

DRAWING LIST

Sheet List		
NO.	SHEET NAME	SHEET DATE
A000	TITLE SHEET	08/21/20
C100	SITE PLAN	08/21/20
A103	PLANS	08/21/20
A201	ELEVATIONS	08/21/20
S103	FRAMING PLAN AND SECTION	08/21/20

BOSTON ZONING REVIEW

8 May Street

DATE: 8/17/2020
ADDRESS: 8 May Street, Jamaica Plain

Zoning District: [Jamaica Plain Neighborhood - Article 55](#)
Zoning SubDistrict: [1F-9000 \[1\]](#)
Neighborhood Design Overlay?
Parks and Rec. Agency?

HABITABLE SPACE	EXISTING	CHANGE	PROPOSED
Basement	0 SF	0 SF	0 SF
First Floor	1,211 SF	0 SF	1,211 SF
Second Floor	1,020 SF	0 SF	1,020 SF
Third Floor	149 SF	280 SF	429 SF
	2,380 SF	0 SF	2,660 SF

ACCESSORS REPORT SHOWS LIVING AREA AS 2586SF

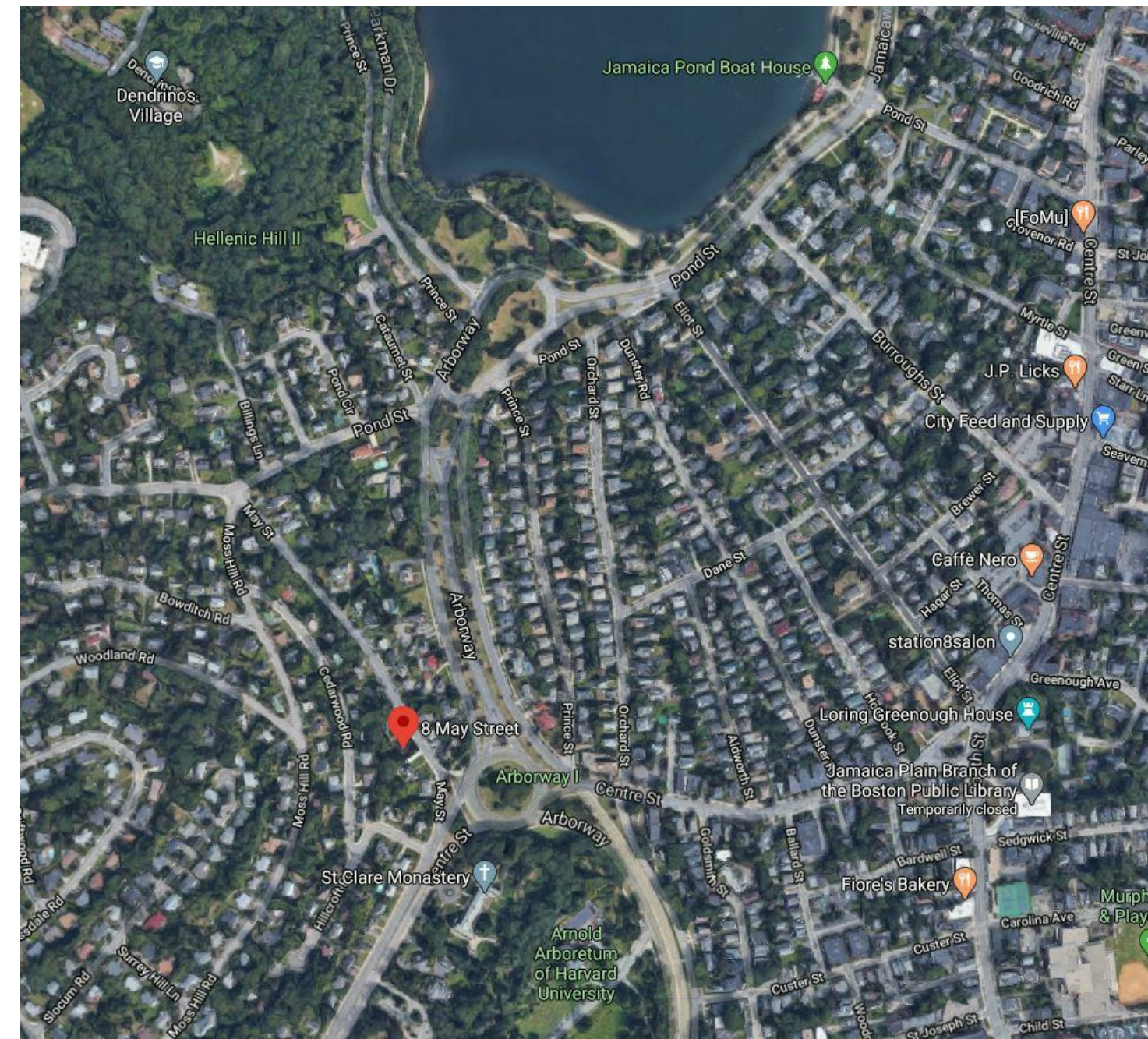
OPEN SPACE	EXISTING	CHANGE	PROPOSED
Lot Size	9,247 SF	0 SF	9,247 SF
Building Footprint	1,211 SF	0 SF	1,211 SF
Paved Parking Area	576 SF	0 SF	576 SF
Accessory Building Footprint	1,274 SF	0 SF	1,274 SF
	6,186 SF	0 SF	6,186 SF

	REQUIRED	EXISTING	PROPOSED	CONFORMANCE
LOT AREA, MIN.	9,000 SF	9,247 SF	9,247 SF	CONFORMING
LOT WIDTH	70 FT	90 FT	90 FT	CONFORMING
FRONTAGE	70 FT	90 FT	90 FT	CONFORMING
HABITABLE AREA	2,380 SF	2,660 SF	2,660 SF	CONFORMING
FAR	0.3	0.26	0.29	CONFORMING
BUILDING HEIGHT [2]	35 FT	30.5 FT	30.5 FT	CONFORMING
STORIES	2.5	2.5	2.5	CONFORMING
OPEN SPACE [3]	2,000 SF	6,186 SF	6,186 SF	CONFORMING
SETBACK FRONT [4]	20 FT	28.2 FT	28.2 FT	CONFORMING
SETBACK SIDE [5]	10 FT	8.9 FT	8.9 FT	EXISTING NON CONFORMING
	10 FT	28.8 FT	28.8 FT	CONFORMING
SETBACK REAR	40 FT	47.6 FT	47.6 FT	CONFORMING
REAR YARD MAXIMUM OCCUPANCY BY ACCESSORY BUILDINGS	25%	0.00%	0.00%	CONFORMING

ATTIC RENOVATION

ADD NEW 3RD FLOOR MASTER BEDROOM AND BATHROOM

8 MAY STREET, BOSTON MA



ADD NEW 3RD FLOOR MASTER BEDROOM AND BATHROOM

IECC/MA STRETCH ENERGY CODE COMPLIANCE REPORT

THIS PROJECT MEETS THE REQUIREMENTS OF 780 CMR 51:00 MASSACHUSETTS RESIDENTIAL CODE, 2015 IRC WITH MASS. AMENDMENTS, 2015.

ENERGY REQUIREMENTS:
APPENDIX AA: STRETCH ENERGY CODE
IECC 2015 WITH MASS. AMENDMENTS 780 CMR 115.AA MASS ENERGY STRETCH CODE METHODOLOGY

ADDITION COMPLIES WITH IECC 2015 SECTION R501, AND R502, ADDITIONS

SUBSECTION R402.1
PRESCRIPTIVE OPTION FOR RESIDENTIAL

CLIMATE ZONE 5
PROJECT MEETS THE FOLLOWING REQUIREMENTS FROM TABLE 402.1.2:

WOOD FRAME WALL R-VALUE MINIMUM = R-20
ROOF/CEILING INSULATION MINIMUM = R-49
FLOOR R-VALUE MINIMUM = R-30
FENESTRATION U FACTOR = .32, SKYLIGHT U FACTOR .55



OWNER:
TOM SOWLES

ARCHITECT:
HELIOS DESIGN GROUP INC.
116 ST. BOTOLPH STREET
BOSTON, MA

GENERAL CONTRACTOR:
TOM SOWLES

PHASE:
CONSTRUCTION

SET DATE:
12/20/20

REVISIONS:		
NO.	DATE	REVISION DESCRIPTION

ATTIC RENOVATION

8 MAY STREET, BOSTON MA

OWNER:

TOM SOWLES

PHASE:

CONSTRUCTION

DRAWING TITLE:

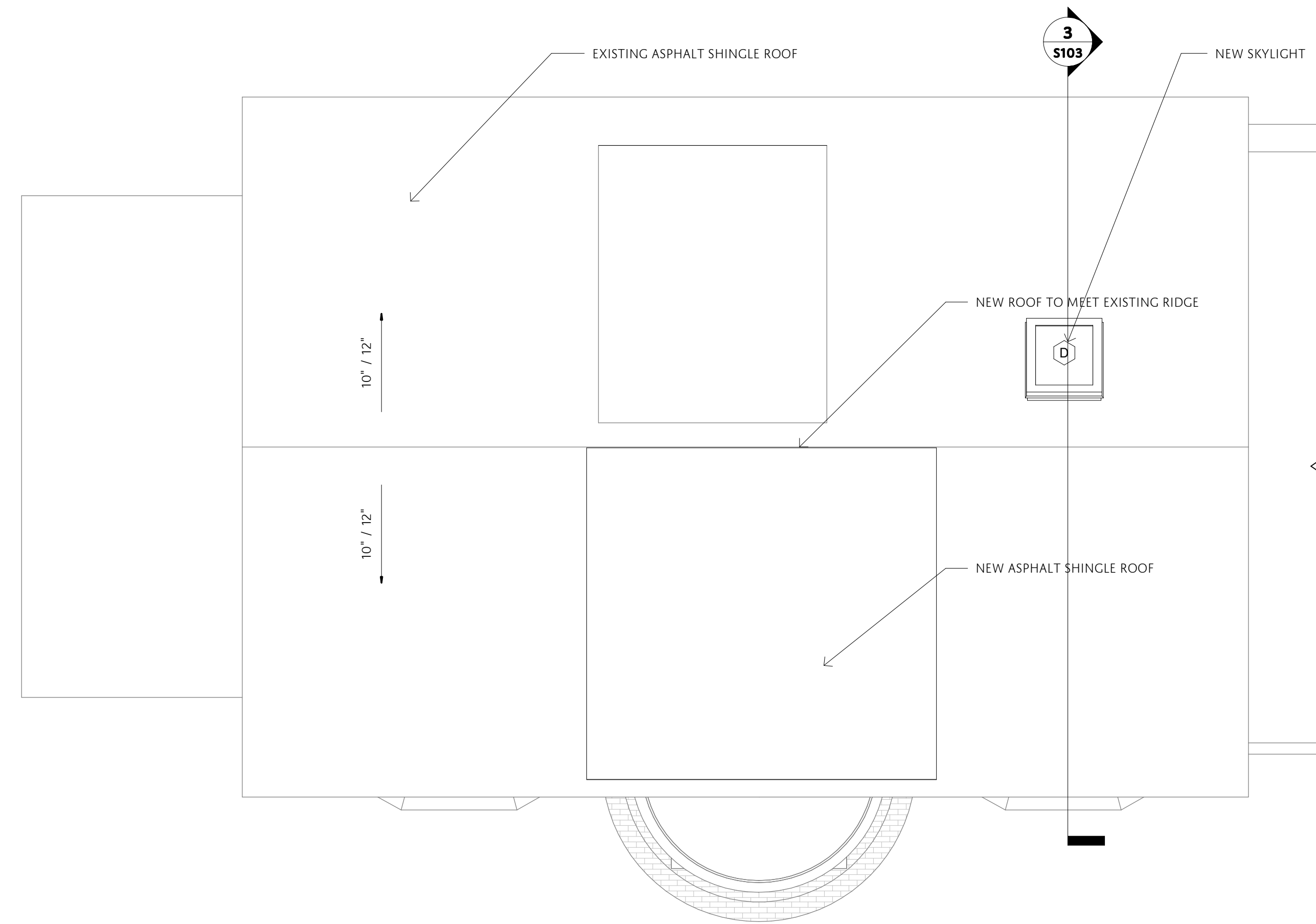
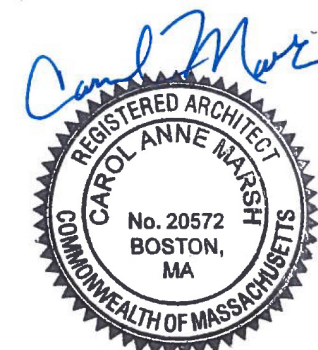
PLANS

SCALE: 1/4" = 1'-0"

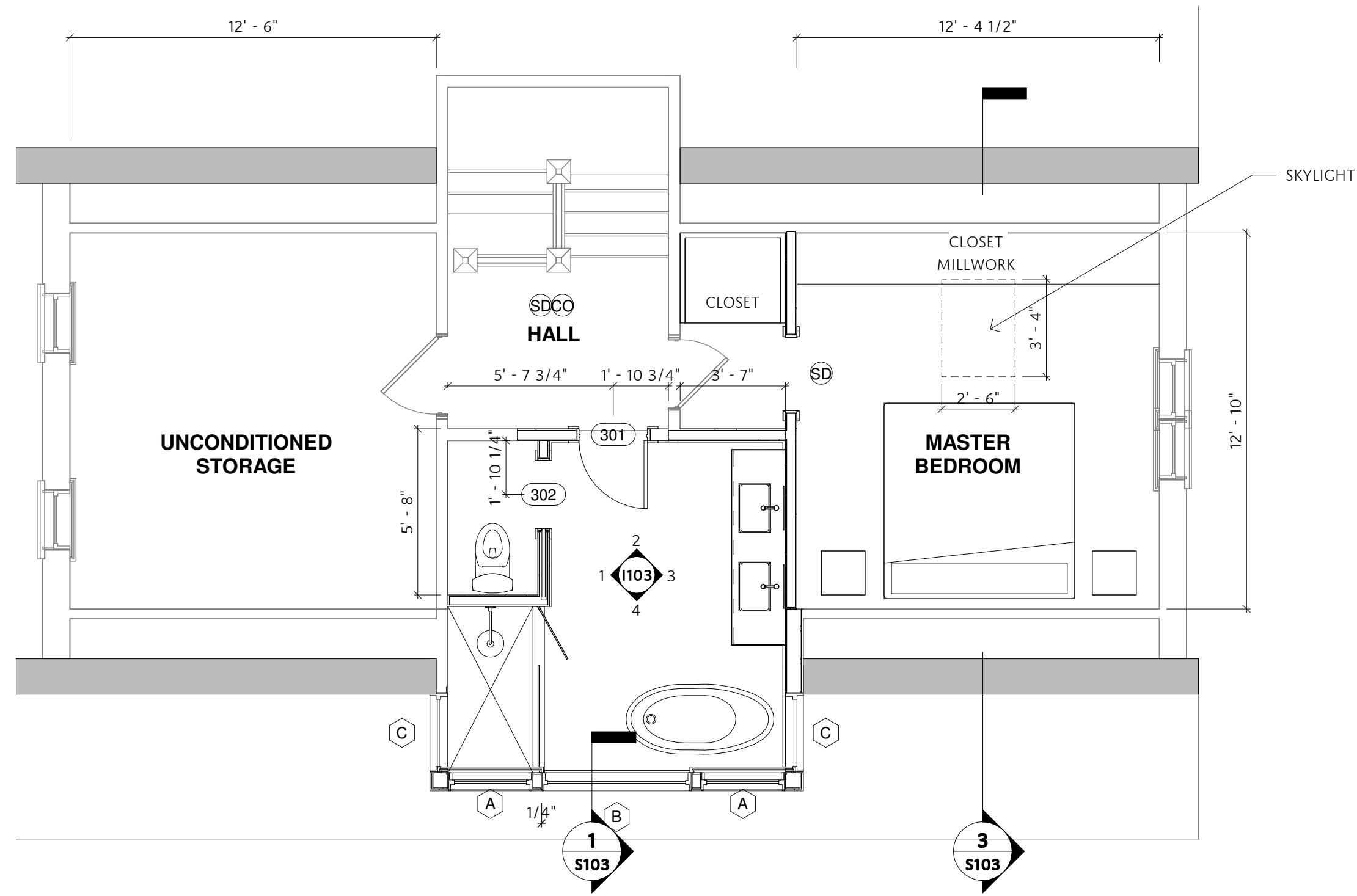
SHEET DATE: 08/21/20 | SET DATE: 12/20/20

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A103

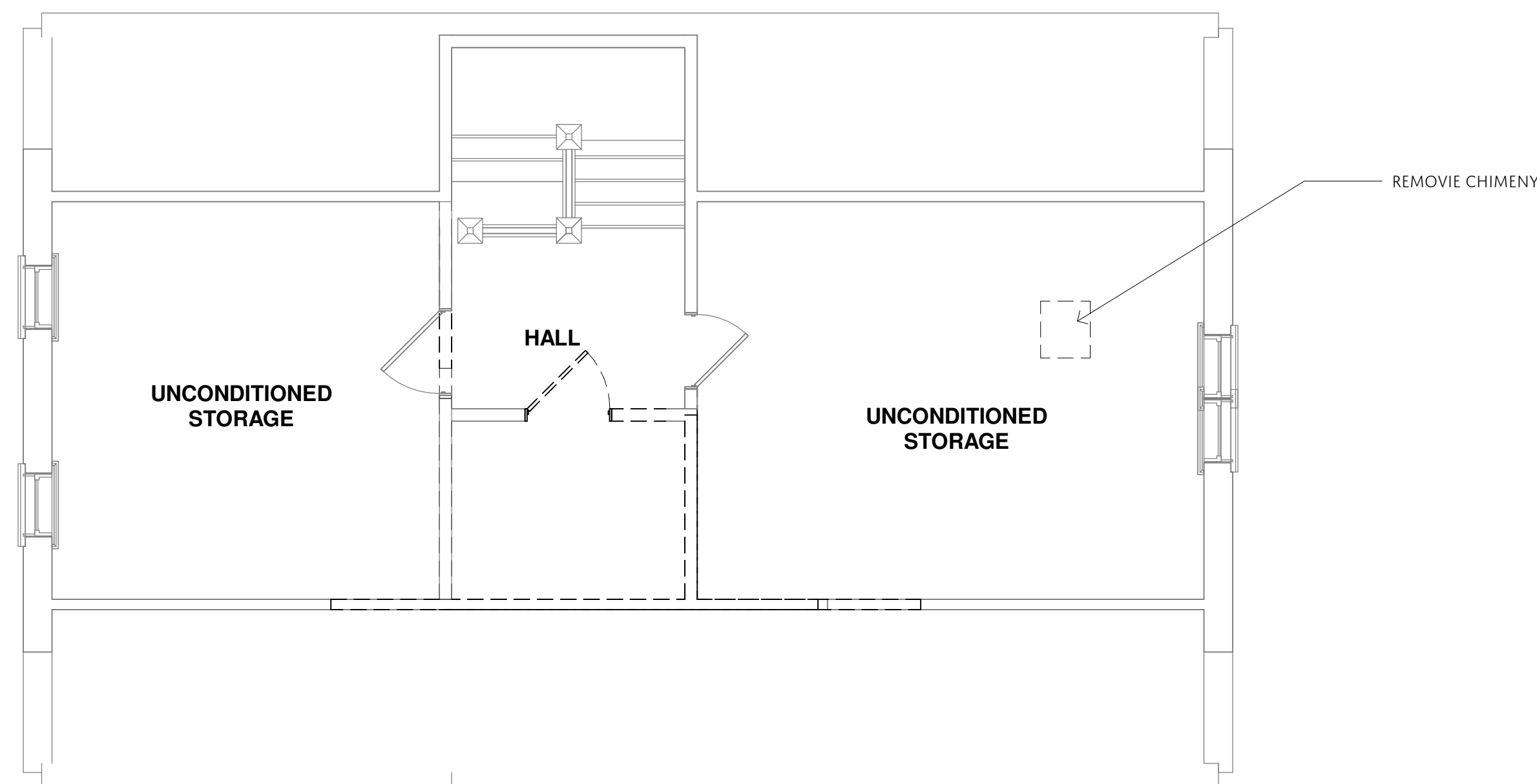


2 ROOF
1/4" = 1'-0"



1 ATTIC
1/4" = 1'-0"

SD SMOKE DETECTOR
CO CARBON MONOXIDE DETECTOR



4 ATTIC DEMOLITION
1/4" = 1'-0"

HELIOS

179 BOYLSTON STREET, JAMAICA PLAIN, MA 02130

REVISIONS:		
NO.	DATE	REVISION DESCRIPTION

ATTIC RENOVATION

8 MAY STREET, BOSTON MA

OWNER:

TOM SOWLES

PHASE:

CONSTRUCTION

DRAWING TITLE:

ELEVATIONS

SCALE: 1/4" = 1'-0"

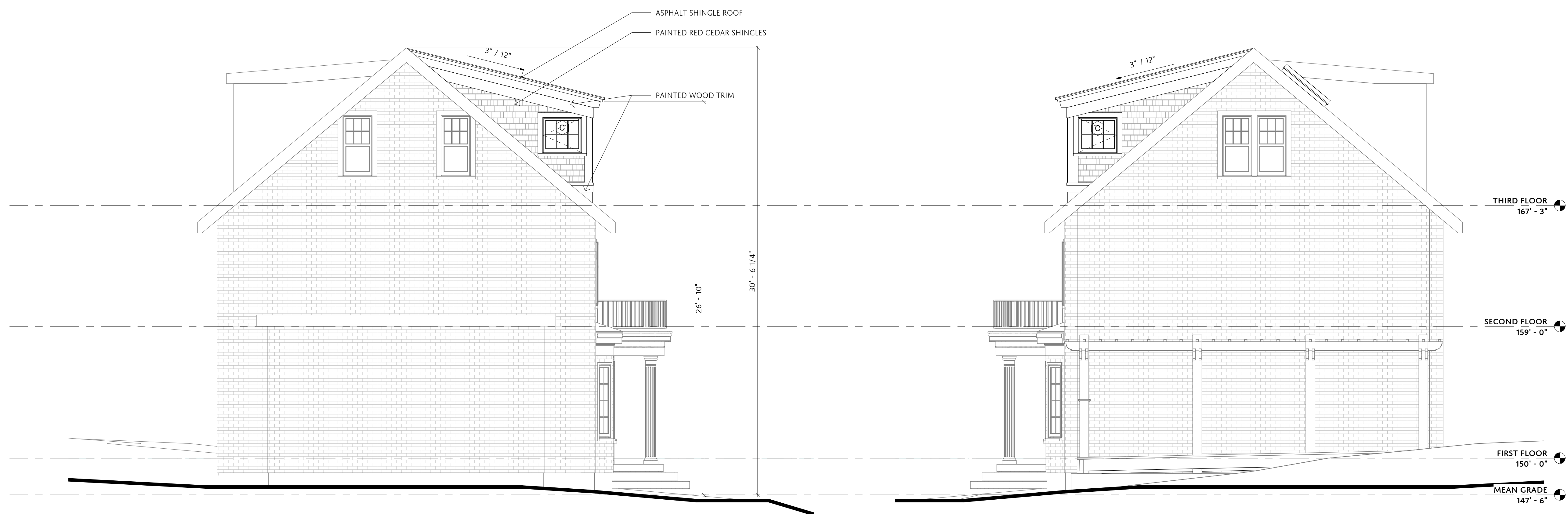
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A201



1 NORTH EAST ELEVATION
1/4" = 1'-0"



2 NORTH WEST ELEVATION
1/4" = 1'-0"

3 SOUTH WEST ELEVATION
1/4" = 1'-0"

REVISIONS:	
NO.	REVISION DESCRIPTION

ATTIC RENOVATION

8 MAY STREET, BOSTON MA

OWNER:
TOM SOWLES

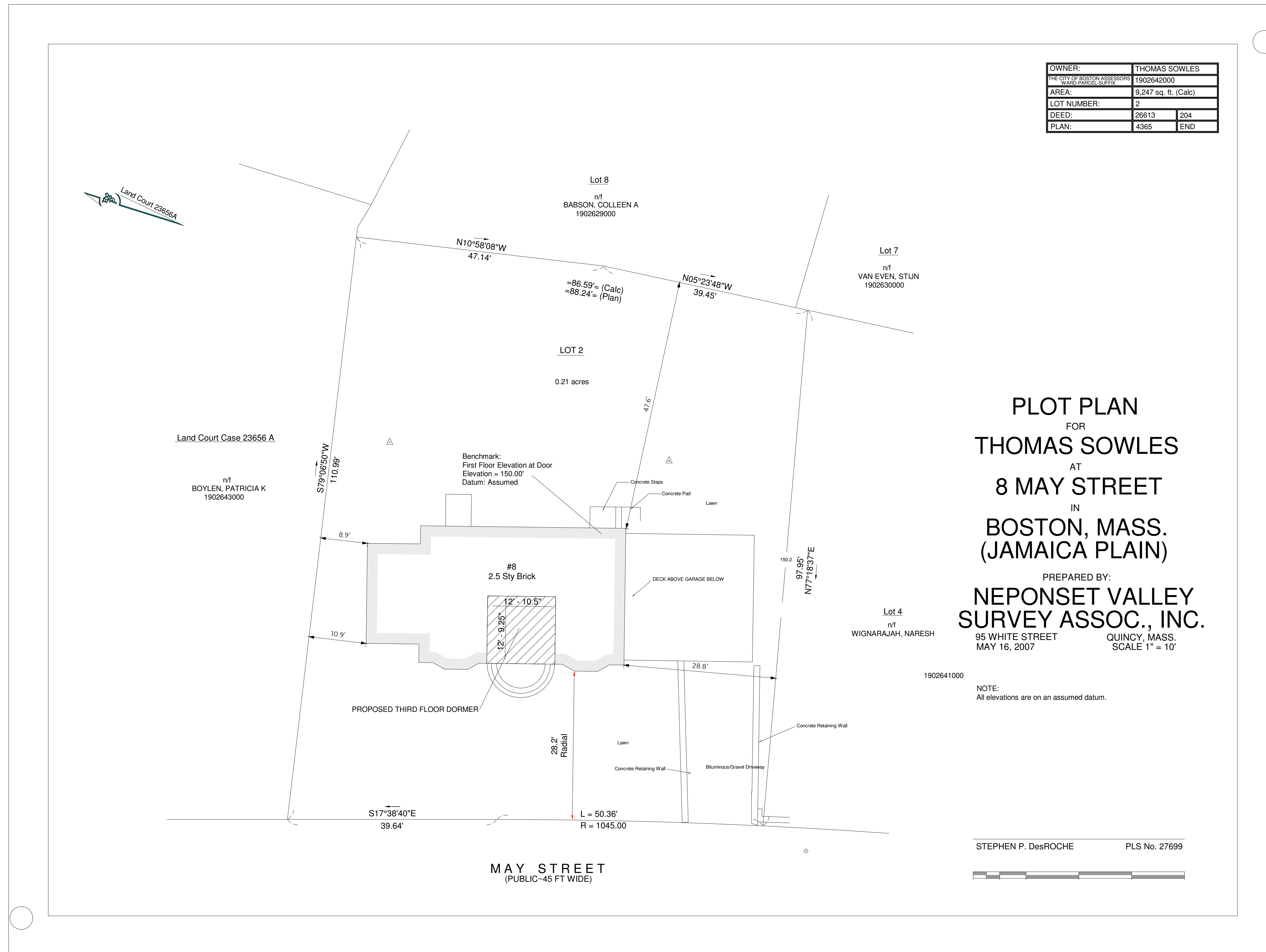
PHASE:
CONSTRUCTION

DRAWING TITLE:
SITE PLAN

SCALE: 1" = 10'-0"
SHEET DATE: 08/21/20 SET DATE: 12/20/20
SHEET NUMBER:

C100

OWNER:	THOMAS SOWLES
THE CITY OF BOSTON ASSESSORS PARCELS SYSTEM:	1902642000
AREA:	9,247 sq. ft. (Calc)
LOT NUMBER:	2
DEED:	26613 204
PLAN:	4365 END



PLOT PLAN
FOR
THOMAS SOWLES
AT
8 MAY STREET
IN
BOSTON, MASS.
(JAMAICA PLAIN)

PREPARED BY:
NEPONSET VALLEY
SURVEY ASSOC., INC.
95 WHITE STREET QUINCY, MASS.
MAY 16, 2007 SCALE 1" = 10'

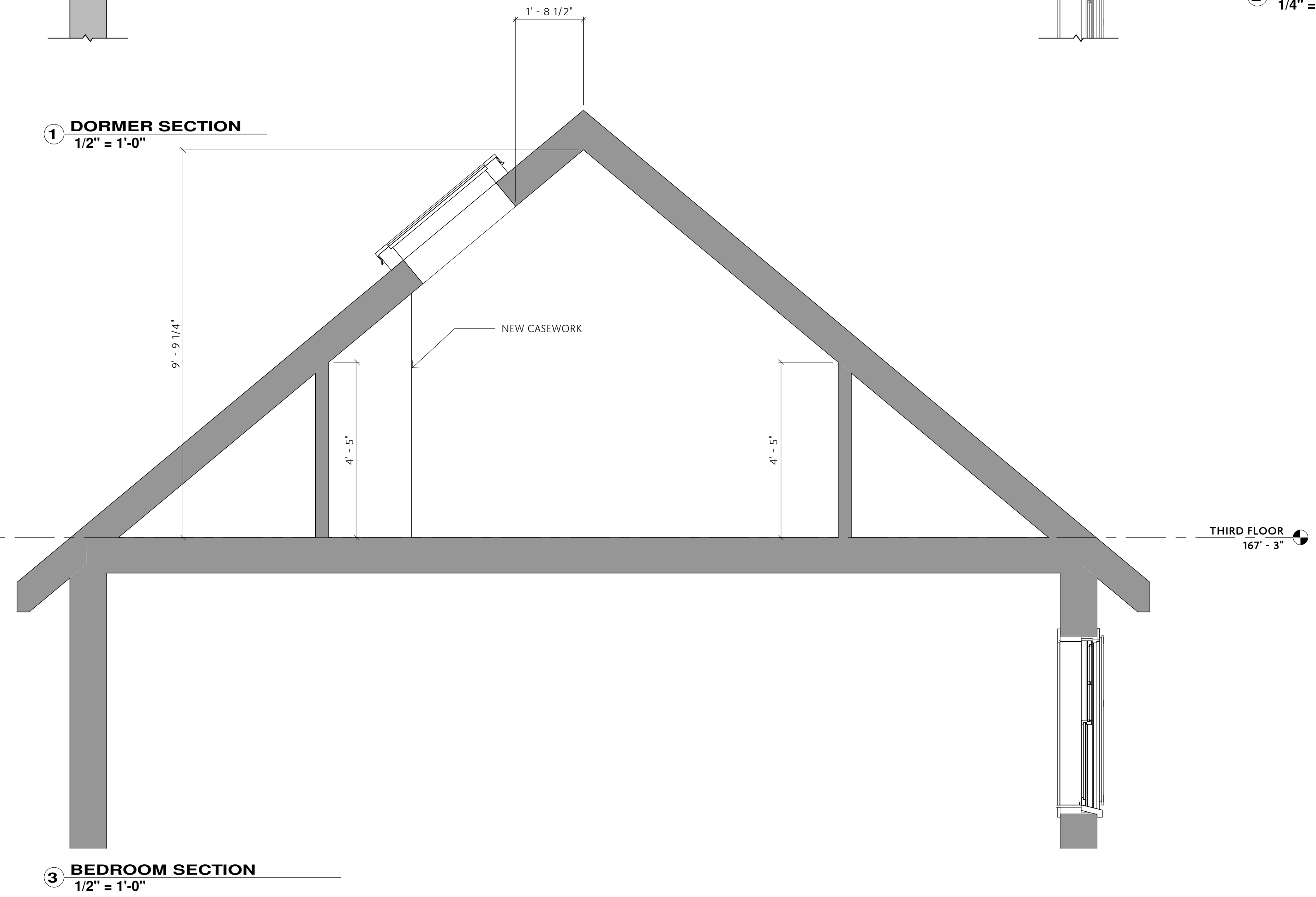
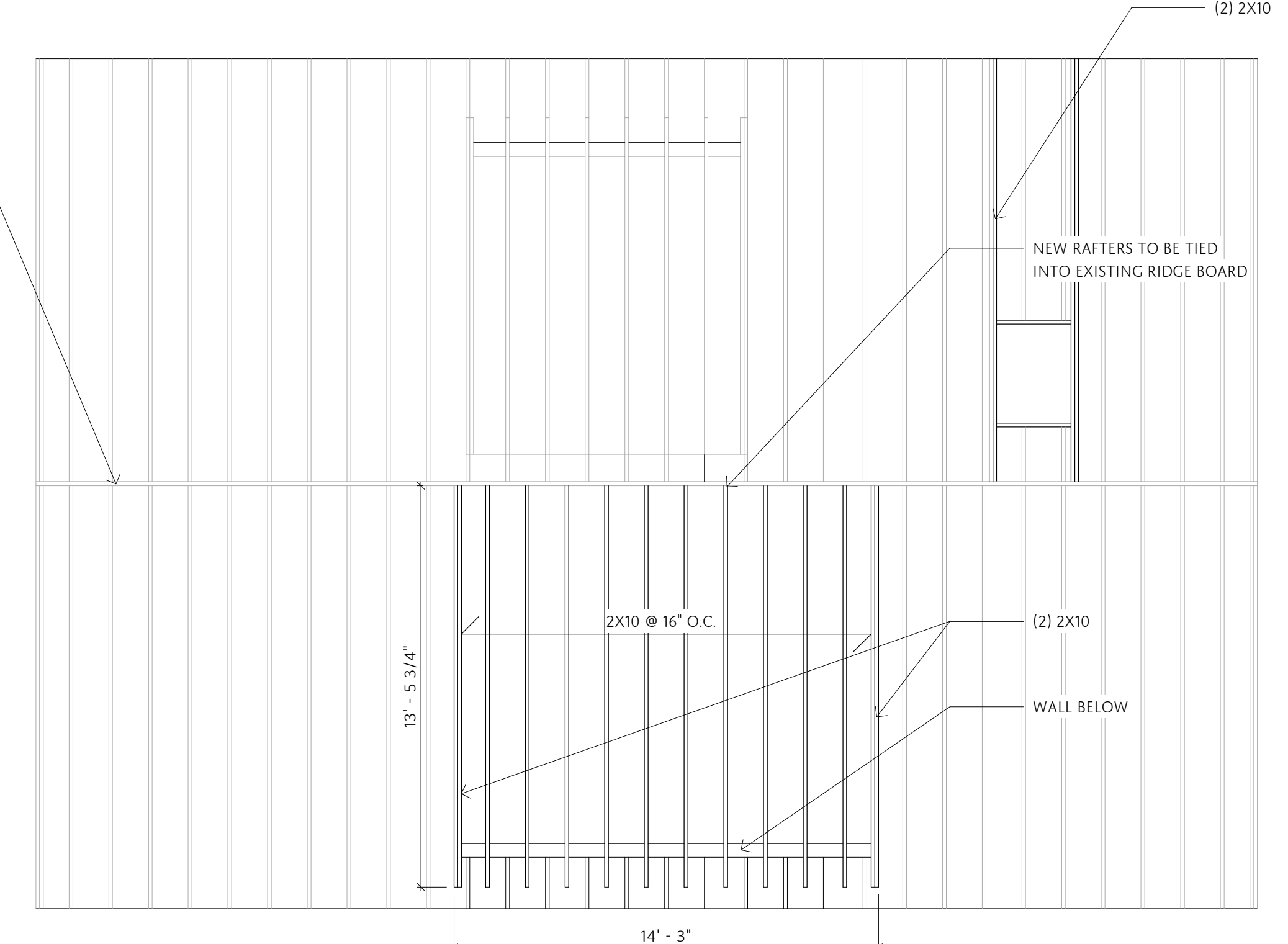
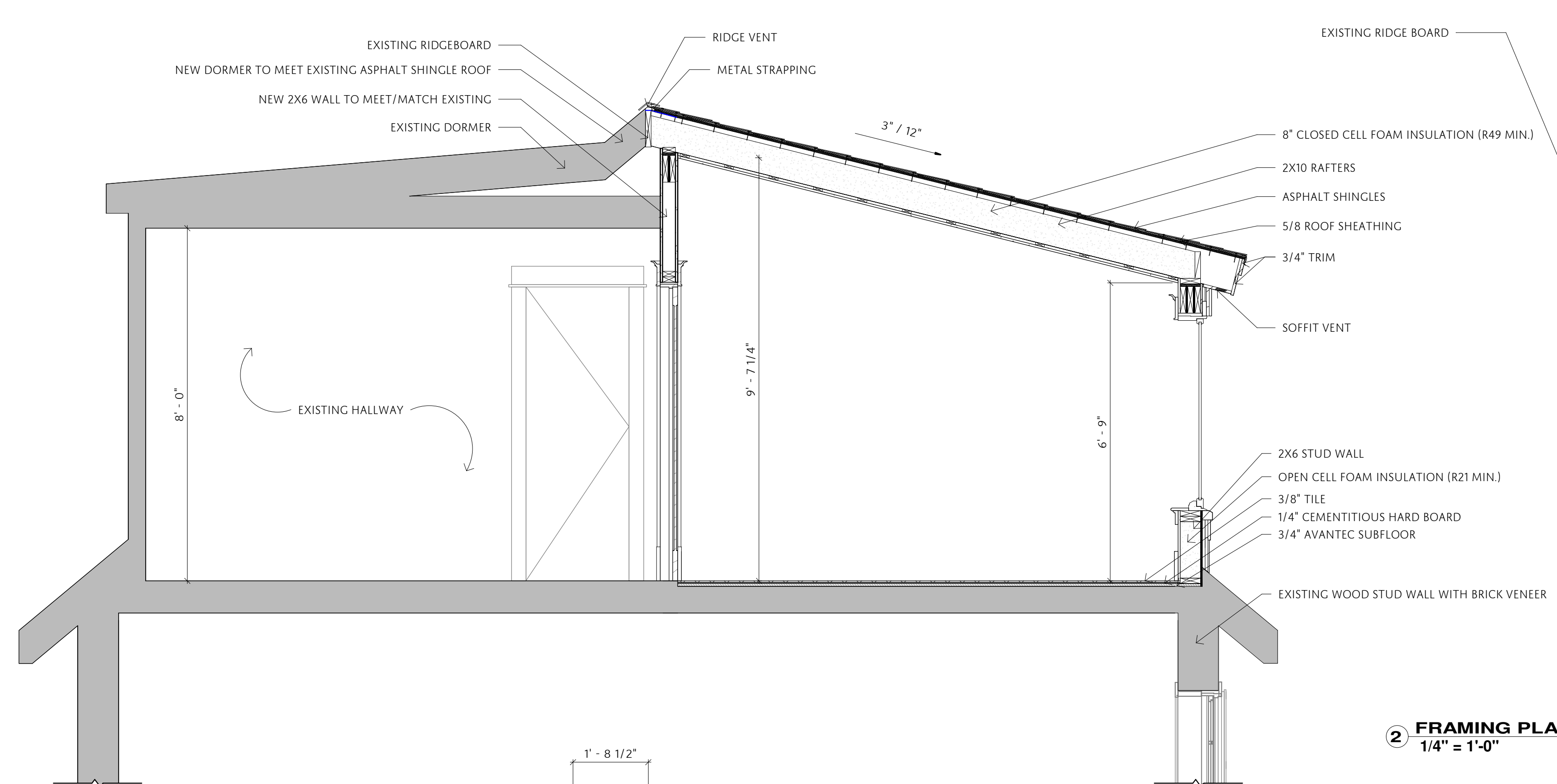
NOTE:
All elevations are on an assumed datum.

STEPHEN P. DesROCHE PLS No. 27699



1 SITE PLAN
1" = 10'-0"

REVISIONS:		
NO.	DATE	REVISION DESCRIPTION



ATTIC RENOVATION

8 MAY STREET, BOSTON MA

OWNER:

TOM SOWLES

PHASE:

CONSTRUCTION

DRAWING TITLE:

FRAMING PLAN AND SECTION

SCALE: AS INDICATED

SHEET DATE: 08/21/20 SET DATE: 12/20/20

SHEET NUMBER:

S103

