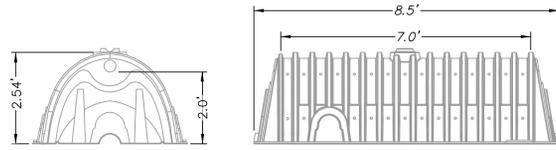
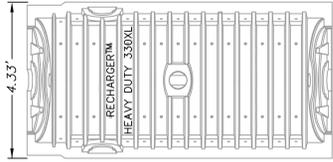


RECHARGER 330XL HD  
8.50' X 4.33' X 2.54'  
MANUFACTURED BY:  
CULTEC INC.  
878 FEDERAL ROAD  
BROOKFIELD, CT 06804  
PHONE: 203-775-4416



CULTEC RECHARGER 330XLHD CHAMBER  
NOT TO SCALE

LEGEND

- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- △ FLARED END SECTION (FES)
- SEWER MANHOLE (SMH)
- ELECTRIC MANHOLE (EMH)
- TELEPHONE MANHOLE (TMH)
- ⊗ GAS GATE (GG)
- ⊗ GAS SERVICE (GS)
- ⊗ WATER GATE (WG)
- ⊗ WATER SERVICE (WS)
- ⊗ HYDRANT (HYD)
- ⊗ SPLASH BLOCK
- ⊗ LIGHT POLE (LP)
- ⊗ PROPOSED LAMP POST (LAMP)
- ⊗ UTILITY POLE (UP)
- ⊗ UTILITY POLE w/ LIGHT (UP/LP)
- ⊗ HAND HOLE (HH)
- ⊗ VERTICAL GRANITE CURB (GC)
- SGE SLOPED GRANITE EDGING (SGE)
- BB BITUMINOUS CONCRETE BERM (BB)
- EP EDGE OF PAVEMENT (EP)
- ▲ SIGN

PLAN NOTES

THE PROPERTY LINE AND TOPOGRAPHIC INFORMATION IS BASED ON RECORD INFORMATION OBTAINED FROM THE CITY OF BOSTON ASSESSING AND ENGINEERING DEPARTMENTS, THE MASSACHUSETTS LAND COURT, THE SUFFOLK COUNTY REGISTRY OF DEEDS, THE BOSTON WATER AND SEWER COMMISSION AND ON THE GROUND INSTRUMENT SURVEYS PERFORMED BY NORWOOD ENGINEERING COMPANY CO. IN JUNE 2015.

LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, AND HAVE BEEN FIELD INSPECTED WHERE POSSIBLE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. THE BOSTON WATER AND SEWER COMMISSION IS NOT PART OF DIG SAFE THEREFORE, FIELD LOCATIONS OF WATER AND SEWER LINES MUST BE MARKED BY THE COMMISSION. CALL 1-617-330-9400 FORTY EIGHT HOURS IN ADVANCE OF ANY EXCAVATION.

THE EXISTING IMPERVIOUS AREA OF 2,380 SQUARE FEET WILL INCREASE 271 SQUARE FEET TO A POST-CONSTRUCTION AREA OF 2,651 SQUARE FEET. TO COMPLY WITH THE BOSTON WATER AND SEWER REQUIREMENTS THE PROPOSED INFILTRATION SYSTEM MUST HAVE A STORMWATER STORAGE CAPACITY OF 211 CUBIC FEET. THE PROPOSED INFILTRATION SYSTEM WILL HOLD UP TO 223.6 CUBIC FEET (211 CF REQUIRED) OF RUNOFF FROM THE SITE. THE PROPOSED STORAGE VOLUMES DOES NOT INCLUDE ANY POTENTIAL STORAGE IN THE 4" ADS DRAINS. IF THE SYSTEM REACHES CAPACITY IT WILL FROM THE PROPOSED TRENCH DRAIN OVERFLOW TO THE BWSC DRAINS IN THE PUBLIC WAYS.

THE PROJECT FALLS IN THE JAMAICAWAY GREENBELT PROTECTION OVERLAY DISTRICT AND IS SUBJECT TO THE PROVISIONS OF ARTICLE 29: GREENBELT PROTECTION OVERLAY DISTRICTS.

THE PROJECT IS LOCATED IN A NEIGHBORHOOD DESIGN OVERLAY DISTRICT AND IS SUBJECT TO SECTION 55-28: ESTABLISHMENT OF NEIGHBORHOOD DESIGN OVERLAY DISTRICTS.

THE ADDRESS ASSIGNED BY THE CITY OF BOSTON INSPECTIONAL SERVICES DEPARTMENT FOR THE PROPOSED DETACHED TWO-FAMILY DWELLING IS 470 AND 472 JAMAICAWAY.

SEE ARCHITECTURAL PLANS PREPARED BY EDWARD H. YEOMANS, 43 GASLIGHT LANE, NORTH EASTON, MASS. 02356, (508-238-3873).

JAMAICAWAY COURT WAS SUBMITTED TO THE COBUCS PROGRAM ON MARCH 31, 2016 AND THERE ARE NO CONFLICTS WITH ANY EXISTING OR PROPOSED P.TROJECTS.

DEED REFERENCE:  
SUFFOLK REGISTRY  
BOOK 55363, PAGE 40

RECORD PLAN REFERENCE:  
SUFFOLK REGISTRY OF DEEDS  
BOOK 6673, PAGE END

ASSESSOR'S RECORDS:  
PARCEL 19-01977-004  
MAP No. 0276

STREET LAYOUT PLANS:  
L-931 JAMAICAWAY COURT

ENGINEERING RECORDS:  
BOOK 1439, PAGE 132

BOSTON WATER & SEWER RECORDS  
BWSC WATER & SEWER GIS MAPS  
BWSC PLAN No. H-223  
BWSC PLAN No. H-1912

ZONING CLASSIFICATION

JAMAICA PLAIN NEIGHBORHOOD DISTRICT  
2-FAMILY RESIDENTIAL SUBDISTRICT (2F-5000)  
ARTICLE 55 - TABLE E - MAP 9A-9C

DIMENSIONAL REQUIREMENTS

	REQUIRED	PROVIDED
TWO-FAMILY LOT AREA	5,000 SF	5,607 SF
FRONTAGE	45 FT	65.00 FT
LOT WIDTH	45 FT	73.06 FT
FRONT YARD	15 FT	25.00 FT*
SIDE YARD	10 FT	10.18 FT
REAR YARD	15 FT**	15.35 FT
G.F.A.	---	3,318 SF***
F.A.R.	0.6	0.592
HEIGHT	35	28.0 FT***
STORIES	2.5	2.0
OPEN SPACE	1,250 SF	2,799 SF****
PARKING SPACES	2 SPACES	2 SPACES

\* SEE PARKS AND RECREATION CHAPTER 7-4.12 SETBACK REQUIREMENTS REQUIRED SETBACK FOR THE JAMAICAWAY, FROM PERKINS STREET TO PRINCE STREET, IS 25 FEET.

\*\* SEE SECTION 55-41-10: REAR YARDS FOR CERTAIN SHALLOW LOTS  
20 FT - (100 FT-LOT DEPTH) X 0.5 FT = SETBACK (15 FT MIN.)  
20 FT - (100 FT-75 FT) X 0.5 = 7.5 FT (USE 15 FT MIN.)

\*\*\* GROSS FLOOR AREA AND BUILDING HEIGHT FROM PROJECT ARCHITECT  
\*\*\*\* ALL GROUND LEVEL OPEN SPACE USED TO SATISFY THE MINIMUM USABLE OPEN SPACE REQUIREMENTS SPECIFIED IN THIS TABLE E MUST HAVE AN UNOBSTRUCTED LENGTH OF NOT LESS THAN TEN (10) FEET AND AN UNOBSTRUCTED WIDTH OF NOT LESS THAN TEN (10) FEET, EXCEPT THAT, FOR YARDS USED TO MEET THE OPEN SPACE REQUIREMENTS OF THIS TABLE E, SHORTER OR NARROWER DIMENSIONS ARE ALLOWED WHERE SPECIFICALLY PERMITTED BY THE PROVISIONS OF SECTION 55-41 (APPLICATION OF DIMENSIONAL REQUIREMENTS).

BUILDING PERMIT PLAN  
470-472 JAMAICAWAY  
(FORMERLY No. 1 JAMAICAWAY COURT)  
**BOSTON, MASS.**  
(JAMAICA PLAIN 02130-2007)

SCALE: 1"=10' APRIL 1, 2016  
NORWOOD ENGINEERING CO., INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
1410 ROUTE ONE, NORWOOD, MA 02062  
PHONE: 781-762-0143 FAX 781-762-8595

SHEET No. 1 OF 1 8291-21

BENCHMARKS

REFERENCE BENCHMARK: SMH 31  
SEWER MANHOLE 30 JAMAICAWAY COURT CUL-DE-SAC  
(FROM BWSC G.I.S. RECORDS) R=87.44, I=78.34 (BCB)

CONSTRUCTION BENCHMARK: UP 272-1  
SPIKE SET IN UTILITY POLE No. 272-1 LOCATED IN  
FRONT OF No. 6 JAMAICAWAY COURT - EL=87.43 (BCB)

REVISIONS

11-24-15	REVISED PARKING LAYOUT
03-31-16	NEW BUILDING
04-04-16	ADDITIONAL REVISIONS

Edward H. Yeomans  
43 Gaslight Lane  
N.Easton, MA, 02356  
508.238.3873



**DESIGN CRITERIA**

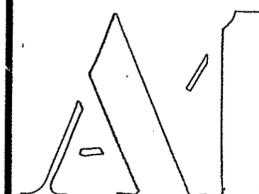
1. APPLICABLE BUILDING CODE MASSACHUSETTS 8<sup>TH</sup> EDITION
2. LOADS
  - A. DEAD LOADS: 1) ROOF 10 PSF  
2) FLOOR 15 PSF
  - B. LIVE LOADS: 1) FIRST FLOOR 40 PSF  
2) SECOND FLOOR 30 PSF  
3) ROOF 40 PSF
  - C. GROUND SNOW LOAD: 40 PSF
  - D. DESIGN WIND SPEED 100 MPH

FRONT & LEFT SIDE ELEVATIONS

DATE: 18 JAN 2016  
SCALE: 1/4" = 1'-0"  
DWN: E.H. Yeomans  
PLAN: 3363-16



PROPOSED RESIDENCES  
470-472 JAMAICAWAY  
JAMAICA PLAIN, MA

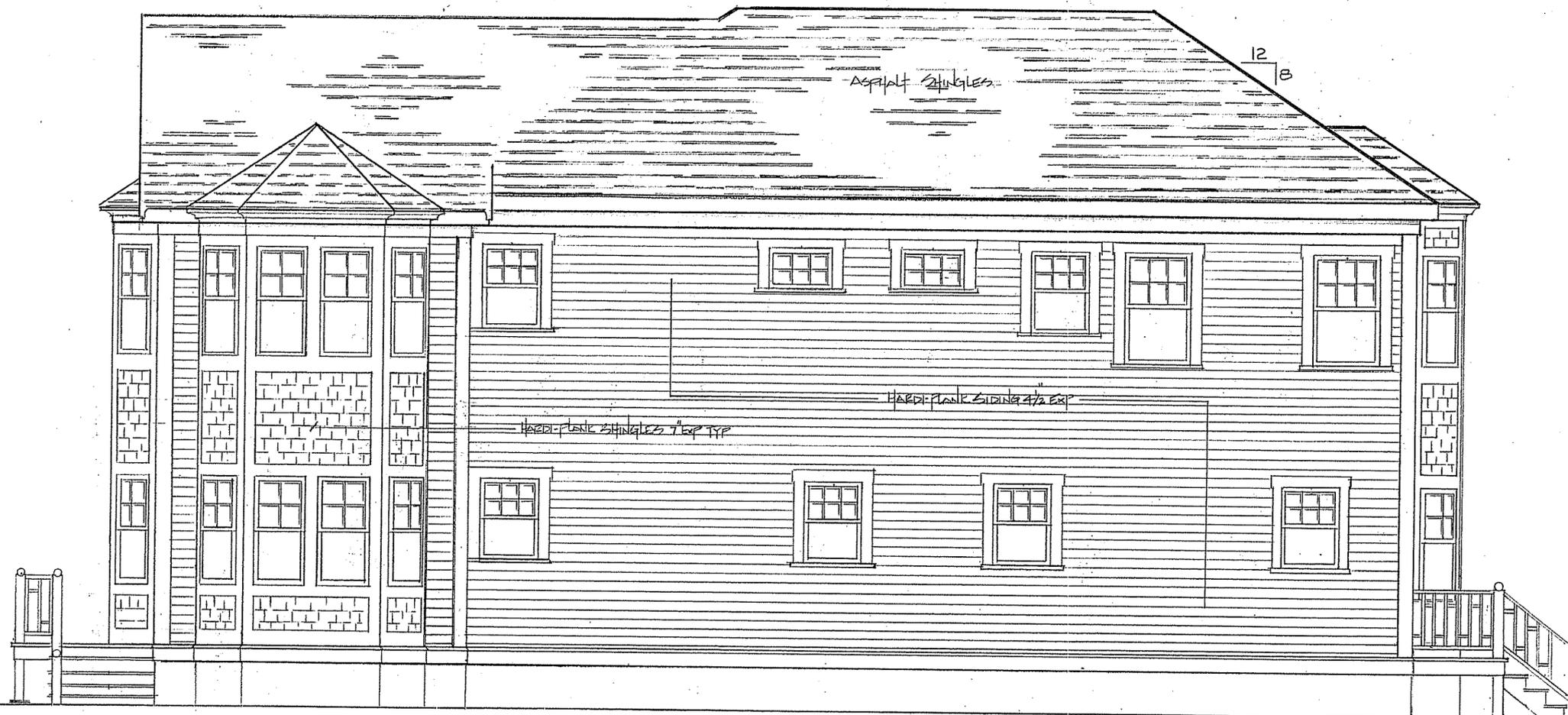
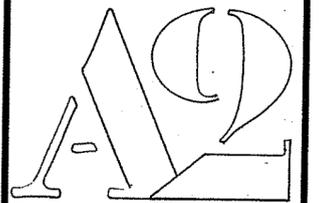


Edward H. Yeomans  
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508.238.3873

RIGHT SIDE REAR ELEVATION

DATE: 13 JAN 2016  
SCALE: 1/4" = 1'-0"  
DWN: E.H. Yeomans  
PLAN: 3305-16

PROPOSED RESIDENCES  
470-472 JAMAICAWAY  
JAMAICA PLAIN, MA



Edward H. Yeomans  
 43 Gaslight Lane  
 N.Easton, MA, 02356  
 508.238.3873

**CONCRETE:**

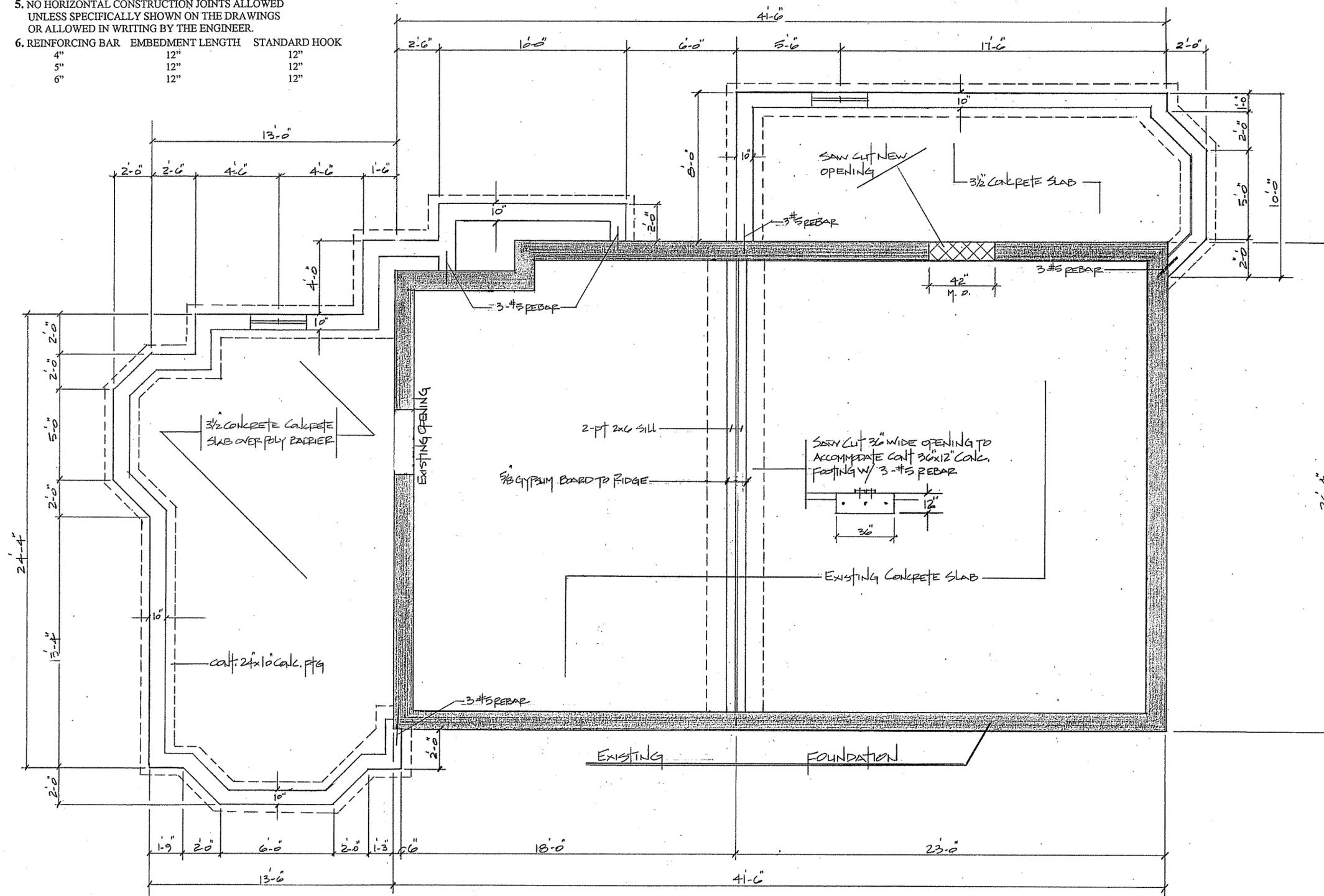
- ALL CONCRETE WORK AND MATERIALS SHALL COMPLY WITH THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301-89)
- ALL CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH MAX. 1 INCH AGGREGATE AND MAX. 6% AIR ENTRAINMENT FOR EXT. CONCRETE EXPOSED TO MOISTURE.
- ALL REINFORCING STEEL SHALL BE DEFORMED BARS OF NEW BILLET STEEL CONFORMING TO ASTM A 615 GRADE 60.
- CONCRETE COVER OF REBARS SHALL BE AS FOLLOWS:  
 A) 3" AT CONCRETE PLACED DIRECTLY ON EARTH  
 B) 2" AT ALL OTHER LOCATIONS
- NO HORIZONTAL CONSTRUCTION JOINTS ALLOWED UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS OR ALLOWED IN WRITING BY THE ENGINEER.
- REINFORCING BAR EMBEDMENT LENGTH STANDARD HOOK
 

4"	12"	12"
5"	12"	12"
6"	12"	12"

5/8"x12" ANCHOR BOLTS W/SIMPSON  
 BPS5/8-3 BEARING PLATES. EMBEDDED  
 MIN 7" INTO CONCRETE AND SPACED  
 12" FROM EA CORNER AND 48" OC FIELD

**FOUNDATIONS:**

- THE ALLOWABLE PRESUMED SOIL BEARING CAPACITY IS 3000PSF WHICH IS TO BE VARIFIED.
- FOOTINGS SHALL BE CARRIED TO LOWER ELEVATION THAN SHOWN ON DRAWINGS IF REQUIRED TO REACH PROPER SOIL BEARING.
- WALLS ACTING AS RETAINING WALLS SHALL NOT BE BACKFILLED WITHOUT BRACING UNTIL ALL SUPPORTING BRACES AND SLABS ARE IN PLACE AND AT ADEQUATE STRENGTH.
- COMPACT ALL FILL UNDER FOOTINGS AND SLABS TO THE SPECIFIED DENSITY AND VARIFY AT 98%MDD

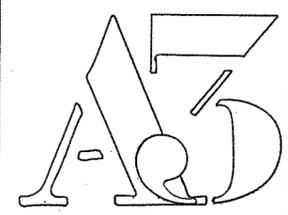


FOUNDATION PLAN 1/4" = 1'-0"

FOUNDATION PLAN

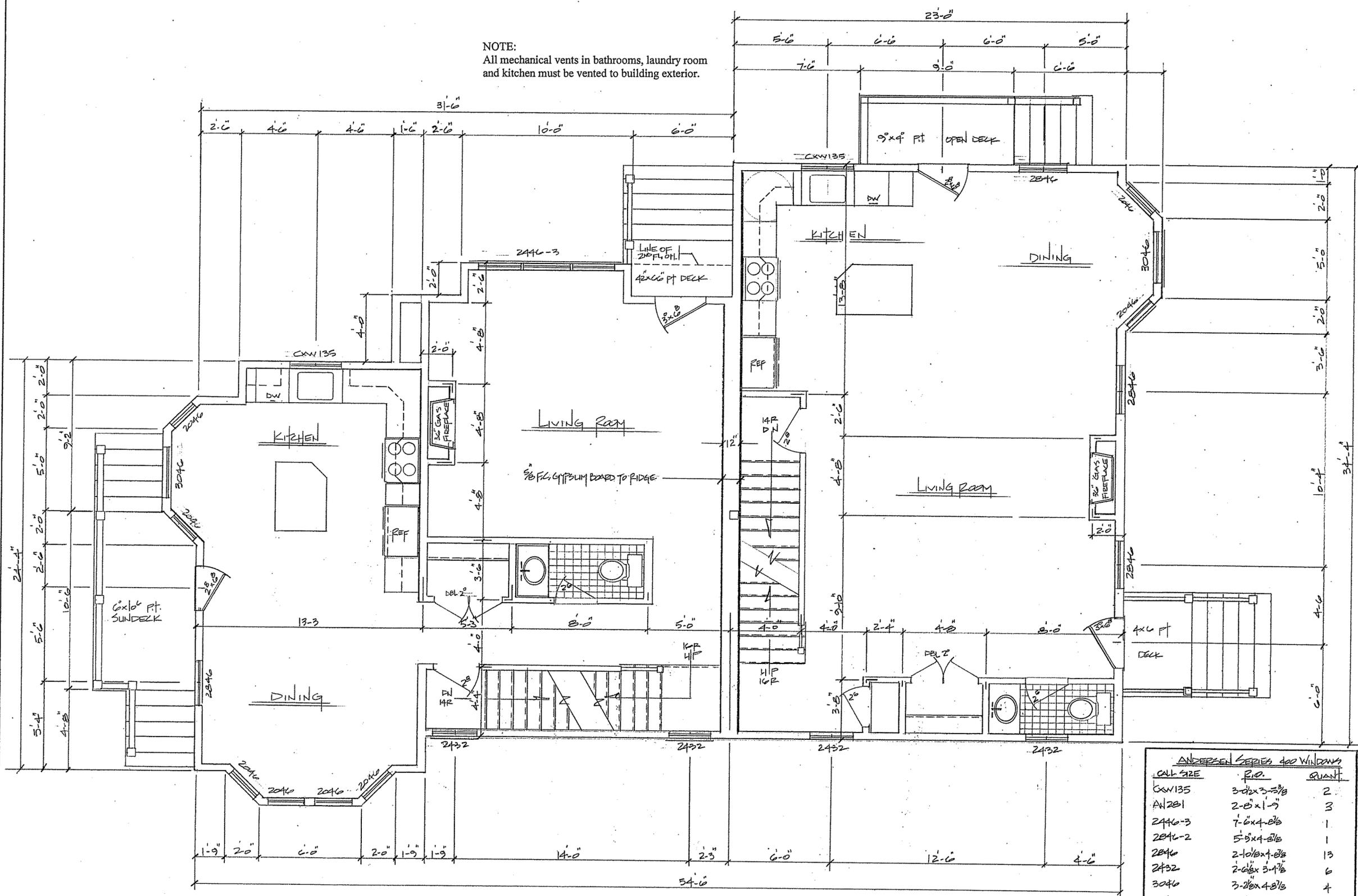
DATE: 18 JAN 2016  
 SCALE: 1/4" = 1'-0"  
 DWN: E.H. Yeomans  
 PLAN: 3365-16

PROPOSED RESIDENCES  
 470-472 JAMAICAWAY  
 JAMAICA PLAN, MA



Edward H. Yeomans  
 43 Gaslight Lane  
 N. Easton, MA, 02356  
 508.238.3873

NOTE:  
 All mechanical vents in bathrooms, laundry room  
 and kitchen must be vented to building exterior.



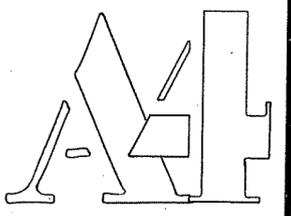
ANDERSEN SERIES 400 WINDOWS		
CALL SIZE	R.O.	QUANT.
CW135	3'-0" x 3'-3/8"	2
AN281	2'-0" x 1'-0"	3
2446-3	7'-0" x 4'-8 1/2"	1
2846-2	5'-9" x 4'-8 1/2"	1
2846	2'-10 1/2" x 4'-8 1/2"	13
2432	2'-0" x 3'-1 1/2"	6
3046	3'-2 1/2" x 4'-8 1/2"	4
2046	2'-2 1/2" x 4'-8 1/2"	10

FIRST FLOOR PLAN 1/4" = 1'-0"

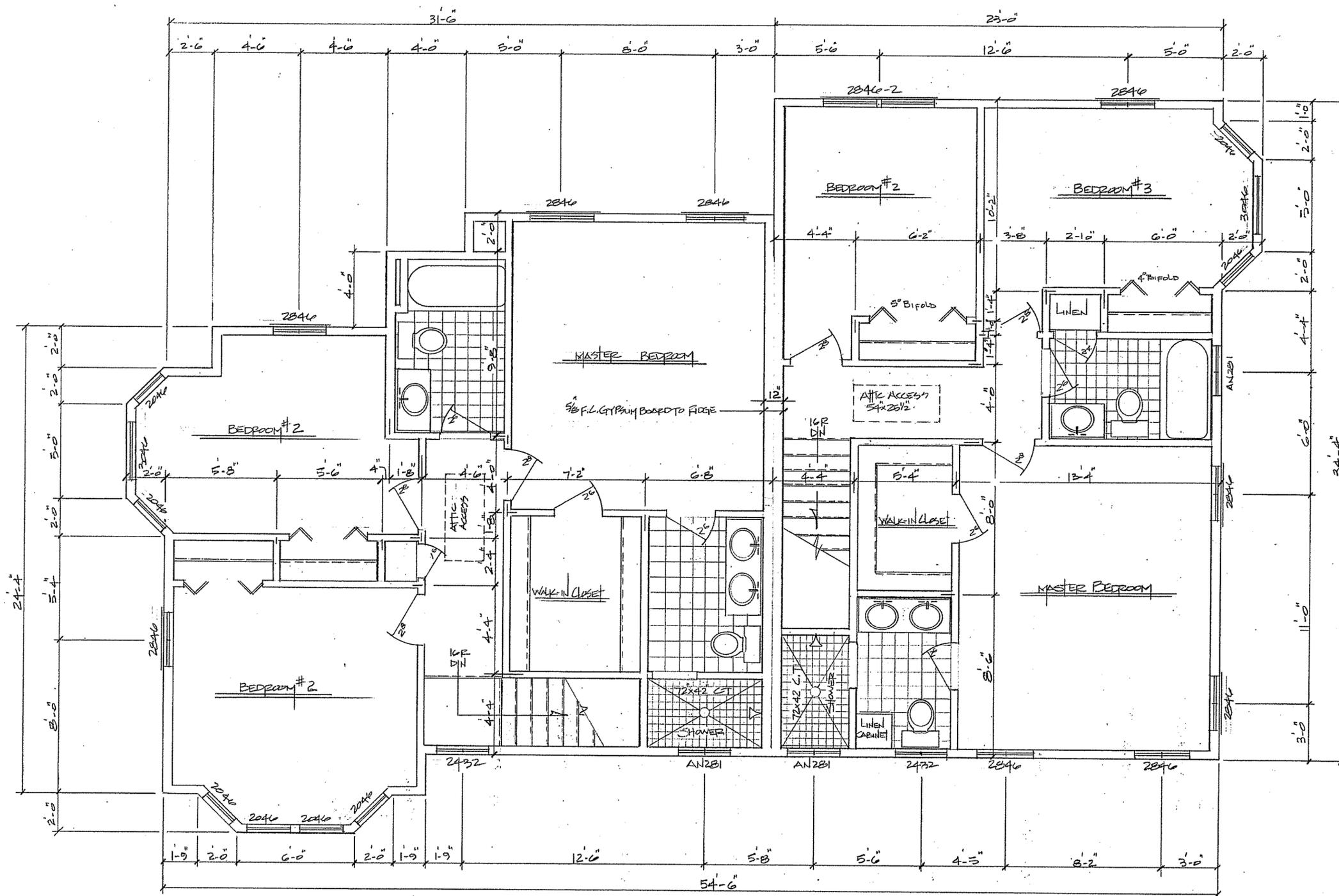
FIRST FLOOR PLAN

DATE: 15 JAN 2016  
 SCALE: 1/4" = 1'-0"  
 DWN: E.H. Yeomans  
 PLAN: 3305-16

PROPOSED RESIDENCE  
 470-472 JAMAICA WAY  
 JAMAICA PLAN MA



NOTE:  
 All mechanical vents in bathrooms, laundry room  
 and kitchen must be vented to building exterior.

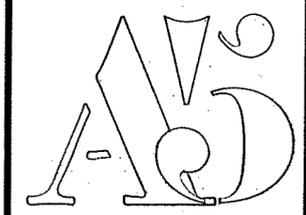


SECOND FLOOR PLAN 1/4"=1'-0"

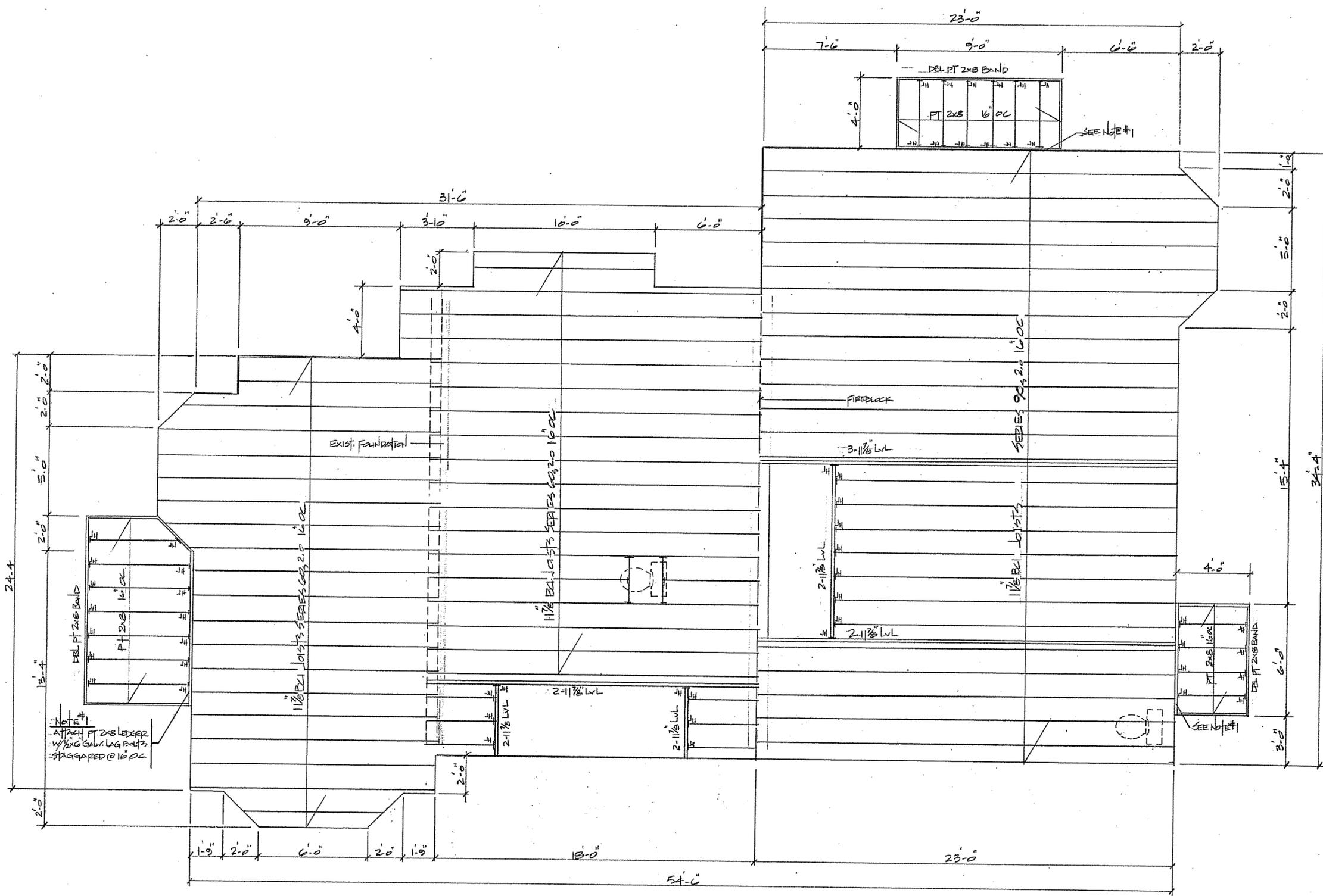
SECOND FLOOR PLAN

DATE: 13 JAN 2016  
 SCALE: 1/4"=1'-0"  
 DWN: E.H. Yeomans  
 PLAN: 3305-16

PROPOSED RESIDENCE  
 470-472 JAMAICA WAY  
 JAMAICA PLAIN, MA



Edward H. Yeomans  
 43 Gaslight Lane  
 N. Easton, MA, 02356  
 508.238.3873

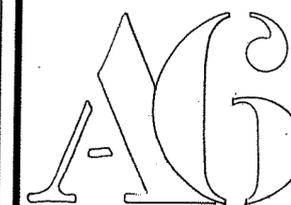


FIRST FLOOR FRAMING PLAN 1/4" = 1'-0"

FIRST FLOOR FRAMING PLAN

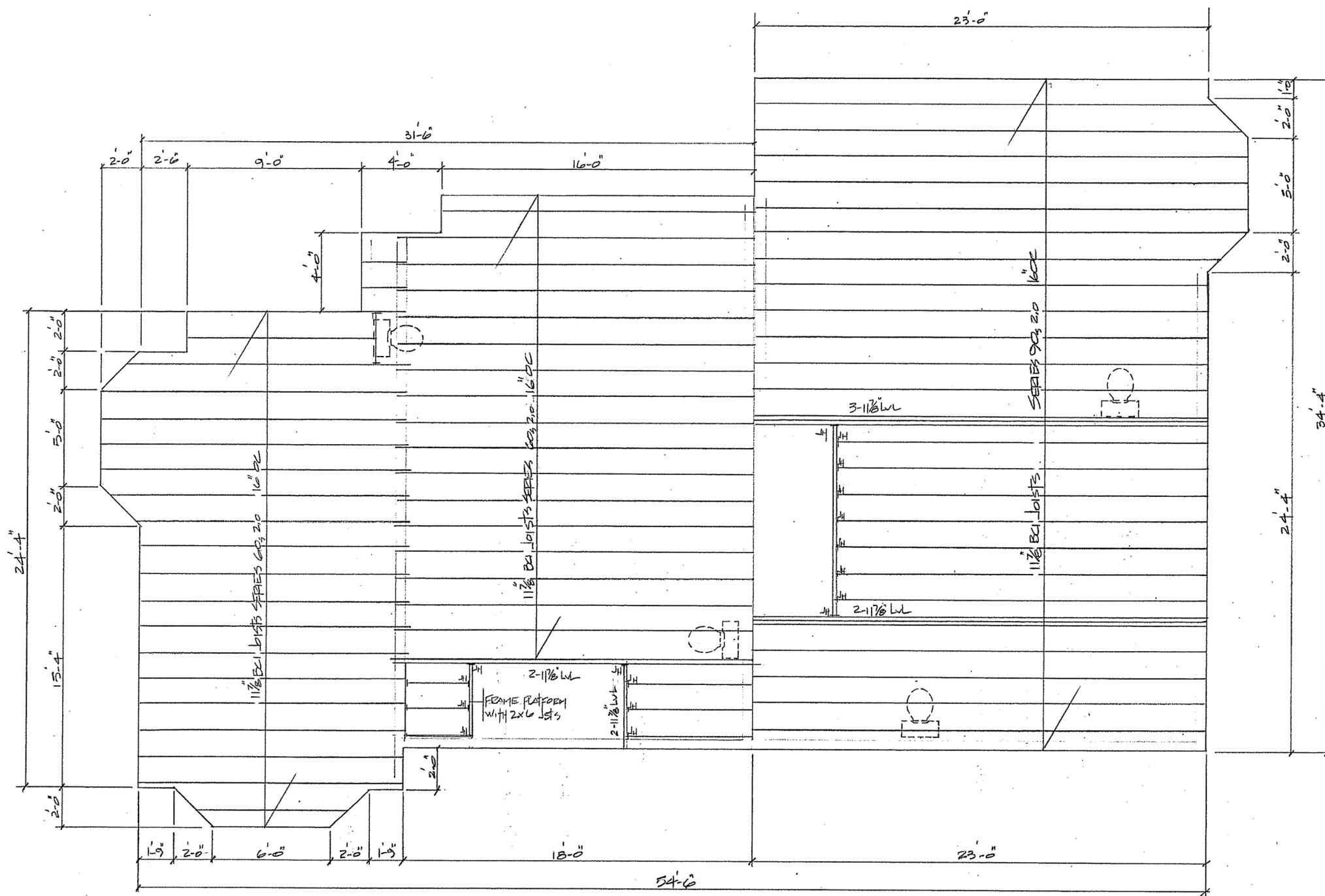
DATE: 15 JAN 2016  
 SCALE: 1/4" = 1'-0"  
 DWN: E.H. Yeomans  
 PLAN: 3365-16

PROPOSED RESIDENTS  
 470-472 JAMAICAWAY  
 JAMAICA RAİN, MA



Edward H. Yeomans  
43 Gaslight Lane  
N.Easton, MA, 02356  
508.238.3873

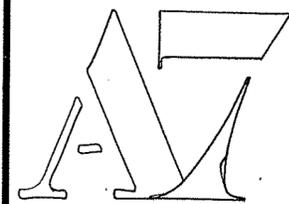
SECOND FLOOR FRAMING PLAN



SECOND FLOOR FRAMING PLAN 1/4" = 1'-0"

PROPOSED RESIDENCES  
470-472 JAMAICAWAY  
JAMAICA PLAN, MA

DATE: 18 JAN 2016  
SCALE: 1/4" = 1'-0"  
DWN: E.H. Yeomans  
PLAN: 3365-16

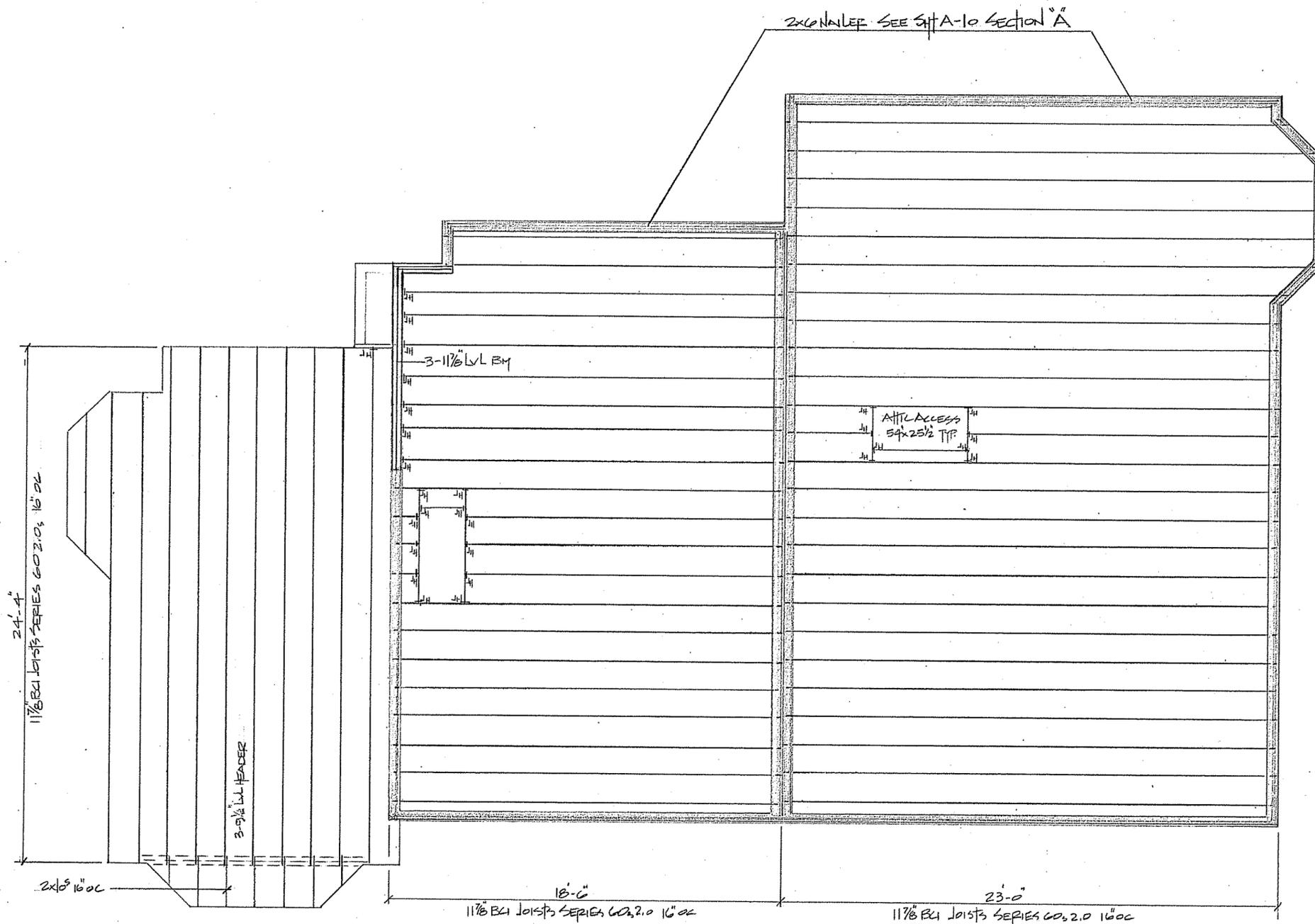
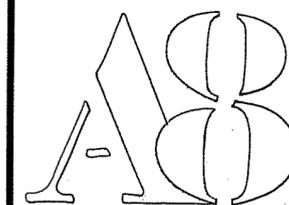


Edward H. Yeomans  
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N.Easton, MA, 02356  
508.238.3873

ATTIC FLOOR FRAMING

DATE: 13 JAN 2016  
SCALE: 1/4" = 1'-0"  
DWN: E.H. Yeomans  
PLAN: 3365-1C

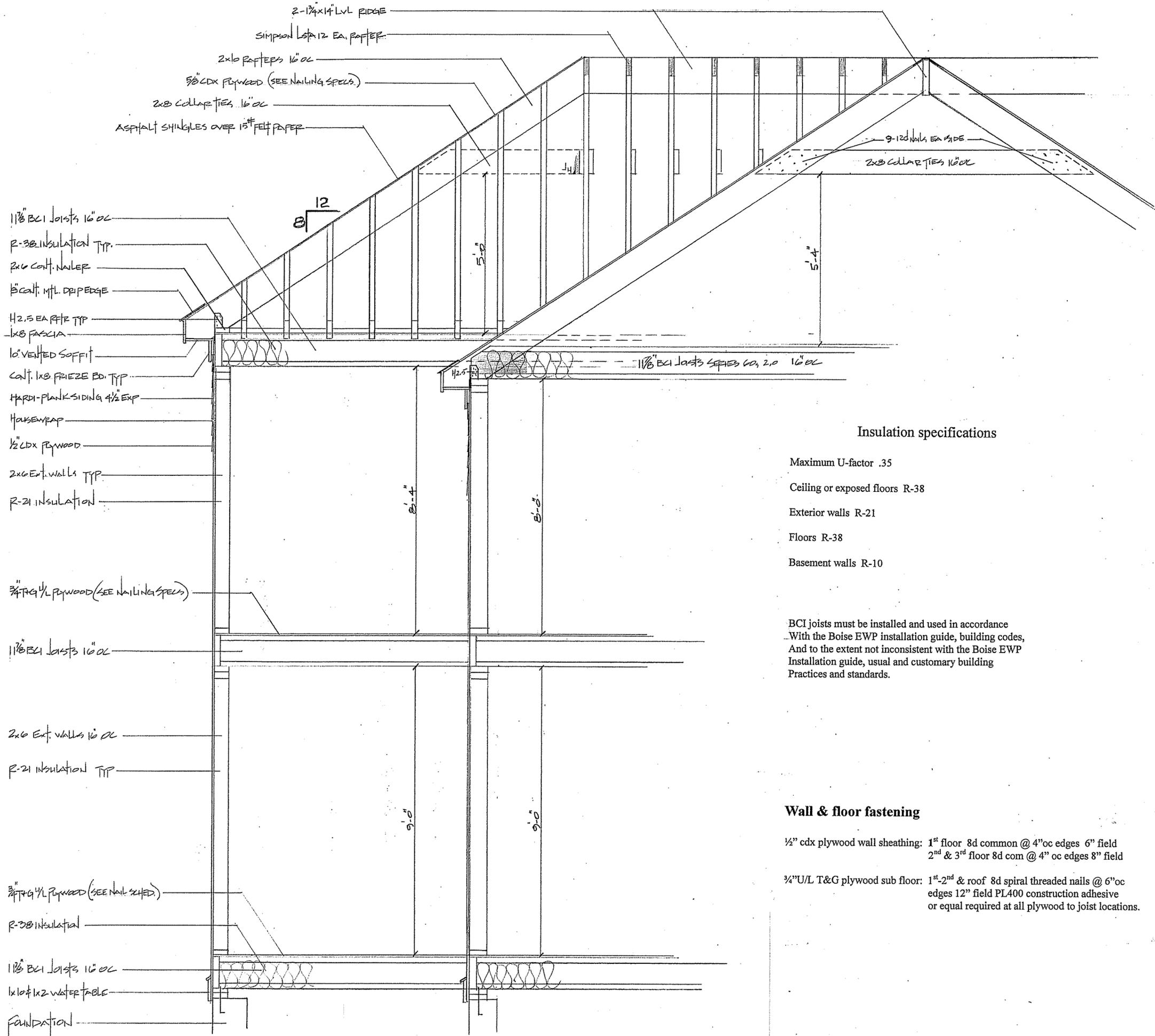
PROPOSED RESIDENCE'S  
470-472 JAMAICAWAY  
JAMAICA PLAIN, MA



ATTIC FLOOR FRAMING PLAN 1/4" = 1'-0"



SECTION "A"



Insulation specifications

- Maximum U-factor .35
- Ceiling or exposed floors R-38
- Exterior walls R-21
- Floors R-38
- Basement walls R-10

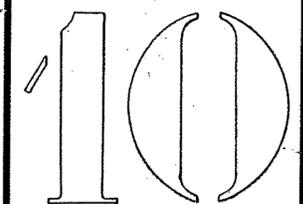
BCI joists must be installed and used in accordance  
 With the Boise EWP installation guide, building codes,  
 And to the extent not inconsistent with the Boise EWP  
 Installation guide, usual and customary building  
 Practices and standards.

Wall & floor fastening

- 1/2" cdx plywood wall sheathing: 1<sup>st</sup> floor 8d common @ 4" oc edges 6" field  
 2<sup>nd</sup> & 3<sup>rd</sup> floor 8d com @ 4" oc edges 8" field
- 3/4" U/L T&G plywood sub floor: 1<sup>st</sup>-2<sup>nd</sup> & roof 8d spiral threaded nails @ 6" oc  
 edges 12" field PL400 construction adhesive  
 or equal required at all plywood to joist locations.

DATE: 18 JAN 2016  
 SCALE: 1/2" = 1'-0"  
 DWN: E.H. Yeomans  
 PLAN: 3365-16

PROPOSED RESIDENCE  
 470-472 JAMAICA WAY  
 JAMAICA PLAIN, MA





**PROPOSED PLANT LIST**

**Trees:**

1	CA	Cedrus atlantica 'Glauca'	Atlas Blue Cedar	8-10' ht.	B&B
1	CK	Cornus 'Celestial'	Rutgers Dogwood	2-2.5" cal.	B&B
1	TO	Thuja occidentalis Smaragd	Emerald Green Arborvitea	6-7' ht.	B&B

**Shrubs:**

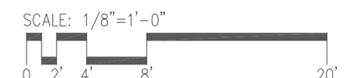
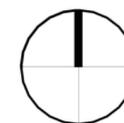
3	AZC	Azalea 'Girard Crimson'	Crimson Evergreen Azalea	#3	Pot
1	AP	Aesculus parviflora	Bottlebrush Buckeye	36" ht.	B&B
3	HA	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3 yr.	Pots
5	RC	Rhododendron 'Roseum Superbum'	Dusty Pink Rhodo	3-3.5'	B&B
3	SB	Spiraea bumalda 'Anth. Waterer'	Anth. Waterer Spiraea	24"	Pot
4	SP	Syringa x meyeri 'Palibin'	Meyer Lilac	30-36"	B&B
1	SV	Syringa vulgaris	Common Lilac	36" ht.	Pot
11	VC	Vaccinium corymbosum	Blueberry hybrids (2-3 varieties)	36" ht.	Pots

**Perennials:**

25	AJ	Ajuga reptans 'Burgandy Glow' or 'Catlins Giant'		1 qt.
8	AM	Achimillea 'Moonshine'	Yarrow	2 gal.
5	EP	Echinacea purpurea Kim's Kneehigh	Purple Coneflower	2 gal.
8	GM	Geranium macro. 'Bevan's Variety'	Bevan's Geranium	2 gal.
5	NW	Nepeta 'Walkers Low'	Cat mint	1 gal.
5	DP	Dennstaedtia punctilobia	Hay-scented Fern	1 gal.

**PLANTING NOTES**

- All plant material shall be approved by the Landscape Architect prior to arrival on the site.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.
- No substitution of plant species will be allowed without the written approval of the Landscape Architect. Any proposed substitutions of plant species shall be a plant of equivalent overall form, height and branching habit, flower, leaf and fruit, color and time of bloom.
- The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
- All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
- No planting shall be installed before acceptance of rough grading of topsoil.
- The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3' greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
- The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.
- All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
- 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
- All beds as shown on the drawings shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
- All planting to be done under the full time supervision of a certified arborist, nurseryman or licensed Landscape Architect.
- All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.
- Contractor shall provide one year guarantee for all plant materials.
- Adjust sprinklers to cover all new plantings and existing shrub materials. Use riser pipes attached to oak stakes to spray above height of perennials. Remove riser pipes and Oak stakes at winterization. Reinstall in spring when system is turned on and adjusted.







Artemisia ludoviciana



Stachys byzantina



Monarda Bee Balm



Veronica peduncularis



Salvia 'May Night'



Salvia nemorosa



Blue Lavender



Liatris spicata



Iris versicolor



Phlox divaricata