

November 18, 2011

Dear Abutters:

Re: **49 Louders Lane**

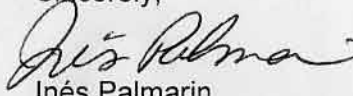
This letter is to inform you that the Boston Redevelopment Authority (BRA) has received an application for Design Review for 49 Louders Lane. While this project is not seeking zoning relief, it does require Design Review by the Authority due to the requirements of the Jamaica Plain Neighborhood Design Overlay District (NDOD). This notice is pursuant to the Article 80, Section E-5, requiring that the Authority notify your neighborhood council/neighborhood group of the application for Small Project Review.

The owner of address 49 Louders Lane has a valid building permit to construct a single family home as per plans on file at Inspectional Services Department. The owner is proposing changes to the permitted plans that meet the qualifications for NDOD review by the BRA. The BRA Urban Design staff is reviewing the proposed project to insure that it is consistent with the architectural/ historic character of the building and neighborhood.

The Jamaica Hills Neighborhood Association and the Mayor's Office of Neighborhood Services will be sponsoring a community meeting to discuss the project on **November 28, 2011 at 7pm** at The Springhouse "Card Room" (1st floor), located at 44 Allandale Street, Jamaica Plain. Due to the holiday we are extending the comment period one week. All Comments are due by **Tuesday, December 6, 2011 by 5:00pm.**

I can be reached at 617-918-4434, Ines.Palmarin.BRA@cityofboston.gov Plans are available for viewing at the Boston Redevelopment Authority, 1 City Hall Square, Boston, MA 02201 and can also be view at our BRA website www.bostonredevelopmentauthority.org.

Sincerely,



Inés Palmarin
Senior Planner II

Cc:

Julianne Doherty, Mayor's Office of Neighborhood Services (ONS)
Dave Barron & Red Burrow, JPNC Zoning Committee
Maria Morelli, Jamaica Hills Neighborhood Association
Michael Cannizzo, BRA Senior Architect/Urban Designer
Nehemiah Jayne, njayne@bojconstruction.com Owner Project Manager



Thomas M. Menino
Mayor

**Boston Inspectional Services Department
Planning and Zoning Division**

1010 Massachusetts Avenue Boston, MA 02118 Telephone: (617) 635-5300

Gary P. Moccia
Inspector of Buildings

RE: 49 Louders Ln

WARD: 19

REF. APPLICATION NO.: **A93378**

PLAN REVIEWER:

PHONE: :

MARCEL MASSE
53 MAIN ST.
PLYMOUTH, MA 02360

The following information is needed to enable the review process to be completed on the above application for permit. Please mail or drop off all requested information to **1010 Massachusetts Ave., 5th Floor, Counter 2, between 8AM and 4PM.** Providing all requested information will expedite the review process. Always refer to your application number when discussing this permit application.

1. Two sets of plans to scale showing all architectural, structural, electrical, mechanical and fire protection work are required, stamped & signed by a Massachusetts Registered Architect ("A.I.A.") or Engineer ("P.E.").
2. Two set of floor plans to scale are required, stamped & signed by a Mass. A.I.A. or P.E. Please label all rooms, indicate all doors and windows, provide ceiling height.
 Two sets of foundation and framing plans with sizes and dimensions, stamped and signed by a Mass. A.I.A. or P.E.
3. The following approvals are required from: Landmarks, Parks & Recreation, Public Works, Lodging House Removal Permit (Rental Housing Resource) Boston Water & Sewer, Health Department, Mayor's Office of Neighborhood Services, Community Sanitation, Demo List.
4. Before your permit can be issued: A licensed Builder's information & signature are required (must be in person), A 1&2 family homeowner's affidavit is required (available at 1010 Mass. Ave.).
5. Two sets of plans showing all fire protection work are required, stamped & signed by a Massachusetts registered installer or engineer. Include: sprinkler plans including piping, hydraulic calculations, hydrant flow test less than 1 year old, sprinkler system narrative per 7890 CMR 901, fire alarm plans per 780 CMR 907 & 908.
6. Provide building elevation showing street frontage, existing signage, proposed signage, sign dimensions and location of sign on building facade.
7. Two copies of your plot plan/mortgage survey plan are required, certified by a Massachusetts Registered Land Surveyor. Please indicate: All existing structures, All proposed additions/decks/dormers, All proposed/required off-street parking.
8. Design review is required by the Boston Redevelopment Authority due to: Board of Appeal provisio, Requirements of underlying zoning district, Small/Large Project Review (Article 80). Please pick up your plans at the Inspectional Services Department 1010 Mass. Ave. Please call the BRA at 617-722-4300 to schedule an appointment.
9. Please call to set up an appointment to discuss your application.
10. Your permit has been approved. Please provide your application number at Plans Examination, Counter 2 between 8am - 4pm when you arrive.
11. Additional Comments:
This application has had a preliminary review and appears fine at this time for the BRA Design review to begin.



STREET PERSPECTIVE

GUADALUPE RESIDENCE

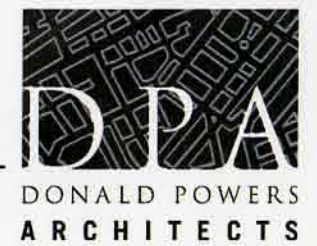
49 LOUDERS LANE

DATE: 07/27/2011

JOB #: 11-2400

SCALE: N/A

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AERIAL PERSPECTIVE

DATE: 07/27/2011

JOB #: 11-2400

SCALE: N/A

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GUADALUPE RESIDENCE

49 LOUDERS LANE



GUADALUPE RESIDENCE

49 LOUDERS LANE
JAMAICA PLAINS, MA

DESIGN REVIEW

06/24/2011

DPA
DONALD POWERS
ARCHITECTS
140 UNION STREET
PROVIDENCE, RI 02903
T 401.272.4724 F 401.272.4825

BOJ
CONSTRUCTION
QUALITY BUILDERS SINCE 1984
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OWNER:
ANTHONY GUADALUPE
53 LOUDERS LANE
JAMAICA PLAINS, MA 02130

ARCHITECT:
DONALD POWERS ARCHITECTS
140 UNION STREET
PROVIDENCE, RI 02903
TEL: 401.272.4724
FAX: 401.272.4825
CONTACT:

CONTRACTOR:
BOJ CONSTRUCTION
53 MAIN STREET
PLYMOUTH, MA 02360
TEL: (617) 877-2144
FAX: (617) 896-0899
CONTACT: Nehemiah Jayne
EMAIL: njayne@bojconstruction.com

STRUCTURAL:
GELINAS STRUCTURAL
ENGINEERING, LLC
579A NORTH END BLVD.
SALISBURY, MA 01952-1738
TEL: (978) 465-6436
FAX: (978) 465-5160

**MECHANICAL,
ELECTRICAL &
PLUMBING**

FIRE PROTECTION:

CIVIL:
FLAHERTY & STEFANI, INC.
67 SAMOSET STREET
PLYMOUTH, MA 02360
TEL: (508) 747-2425

LANDSCAPE:

A001
GUADALUPE RESIDENCE

SHEET LIST	
Sheet Number	Sheet Name
A001	COVER
A100	SITE PLAN
A101	BASEMENT PLAN
A102	FIRST FLOOR PLAN
A103	SECOND FLOOR PLAN
A104	TOWER & ROOF PLANS
A201	SOUTH ELEVATION
A202	WEST ELEVATION
A203	NORTH ELEVATION
A204	EAST ELEVATION
A301	BUILDING SECTION
A302	BUILDING SECTION



PERSPECTIVE

**GUADALUPE
 RESIDENCE**
 49 LOUDERS LANE
 JAMAICA PLAINS, MA

DESIGN REVIEW

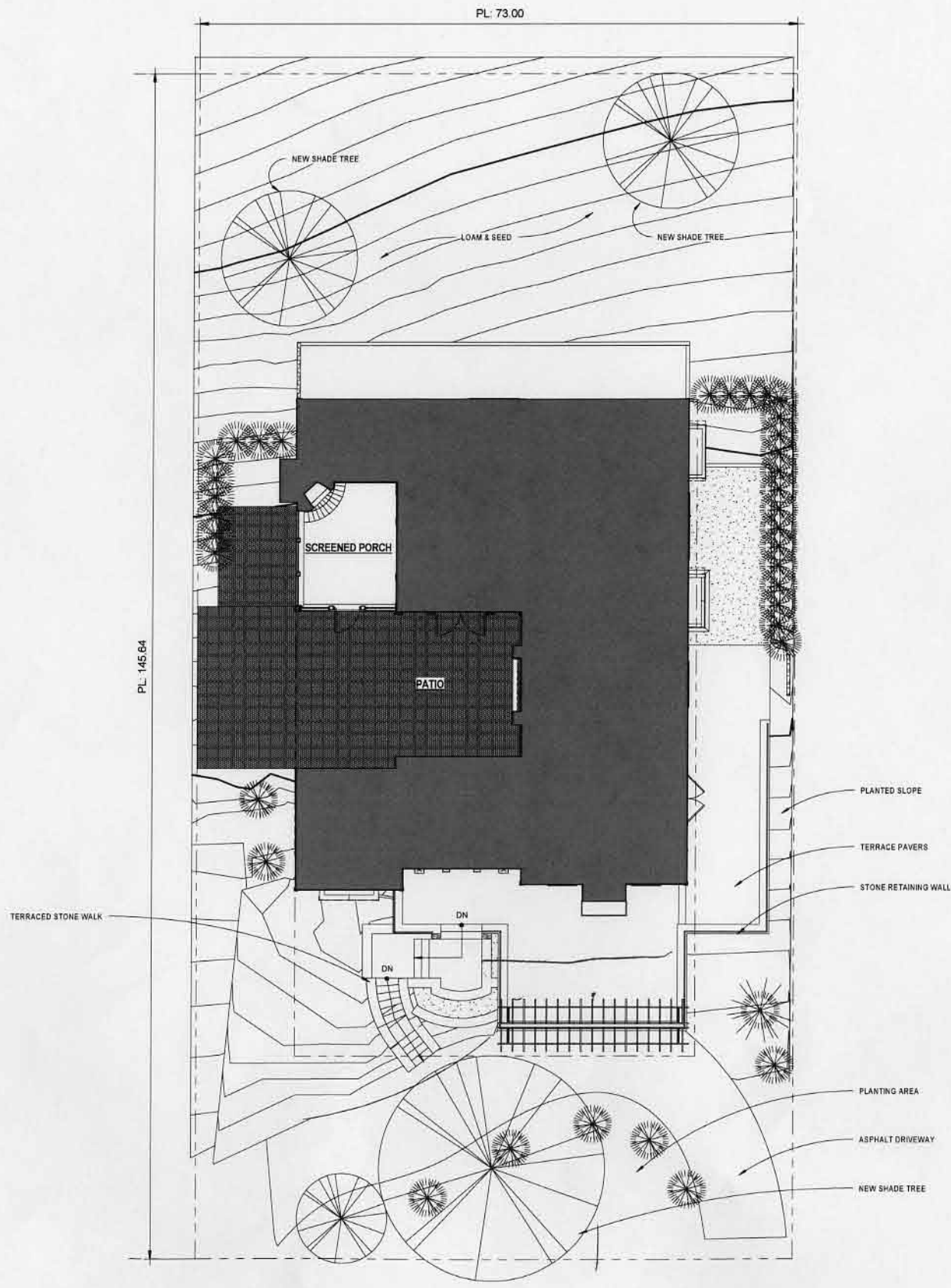
NO.	REVISION SCHEDULE	DATE

JOB #: 11-2400
 DATE: 06/24/2011
 SCALE: 1/8" = 1'-0"

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SITE PLAN

A100



A3 First Floor Plan
 A100 SCALE: 1/8" = 1'-0"

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DESIGN REVIEW

NO.	REVISION	SCHEDULE	DATE

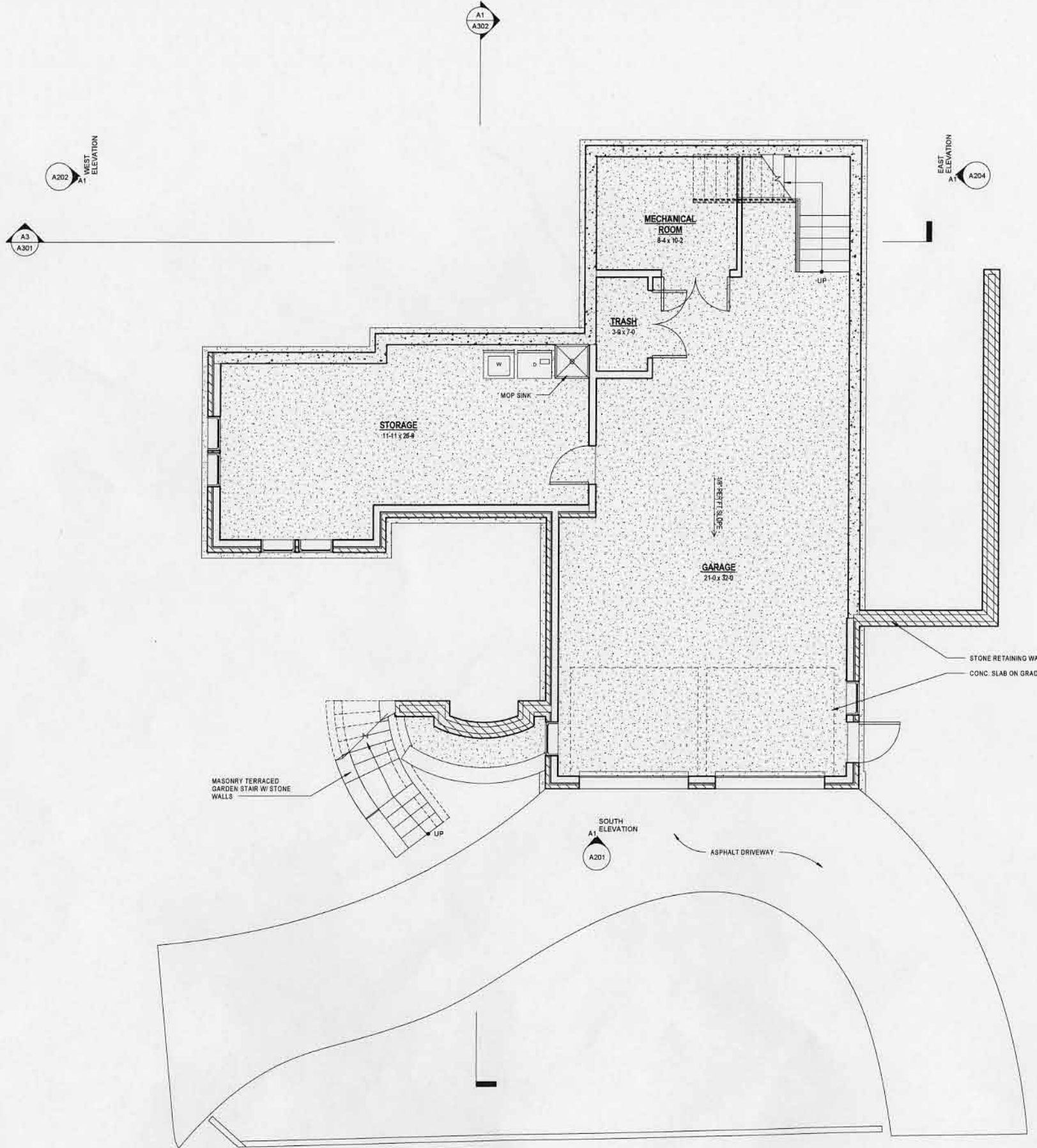
JOB #: 11-2400
DATE: 06/24/2011
SCALE: 1/4" = 1'-0"

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BASEMENT PLAN

A101

- GENERAL REQUIREMENTS**
- Drawing notes and specifications are instructions to the Contractor and apply generally to all the work unless more specific information is shown elsewhere on the drawings or written in the specifications. In the event of conflicting instructions, the Architect shall determine what controls.
 - Conform to The BOCA National Building Code, latest edition adopted by the local governing authority including their latest amendments.
 - Refer to the project manual for general contract requirements and specifications.
 - Coordinate work with that shown on the architectural, site, mechanical, electrical, and approved shop drawings.
 - Take dimensions to centers of columns, beams, piers, and pilasters; faces of walls; and to edges of openings unless shown otherwise.
 - Coordinate dimensions shown on the contract drawings with fabrication and field conditions and report any inconsistencies to the Architect before proceeding with work.
 - Review, approve, and stamp shop drawing submittals to the Architect for review and approval.
 - The structural design is based on the interaction of all the parts of the completed building. The Contractor shall solely bear the risk for providing adequate stability and safety of the structure during construction.
 - Details shown on drawings are to be considered typical for all similar conditions.

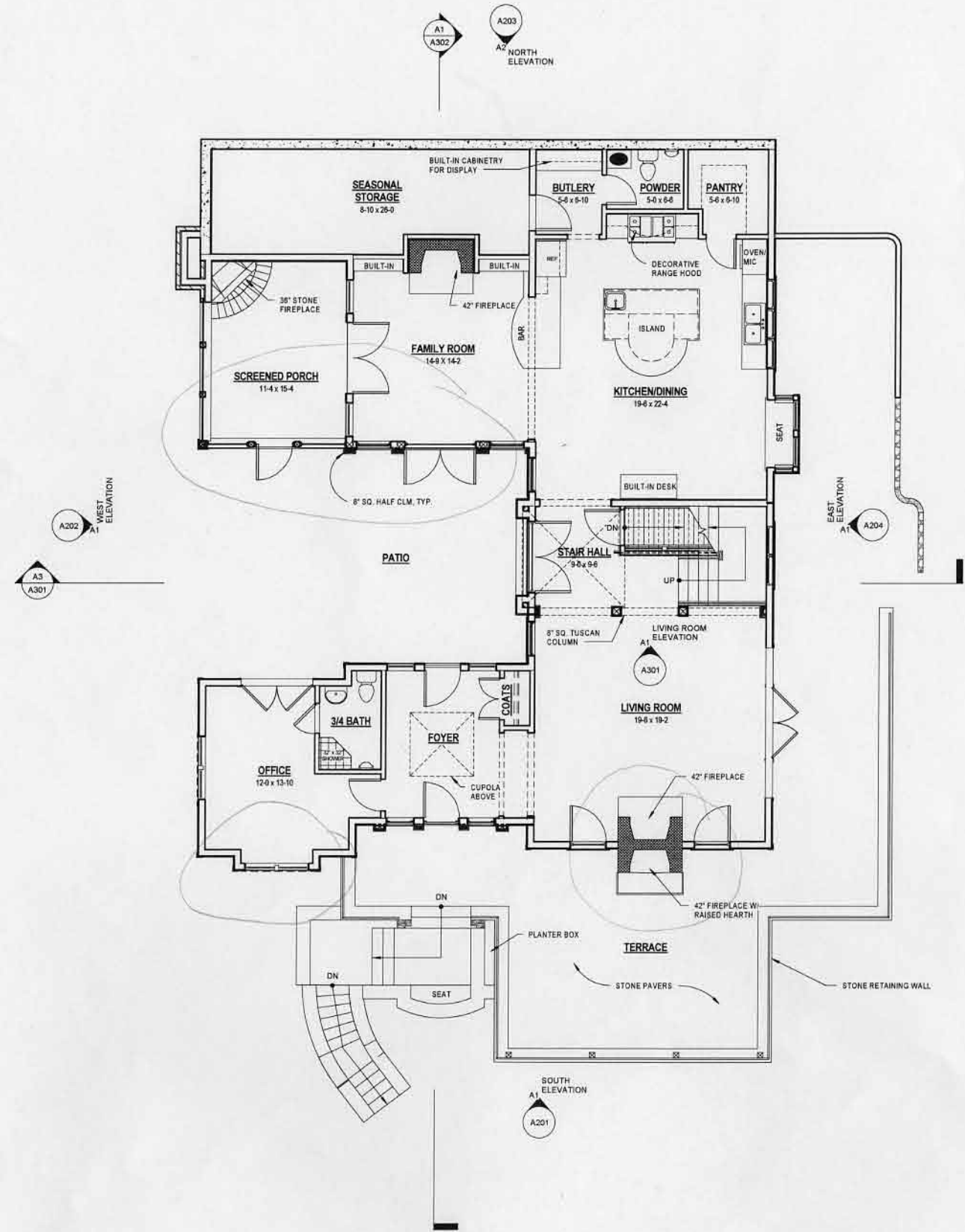


A2 Basement Plan
A101 SCALE: 1/4" = 1'-0"

NO.	REVISION SCHEDULE	DATE
1	ISSUE	

JOB #: 11-2400
 DATE: 06/24/2011
 SCALE: 3/16" = 1'-0"

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A2 First Floor Plan
 (1/8" SCALE: 3/16" = 1'-0")

6/24/2011 3:12:54 PM M:\2011-Jobs\1124 NEHT Nehemiah Homes\11_2400\1124 NEHT Guadalupe Model.rvt

**GUADALUPE
 RESIDENCE**
 49 LOUDERS LANE
 JAMAICA PLAINS, MA

DESIGN REVIEW

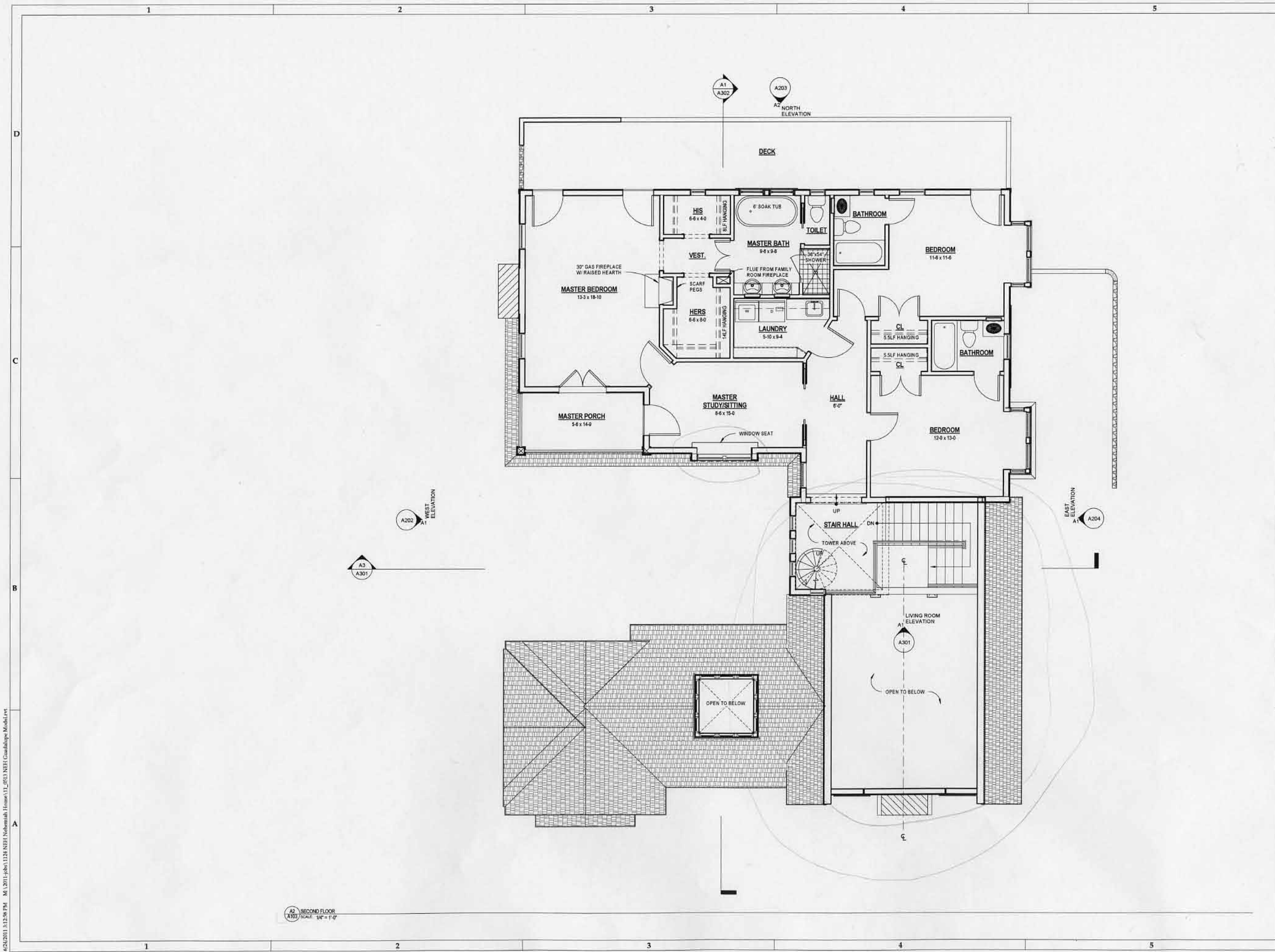
NO.	REVISION	SCHEDULE	DATE

JOB #: 11-2400
 DATE: 06/24/2011
 SCALE: 1/4" = 1'-0"

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SECOND FLOOR
 PLAN

A103



06/24/2011 3:12:56 PM M:\2011-jobs\1124 NEH\Nehemiah House\11_2011 NEH\Guadalupe Model.rvt

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 RESIDENCE**
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DESIGN REVIEW

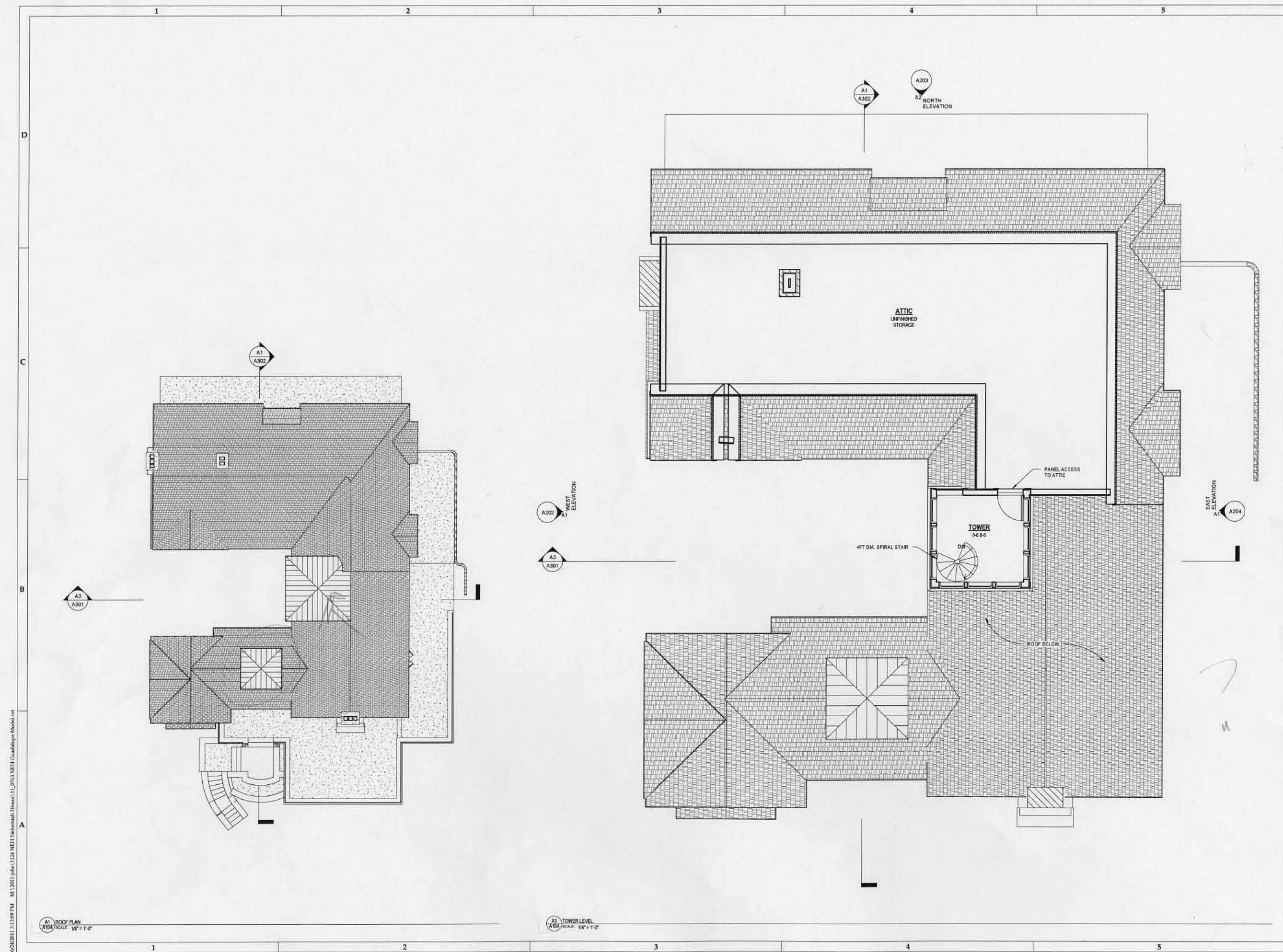
NO.	REVISION SCHEDULE	DATE

JOB #: 11-2400
 DATE: 06/24/2011
 SCALE: As indicated

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**TOWER & ROOF
 PLANS**

A104



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DESIGN REVIEW

NO.	ISSUE	DATE

JOB #: 11-2400
 DATE: 06/24/2011
 SCALE: 1/4" = 1'-0"

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**SOUTH
 ELEVATION**

A201



A1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

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 JAMAICA PLAINS, MA

DESIGN REVIEW

NO.	REVISION	DATE

JOB #: 11-2400
 DATE: 06/24/2011
 SCALE: 1/4" = 1'-0"

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WEST ELEVATION

A202



A1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

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**GUADALUPE
 RESIDENCE**
 49 LOUDERS LANE
 JAMAICA PLAINS, MA

DESIGN REVIEW

REVISION SCHEDULE		DATE
NO.	ISSUE	

JOB #: 11-2400
 DATE: 06/24/2011
 SCALE: 1/4" = 1'-0"

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NORTH
 ELEVATION

A203



A2 NORTH ELEVATION
 A203 SCALE 1/4" = 1'-0"

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DPA
 DONALD POWERS
 ARCHITECTS
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**GUADALUPE
 RESIDENCE**
 49 LOUDERS LANE
 JAMAICA PLAINS, MA

DESIGN REVIEW

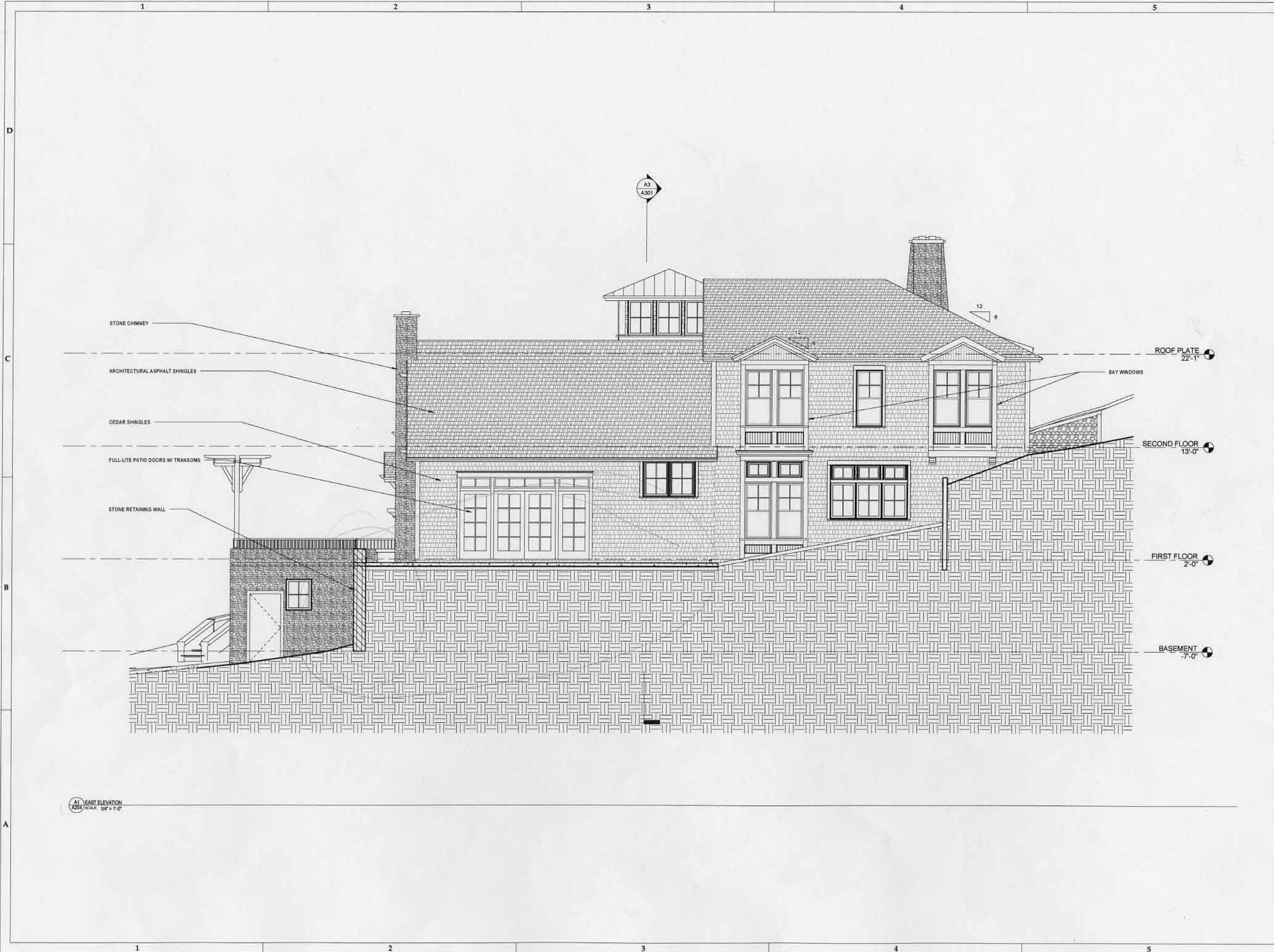
REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

JOB #: 11-2400
 DATE: 06/24/2011
 SCALE: 1/4" = 1'-0"

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EAST ELEVATION

A204

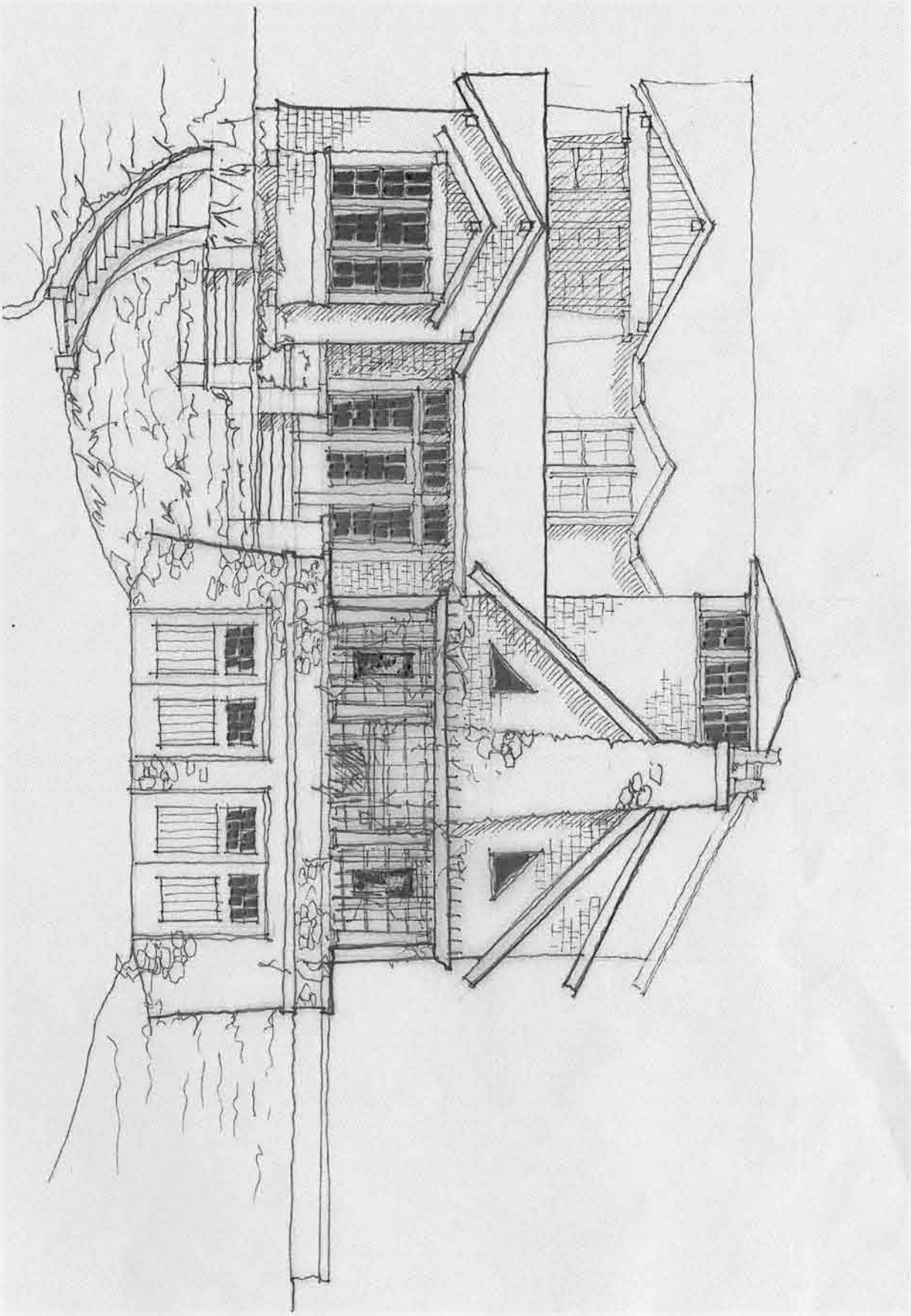


STONE CHIMNEY
 ARCHITECTURAL ASPHALT SHINGLES
 CEDAR SHINGLES
 FULL-LITE PATIO DOORS W/ TRANSOMS
 STONE RETAINING WALL

ROOF PLATE 22'-1"
 BAY WINDOWS
 SECOND FLOOR 13'-0"
 FIRST FLOOR 2'-0"
 BASEMENT -7'-0"

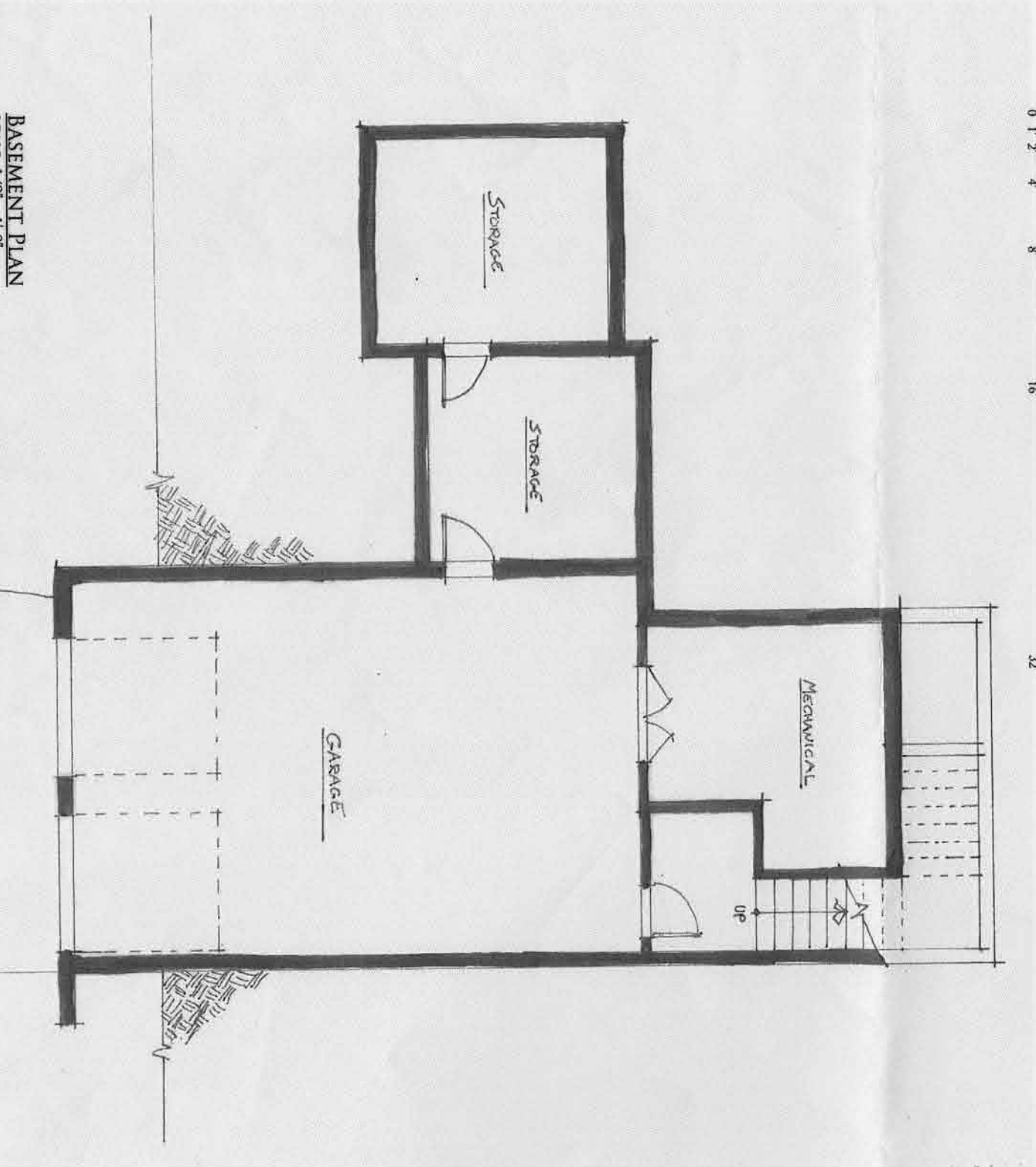
A1 EAST ELEVATION
 A204 SCALE 1/4" = 1'-0"

6/24/2011 3:52:27 PM M:\2011 jobs\1124 NEFT\Beverly's House\11_0613_NFT\Guadalupe Model.rvt



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



BASEMENT PLAN

SCALE: 1/8" = 1'-0"



DONALD POWERS
ARCHITECTS

GUADALUPE RESIDENCE

BOJ CONSTRUCTION

MARCH 31, 2011

DPA
 DONALD POWERS
 ARCHITECTS
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 PROVIDENCE, RI 02903
 F 401.272.4724 F 401.272.4825

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**GUADALUPE
 RESIDENCE**
 49 LOUDERS LANE
 JAMAICA PLAINS, MA

DESIGN REVIEW

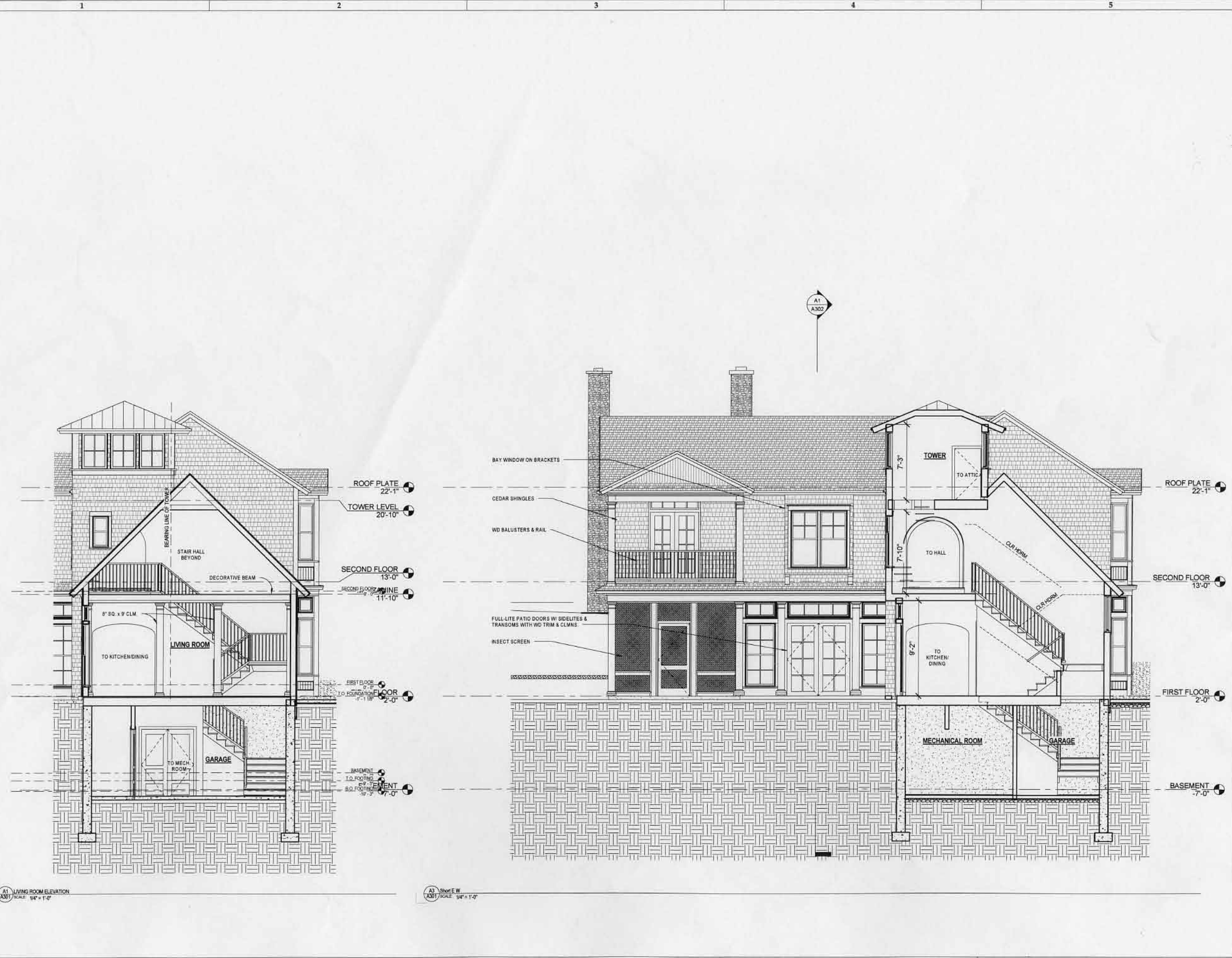
NO.	REVISION SCHEDULE	DATE

JOB #: 11-2400
 DATE: 06/24/2011
 SCALE: 1/4" = 1'-0"

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BUILDING
 SECTION

A301



A1 LIVING ROOM ELEVATION
 SCALE: 1/4" = 1'-0"

A3 S.W. SECTION
 SCALE: 1/4" = 1'-0"

6/24/2011 3:12:26 PM M:\2011\Jobs\1124 NEPT\Nehemiah House\11_2401 NEPT Guadalupe Model.rvt

DPA
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**GUADALUPE
 RESIDENCE**
 49 LOUDERS LANE
 JAMAICA PLAINS, MA

DESIGN REVIEW

NO.	REVISION	SCHEDULE	DATE

JOB #: 11-2400
 DATE: 06/24/2011
 SCALE: 1/4" = 1'-0"

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**BUILDING
 SECTION**

A302

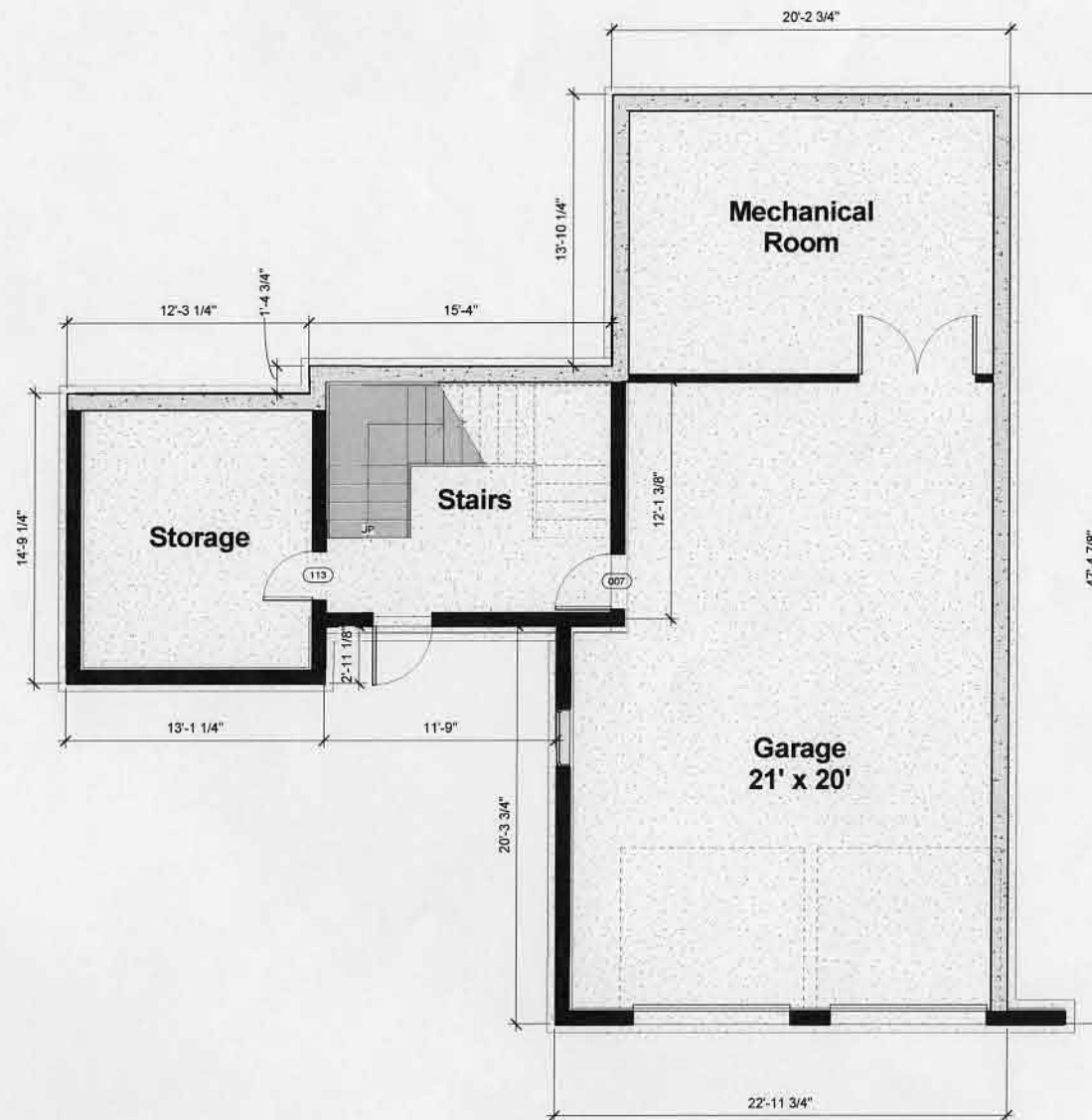


A1 BUILDING SECTION LOOKING EAST
 A302 SCALE: 1/4" = 1'-0"

4/24/2011 11:13:26 AM M:\2011\Jobs\1124 NEEH\Mechanical\Drawings\11_0613 NEEH\Guadalupe_Model.rvt

GENERAL REQUIREMENTS

1. Drawing notes and specifications are instructions to the Contractor and apply generally to all the work unless more specific information is shown elsewhere on the drawings or written in the specifications. In the event of conflicting instructions, the Architect shall determine what controls.
2. Conform to *The BOCA National Building Code*, latest edition adopted by the local governing authority including their latest amendments.
3. Refer to the project manual for general contract requirements and specifications.
4. Coordinate work with that shown on the architectural, site, mechanical, electrical, and approved shop drawings.
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8. The structural design is based on the interaction of all the parts of the completed building. The Contractor shall solely bear the risk for providing adequate stability and safety of the structure during construction.
9. Details shown on drawings are to be considered typical for all similar conditions.



① Basement Plan
1/4" = 1'-0"

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General Contractor
BOJ Construction
Contact: Nehemiah Jayne
Address: 53 Main St, Plymouth, MA 02360
Phone: (517) 877-2144
Fax: (517) 896-0899
e-mail: njayne@bojconstruction.com

Structural Engineer
Geinas Structural Engineering LLC
Address: 579A North End Blvd, Salisbury, MA 01952-1739
Phone: (978) 465-6439
Fax: (978) 465-5160

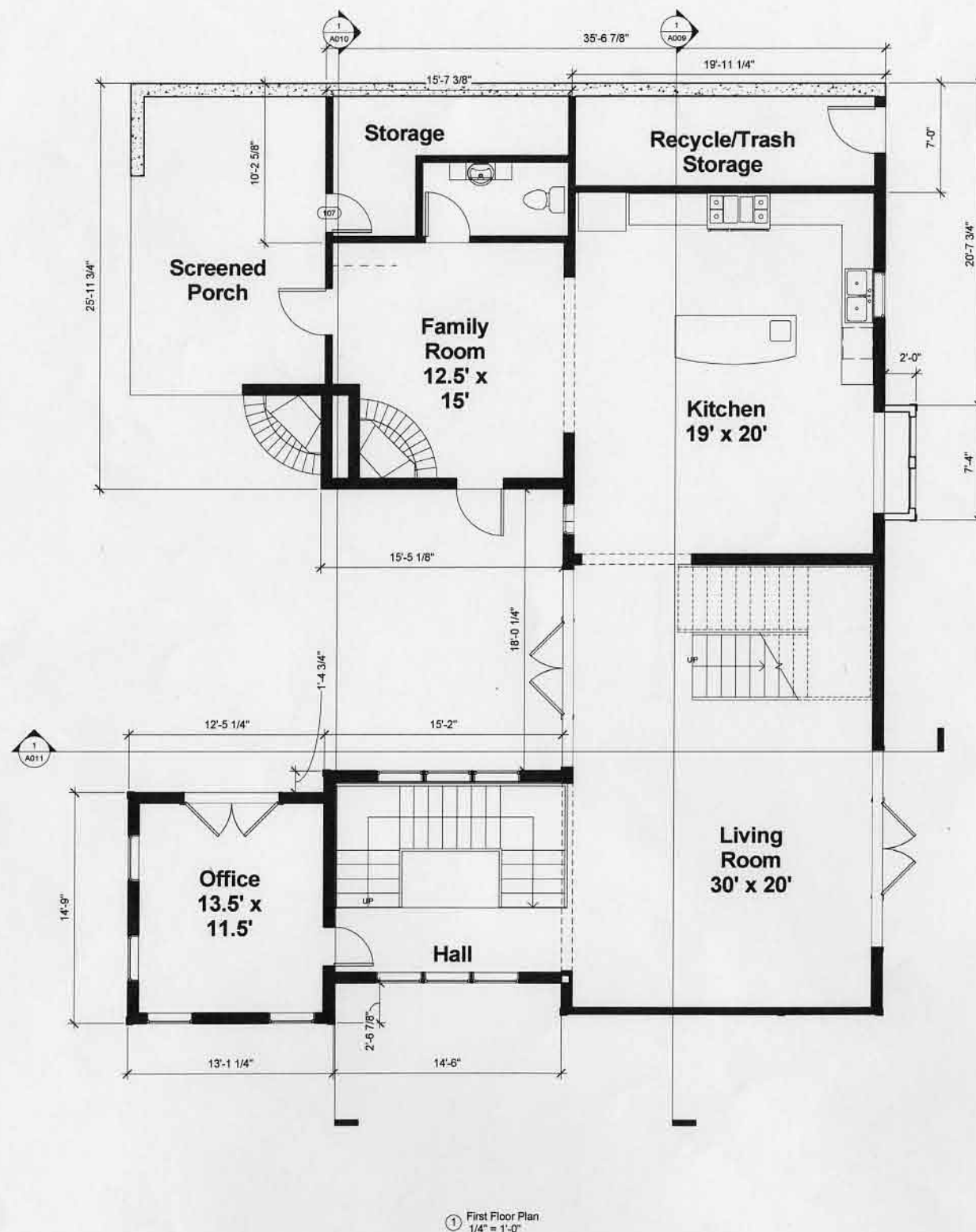
Civil Engineer
Flaherty & Stefani Inc
Address: 67 Somerset St, Plymouth, MA 02360
Phone: (508) 747-2425

No.	Description	Date
	Construction Set	

Anthony Guadalupe
49 Louders Lane
Basement Plan

Job #	10903
Date	Issue Date
Drawn by	CH
Checked by	Z
A001	
Scale	1/4" = 1'-0"

4/28/2016 12:42:21 AM



① First Floor Plan
1/4" = 1'-0"

BOJ

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General Contractor
BOJ Construction
Nehemiah Jayne
53 Main St.
Plymouth, MA 02360
(617) 877-2144
(617) 896-0369
njayne@bojconstruction.com

Structural Engineer
Gelinas Structural Engineering LLC
579A North End Blvd.
Salem, MA 01970-1738
(978) 485-6438
(978) 485-5180

Civil Engineer
Fishery & Stefani Inc.
57 Samson St.
Plymouth, MA 02360
(508) 747-2425

No.	Description	Date
	Construction Set	

Anthony Guadalupe
49 Louders Lane
First Floor Plan

Job # 10903
Date Issue Date
Drawn by CH
Checked by Z

A002

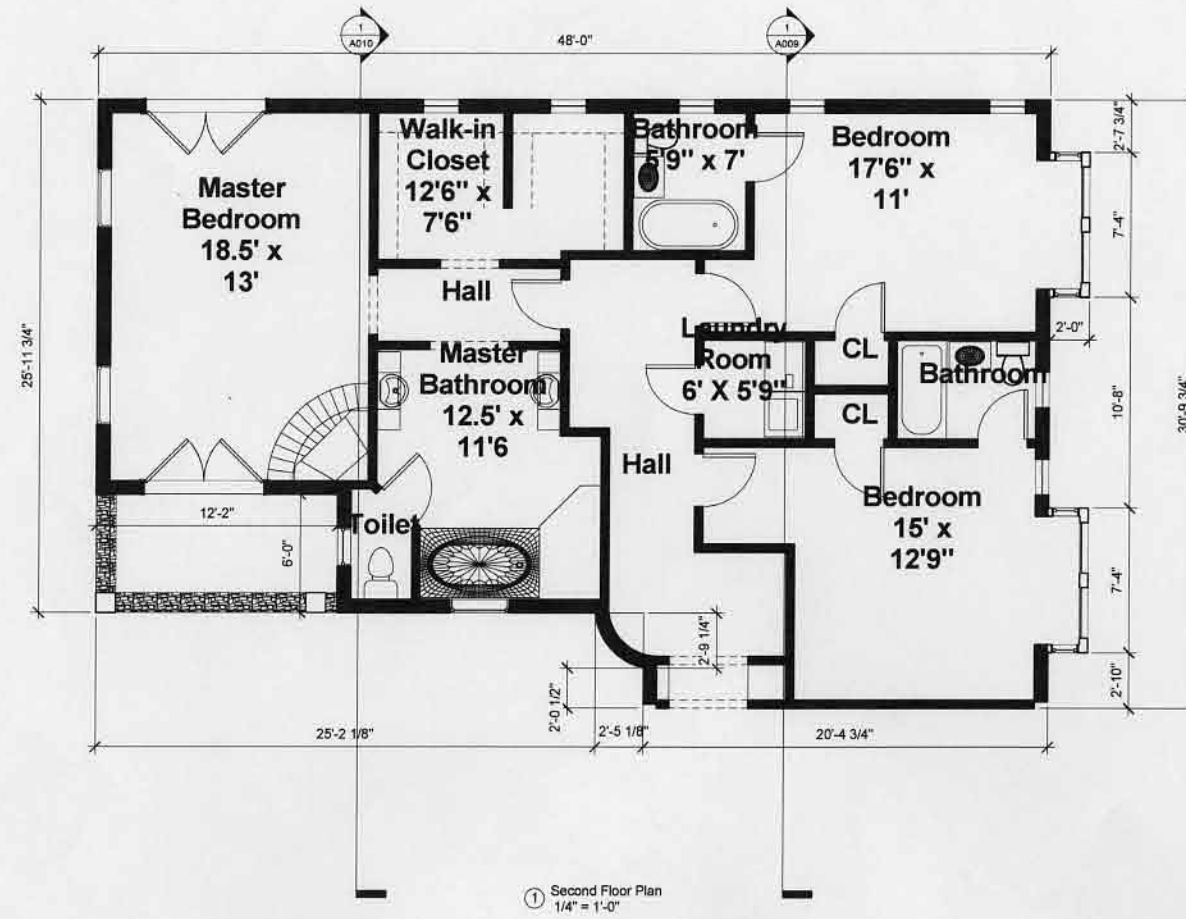
Scale 1/4" = 1'-0"

4/28/2010 12:41:42 AM

General Contractor
BOJ Construction
Nehemiah Jayne
53 Main St
Plymouth, MA 02360
(617) 877-2144
(617) 896-0899
njayne@bojconstruction.com

Structural Engineer
Gelnes Structural Engineering LLC
578A North End Blvd
Salem, MA 01952-1738
(978) 485-6430
(978) 485-5160

Civil Engineer
Fishery & Stefani Inc
87 Samoset St
Plymouth, MA 02360
(508) 747-2425



No.	Description	Date
	Construction Set	

Anthony Guadalupe
49 Louders Lane
Second Floor Plan

Job # 10603
Date Issue Date
Drawn by CH
Checked by Z

A003

Scale 1/4" = 1'-0"

General Contractor
 BOJ Construction
 Contact: Nehemiah Jayne
 Address: 53 Main St.
 Plymouth, MA 02360
 Phone: (617) 877-2144
 Fax: (617) 896-0988
 e-mail: njayne@bojconstruction.com

Structural Engineer
 Gellinas Structural Engineering LLC
 Address: 578A North End Blvd.
 Salem, MA 01952-1738
 Phone: (978) 405-8438
 Fax: (978) 485-5160

Civil Engineer
 Flaherty & Stefani Inc.
 Address: 67 Somerset St.
 Plymouth, MA 02360
 Phone: (508) 747-2425



① South
 1/4" = 1'-0"

No.	Description	Date
	Construction Set	

Anthony Guadalupe
 49 Louders Lane
 South Elevation

Job # 10903	Issue Date
Date	CH
Drawn by	Z
Checked by	

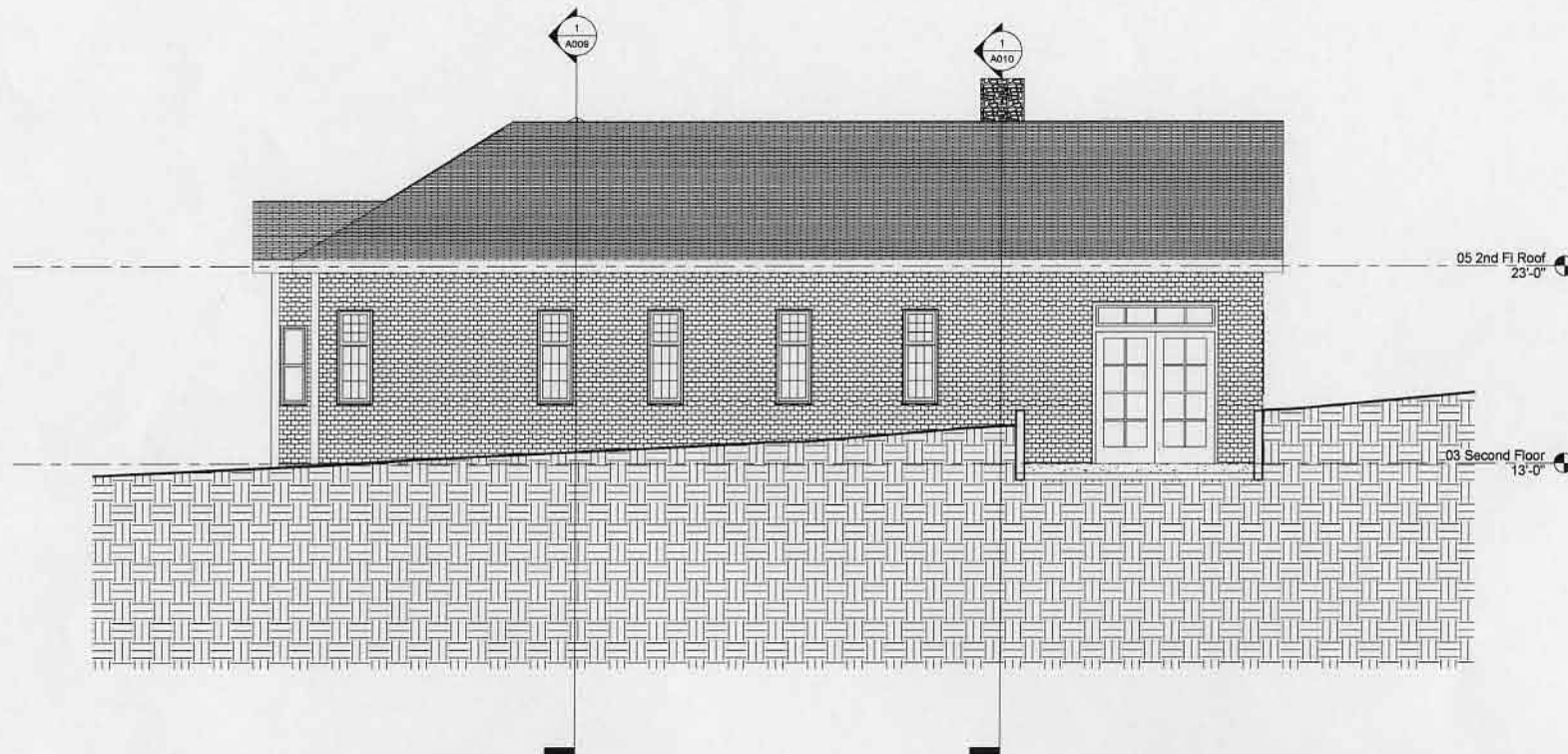
A004

Scale 1/4" = 1'-0"

General Contractor
BOJ Construction
Contact: Nehemiah Jayne
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Phone: (978) 465-6438
Fax: (978) 465-5160

Civil Engineer
Flaherty & Stefani Inc.
Address: 67 Sarrowsel St, Plymouth, MA 02360
Phone: (508) 747-2425



① North
1/4" = 1'-0"

No.	Description	Date
	Construction Set	

Anthony Guadalupe
49 Louders Lane
North Elevation

Job # 10603	
Date	Issue Date
Drawn by CH	
Checked by Z	
A006	
Scale	1/4" = 1'-0"

General Contractor

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 Phone: (508) 747-2425



① East
1/4" = 1'-0"

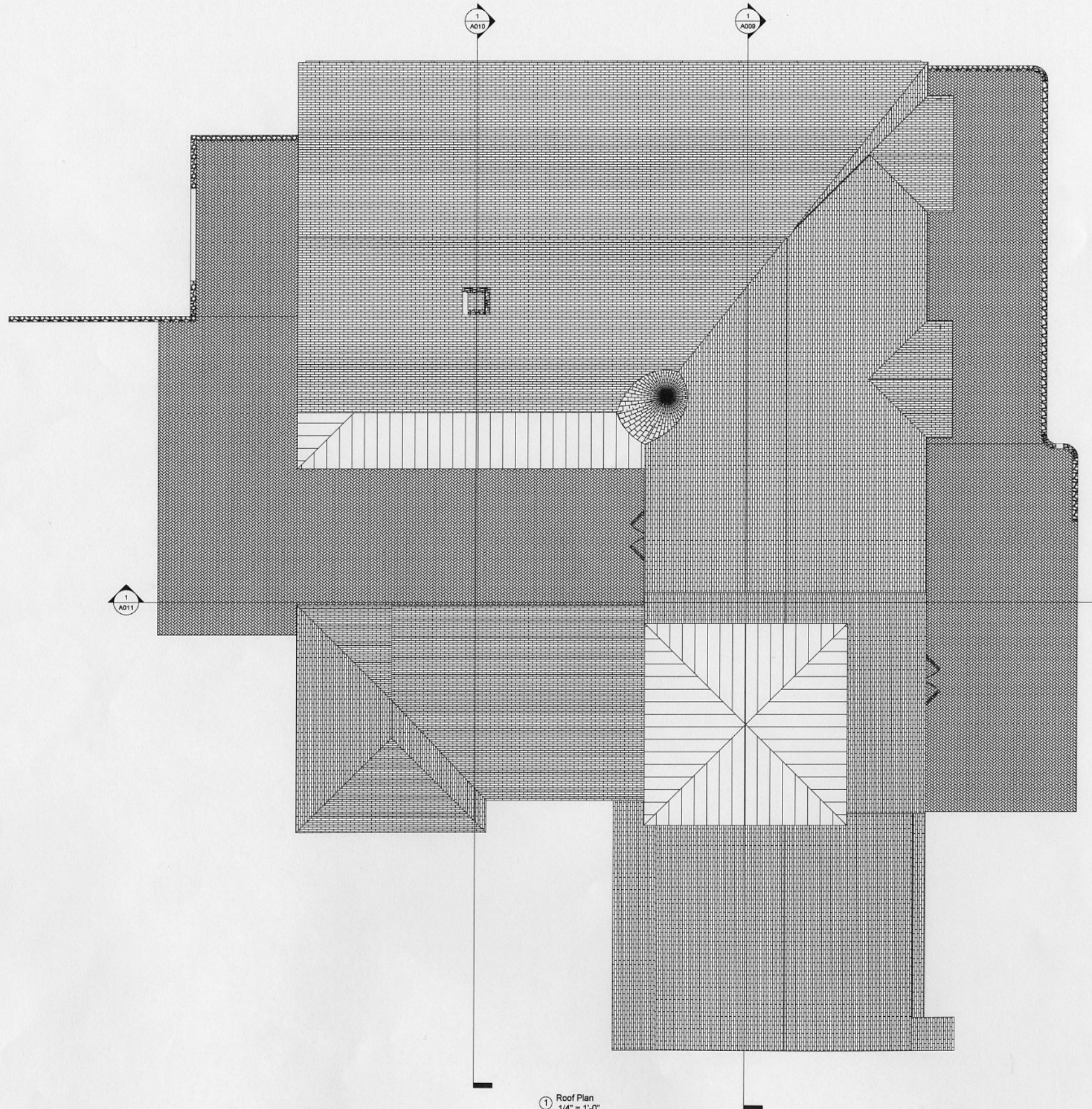
No.	Description	Date
	Construction Set	

Anthony Guadalupe
 49 Louders Lane
 East Elevation

Job # 10903
 Date: Issue Date
 Drawn by: CH
 Checked by: Z

A007

Scale 1/4" = 1'-0"



1 Roof Plan
1/4" = 1'-0"

BOJ

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www.bojconstruction.com

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Phone: (508) 747-2425

No.	Description	Date
	Construction Set	

Anthony Guadalupe
49 Louders Lane
Roof Plan

Job #	10903
Date	Issue Date
Drawn by	CH
Checked by	Z

A008

Scale 1/4" = 1'-0"

4/28/2010 1:31:45 PM

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No.	Description	Date
	Construction Set	

Anthony Guadalupe
49 Louders Lane
Section 1

Job # 10903
Date Issue Date
Drawn by CH
Checked by Z

A009

Scale 1/4" = 1'-0"

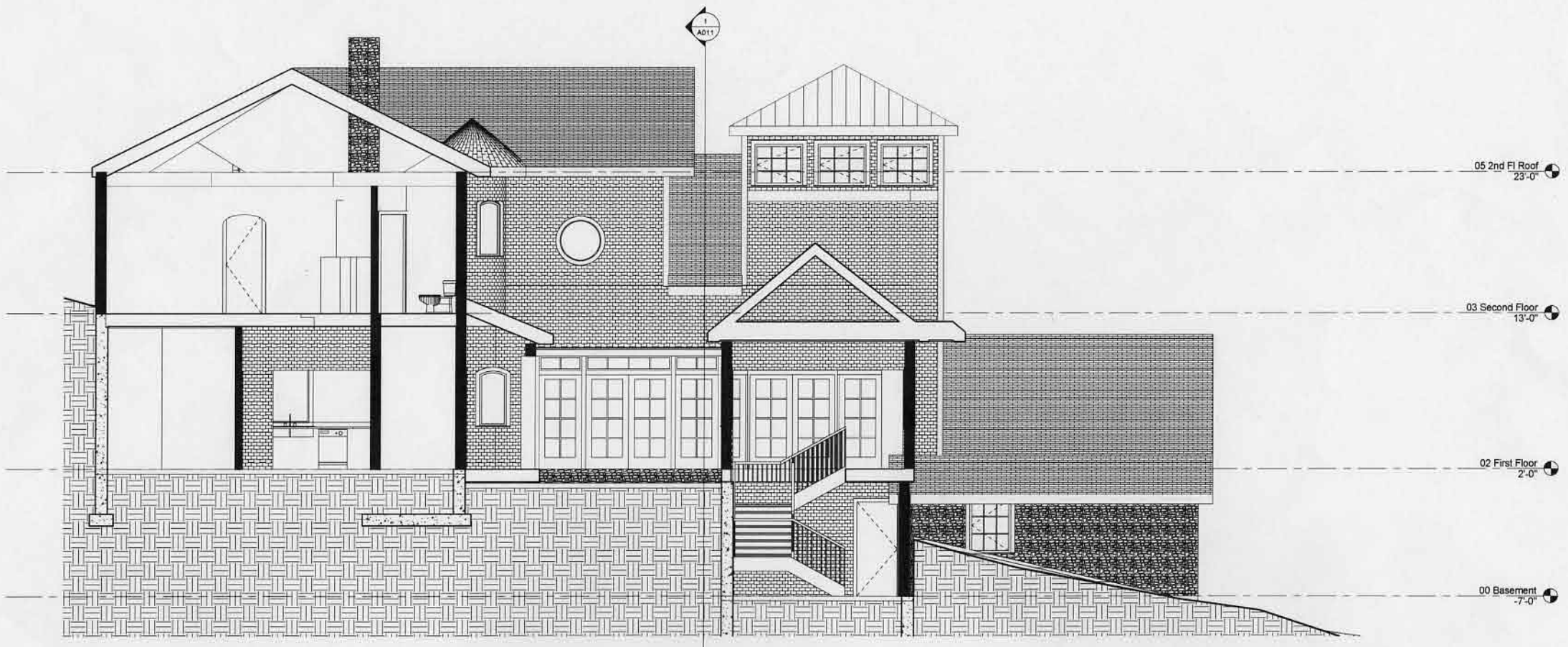
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Civil Engineer
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 Plymouth, MA 02360
 Phone: (508) 747-2425



1 Short N S
 1/4" = 1'-0"

No.	Description	Date
	Construction Set	

Anthony Guadalupe
 49 Louders Lane
 Section 2

Job # 10903
 Date Issue Date
 Drawn by CH
 Checked by Z

A010

Scale 1/4" = 1'-0"

General Contractor
BOJ Construction

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① Short E.W.
1/4" = 1'-0"

No.	Description	Date
	Construction Set	

Anthony Guadalupe
49 Louders Lane
Section 3

Job # 10903
Date: _____ Issue Date: _____
Drawn by: CH
Checked by: Z

A011

Scale: 1/4" = 1'-0"