

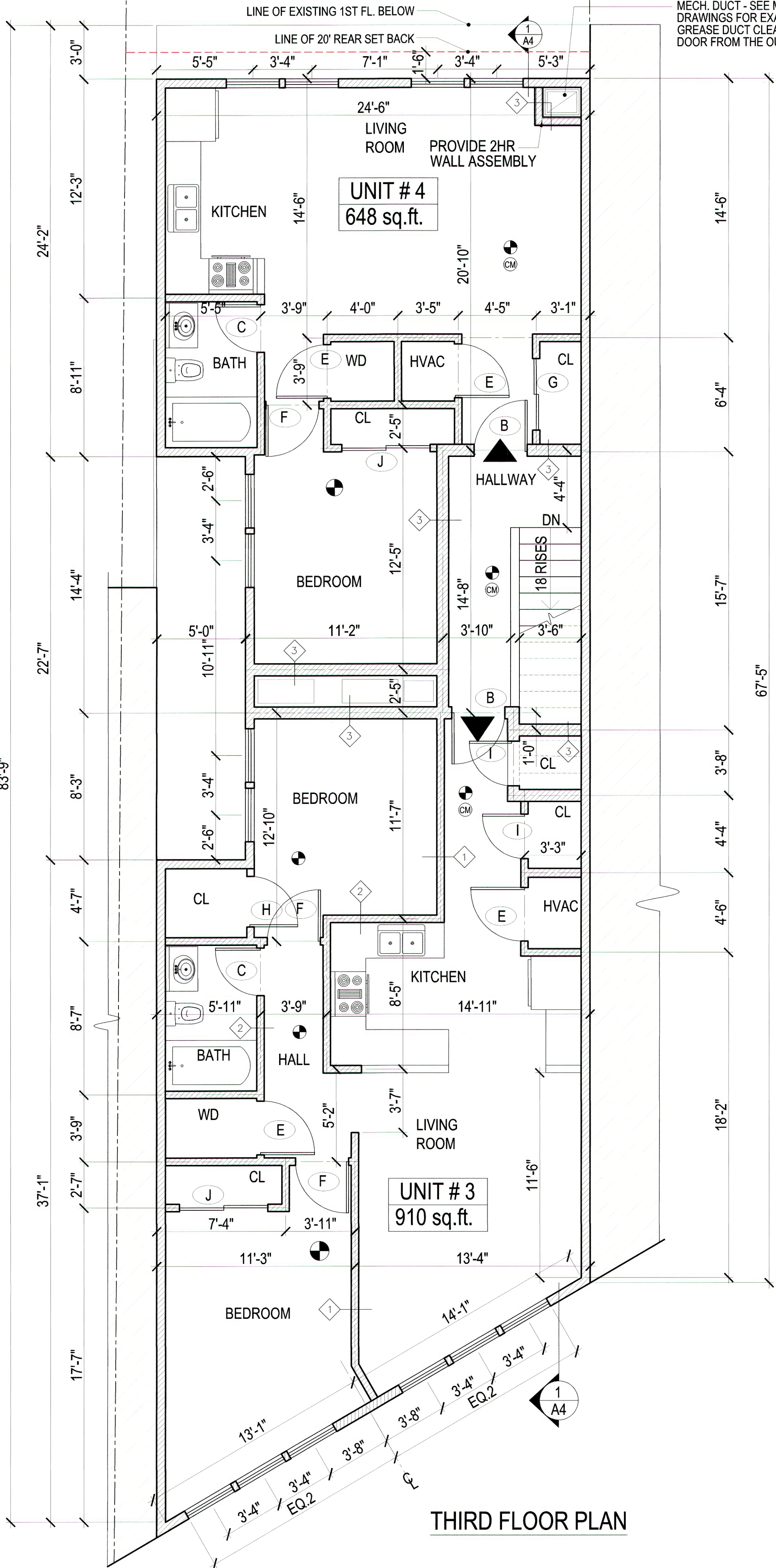
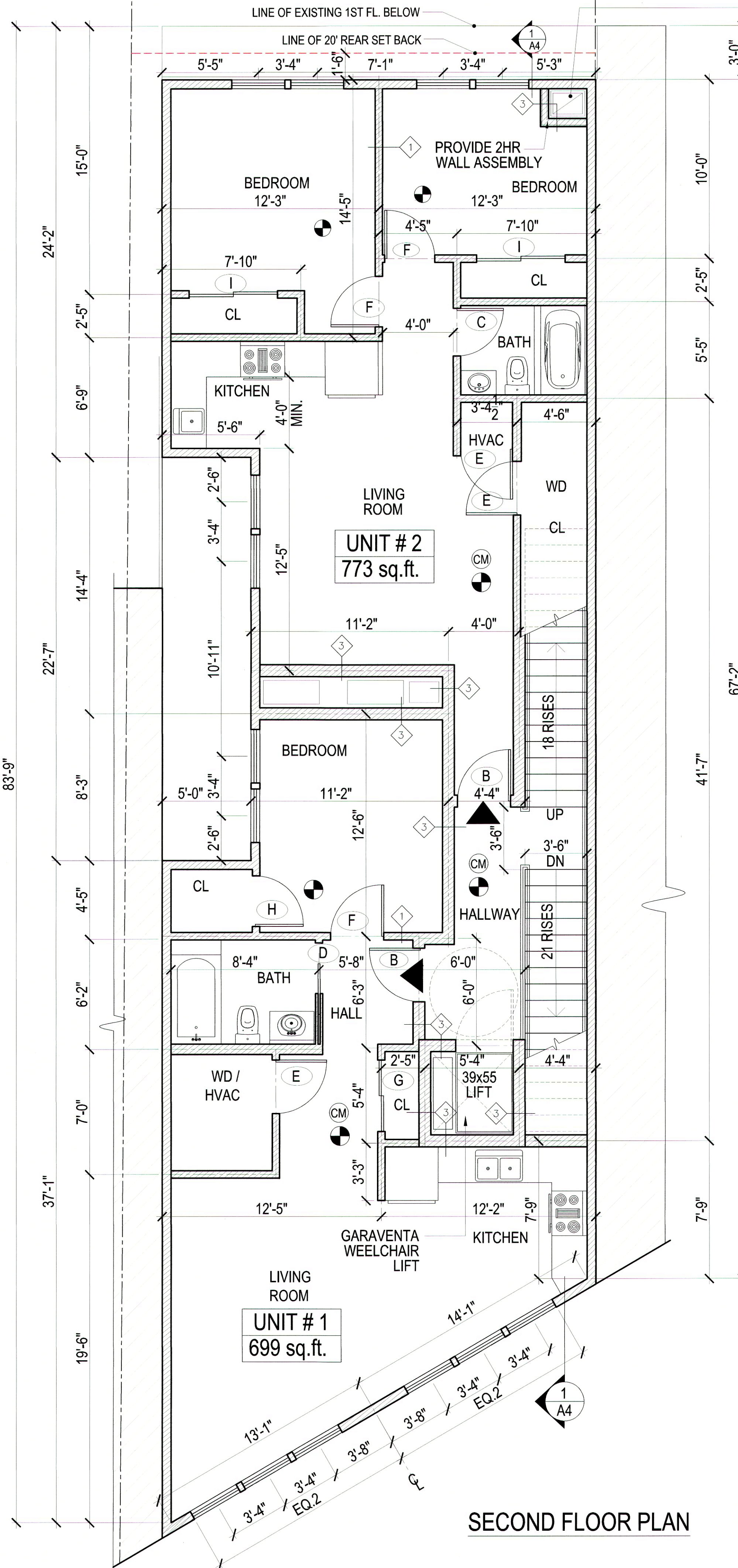
**RCA, LLC**  
 413 Nipmasset Ave.  
 Worcester, Massachusetts 01212  
 Telephone: 617-252-0000  
 Fax: 617-252-1000

**Mathew Griffin**  
 723 Centre Street  
 Jamaica Plain, Ma 02130

PROJECT # 15-055  
 DATE: 6-26-17  
 REV: 6-03-19  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: M.M.  
 CHECKED BY: R.P.B

**PROPOSED FLOOR PLANS**

**A2**

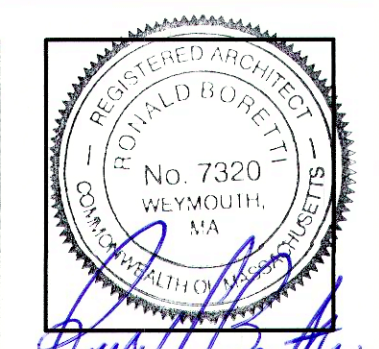


- HANDICAP LIFT REQUIREMENTS :**
1. PROVIDE HANDICAP LIFT MEETING THE REQUIREMENTS AS ASME A17.1 AND ALL STATE AND LOCAL CODES.
  2. HOISTWAY SHALL BE PLUMB WITH NO PROJECTIONS OR LEDGES.
  3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS FOR THE LIFT HOISTWAY. LIFT SHALL BE MODEL GARAVENTA WHEELCHAIR (STRAIGHT THROUGH PLATFORM) LIFT, 750 LB CAPACITY.
  4. THE CAB CLEAR INSIDE DIMENSIONS SHALL BE 39"x55 1/8" (36"x54" MIN. REQUIRED). TRAVEL SPEED SHALL BE 10 FPM.
  5. THE LIFT ACCESS SHALL BE KEY OPERATED. ALL OTHER SECURITY FEATURES AVAILABLE SHALL BE PROVIDED COORDINATE WITH OWNERS BUILDING SECURITY SYSTEM.

- LEGEND**
- EXISTING WALL TO REMAIN
  - EXISTING WALL TO BE REMOVED
  - PROPOSED WALL
  - EXISTING DOOR TO REMAIN
  - EXISTING DOOR TO BE REMOVED
  - PROPOSED DOOR

**GENERAL NOTE:**  
 VERIFY AND CONFIRM ALL CONDITIONS AND/OR DIMENSIONS SHOWN PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS. NOTIFY ARCHITECT OF ANY INCONSISTENCIES FOR REVIEW AND APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION.

REV.	DATE	DESCRIPTION
1	X-XX-XX	XXX



6-3-2018

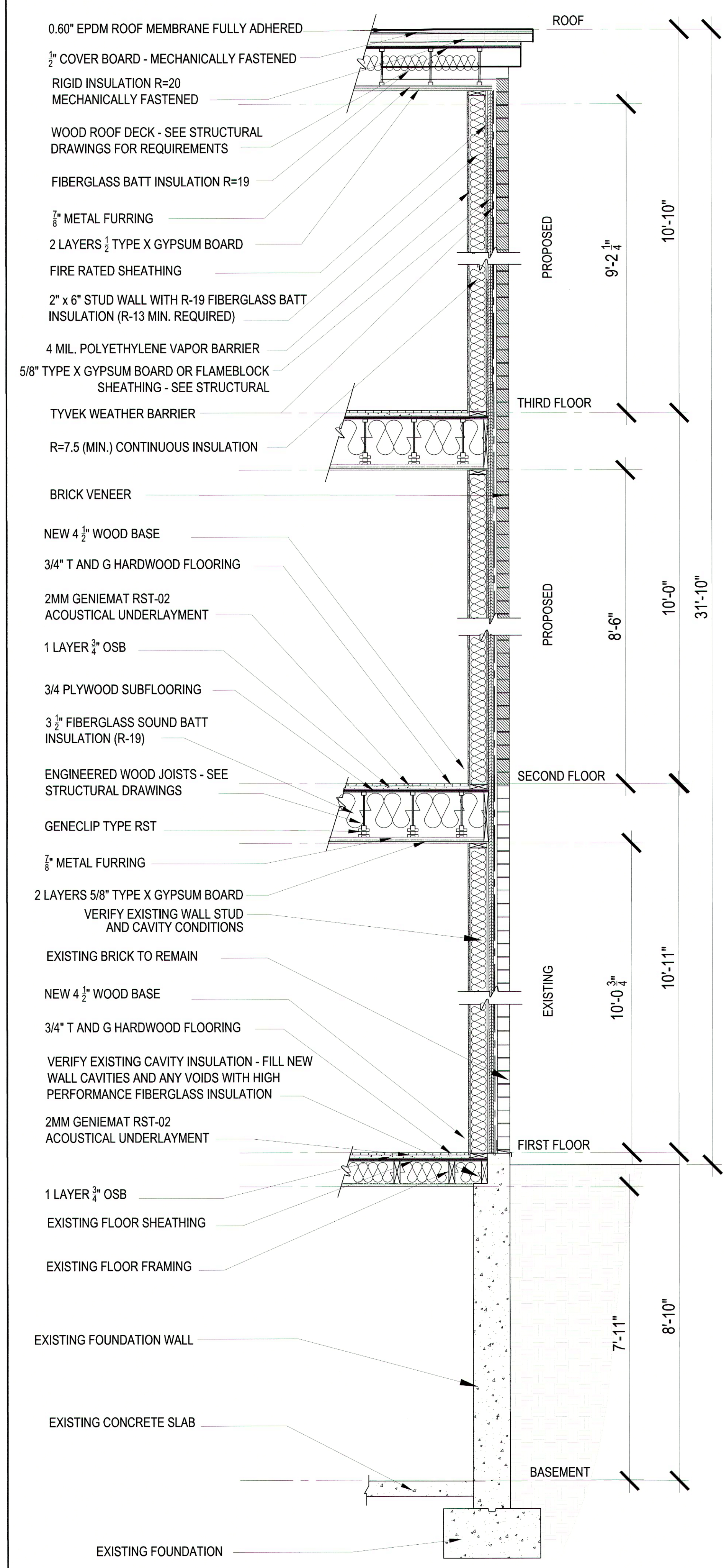
**RCA, LLC**  
 Telephone: 617-282-0030  
 413 Neptune Ave. www.rca-llc.com  
 Dorester, Massachusetts 02122

Mathew Griffin  
 723 Centre Street  
 Jamaica Plain, Ma 02130

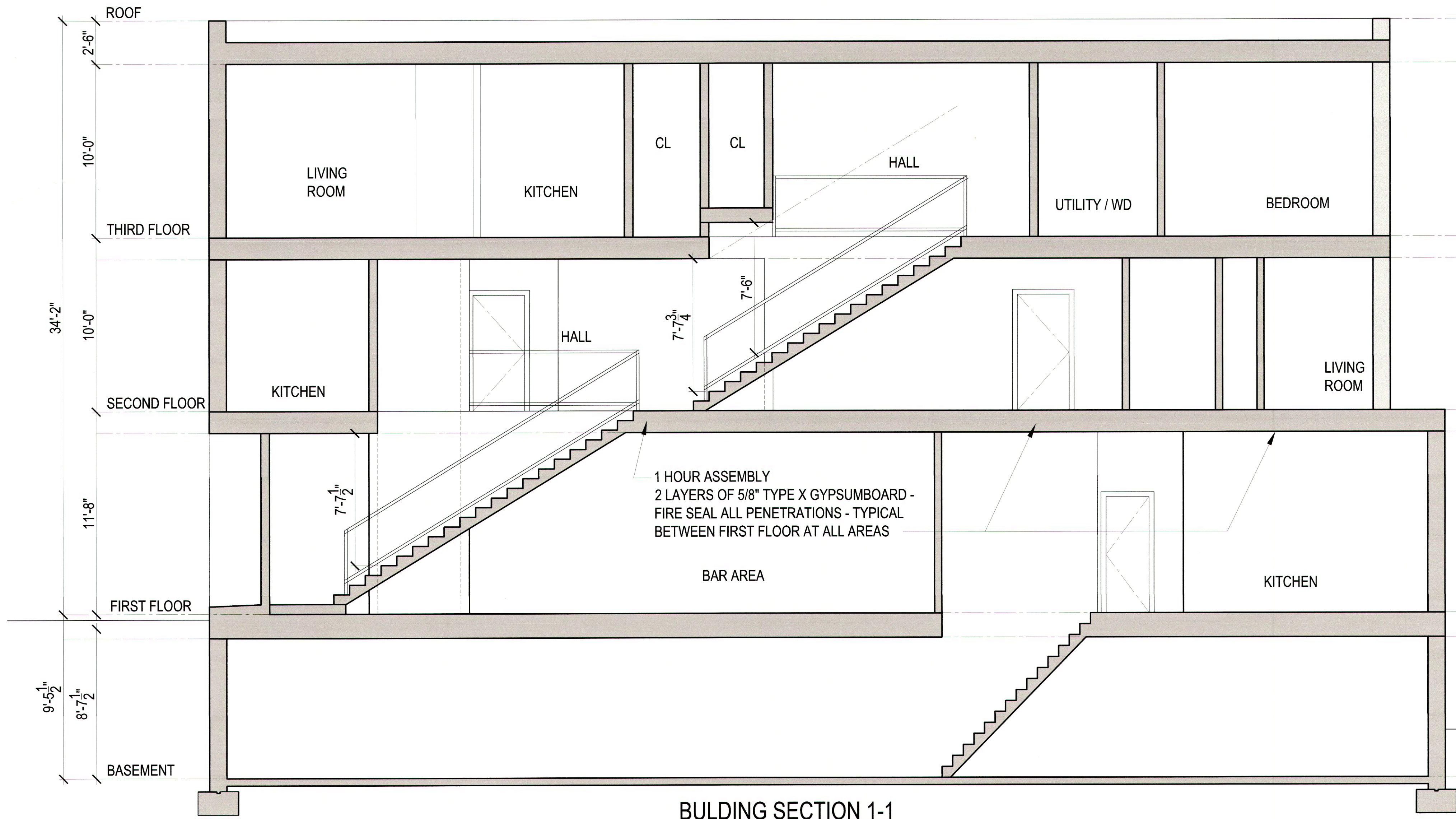
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PROPOSED BUILDING AND  
 WALL SECTION

A3



WALL SECTION  
 1/2" = 1'-0"

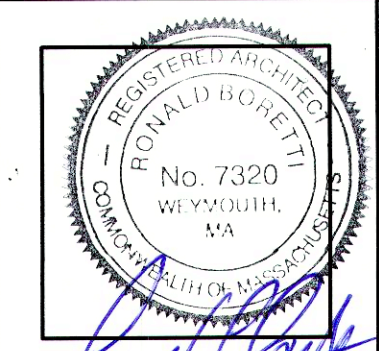


BUILDING SECTION 1-1

NOTE:  
 FILL ANY EXISTING UNINSULATED WALL CAVITIES  
 EXPOSED BY THE CONSTRUCTION WITH HIGH  
 PERFORMANCE FIBERGLASS BATT INSULATION

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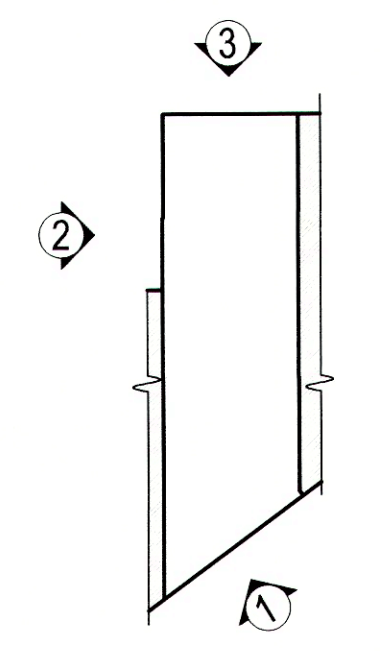
**RCA, LLC**  
 415 Neponset Ave.  
 Dorchester, Massachusetts 02122  
 Telephone: 617-282-0030  
 Fax: 617-282-1080

Mathew Griffin  
 723 Centre Street  
 Jamaica Plain, Ma 02130

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R.P.B

PROPOSED ELEVATIONS

A4



KEY PLAN

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