AT UPPER ROOF LINE
- NEW CONSTRUCTION PORTION
- REFERENCE SECTIONS
NEW MDO WOOD PANEL FOR EXTERIOR
MATCH EXISTING DENTIL DETAILS, COLUMN DETAILS AT PORCH
NEW STANDING SEAM METAL ROOF (PRICE ALTERNATE ASPHALT SHINGLE ROOF)
LOW SLOPE RUBBER ROOF AT NEW DECK AND ENTRY ROOFS
NEW GUTTERS AND DOWN SPOUTS

GENERAL EXTERIOR DEMO NOTES

- ALL WINDOWS TO BE DEMO'D AND REPLACED, WINDOWS SHOWN DASHED TO BE DEMO'D AND WALL FILLED IN, COORDINATE WITH NEW ELEVATION FOR NEW WINDOW OPENINGS
- REMOVE ALL EXTERIOR VINYL SIDING, INSPECT CLAPBOARD BENEATH, SELECTIVE DEMO OF ROTTED TRIM AND CLAP BOARD UNSUITABLE FOR REUSE
- DEMO CHIMNEYS AS INDICATED ON FLOOR PLANS, PATCH HOLES IN ROOF
- SHUTTERS NOT SHOW, SALVAGE ALL SHUTTERS FOR REUSE AFTER INSTALLATION OF NEW WINDOWS

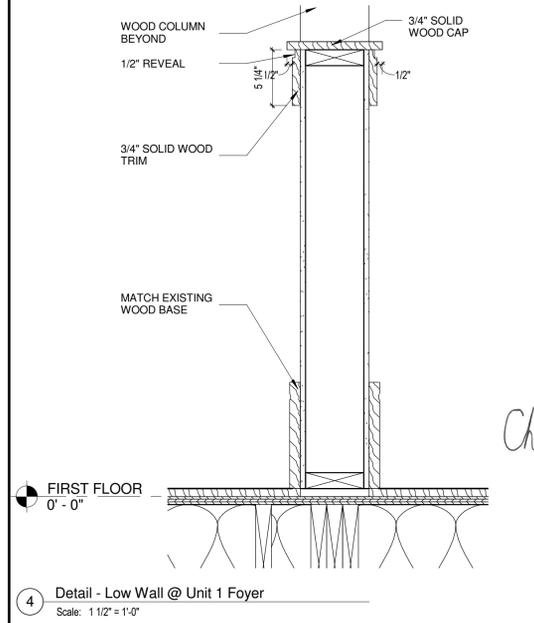
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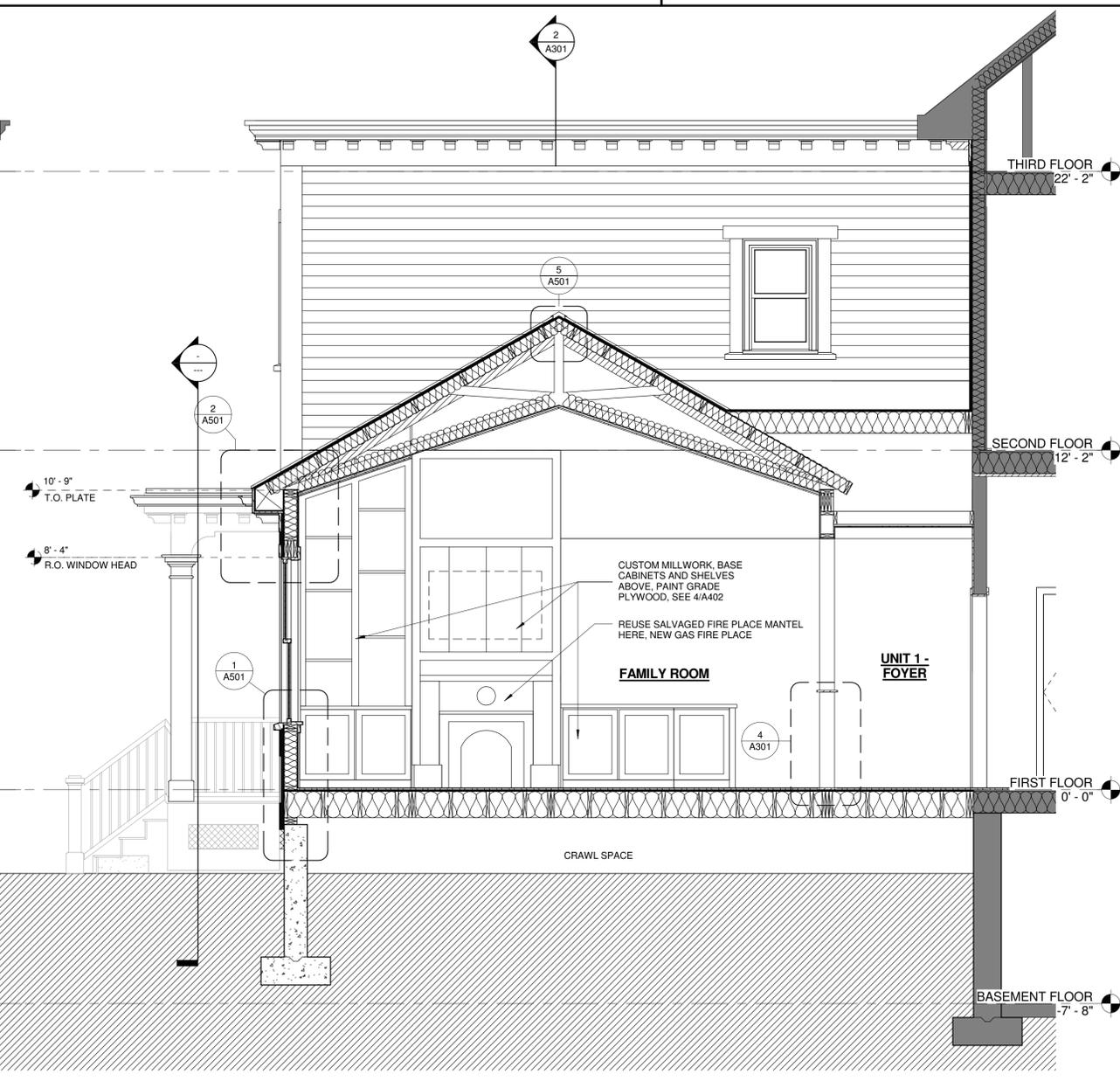
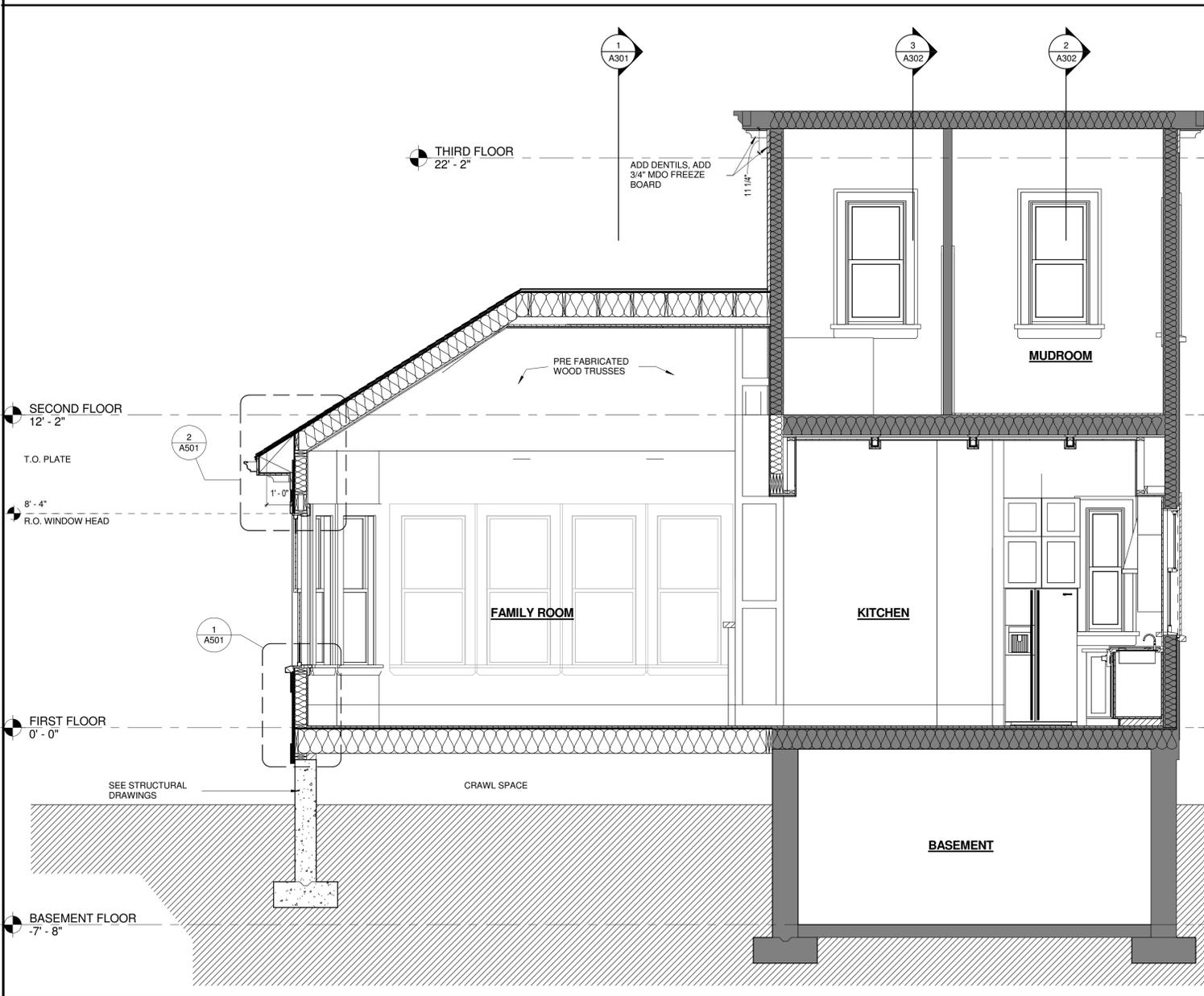
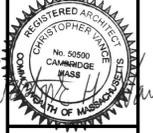
PERMIT SET
04/03/17

Clay Residence
44 Pond Street
Jamaica Plain, MA
Left & Right Elevations
SCALE: As indicated

DRAWING NUMBER
A202
JOB NUMBER R106 - 44 POND



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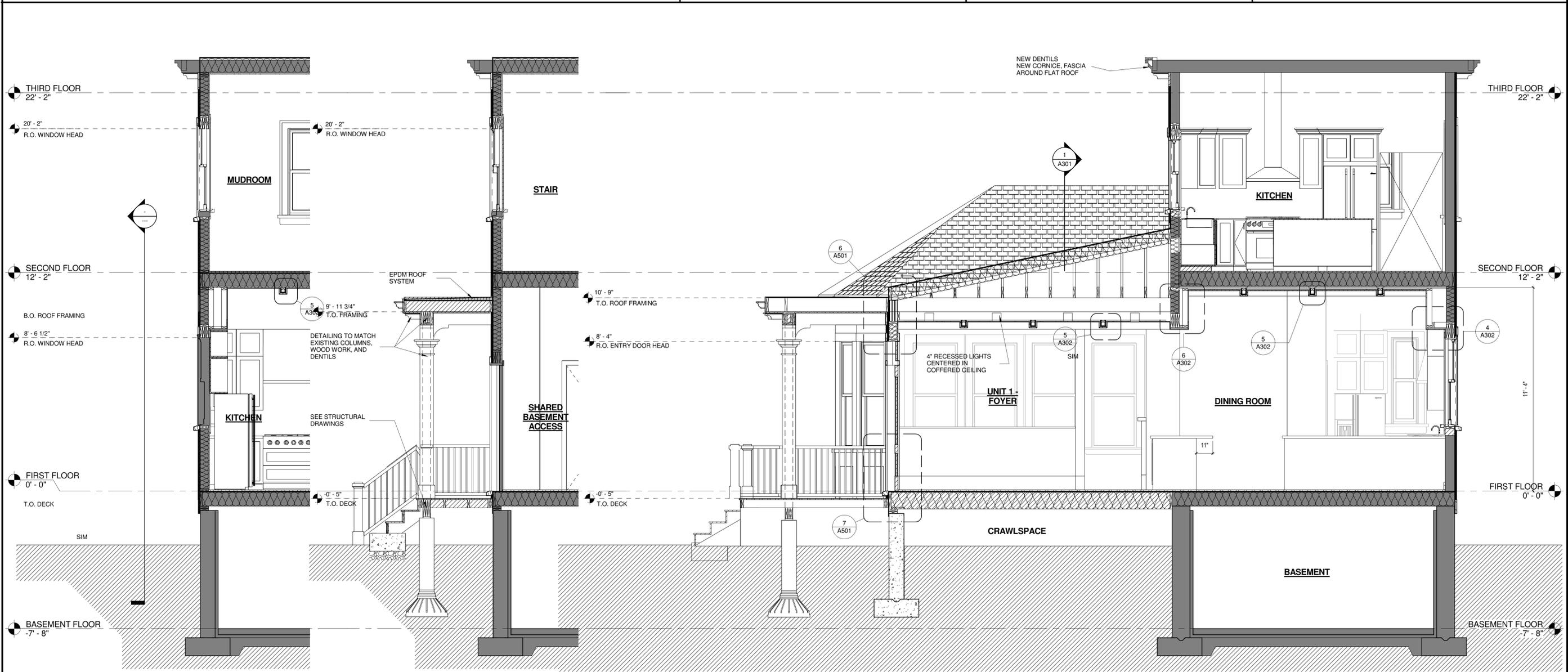
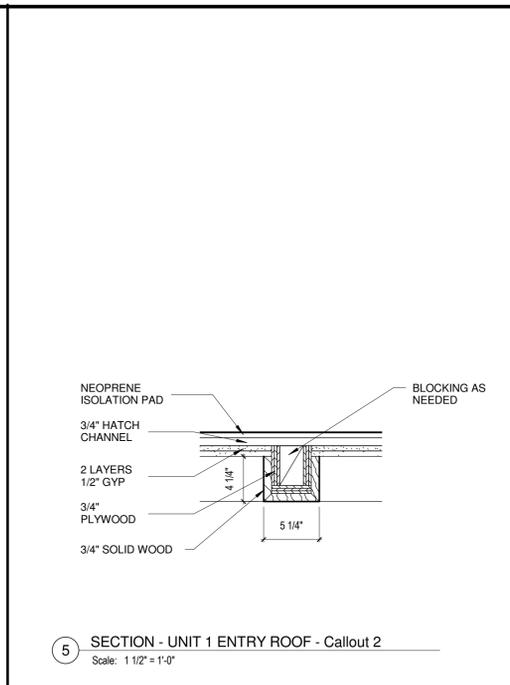
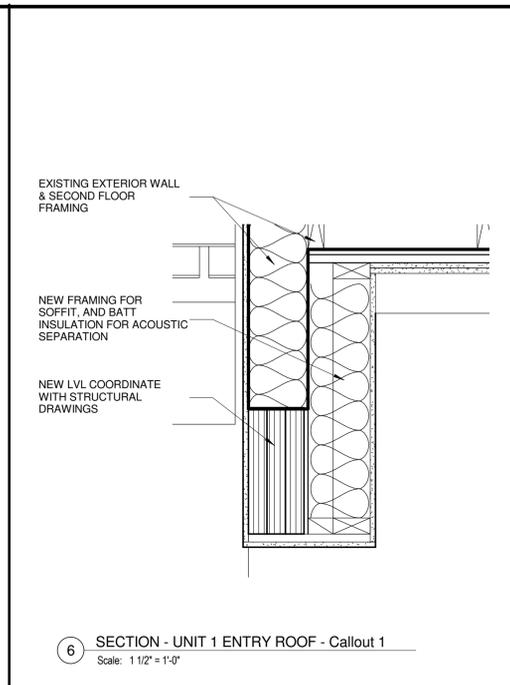
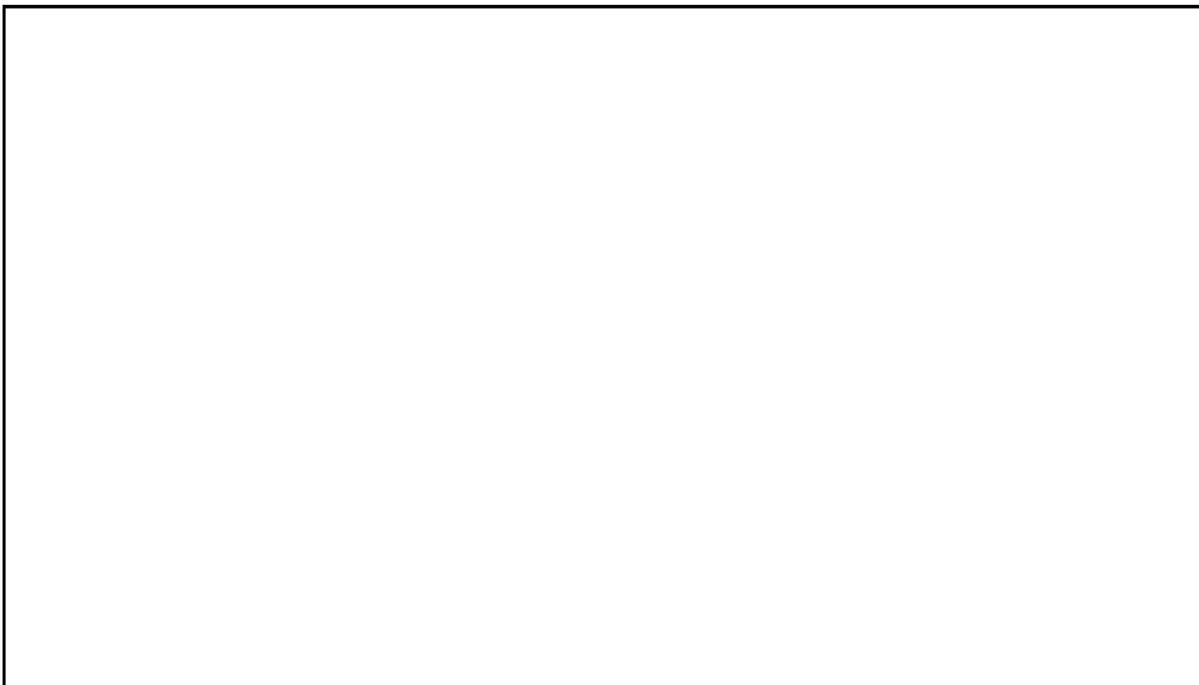
2 SECTION - UNIT 1 FAMILY ROOM & KITCHEN
 Scale: 3/8" = 1'-0"

1 SECTION - UNIT 1 FAMILY ROOM
 Scale: 3/8" = 1'-0"

PERMIT SET
 04/03/17

Clay Residence
 44 Pond Street
 Jamaica Plain, MA
Building Sections
 SCALE: As indicated

DRAWING NUMBER
A301
 JOB NUMBER R106 - 44 POND



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REGISTERED ARCHITECT
No. 50590
COMMONWEALTH OF MASSACHUSETTS

PERMIT SET
04/03/17

Clay Residence
44 Pond Street
Jamaica Plain, MA

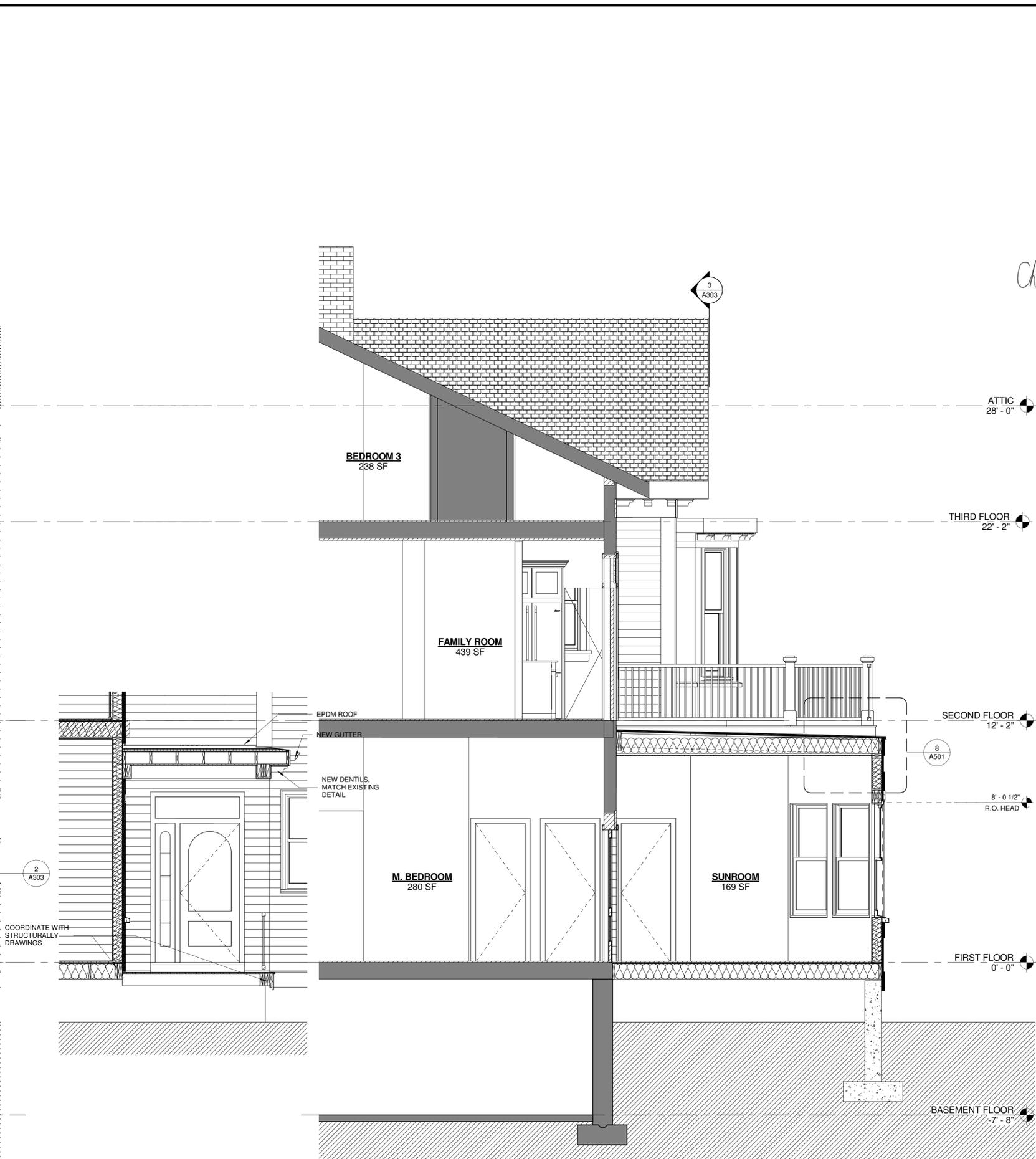
Building Sections
SCALE: As indicated

DRAWING NUMBER
A302

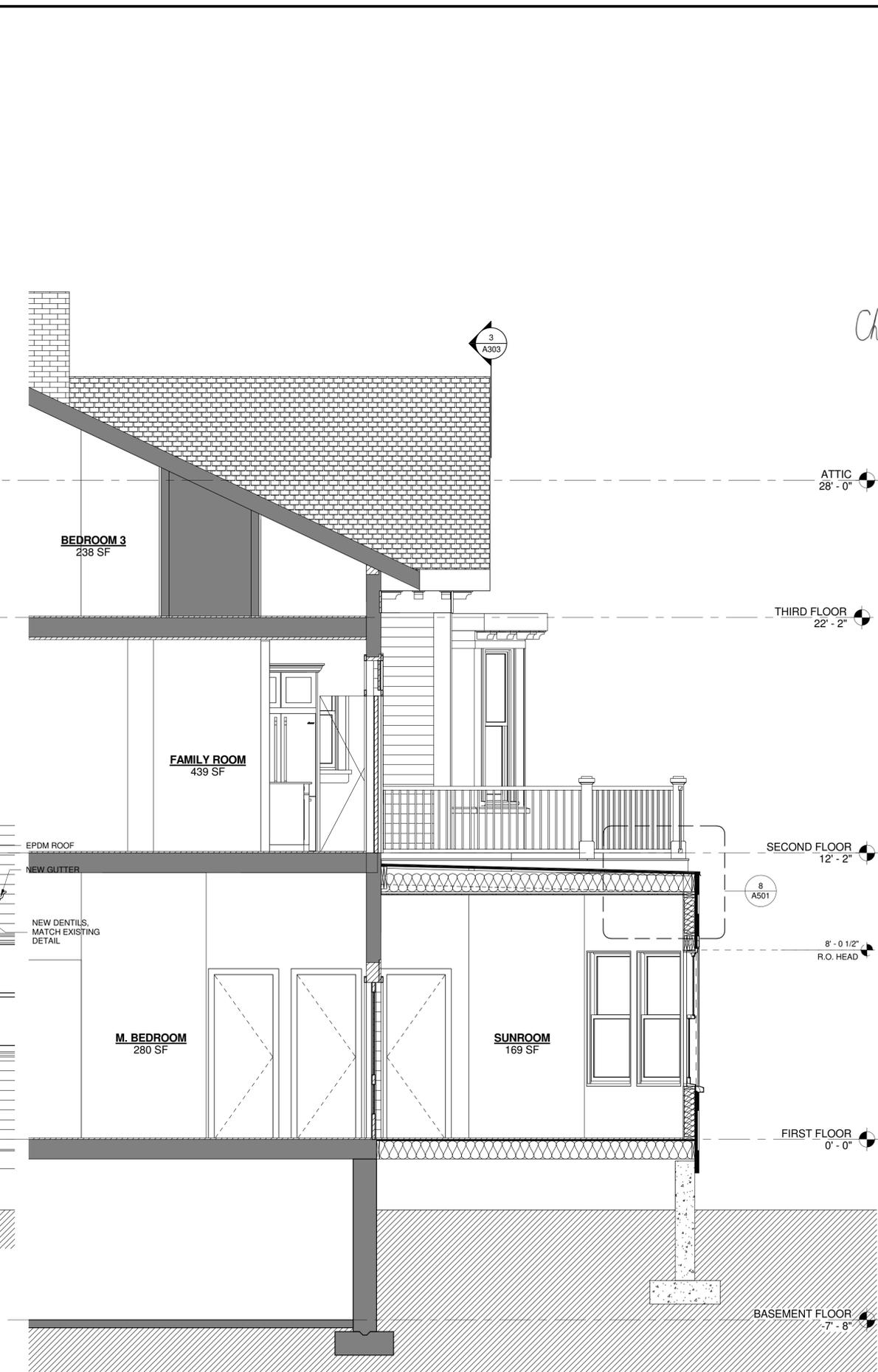
JOB NUMBER R106 - 44 POND



3 SECTION - SUNROOM
Scale: 3/8" = 1'-0"

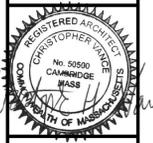


2 SECTION - UNIT 1 REAR ENTRY DECK
Scale: 3/8" = 1'-0"



1 SECTION - SUNROOM 2
Scale: 3/8" = 1'-0"

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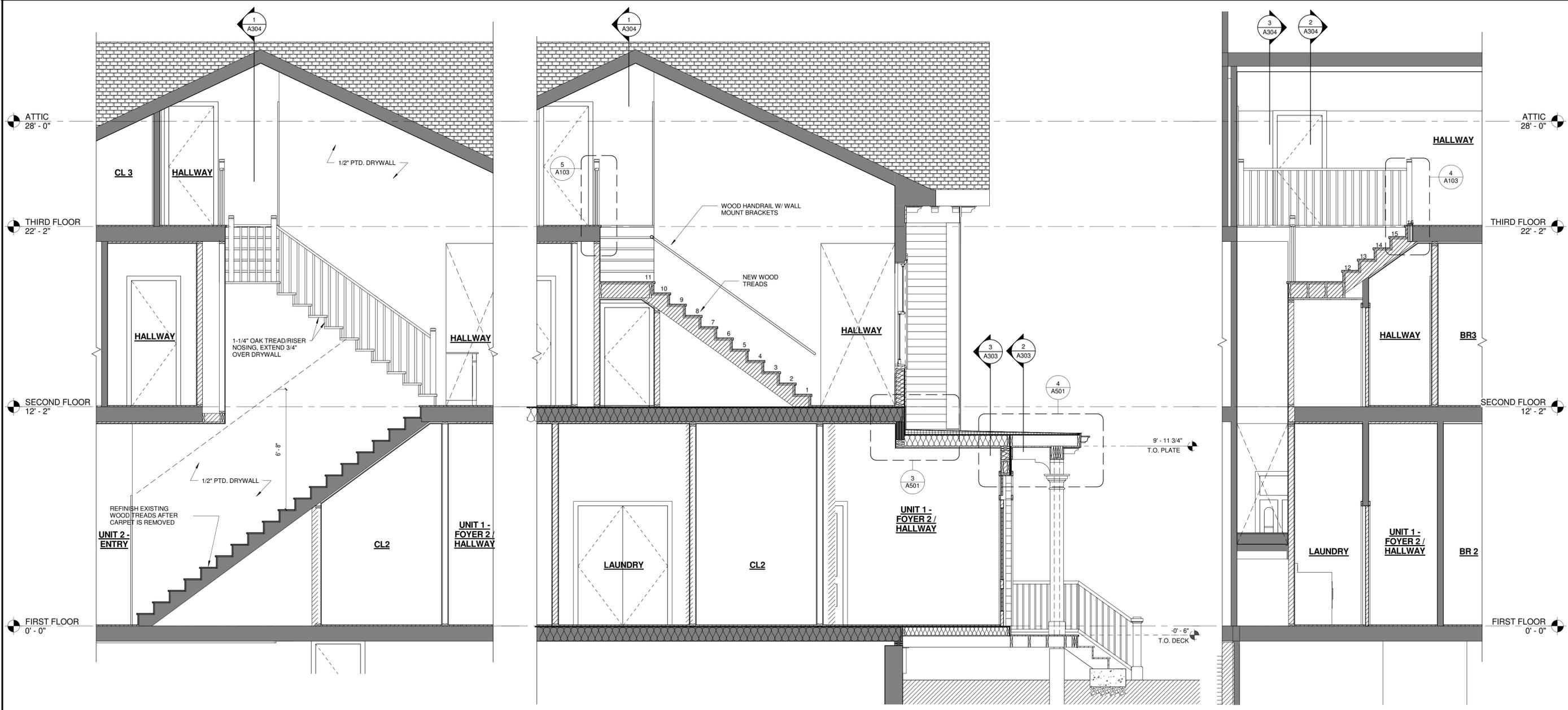
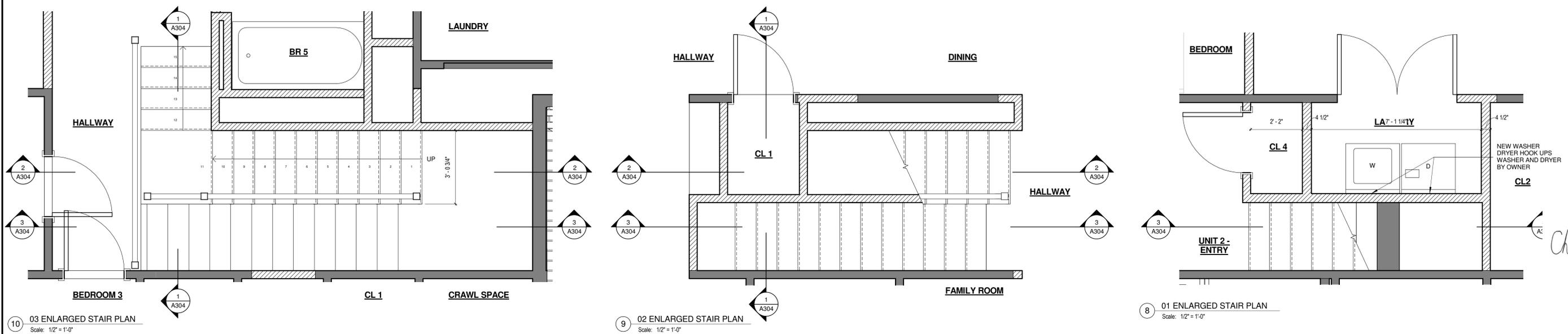


PERMIT SET
04/03/17

Clay Residence
44 Pond Street
Jamaica Plain, MA
Building Sections
SCALE 3/8" = 1'-0"

DRAWING NUMBER
A303

JOB NUMBER R106 - 44 POND



10 03 ENLARGED STAIR PLAN Scale: 1/2" = 1'-0"
 9 02 ENLARGED STAIR PLAN Scale: 1/2" = 1'-0"
 8 01 ENLARGED STAIR PLAN Scale: 1/2" = 1'-0"
 3 SECTION - UNIT 2 ENTRY STAIR - FIRST FLOOR Scale: 3/8" = 1'-0"
 2 SECTION - UNIT 2 ENTRY STAIR - SECOND FLOOR Scale: 3/8" = 1'-0"
 1 SECTION - UNIT 2 STAIR - SECOND FLOOR Scale: 3/8" = 1'-0"

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PERMIT SET
04/03/17

Stair Plans & Sections
 SCALE: As indicated

Clay Residence
 44 Pond Street
 Jamaica Plain, MA
A304
 DRAWING NUMBER
 JOB NUMBER R106 - 44 POND

INTERIOR FINISH SCHEDULE

ROOM NAME	FLOORS				WALLS			BASE & TRIM			CEILING					REMARKS	
	REMOVE EXISTING TO SUBFLOOR	REFINISH EXISTING WOOD	NEW HARDWOOD FLOOR	NEW TILE FLOOR	REMOVE EXISTING (SEE DEMO)	NEW GYPSUM, PAINT	PREP AND PAINT EXISTING	TILE WAINSCOT	REMOVE EXISTING (SEE DEMO)	NEW WOOD BASE & TRIM, PAINT	PREP AND PAINT EXISTING	TILE BASE	REMOVE EXISTING	PREP AND PAINT EXISTING	NEW GYPSUM, PAINT		NEW COFFERED CEILING, PAINT
FIRST FLOOR																	
FOYER	○				⊗	⊗			⊗	⊗			○		○		
FAMILY ROOM					○	○			○	○				○			
KITCHEN	○				○	⊗			⊗	○			○		○		
SHARED BASEMENT ACCESS	○				⊗	⊗			⊗	○			○		○		
DINING ROOM	○				⊗	⊗			⊗	⊗			○		○		
STUDY	○				⊗	⊗			⊗	○			○		○		
CL1	○				⊗	⊗			⊗	⊗			○		○		
FOYER 2 / HALLWAY	○				○	○			○	○			○		○		
SUNROOM					○	○			○	○				○			
M BEDROOM	○				⊗	○			⊗	○			○		○		○ REUSE SALVAGED CROWN MOLDING
CL2	○				○	⊗			○	⊗			○		○		
M BATHROOM	○		○		⊗	⊗	⊗	⊗	○	○	⊗		○		○		○ FULL HEIGHT TILE IN SHOWER, WITH GLASS DOORS, NOT TILE ON VANITY WALL, ALL NEW PLUMBING FIXTURES, MARBLE THRESHOLD
CL3	○				⊗	⊗			⊗	⊗			○		○		
UNIT 2 ENTRY	○				⊗	⊗			⊗	⊗			○		○		
CL4	○				⊗	⊗			⊗	⊗			○		○		
BEDROOM	○				⊗	⊗			⊗	⊗			○		○		
CL5	○				⊗	⊗			⊗	⊗			○		○		
CL6	○				⊗	⊗			⊗	⊗			○		○		
BATHROOM 1 (BR 1)	○		○		○	○			○	○			○		○		○ NEW PLUMBING FIXTURES, NEW MARBLE THRESHOLD
BATHROOM 2 (BR 2)	○		○		○	○			○	○			○		○		○ NEW PLUMBING FIXTURES, NEW MARBLE THRESHOLD
SECOND FLOOR																	
STAIR	○					○				○			○		○		○ REFINISH WOOD TREADS, REPAIR AND REPLACE AS NEEDED
MUDROOM		○				○				○			○		○		
KITCHEN			○			○				○			○		○		
DINING ROOM						○				○			○		○		
FAMILY ROOM						○				○			○		○		
HALLWAY	○					⊗			⊗	○			○		○		○ SALVAGE TRAY CEILING AT TOP OF EXISTING STAIR
CL 1					⊗	⊗			⊗	⊗			○		○		
BATHROOM (BR3)					⊗	⊗			⊗	○			○		○		○ NEW PLUMBING FIXTURES, NEW MARBLE THRESHOLD,
BEDROOM 1					⊗	○			⊗	○			○		○		
CL 2					⊗	○			⊗	○			○		○		
BATHROOM (BR4)			○			○				○			○		○		○ NEW PLUMBING FIXTURES, NEW SHOWER INSERT UNIT, NEW MARBLE THRESHOLD
THIRD FLOOR																	
HALLWAY	○					○				○			○		○		
STORAGE		NO WORK															
BATHROOM (BR 5)			○		⊗	⊗			⊗	○			○		○		○ PARTIAL ADD TO BATHROOM, NEW TUB, MATCH EXISTING TILE FLOOR FOR NEW PORTION, TILE SURROUND IN NEW TUB AREA ONLY, ALL OTHER FIXTURES AND TILE TO REMAIN AS IS
LAUNDRY		NO WORK															
BEDROOM 2					⊗	⊗			⊗	⊗			○		○		
CL4	○				○	○			○	○			○		○		
CL3					○	○			○	○			○		○		
BEDROOM 3					○	○			○	○			○		○		
CL1					○	○			○	○			○		○		
CL2					○	○			○	○			○		○		

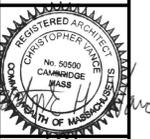
FINISH NOTES & KEY

ALL EXISTING SURFACES, INCLUDING FLOORING, WALLS CEILING AND TRIM, AFFECTED BY DEMOLITION SHALL BE PATCHED AND SHALL RECEIVE NEW SURFACE FINISH / PAINT TO MATCH EXISTING.

○ SYMBOL DENOTES THAT SCHEDULED WORK APPLIES GENERALLY TO ENTIRE ROOM

⊗ SYMBOL DENOTES THAT SCHEDULED WORK APPLIES TO ONE SIDE OR PORTION OF THE ENTIRE ROOM, IN THE DIRECTION OF DARKENED AREA

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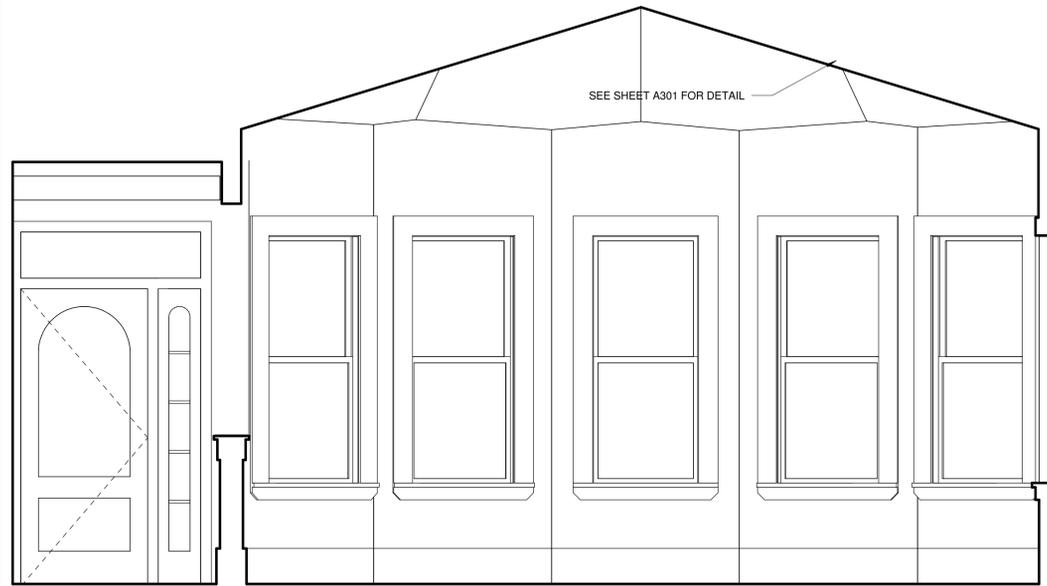
PERMIT SET
04/03/17

Clay Residence
44 Pond Street
Jamaica Plain, MA
Finish Schedule
SCALE 1" = 1'-0"

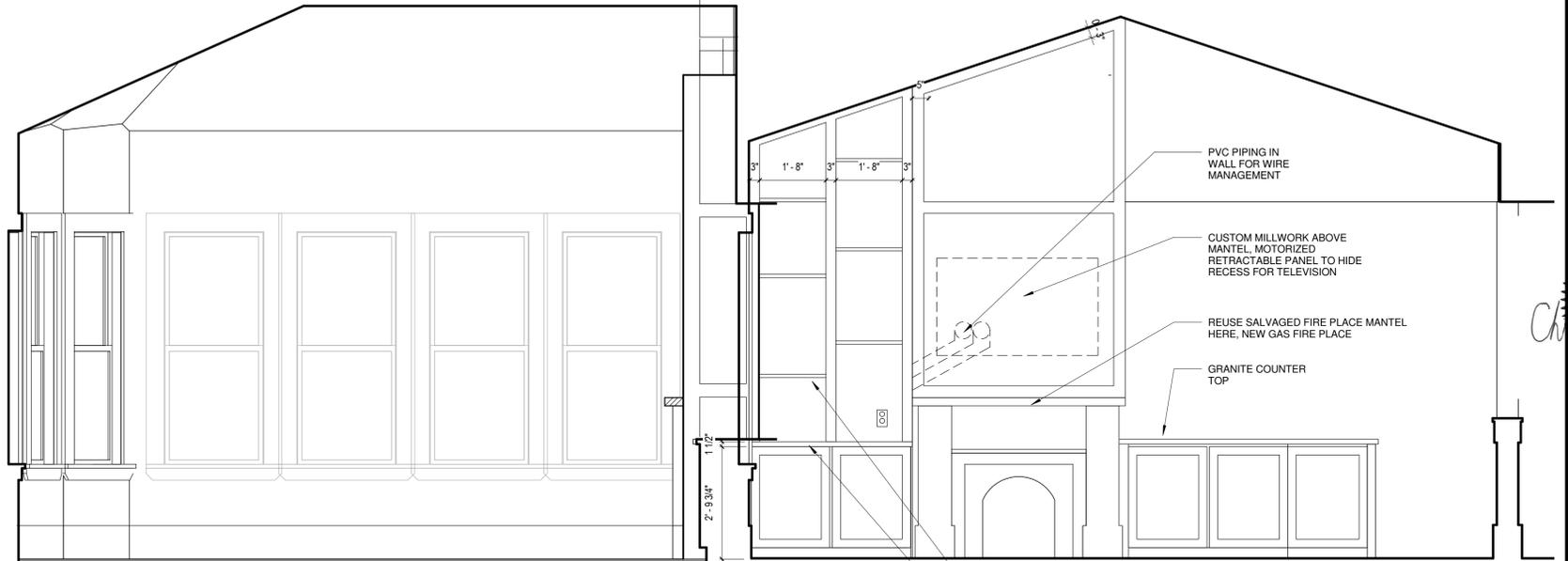
DRAWING NUMBER

A401

JOB NUMBER R106 - 44 POND

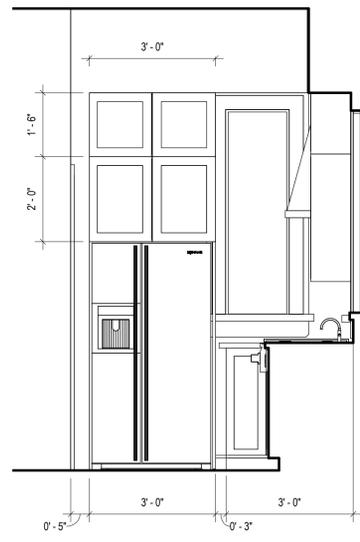


2 UNIT 1 - FAMILY ROOM
Scale: 1/2" = 1'-0"

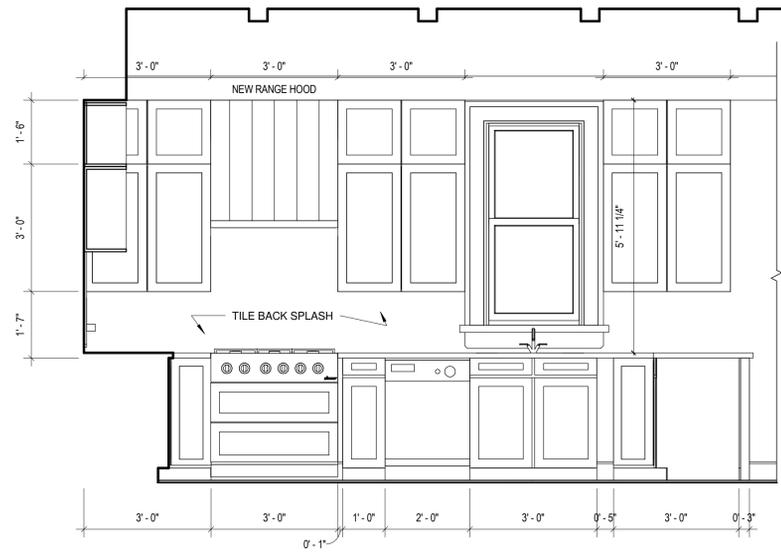


3 UNIT 1 - FAMILY ROOM
Scale: 1/2" = 1'-0"

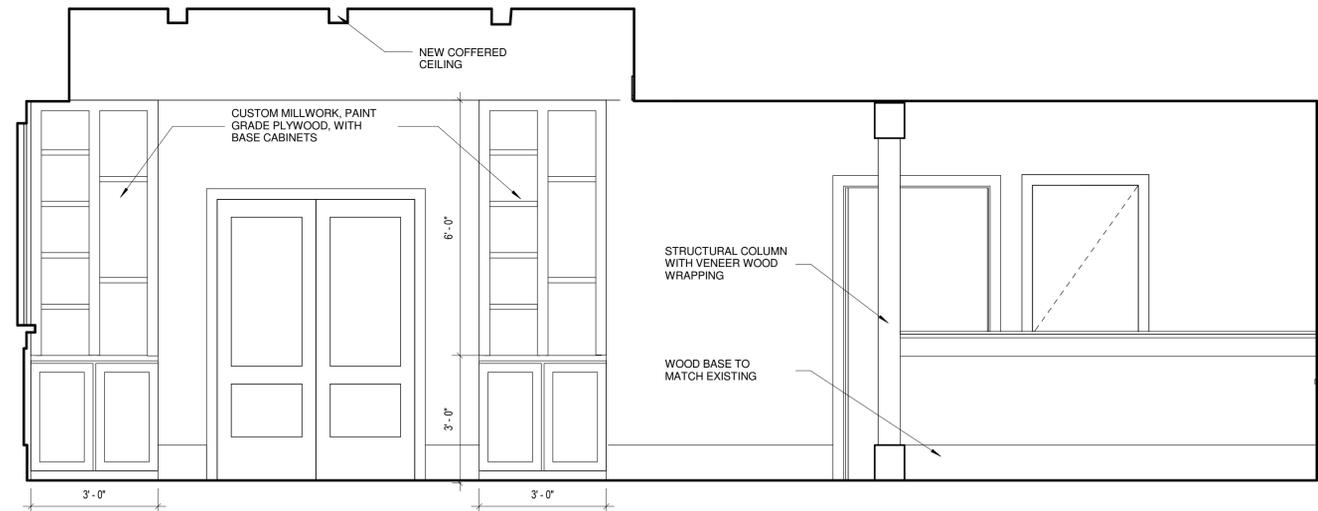
4 UNIT 1 - FAMILY ROOM
Scale: 1/2" = 1'-0"



7 UNIT 1 - KITCHEN ELEVATION
Scale: 1/2" = 1'-0"



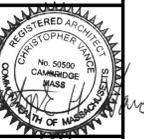
5 UNIT 1 - KITCHEN ELEVATION
Scale: 1/2" = 1'-0"

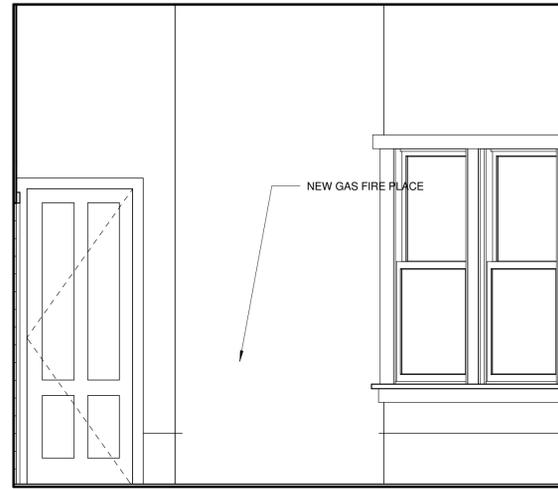


1 UNIT 1 - FAMILY ROOM
Scale: 1/2" = 1'-0"

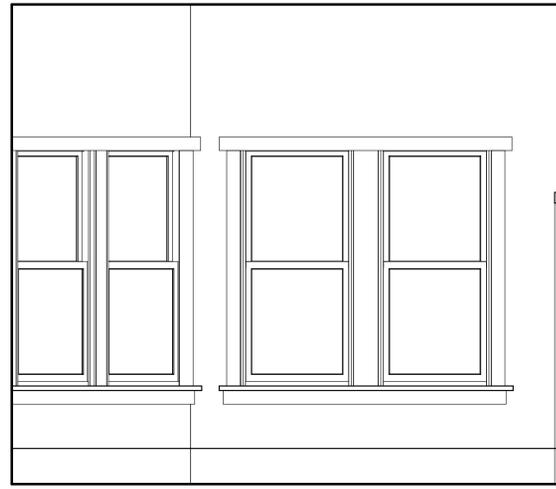


6 UNIT 1 - KITCHEN ELEVATION
Scale: 1/2" = 1'-0"

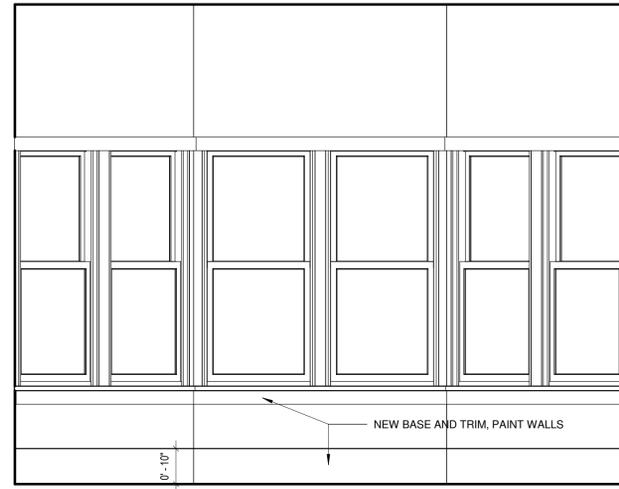




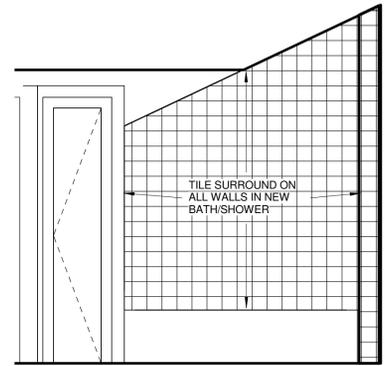
4 UNIT 1 - SUNROOM
Scale: 1/2" = 1'-0"



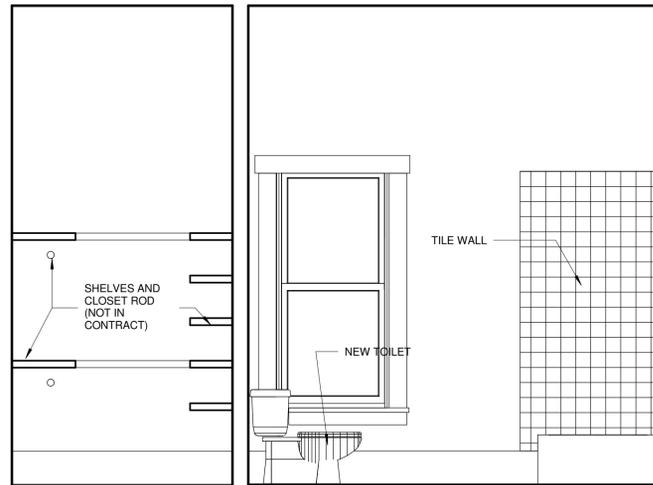
3 UNIT 1 - SUNROOM
Scale: 1/2" = 1'-0"



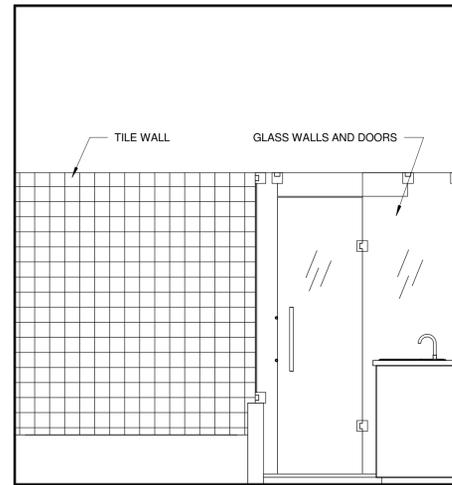
2 UNIT 1 - SUNROOM
Scale: 1/2" = 1'-0"



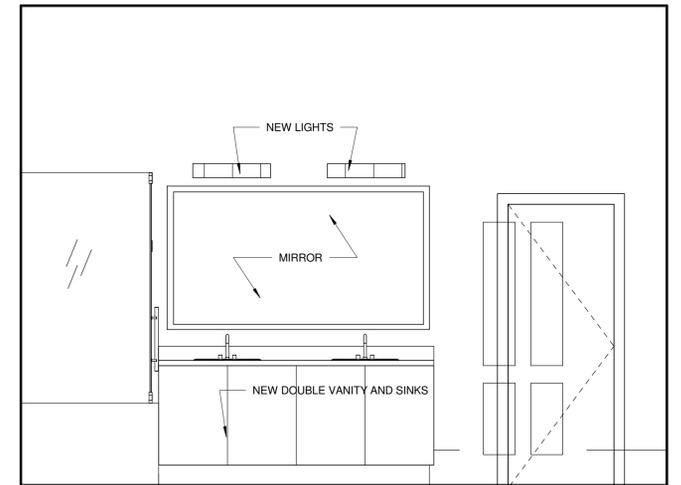
13 UNIT 2 - BATHROOM THIRD FLOOR
Scale: 1/2" = 1'-0"



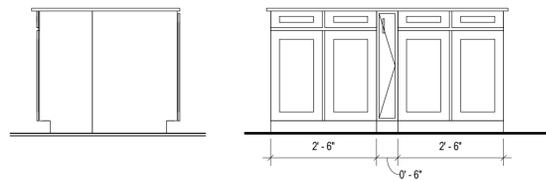
16 UNIT 1 - MASTER BATHROOM
Scale: 1/2" = 1'-0"



15 UNIT 1 - MASTER BATHROOM
Scale: 1/2" = 1'-0"

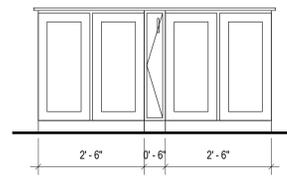


14 UNIT 1 - MASTER BATHROOM
Scale: 1/2" = 1'-0"

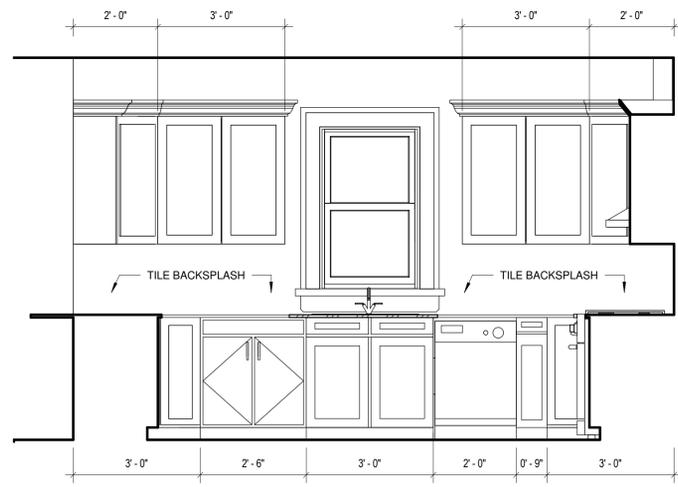


9 UNIT 2 - KITCHEN ISLAND
Scale: 1/2" = 1'-0"

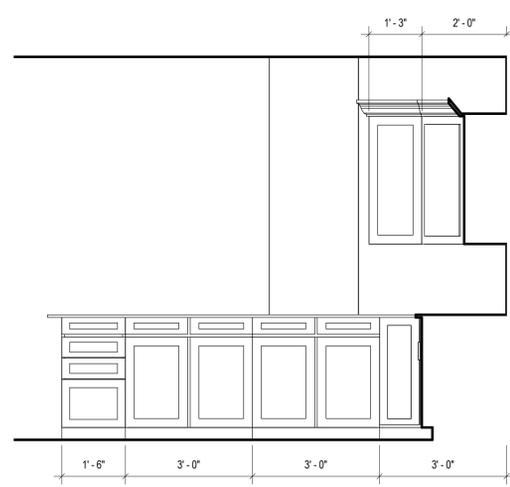
7 UNIT 2 - KITCHEN ISLAND
Scale: 1/2" = 1'-0"



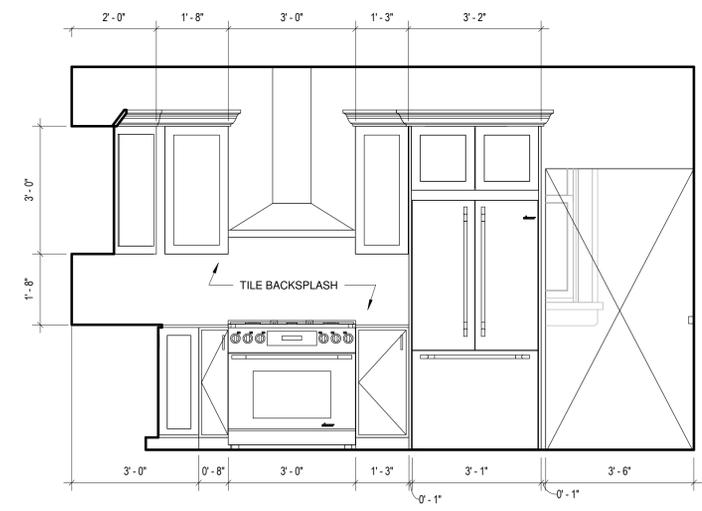
8 UNIT 2 - KITCHEN ISLAND
Scale: 1/2" = 1'-0"



6 UNIT 2 - KITCHEN
Scale: 1/2" = 1'-0"

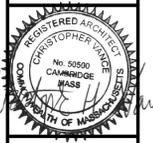


5 UNIT 2 - KITCHEN
Scale: 1/2" = 1'-0"



1 UNIT 2 - KITCHEN
Scale: 1/2" = 1'-0"

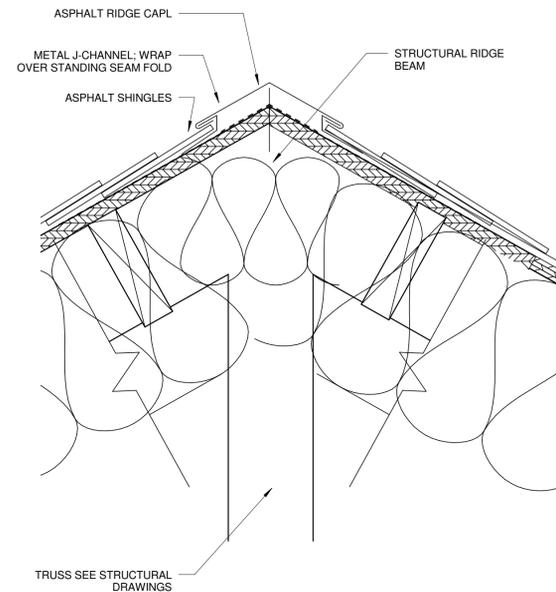
VANCE WILLIAMS ARCHITECTS
1 Cherry Street
Wenham, MA 01984
t 617.221.9110
c 802-310-0201
w vvarchs.com



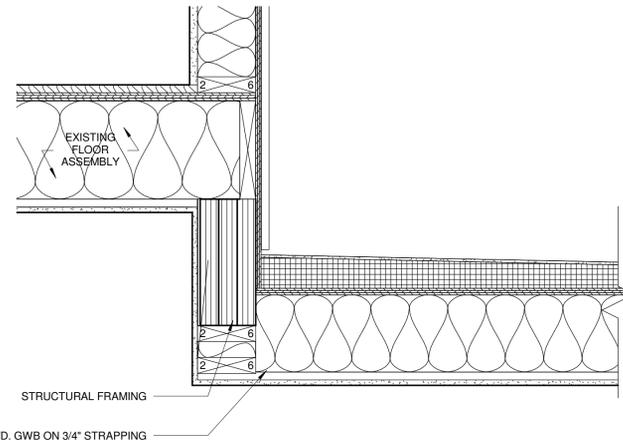
PERMIT SET
04/03/17

Clay Residence
44 Pond Street
Jamaica Plain, MA
Interior Elevations
SCALE 1/2" = 1'-0"

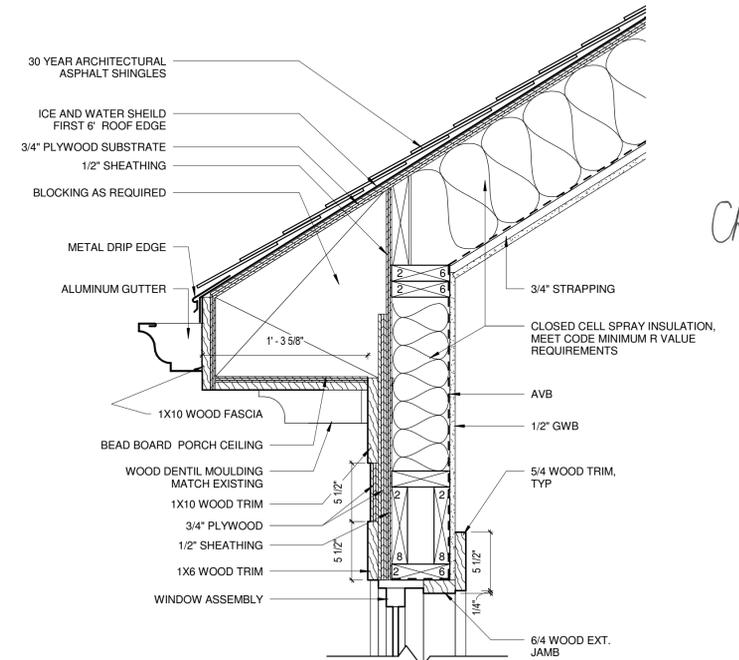
DRAWING NUMBER
A403
JOB NUMBER R106 - 44 POND



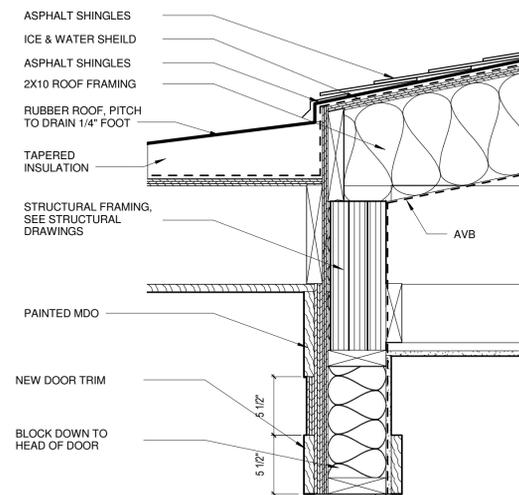
5 Detail - Standing Seam Ridge Cap
Scale: 3" = 1'-0"



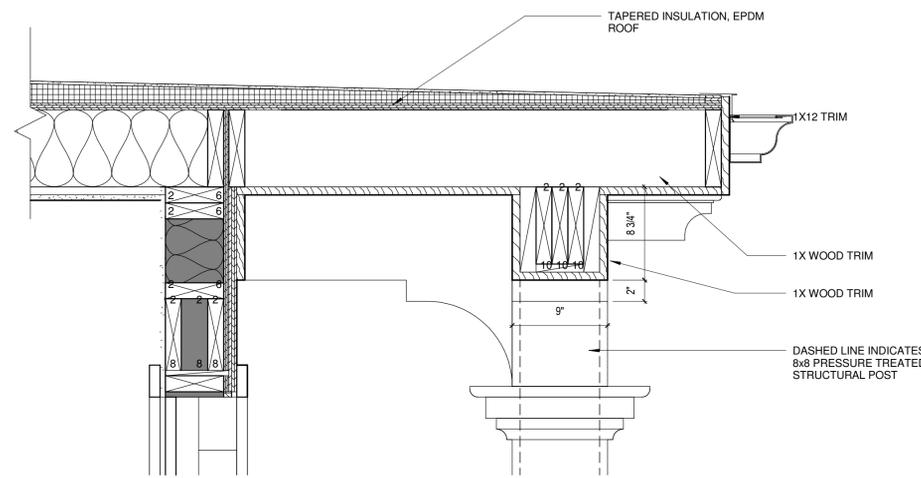
3 Detail - Unit 1 Rear Entry Roof Termination
Scale: 1 1/2" = 1'-0"



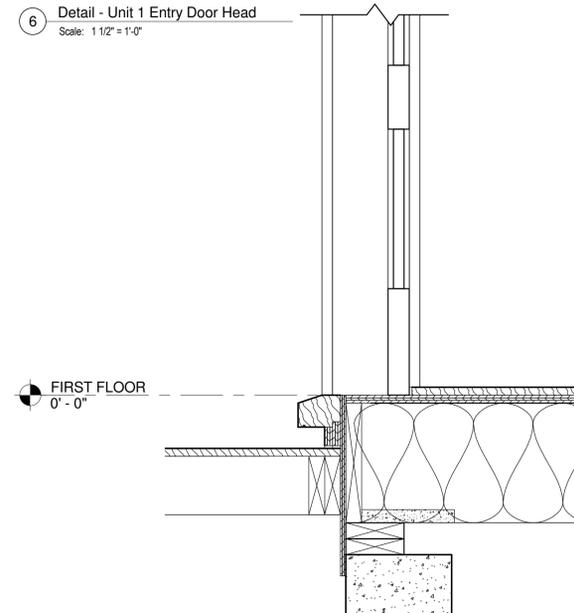
2 Detail - Unit 1 Roof Edge & Window Head
Scale: 1 1/2" = 1'-0"



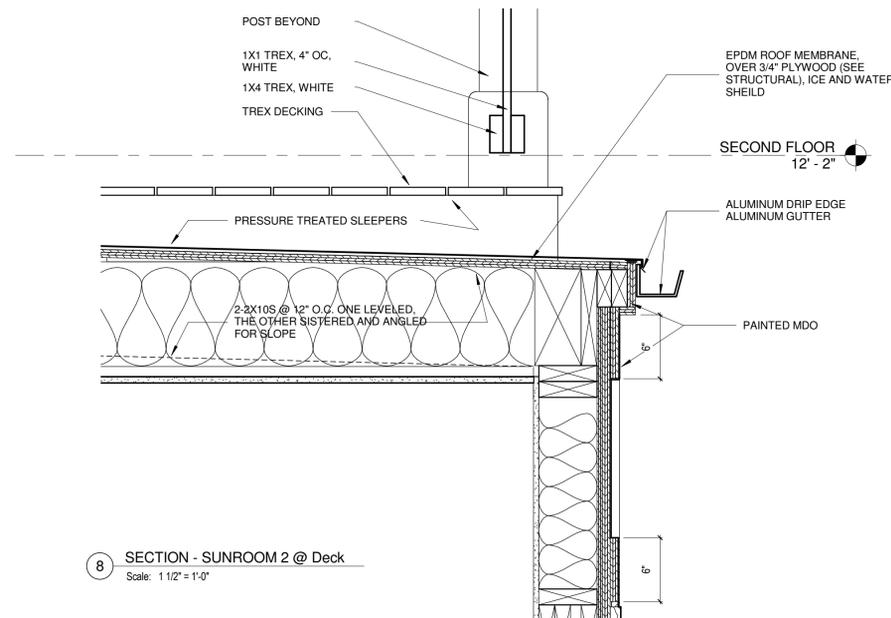
6 Detail - Unit 1 Entry Door Head
Scale: 1 1/2" = 1'-0"



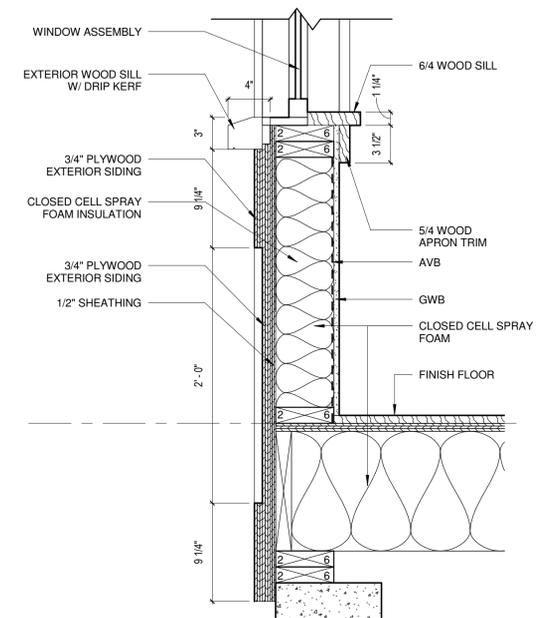
4 Detail - Unit 1 Rear Entry Roof, Typ. Flat Roof Eave
Scale: 1 1/2" = 1'-0"



7 Detail - Unit 1 Entry Door Sill
Scale: 1 1/2" = 1'-0"



8 SECTION - SUNROOM 2 @ Deck
Scale: 1 1/2" = 1'-0"



1 Detail - Unit 1 Wall and Window Sill
Scale: 1 1/2" = 1'-0"



GENERAL

- G1. THE GENERAL NOTES APPLY UNLESS NOTED OTHERWISE ON THE DRAWINGS OR IN THE SPECIFICATIONS.
G2. STRUCTURAL WORK SHALL CONFORM TO REQUIREMENTS OF '780 CMR - THE MASSACHUSETTS STATE BUILDING CODE, EIGHTH EDITION' WHICH INCORPORATES THE '2009 INTERNATIONAL BUILDING CODE' (2009 IBC) AND '2009 INTERNATIONAL EXISTING BUILDING CODE' (2009 IEBC) INCLUDING APPENDICES, AS MODIFIED BY THE MASSACHUSETTS AMENDMENTS.
G3. THE INTENT OF THE STRUCTURAL DRAWINGS IS TO SHOW THE MAIN STRUCTURAL FEATURES AND DESIGN FOR THE COMPLETED PROJECT. ARCHITECTURAL DETAILS AND OTHER COMPONENTS THAT MAY BE NECESSARY TO CONSTRUCT THE PROJECT ARE SHOWN INCIDENTALLY ONLY AND NOT COMPLETELY. THEREFORE, ALL CONTRACT DRAWINGS AND SPECIFICATIONS MUST BE USED IN CONJUNCTION WITH THE STRUCTURAL DRAWINGS. ANY DISCREPANCY BETWEEN THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
G4. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, SITE, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS, APPROVED SHOP DRAWINGS.
G5. REFER TO ARCHITECTURAL, SITE, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR VERIFICATION OF LOCATIONS AND DIMENSIONS OF ALL SHAFTS, INSERTS, CURBS, OPENINGS, SLEEVES, ANCHOR BOLTS, FLOOR PITCHES, ANGLE FRAMES, AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON STRUCTURAL DRAWINGS.
G6. THE CONTRACTOR SHALL INFORM THE ARCHITECT OF ALL DISCREPANCIES BETWEEN DRAWINGS OF DIFFERENT TRADES PRIOR TO INITIATION OF ANY WORK.
G7. EXISTING DIMENSIONS AND CONDITIONS MUST BE VERIFIED OR DETERMINED IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE AFFECTED PORTION OF THE WORK.
G8. THE CONTRACTOR SHALL PROVIDE ALL THE NECESSARY ENGINEERED TEMPORARY BRACING AND SHORING TO SAFELY SUPPORT THE NEW AND EXISTING WORK AND THE APPLIED LOADS UNTIL THE PERMANENT STRUCTURE IS FULLY INSTALLED AND AT FULL STRENGTH.
G9. SHOP DRAWINGS FOR REINFORCING STEEL, AND STRUCTURAL LUMBER SHALL BE SUBMITTED TO THE ARCHITECT AND A STAMPED APPROVAL RECEIVED BEFORE FABRICATION MAY PROCEED. FABRICATION AND ERECTION SHALL PROCEED FROM APPROVED SHOP DRAWINGS ONLY.
G10. NOTES AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
G11. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.

EXISTING & TEMPORARY CONDITIONS

- E1. NOTIFY ARCHITECT WHEN UNANTICIPATED OR OTHERWISE QUESTIONABLE CONDITIONS ARE UNCOVERED DURING COURSE OF DEMOLITION OR CONSTRUCTION.
E2. INFORMATION REGARDING EXISTING CONSTRUCTION OR CONDITIONS IS BASED ON AVAILABLE DRAWINGS AND DATA WHICH MAY OR MAY NOT TRULY REFLECT EXISTING CONDITIONS. SUCH INFORMATION IS INCLUDED ON THE ASSUMPTION THAT IT MAY BE USEFUL TO CONTRACTOR, BUT ARCHITECT ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY OR COMPLETENESS.
E3. WHERE NEW WORK INTERFACES WITH OR CONNECTS TO EXISTING CONDITIONS, FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, AND AS-BUILT DETAILS PRIOR TO PREPARATION OF SHOP DRAWINGS. DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO ATTENTION OF ARCHITECT BEFORE PROCEEDING WITH AFFECTED WORK.
E4. TEMPORARY SHORING AND BRACING SHALL BE DESIGNED BY CONTRACTOR'S REGISTERED STRUCTURAL ENGINEER.
E5. TEMPORARY SHORING AND BRACING SHALL BE ERECTED, SUPPORTED, AND MAINTAINED TO SUPPORT ALL DEAD LOADS INITIALLY SUPPORTED BY EXISTING STRUCTURE WHICH IS TO BE REMOVED PLUS ANY CONSTRUCTION DEAD AND LIVE LOADS. COMPLIANCE SHALL BE CONFIRMED IN WRITING BY CONTRACTOR'S REGISTERED STRUCTURAL ENGINEER.
E6. SCREW-TYPE SHORING POSTS SHALL BE USED TO SUPPORT EXISTING WORK DURING REMOVAL OF EXISTING BEARING WALLS AND STRUCTURAL MEMBERS AND INSTALLATION OF NEW WORK.
E7. TEMPORARY SHORING AND BRACING SHALL BE PLACED AS CLOSELY AS PRACTICABLE TO EXISTING STRUCTURE WHICH IS TO BE REMOVED. HEADERS SHALL BE PLACED ACROSS TOP OF SHORING POSTS AND FITTED SNUG TIGHT TO UNDERSIDE OF SUPPORTED STRUCTURE.
E8. TEMPORARY SHORING AND BRACING SHALL BEAR ON SLEEPERS TO PREVENT DAMAGE TO STRUCTURE BELOW, AND SHALL BE ADEQUATELY DISTRIBUTED ON FRAMED LEVELS TO PREVENT DAMAGE OR SETTLEMENT OF EXISTING STRUCTURE AND FOUNDATIONS. TEMPORARY FOOTING MAY BE REQUIRED TO INSTALL TEMPORARY SHORING AND BRACING AT LOWER LEVELS.
E9. BEFORE ANY TEMPORARY SHORING AND BRACING IS REMOVED, STRUCTURAL WORK SHALL BE COMPLETELY INSTALLED, DRYPACKED, AND ANCHORED.
E10. PRIOR TO REMOVAL, TEMPORARY SHORING AND BRACING SHALL BE RELEASED GRADUALLY AND LEFT LOOSE IN PLACE FOR AT LEAST TWO DAYS TO ALLOW FOR STRUCTURAL SHAKEOUT.

STRUCTURAL LOADS - 780 CMR - MASSACHUSETTS STATE BUILDING CODE - EIGHTH EDITION (2009 I.B.C. AND 2009 IEBC AS MODIFIED BY MASSACHUSETTS AMENDMENTS & ASCE 7-05)

- L0. STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE REQUIREMENTS OF 2009 IEBC WITH MASSACHUSETTS AMENDMENTS; WORK AREA COMPLIANCE METHOD; LEVEL 3 ALTERATIONS.
L1. DEAD LOADS
A. WEIGHT OF BUILDING COMPONENTS
1. WOOD FLOORS 12 PSF (APPROXIMATE)
2. ROOF 15 PSF (APPROXIMATE)
3. TYPICAL PARTITIONS ALLOWANCE - I.B.C. - SECTION 1607.5 15 PSF
L2. SNOW LOADS
A. GROUND SNOW LOAD - MA CODE 780 CMR - TABLE 1604.11 P(g) = 40 PSF
B. FLAT ROOF SNOW LOAD - ASCE 7-05 - SECTION 7.3 P(f) = 30 PSF
C. SNOW EXPOSURE FACTOR - ASCE 7-05 - TABLE 7-2 C(e) = 1.0
D. SNOW IMPORTANCE FACTOR - ASCE 7-05 - TABLE 7-4 I(s) = 1.0
E. ROOF THERMAL FACTOR - ASCE 7-05 - TABLE 7-3 C(t) = 1.0
F. ROOF SLOPE FACTOR - ASCE 7-05 - FIGURE 7-2 C(s) = 1.0
G. SNOW DRIFT - ASCE 7-05 - FIGURES 7-7, 7-8 & 7-9
L3. LIVE LOADS
A. LOADS I.B.C. - TABLE 1607.1
1. FLOORS 55 PSF (INCLUDING 15 PSF PARTITION ALLOWANCE)
2. CORRIDORS 100 PSF
3. STAIRS 100 PSF
B. LIVE LOAD REDUCTION I.B.C. - SECTION 1607.9 & MA CODE 780 CMR
L4. WIND LOADS - MAIN WIND FORCE RESISTING SYSTEM (MWFRS)
A. BASIC WIND SPEED (3-SECOND GUST) - MA CODE TABLE 1604.11 V(3s) = 105 MPH
B. WIND IMPORTANCE FACTOR - ASCE 7-05 - TABLE 6-1 I(w) = 1.1
C. WIND EXPOSURE CATEGORY - ASCE 7-05 - TABLE 6.5.6.3 EXPOSURE B
D. DIRECTIONALITY FACTOR - ASCE 7-05 - TABLE 6-4 Kd = 0.85
E. VELOCITY PRESSURE EXPOSURE COEFFICIENT - ASCE 7-05 TABLE 6-3 Kz = 0.70
F. TOPOGRAPHIC FACTOR - ASCE 7-05 - SECTION 6.5.7 Kzt = 1.0
G. VELOCITY PRESSURE - ASCE 7-05 - SECTION 6.5.10 24.04 PSF
H. INTERNAL PRESSURE COEFFICIENTS - ASCE 7-05 - FIGURE 6-5
1. TOWARD THE INTERNAL SURFACE GC(pi) = +0.18
2. AWAY FROM THE INTERNAL SURFACE GC(pf) = -0.18
I. EXTERNAL PRESSURE COEFFICIENTS - ASCE 7-05 - FIGURE 6-10
1. WINDWARD GC(pf) = +0.56 (NON-SALIENT), +0.69 (SALIENT)
2. LEEWARD GC(pf) = -0.43 (NON-SALIENT), -0.48 (SALIENT)
J. NET DESIGN MWFRS PRESSURE +17.9/-14.7 PSF (NON-SALIENT), +21.0/-16.0 PSF (SALIENT)
L5. WIND LOADS - COMPONENTS AND CLADDING
A. EXTERNAL PRESSURE COEFFICIENTS - ASCE 7-05 - FIGURE 6-11
1. AT A NON-SALIENT AREA GC(p) = +1.00 / -1.10
2. AT A SALIENT AREA GC(p) = +1 / -1.40
B. NET DESIGN WIND PRESSURE FOR A WALL ELEMENT
1. AT A NON-SALIENT AREA Pnet = +28 PSF / -31 PSF
2. AT A SALIENT AREA Pnet = +28 PSF / -38 PSF
L6. SEISMIC LOADS
A. SEISMIC OCCUPANCY CATEGORY - ASCE 7-05 - TABLE 1-1 OCCUPANCY CATEGORY II
B. MAPPED SPECTRAL ACCELERATION FOR SHORT PERIODS - MA TABLE 1604.11 S(S) = 0.29g
C. DESIGN SPECTRAL RESPONSE ACCELERATION FOR SHORT PERIODS - ASCE 7-05 - SECTION 11.4.4 S(DS) = 0.303g
D. MAPPED SPECTRAL ACCELERATION FOR 1-SECOND PERIOD - MA TABLE 1604.11 S(1) = 0.068g
E. DESIGN SPECTRAL RESPONSE ACCELERATION FOR 1-SECOND PERIOD - ASCE 7-05 - SECTION 11.4.4 S(D1) = 0.109g
F. SITE CLASS - REFER TO GEOTECHNICAL REPORT SITE CLASS 'D'
G. SEISMIC DESIGN CATEGORY - ASCE 7-05 - TABLES 11.6-1 & 11.6-2 CATEGORY B
H. BASIC SEISMIC-FORCE-RESISTING SYSTEM - ASCE 7-05 - TABLE 12.2-1 BEARING WALL SYSTEM-LIGHT FRAMED WITH SHEAR WALLS FOR SEISMIC RESISTANCE R = 2.0
I. RESPONSE MODIFICATION COEFFICIENT - ASCE 7-05 - TABLE 12.2-1 C(r) = 2.0
J. DEFLECTION AMPLIFICATION FACTOR - ASCE 7-05 - TABLE 12.2-1 Delta = 2.5
K. SYSTEM OVERSTRENGTH FACTOR - ASCE 7-05 - TABLE 12.2-1 I(E) = 1.00
L. SEISMIC IMPORTANCE FACTOR - ASCE 7-05 - TABLE 11.5-1 C(s) = 0.104
M. SEISMIC RESPONSE COEFFICIENT V = C(s)W = [S(DS)]/[R/(I(E))]W
N. DESIGN BASE SHEAR - ASCE 7-05 - SECTION 12.8 EQUIVALENT LATERAL FORCE
O. ANALYSIS PROCEDURE USED

FOUNDATION

- F1. FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE, EIGHTH EDITION.
F2. THE CONTRACTOR SHALL INFORM THE ARCHITECT AND RELOCATE, AS REQUIRED, ANY EXISTING UTILITY LINES THAT MAY INTERFERE WITH NEW FOUNDATIONS. THE CONTRACTOR SHALL REMOVE ANY EXISTING UTILITY LINES THAT ARE BEING ABANDONED IN THE VICINITY OF THE NEW FOUNDATION AND BACKFILL THE AREA WITH COMPACTED STRUCTURAL FILL.
F3. THE BOTTOM SURFACE OF ALL SPREAD FOOTINGS SHALL REST ON A UNDISTURBED APPROVED SOIL OR COMPACTED STRUCTURAL FILL, WITH A MINIMUM ALLOWABLE BEARING PRESSURE OF 2.0 TONS PER SQUARE FOOT. REMOVE ALL ORGANICS, CLAYS, SILTS, OR UNSUITABLE OR UNCOMPACTED FILL MATERIALS FROM BENEATH NEW FOOTINGS AND REPLACE WITH COMPACTED STRUCTURAL FILL. BEARING SURFACE MUST BE APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PROCEEDING.
F4. BACKFILL UNDER STRUCTURAL FOOTINGS SHALL BE ENGINEERED BACKFILL COMPACTED IN SPECIFIED LIFTS TO 95 PERCENT OF MAXIMUM DENSITY, UNLESS NOTED OTHERWISE.
F5. FOUNDATIONS SHALL BE CENTERED UNDER SUPPORTED MEMBERS, UNLESS NOTED OTHERWISE.
F6. NO CONCRETE SHALL BE PLACED UNDER WATER OR ON FROZEN SUBGRADE. PROTECT IN-PLACE FOUNDATIONS AND SLABS FROM FROST PENETRATION UNTIL PROJECT IS COMPLETED.

CAST-IN-PLACE CONCRETE

- C1. CONCRETE WORK SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318 - 2008/318R - 2008)".
C2. CONCRETE SHALL BE CONTROLLED, PROPORTIONED, MIXED, AND PLACED IN THE PRESENCE OF THE APPROVED TESTING AGENCY.
C3. CONCRETE QUALITY IN ACCORDANCE WITH THE REQUIREMENTS OF THESE DRAWINGS IS ESSENTIAL TO THE STRUCTURAL PERFORMANCE OF THE BUILDING. CONCRETE THAT IS NOT IN ACCORDANCE WITH THE DRAWINGS WILL NOT BE ACCEPTED.
C4. CONCRETE EXPOSED TO WEATHER SHALL CONTAIN AN AIR ENTRAINMENT ADMIXTURE.
C5. NORMAL WEIGHT CONCRETE SHALL HAVE AN AIR-DRY UNIT WEIGHT OF 145 PCF.
C6. CONCRETE MINIMUM 28-DAY STRENGTH, UNLESS NOTED OTHERWISE, SHALL CONFORM TO FOLLOWING:
-FOOTINGS, PIERS, FOUNDATION WALLS 3000 PSI (NORMAL WEIGHT)
C7. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED BARS. LAP ALL CONTINUOUS BARS A MINIMUM OF 40 DIAMETERS, UNLESS NOTED OTHERWISE. PROVIDE MATCHING CORNER AND INTERSECTION BARS.

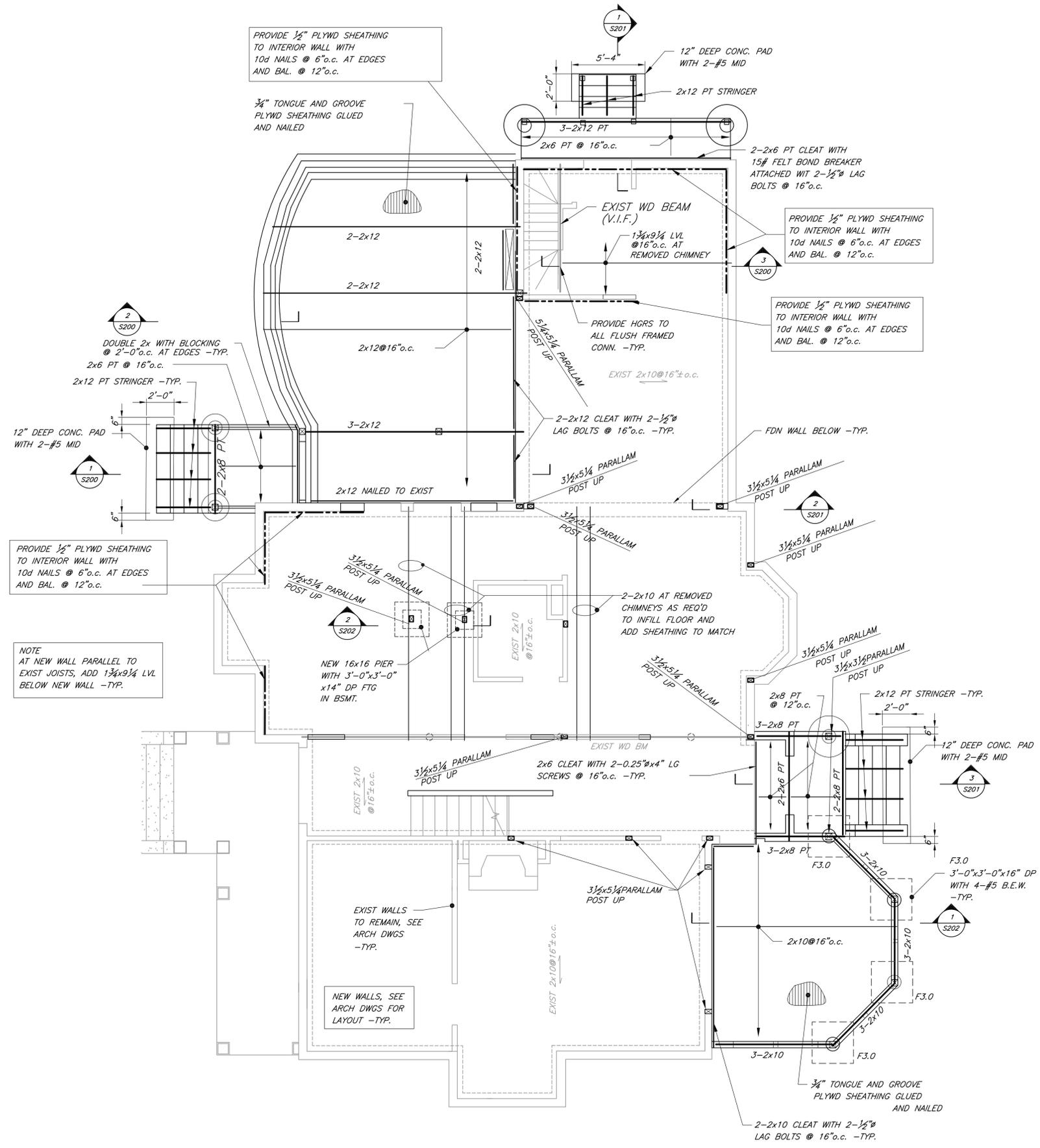
CAST-IN-PLACE CONCRETE (CONTINUED)

- C8. PROVIDE A MINIMUM OF #4 AT 12" EACH WAY, EACH FACE, FOR ALL WALLS, FOOTINGS, PITS, OR PADS, UNLESS NOTED OTHERWISE.
C9. REINFORCING STEEL DETAILS NOT SHOWN ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH THE "ACI DETAILING MANUAL 2004".
C10. CLEAR CONCRETE COVER FOR REINFORCING BARS OR WELDED WIRE FABRIC SHALL CONFORM TO THE FOLLOWING, UNLESS NOTED OTHERWISE:
-FOOTINGS 3"
-FOUNDATION WALLS 1 1/2"
-PIERS 1 1/2" TO TIES
-EXTERIOR SLABS ON GRADE AT MID-DEPTH
C11. NO REINFORCING STEEL SHALL BE CUT OR OMITTED IN THE FIELD BECAUSE OF CONFLICT WITH SLEEVES, DUCT OPENINGS, OR RECESSES. REINFORCING STEEL MAY BE MOVED ASIDE WITHOUT CHANGE IN LEVEL, WITH THE APPROVAL OF THE ARCHITECT.
C12. NO CHASES, RECESS, OPENINGS, OR SLEEVES SHALL BE INSTALLED IN CONCRETE WITHOUT APPROVAL OF THE ARCHITECT.
C13. DOWELS AND ANCHOR RODS SHALL BE SET BY TEMPLATE. SET EMBEDDED ITEMS FOR CONNECTION OF OTHER WORK ACCURATELY, UNLESS NOTED OTHERWISE.
C14. PROVIDE CONCRETE PADS FOR MECHANICAL EQUIPMENT ACCORDING TO THE REQUIREMENTS OF THE MANUFACTURER AND IN ACCORDANCE WITH THE TYPICAL DETAILS. COORDINATE LOCATIONS WITH M.E.P. WORK.
C15. PROVIDE SEALANT JOINTS FOR ALL EXPOSED-TO-VIEW CONSTRUCTION JOINTS, CONTROL JOINTS, AND SHEAR KEYS.
C16. SET AND TIE ALL REINFORCING STEEL BEFORE PLACING CONCRETE. SETTING DOWELS AND REINFORCING STEEL INTO WET CONCRETE IS PROHIBITED.
C17. NO CONCRETE SHALL BE PLACED BEFORE REVIEW AND APPROVAL OF THE REINFORCING STEEL AND EMBEDDED ITEMS HAVE BEEN OBTAINED FROM THE ARCHITECT.

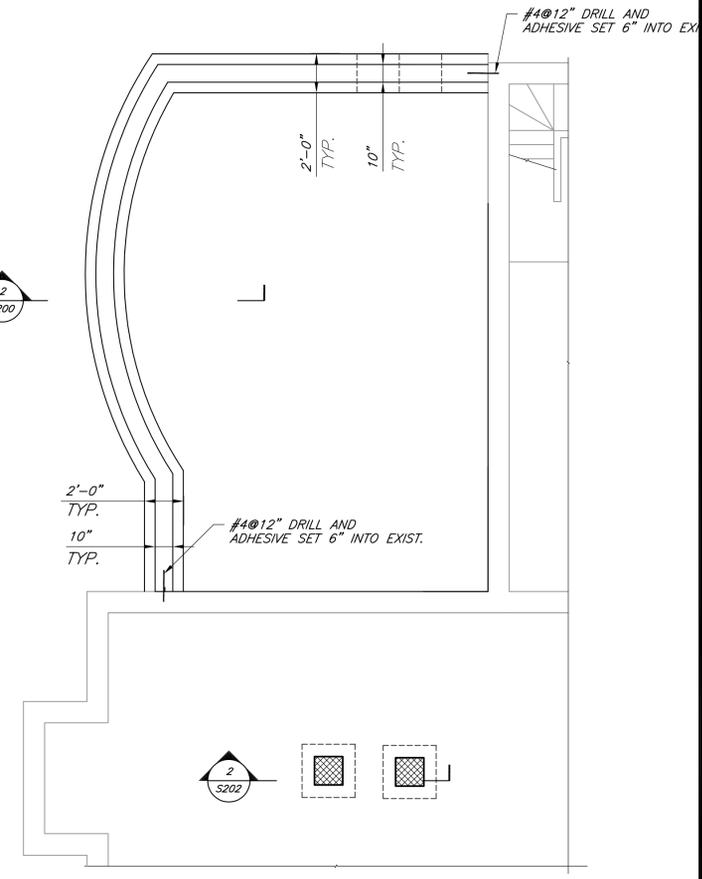
ROUGH CARPENTRY

- RC1. STRUCTURAL LUMBER SHALL CONFORM TO THE LATEST EDITION OF AF&PA "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND SUPPLEMENT, "DESIGN VALUES FOR WOOD CONSTRUCTION" LATEST EDITION. MAXIMUM MOISTURE CONTENT SHALL 19%.
RC2. SAWN LUMBER SHALL BE SPRUCE-PINE-FIR NO. 1 OR BETTER, INCLUDING JOISTS, RAFTERS, BEAMS, STUDS, POSTS AND PLATES UNLESS NOTED OTHERWISE.
RC3. FOUNDATION SILLS SHALL BE PRESERVATIVE PRESSURE TREATED SOUTHERN PINE NO. 2 OR BETTER. ANCHOR BOLTS IN PRESERVATIVE PRESSURE TREATED WOOD SHALL BE HOT DIP GALVANIZED. NAILS IN PRESERVATIVE PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.
RC4. WOOD EXPOSED TO WEATHER SHALL BE PRESERVATIVE PRESSURE TREATED SOUTHERN PINE NO. 2 OR BETTER. BOLTS IN PRESERVATIVE PRESSURE TREATED WOOD SHALL BE HOT DIP GALVANIZED. NAILS IN PRESERVATIVE PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.
RC5. LAMINATED VENEER LUMBER (LVL) SHALL BE MICROLAM, AS MANUFACTURED BY WEYERHAEUSER, OR EQUAL APPROVED BY ARCHITECT, WITH THE FOLLOWING MINIMUM VALUES: Fb = 2600 PSI, Fc (PARALLEL) = 2510 PSI, Fc (PERPENDICULAR) = 750 PSI, Fv = 285 PSI, Ft = 1555 PSI AND E = 2000 KSI.
RC6. PARALLEL STRAND LUMBER (PSL) SHALL BE PARALLAM, AS MANUFACTURED BY WEYERHAEUSER, OR EQUAL APPROVED BY ARCHITECT, WITH THE FOLLOWING MINIMUM VALUES: Fb = 2900 PSI, Fc (PARALLEL) = 2900 PSI, Fc (PERPENDICULAR) = 750 PSI, Fv = 290 PSI, Ft = 2025 PSI AND E = 2000 KSI.
RC7. FLUSH FRAMED CONNECTIONS SHALL HAVE METAL BEAM OR JOIST HANGERS, MANUFACTURED BY SIMPSON STRONG-TIE CO., INC., OR EQUAL APPROVED BY ARCHITECT.
RC8. ALL INDIVIDUAL POSTS SHALL HAVE METAL CAPS AND BASES, MANUFACTURED BY SIMPSON STRONG-TIE CO., INC., OR EQUAL APPROVED BY ARCHITECT.
RC9. WALL SHEATHING SHALL BE A MINIMUM OF 1/2" EXTERIOR GRADE APA PLYWOOD WITH 8d NAILS 6" o.c. AT EDGES AND ENDS AND 12" o.c. AT INTERMEDIATE SUPPORTS. BLOCK ALL EDGES OF PLYWOOD WALL SHEATHING.
RC10. FLOOR SHEATHING SHALL BE A MINIMUM OF 3/4" EXTERIOR GRADE APA PLYWOOD TONGUE AND GROOVE, GLUED AND NAILED WITH 10d NAILS AT 6" o.c. AT ENDS AND 12" o.c. AT INTERMEDIATE SUPPORTS.
RC11. PLYWOOD SHALL HAVE STAGGERED JOINTS AND NAILS SHALL BE THREADED (RING NAILS). ALL PLYWOOD SHEATHING SHALL BE INSTALLED WITH THE FACE GRAIN PERPENDICULAR TO THE SUPPORTS.
RC12. PROVIDE NAILING IN ACCORDANCE WITH THE 2009 INTERNATIONAL BUILDING CODE, TABLE 2304.9.1, UNLESS NOTED OTHERWISE.
RC13. PROVIDE BRIDGING BETWEEN FLOOR JOISTS AT 8'-0" o.c. MAX.
RC14. PROVIDE HORIZONTAL BLOCKING BETWEEN ALL WALL STUDS AT 4'-0" o.c. MAX. AND AT ALL PLYWOOD EDGES OR ENDS.
RC15. PROVIDE SOLID BLOCKING BETWEEN JOISTS AND RAFTERS OVER ALL STUD BEARING WALLS OR SUPPORTING BEAMS.
RC16. PROVIDE VERTICAL BLOCKING FOR ALL POSTS/COLUMNS THROUGH FLOOR CONSTRUCTION AT ALL LEVELS, TO THE TOP OF FOUNDATION WALL, SUPPORTING BEAM, OR COLUMN/POST.
RC17. PROVIDE MINIMUM HEADERS AS REQUIRED BY 2009 INTERNATIONAL BUILDING CODE, TABLE 2308.9.5 UNLESS NOTED OTHERWISE.
RC18. PROVIDE MINIMUM BUILT-UP WALL STUDS AT JAMBS OF ALL WINDOW AND DOOR OPENINGS AS NOTED BELOW, UNLESS MORE STRINGENT REQUIREMENTS ARE NOTED ON THE DRAWINGS.
OPENING SIZE JACK STUDS KING STUDS TOTAL STUDS
UP TO 4'-0" 1 1 2
4'-0" TO 6'-0" 1 2 3
6'-0" TO 8'-0" 2 2 4
8'-0" TO 10'-0" 2 3 5
ALL KING AND JACK STUDS SHALL BE OF THE SAME MATERIAL AS THE TYPICAL WALL STUDS, UNLESS NOTED OTHERWISE ON THE DRAWINGS. ALL KING STUDS SHALL BE FULL HEIGHT, EXTENDING FROM THE SOLE PLATE TO THE CAP PLATE. JACK STUDS SHALL TERMINATE BELOW THE HEADER AND BE THOROUGHLY SPIKED TO THE KING STUD. FRAMING SHOWN IN THE TABLE ABOVE IS FOR ONE OPENING ONLY - PROVIDE TWO TIMES THE NUMBER OF JACK STUDS AND KING STUDS FOR MULTIPLE OPENINGS IMMEDIATELY ADJACENT TO EACH OTHER. IN CASES WHERE THE DISTANCE BETWEEN OPENINGS DOES NOT ACCOMMODATE THE TOTAL NUMBER OF JACK AND KING STUDS, ELIMINATE THE JACK STUD(S) AND CONNECT THE HEADER TO THE KING STUD(S) WITH A STANDARD METAL JOIST HANGER (CONCEALED FLANGES).
RC19. PROVIDE A MINIMUM OF 3 - 2X CORNER POSTS AT ALL CORNERS AND WALL INTERSECTIONS, UNLESS NOTED OTHERWISE.
RC20. PROVIDE DOUBLE JOISTS BELOW ALL PARTITIONS PARALLEL TO JOISTS.
RC21. PROVIDE METAL HURRICANE ANCHORS AT ALL ROOF RAFTERS WITH CONNECTION TO TOP PLATE OF BEARING WALL OR SUPPORTING BEAM.
RC22. FRAME ALL OPENINGS IN FLOOR AND ROOF CONSTRUCTION WITH MINIMUM OF 2 - 2X HEADERS AND TRIMMERS (DEPTH TO MATCH THE ADJACENT FRAMING) WITH METAL JOIST/BEAM HANGERS, UNLESS NOTED OTHERWISE.
RC23. NOTCHING OF JOISTS, BEAMS, STUDS OR PLATES SHALL NOT BE PERMITTED.





FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"

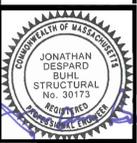


PART PLAN - CRAWL SPACE
1/4" = 1'-0"

- NOTES:**
1. SEE GENERAL NOTES ON DRAWINGS S100
 2. ADD HANGERS TO ALL EXISTING AND NEW FLUSH FRAMED CONNECTIONS.
 3. POST SIZES ARE CALLED OUT ON THE LEVEL THAT THEY STARTED ON, SEE PLANS.

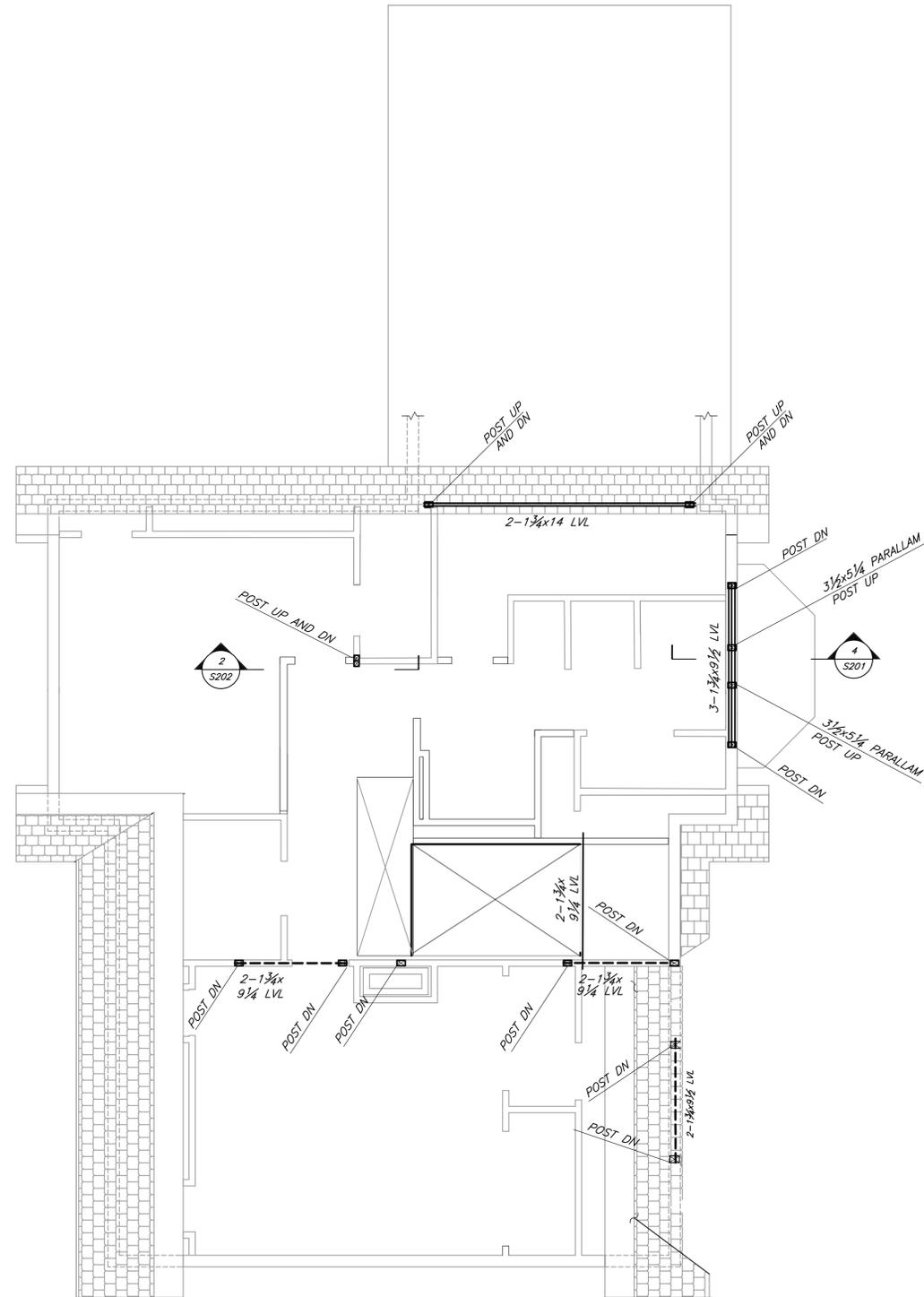
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200 WASHINGTON ST., SUITE 900
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First Floor Framing Plan
Clay Residence
444 Pond Street
Jamaica Plain, MA
Date: 9-31-2017
Drawn: RRB
Checked: JDB

S101



THIRD FLOOR FRAMING PLAN
 1/4"=1'-0"

NOTES:

1. SEE GENERAL NOTES ON DRAWINGS S100.
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3. POST SIZES ARE CALLED OUT ON THE LEVEL THAT THEY STARTED ON, SEE PLANS.

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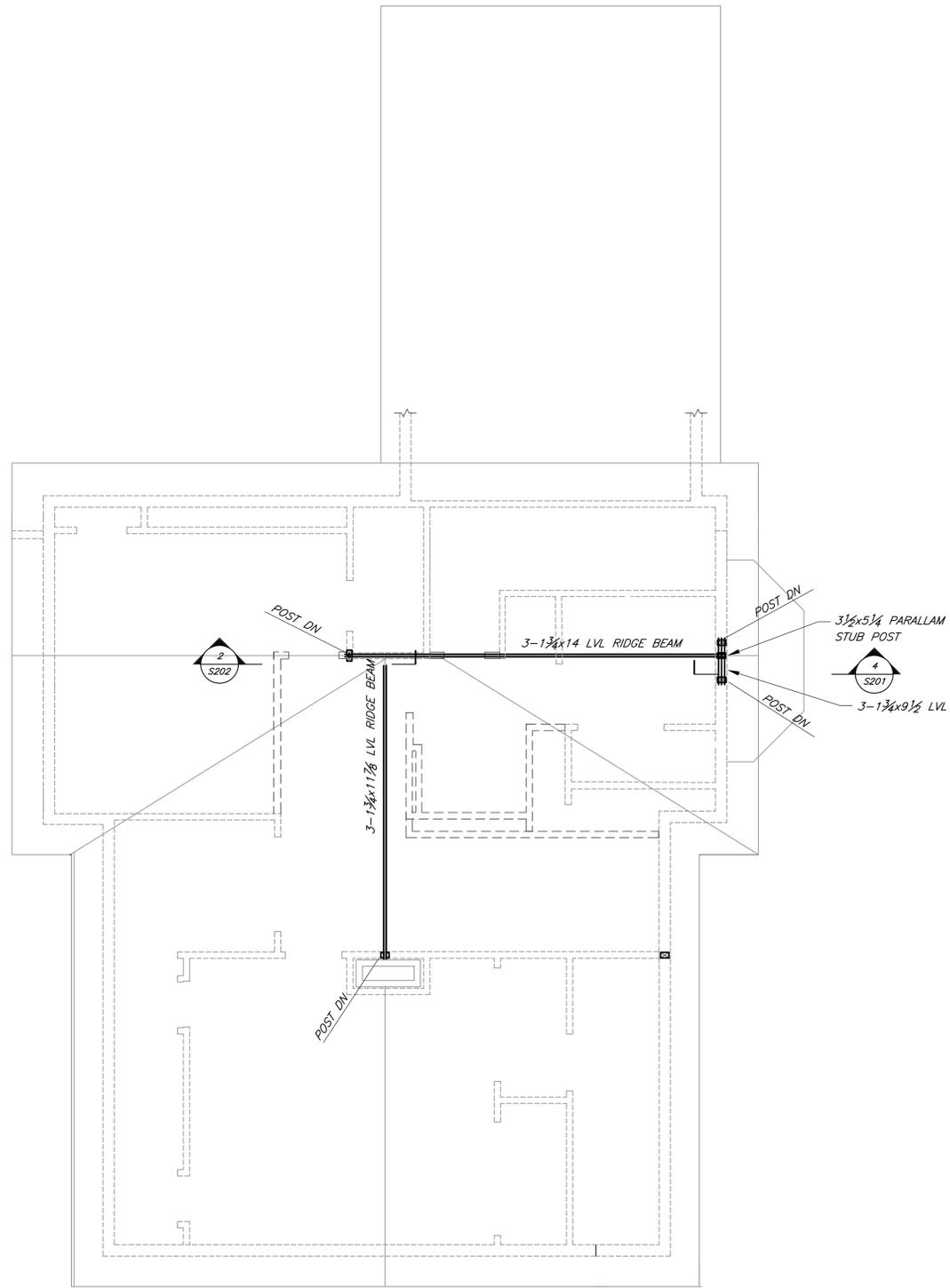
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structural
 ENGINEERING
 885 STATE ST.
 NEWTON, MA 02459

COMMONWEALTH OF MASSACHUSETTS
 JONATHAN DESPARD BUHL
 STRUCTURAL
 No. 30173
 REGISTERED PROFESSIONAL ENGINEER

City Residence
 44 Pond Street
 Jamaica Plain, MA
Third Floor Framing Plan
 Scale: AS NOTED Date: 3-31-2017 Drawn: REB Checked: JDB

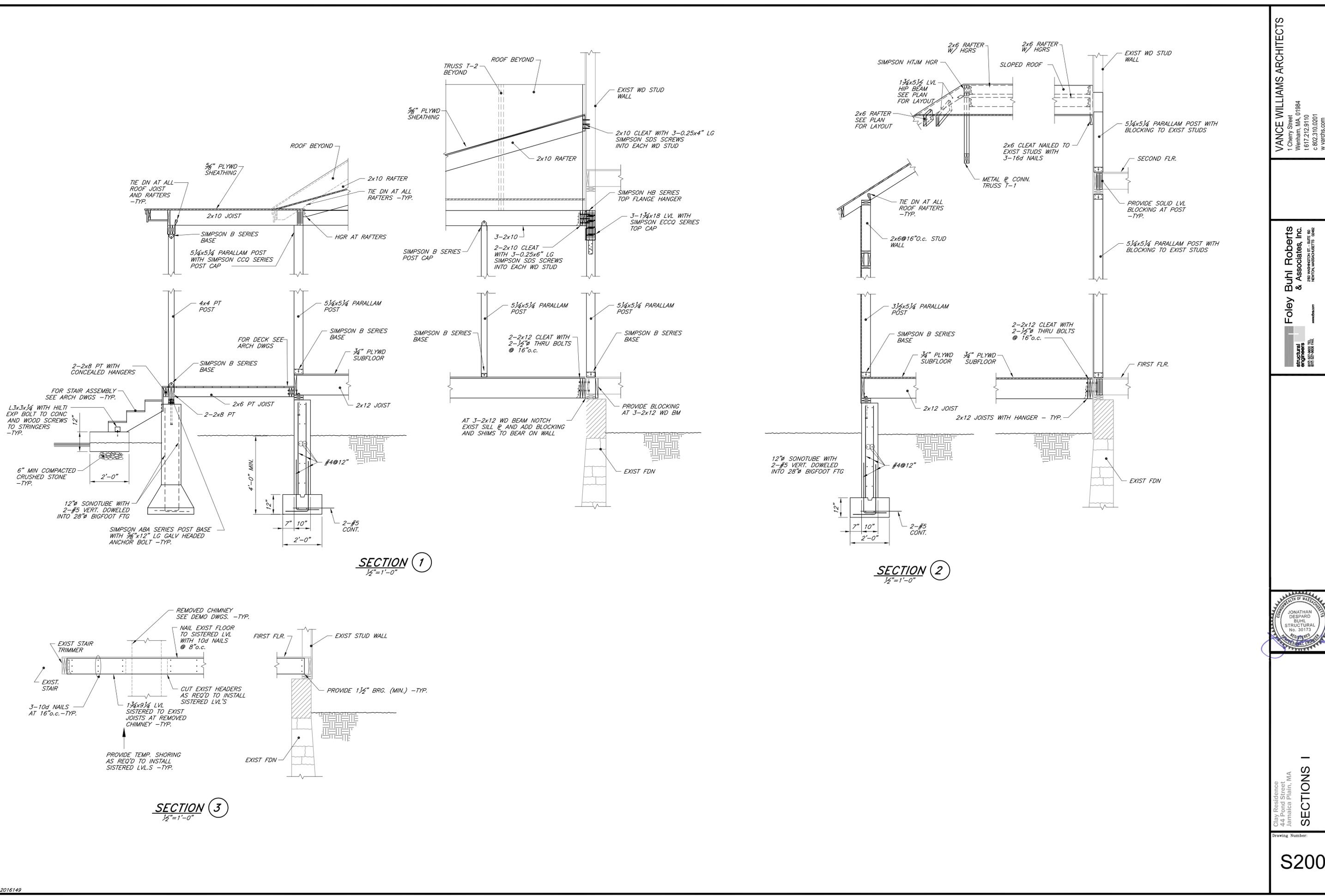
S103



ROOF FRAMING PLAN
 1/4" = 1'-0"

NOTES:

1. SEE GENERAL NOTES ON DRAWINGS S100
2. ADD HANGERS TO ALL EXISTING AND NEW FLUSH FRAMED CONNECTIONS.
3. POST SIZES ARE CALLED OUT ON THE LEVEL THAT THEY STARTED ON, SEE PLANS.



SECTION 1
1/2"=1'-0"

SECTION 2
1/2"=1'-0"

SECTION 3
1/2"=1'-0"

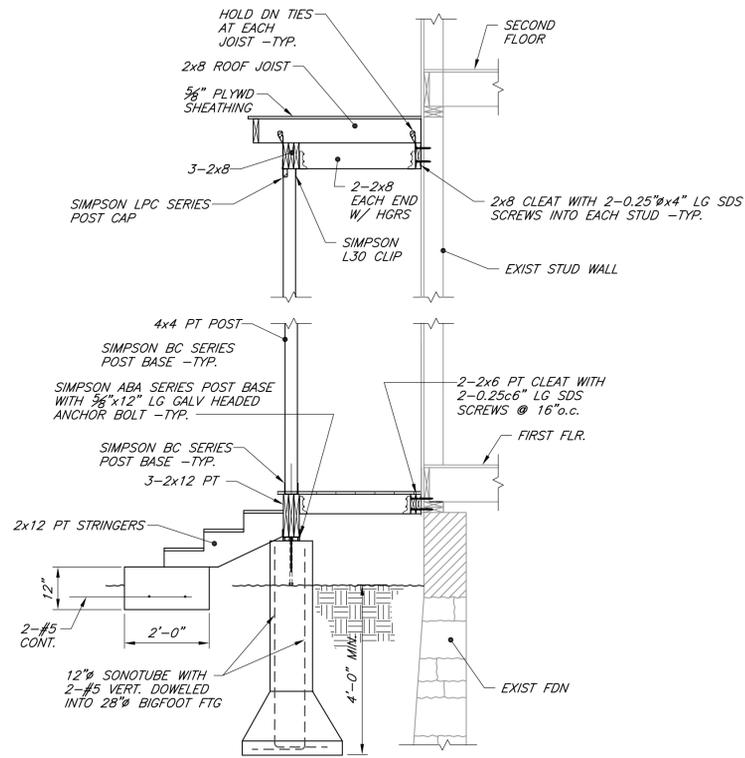
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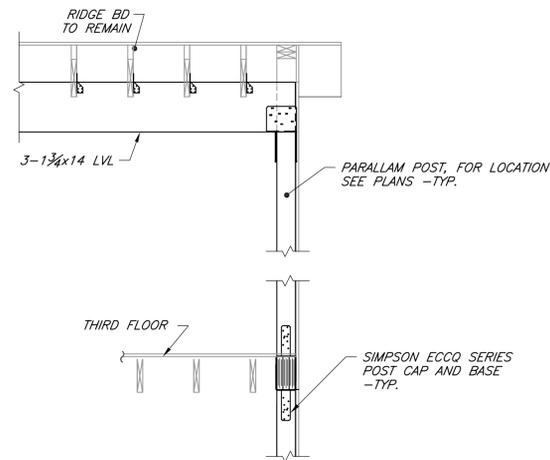


Clay Residence
44 Pond Street
Jamaica Plain, MA
SECTIONS I
Scale: AS NOTED Date: 3-31-2017
Drawn: RBB Checked: JDB

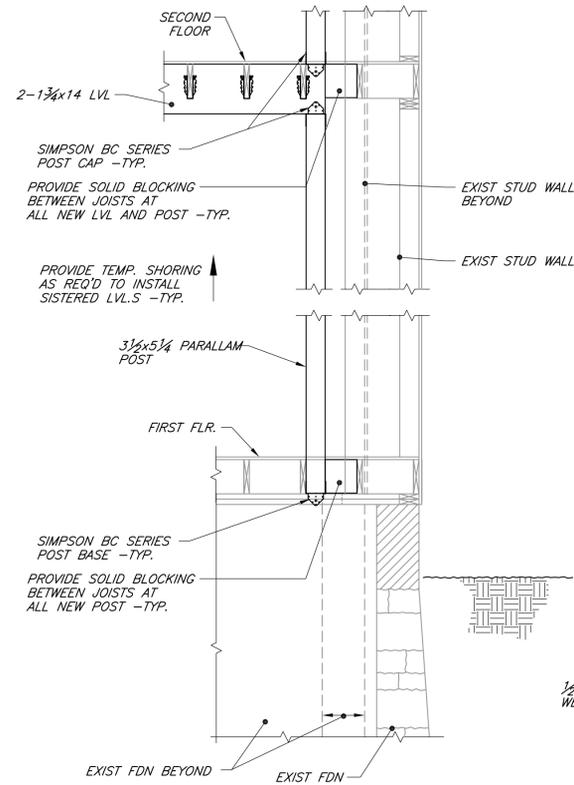
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S200



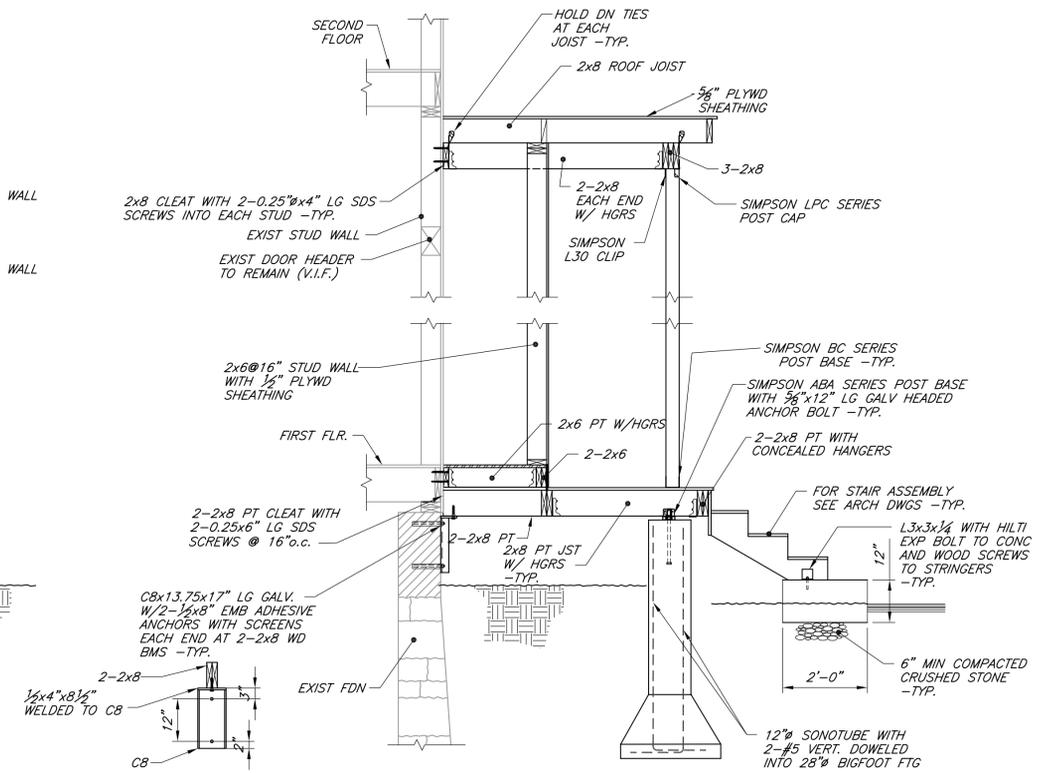
SECTION 1
1/2"=1'-0"



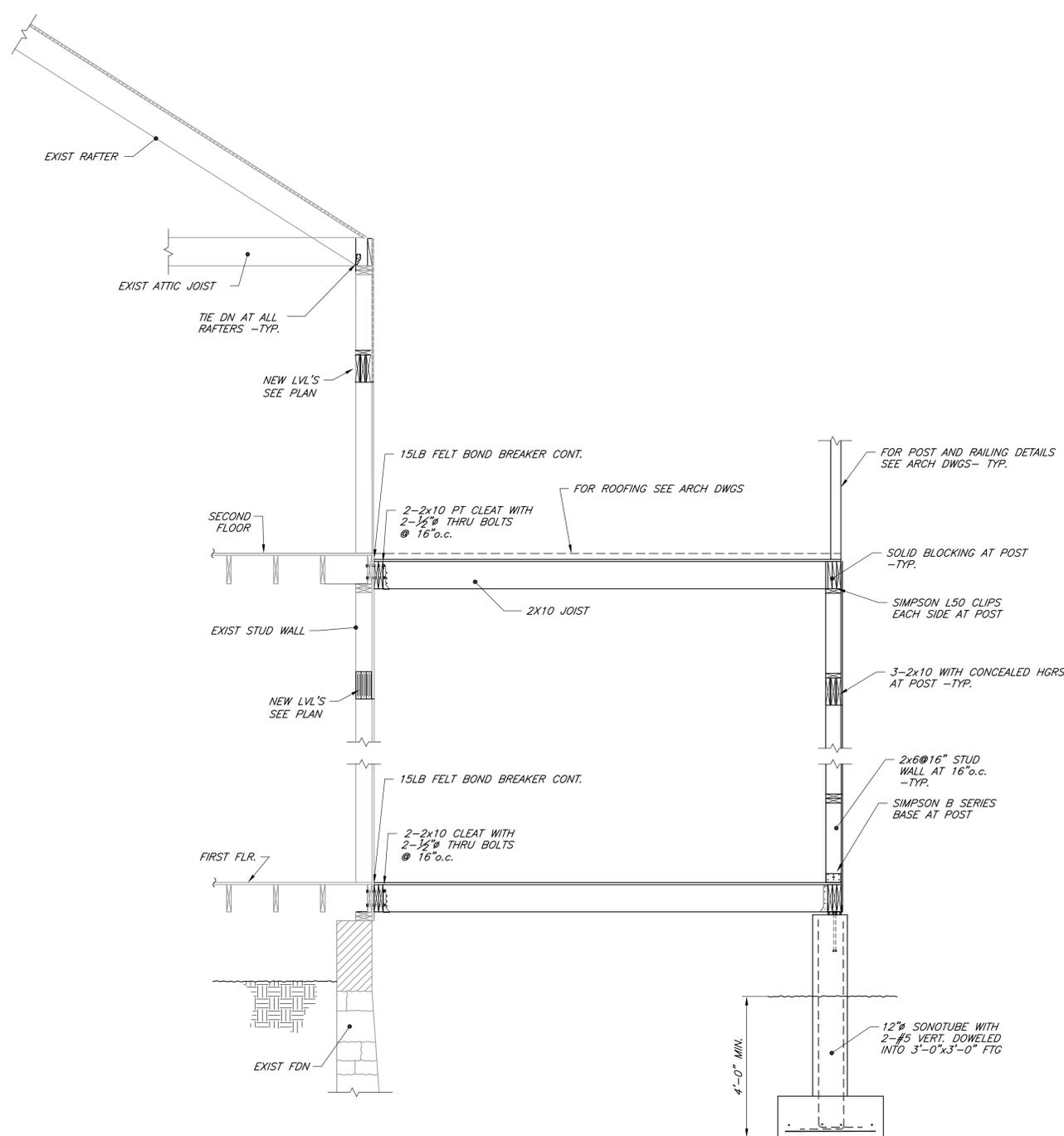
SECTION 4
1/2"=1'-0"



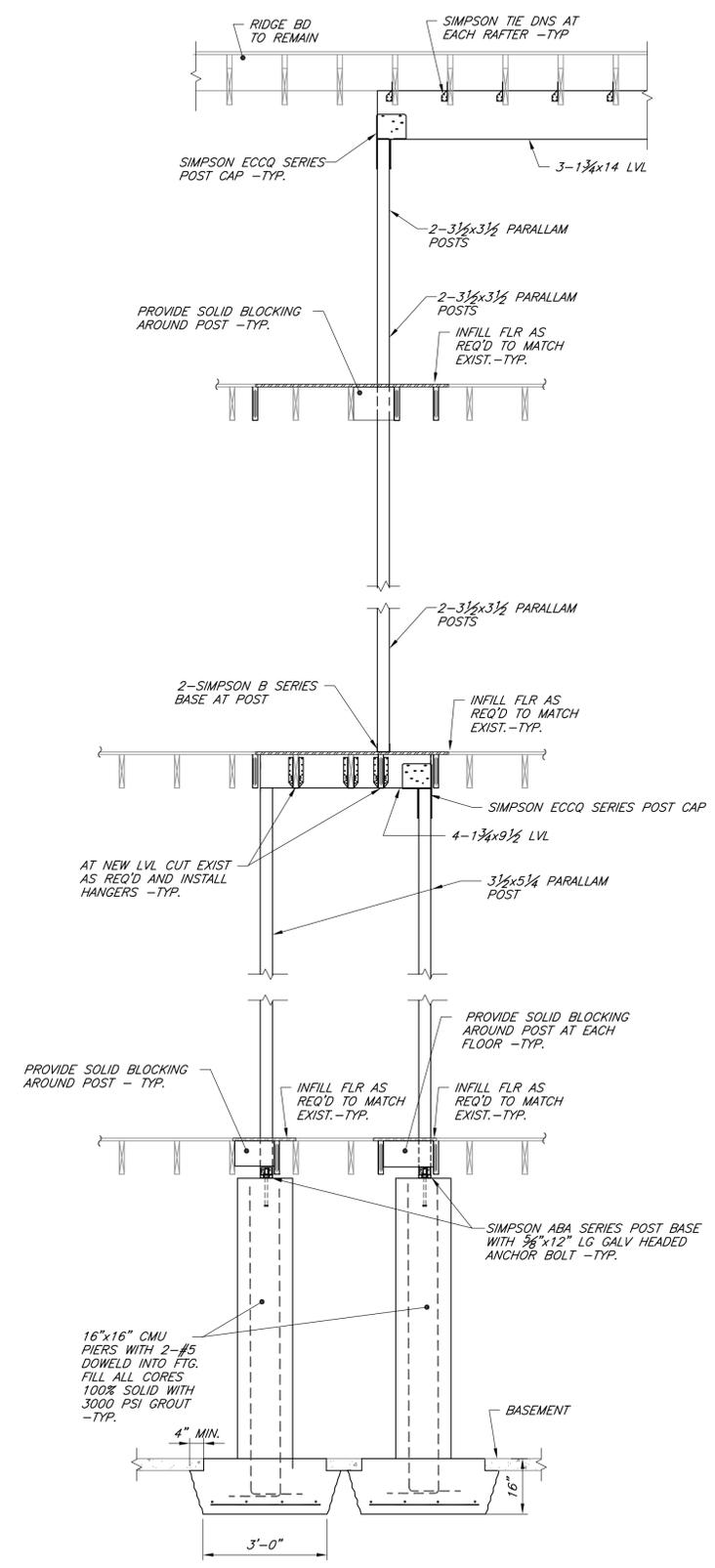
SECTION 2
1/2"=1'-0"



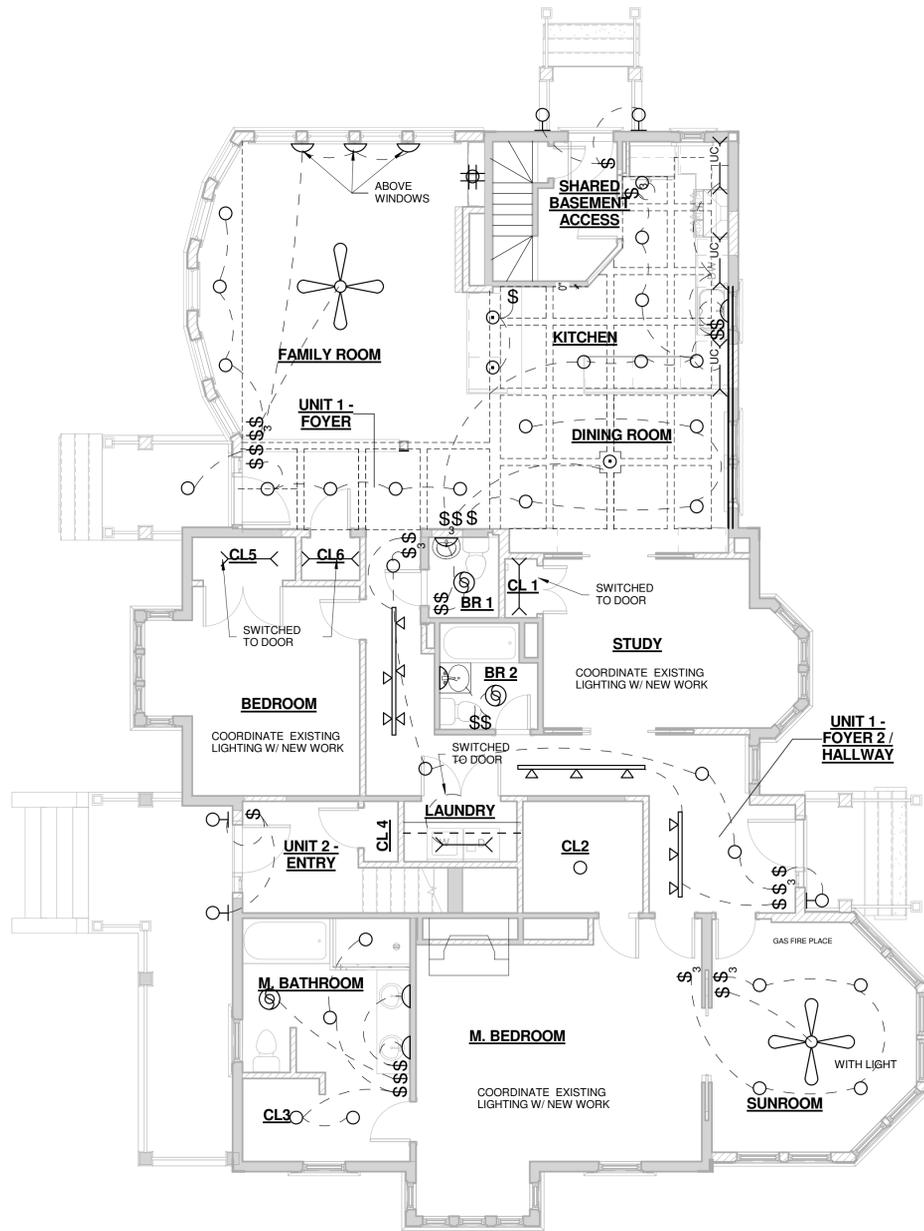
SECTION 3
1/2"=1'-0"



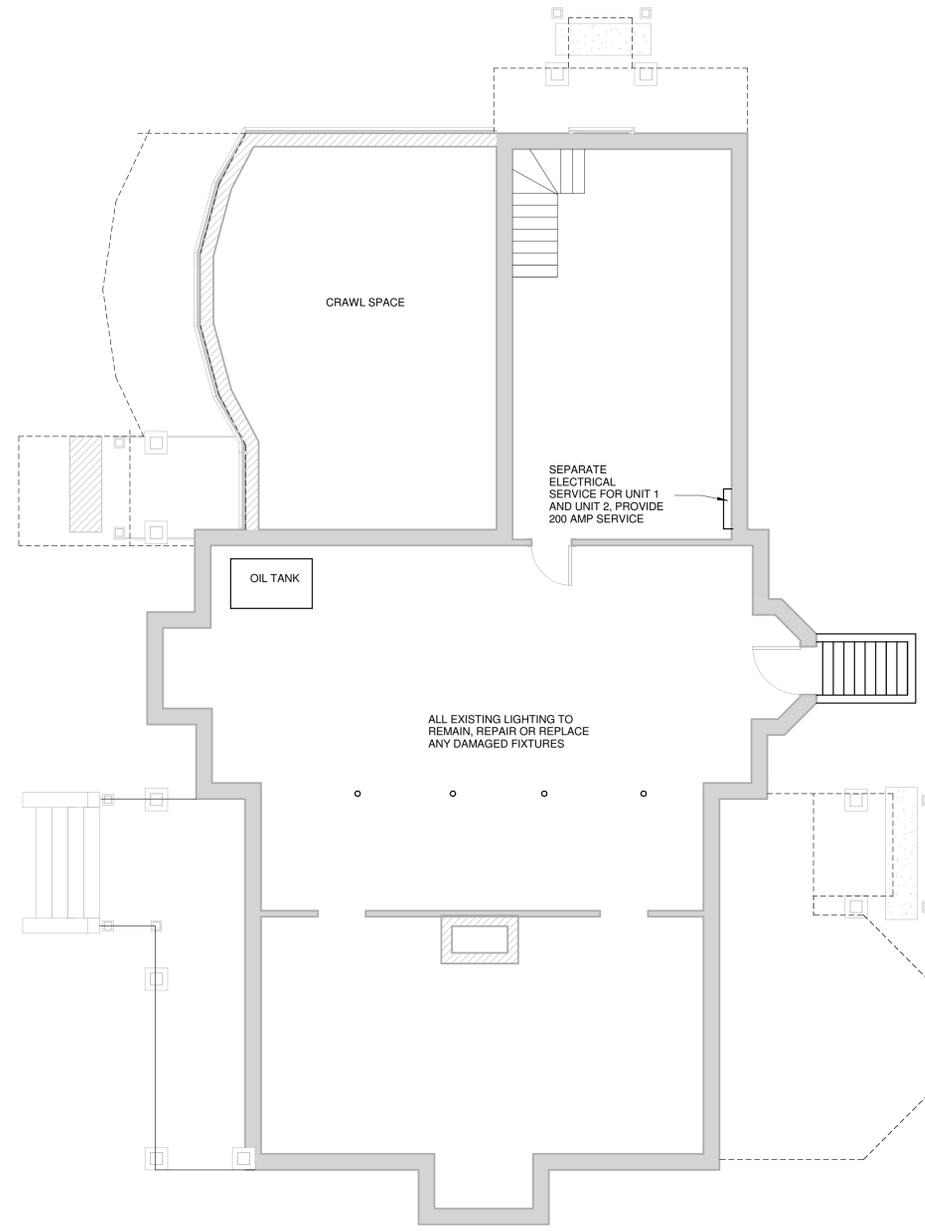
SECTION 1
1/2"=1'-0"



SECTION 2
1/2"=1'-0"



1 01 FIRST FLOOR - ELECTRICAL PLAN
Scale: 3/16" = 1'-0"



2 00 BASEMENT - ELECTRICAL PLAN
Scale: 3/16" = 1'-0"

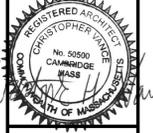
ELECTRICAL NOTES

1. ELECTRICAL FIXTURE AND SWITCHING LAYOUT IS SCHEMATIC AND INTENDED FOR PRICING ONLY. OWNER AND ARCHITECT WILL WORK WITH G.C. FOR FINAL LAYOUT AND SWITCH LOCATIONS.
2. ALL WIRING TO BE PERFORMED BY LICENSED ELECTRICIAN IN THE STATE OF MASSACHUSETTS, ACCORDING TO ALL LOCAL, STATE AND NATIONAL CODES.
3. SCOPE INCLUDES NEW WIRING FOR OUTLETS, LIGHTING, SWITCHING, POWER FEED AND CONNECTIONS TO EQUIPMENT IF NEEDED, TELEPHONE AND CABLE AND RUNS BACK TO EXISTING PANEL LOCATIONS. COORDINATE WITH OTHER TRADES FOR POWER WIRING OF EQUIPMENT.
4. ALL RECEPTACLES SHOWN ARE FOR ARCHITECTURAL PURPOSES ONLY. G.C. IS RESPONSIBLE TO PROVIDE ALL RECEPTACLES REQUIRED BY CODE.
5. REFER TO MANUFACTURERS PRODUCT INFORMATION FOR INSTALLATION & DEVICE REQUIREMENTS BEFORE INSTALLATION.
6. INSTALL NEW SMOKE/CARBON DIOXIDE DETECTORS AS REQUIRED BY CODE.
7. ALL EXISTING TO REMAIN LIGHTING FIXTURES TO BE COORDINATED W/NEW SWITCHING.

ELECTRICAL SYMBOL KEY

- RECESSED FIXTURE
- ⊙ PENDANT FIXTURE
- ⊗ CEILING MOUNT FIXTURE
- ∩ WALL MOUNT FIXTURE
- ⊕ WALL MOUNT SCONCE
- ▽ TRACK LIGHTING HEAD
- ⌢ ABOVE DOOR CLOSET FIXTURE
- ⌣ UNDER CABINET FIXTURE
- UTILITY FIXTURE
- GDO GARAGE FLOOR OPENER \$ REQ'D RECEPTACLE
- DUPLEX FLOOR RECEPTACLE
- \$ SINGLE SWITCH
- \$₃ THREE WAY SWITCH
- ⊕ DUPLEX RECEPTACLE
- ⊕₄ QUADRUPLEX RECEPTACLE
- ⊕ GFI GROUND FAULT INTERRUPT RECEPTACLE
- ⊙ EXHAUST FAN
- ⊙ EXHAUST FAN W/LIGHT
- ⊙ SECURITY LIGHT
- DIRECTIONAL RECESSED FIXTURE
- ⊕ CEILING FAN

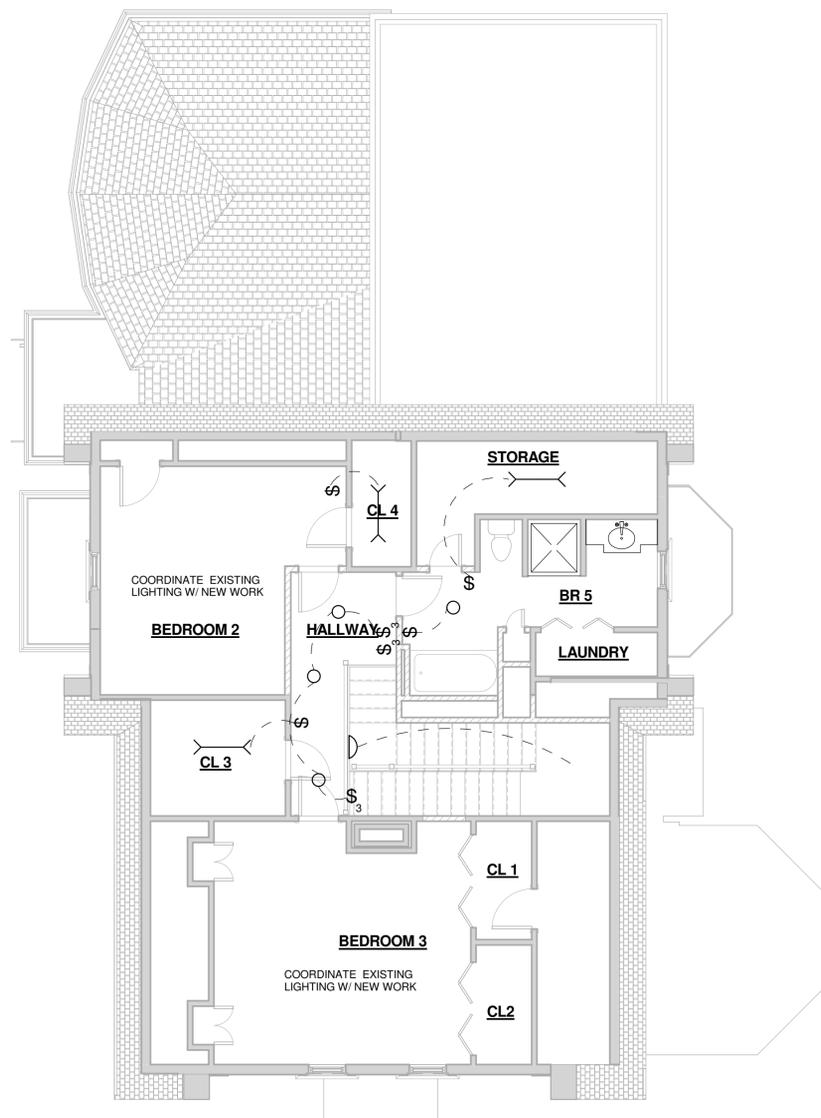
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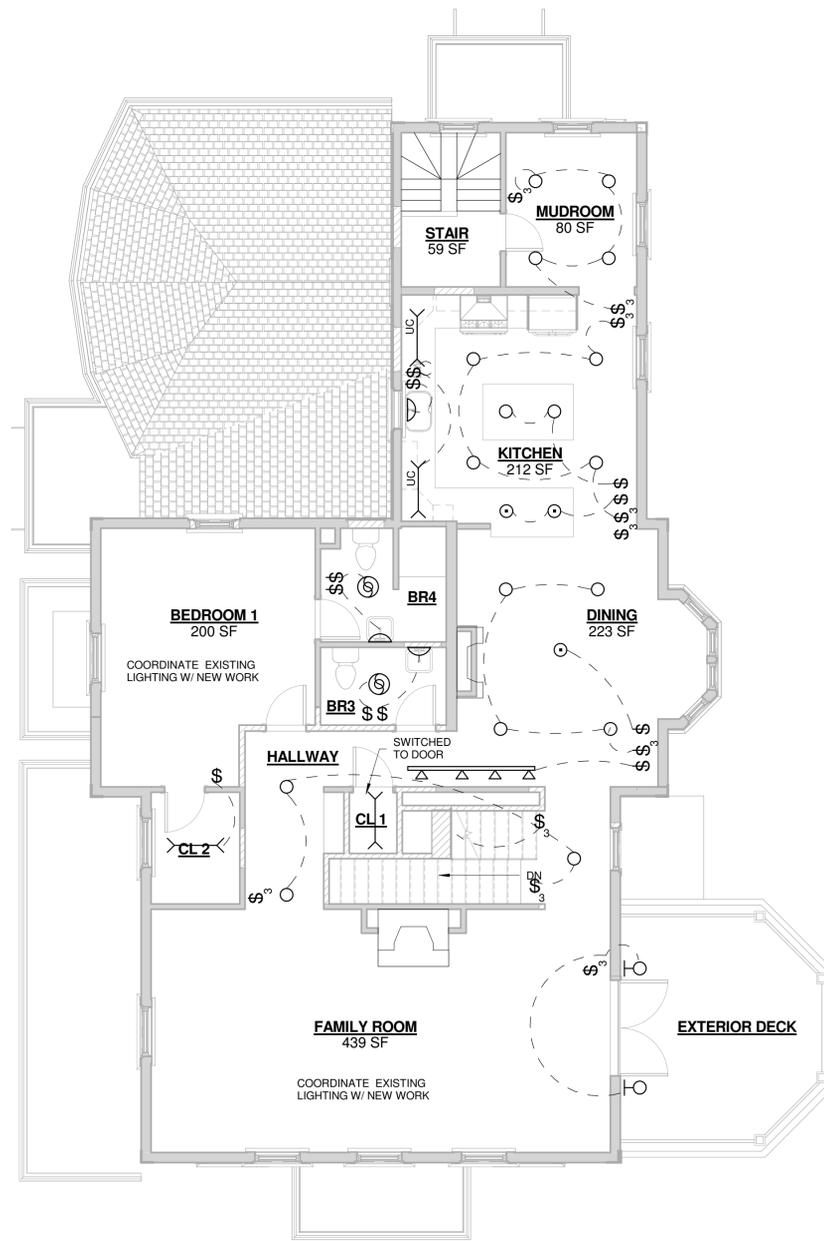
PERMIT SET
04/03/17

Clay Residence
44 Pond Street
Jamaica Plain, MA
Basement & First Floor Electrical Plan
SCALE 3/16" = 1'-0"

DRAWING NUMBER
E101
JOB NUMBER R106 44 POND



1 03 THIRD FLOOR - ELECTRICAL PLAN
Scale: 3/16" = 1'-0"



2 02 SECOND FLOOR - ELECTRICAL PLAN
Scale: 3/16" = 1'-0"

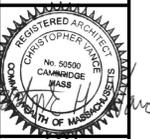
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PERMIT SET
04/03/17

Clay Residence
44 Pond Street
Jamaica Plain, MA
Second & Third Floor Electrical Plan
SCALE 3/16" = 1'-0"

DRAWING NUMBER
E102
JOB NUMBER R106 44 POND