

**SCOPE OF WORK**

1. DEMOISH EXISTING GARAGE FOUNDATION AND WOOD-FRAMED STRUCTURE ABOVE THE GARAGE.
2. DEMO EXISTING REAR ATTIC ROOF STRUCTURE ABOVE NEW MASTER SUITE.
3. CONSTRUCT A NEW MASTER SUITE, INCLUDING NEW ROOF ABOVE MASTER FROM EXISTING RIDGE PLATE TO BACK WALL OF HOUSE. EXISTING FLOOR FRAMING TO REMAIN.
4. CONSTRUCT A NEW GREAT ROOM ADDITION AT SOUTH-SIDE OF HOUSE WITH NEW CONCRETE FOUNDATION AND GARAGE BELOW.
5. REMOVE WALLS BETWEEN KITCHEN, DINING, AND NEW GREAT ROOM. PROVIDE NEW FRAMING SUPPORTS.
6. MINOR ALTERATIONS TO INTERIOR PARTITIONS, INCLUDING BEDROOM, STAIR, AND CLOSET WALLS.

**STRETCH ENERGY CODE**

1. ALL WORK ON THIS PROJECT SHALL COMPLY WITH THE PROVISIONS OF THE STRETCH ENERGY CODE, AS ADOPTED BY THE STATE AND MUNICIPALITY IN WHICH IT IS BEING CONSTRUCTED.
2. THE PRESCRIPTIVE APPROACH MAY BE USED TO EVALUATE COMPLIANCE WITH THE CODE. IF USED, THE WORK SHALL COMPLY WITH THE BASE IECC 2009, THE ENERGY STAR QUALIFIED HOMES THERMAL BYPASS CHECKLIST, AND ENERGY STAR 5.0 FOR WINDOWS, DOORS, AND SKYLIGHTS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL ITEMS ON THE ENERGY STAR QUALIFIED HOMES THERMAL BYPASS CHECKLIST ARE VERIFIED AND COMPLETE. ALSO, THAT THE WORK COMPLIES WITH ENERGY STAR 5.0 FOR WINDOWS, DOORS, AND SKYLIGHTS.
4. PROVIDE CONTINUITY OF THE AIR BARRIER AT ALL EXTERIOR WALLS, INCLUDING ACROSS RIM/BAND JOISTS, SOFFITS, CANTILEVERS, FLOOR SOFFITS/CANTILEVERS, AND AT THE ATTIC CEILING. SEAL AND TAPE AIR BARRIER AT ALL TOP AND BOTTOM PLATES.
5. SEAL ALL LAPS, SEAMS, AND PENETRATIONS IN THE AIR BARRIER WITH TAPE, SEALANT, OR SPRAY FOAM INSULATION TO PROVIDE CONTINUITY OF THE BARRIER.
6. INSULATION R-VALUES ON DRAWINGS ARE NOT BE BE DIMINISHED.
7. INSTALL INSULATION WITHOUT GAPS, VOIDS, OR COMPRESSION.
8. INSTALL INSULATION CONTINUOUSLY WITH VERTICAL AND HORIZONTAL ALIGNMENTS AT ALL LOCATIONS.
9. FULLY SEAL ALL OPENINGS TO UNCONDITIONED SPACES WITH SOLID BLOCKING OR FLASHING AND FILL GAPS WITH SEALANT OR SPRAY FOAM INSULATION.
10. ATTIC DROP-DOWN STAIR TO BE FULLY INSULATED AND GASKETED.
11. RECESSED LIGHTING TO BE ICAT LABELED AND SEALED TO DRYWALL CEILING
12. MAXIMUM ALLOWABLE U-FACTORS:  
WINDOWS - 0.30  
SLIDING DOOR - 0.32

**ZONING**

ONE-FAMILY RESIDENTIAL SUBDISTRICT: 1F-9000  
RESIDENTIAL OVERLAY DISTRICT: JAMAICA HILLS  
PARCEL ID: 1902351000

	Required	Existing	Proposed
Lot Size	9,000	8,250	8,250
Lot Width	70'	75'	75'
Frontage	70'	75'	75'
FAR	0.3	0.275	0.285
Stories	2.5	2	2
Feet	35'	28.58'	28.58'
Usable Open	2,000 sf	6,966 sf	6,886
Front Setback	25'	29.6'	29.7'
Side Setback	12' - 12'	11.3' - 10.3'	11.3' - 12'
Rear Setback	40'	51.98'	51.98'

**JK Development Group**

**Dunstable, MA  
888.848.3008**

**DRAWING LIST**

- COVER: PROJECT NOTES, SITE PLAN  
D-1: DEMOLITION PLANS  
A-1: EXISTING FLOOR PLANS  
A-2: PROPOSED FLOOR PLANS  
A-3: EXISTING EXTERIOR ELEVATIONS  
A-4: PROPOSED EXTERIOR ELEVATIONS  
A-5: PROPOSED CROSS SECTIONS  
A-6: FRAMING PLANS & FRAMING DETAILS  
A-7: INTERIOR ELEVATIONS & FRAMING DETAILS

NO.	DATE	DESCRIPTION	BY
01	10.23.13	Move South Wall - Addition	JK

REVISIONS

HOME ADDITIONS  
AND RENOVATION  
344 POND STREET  
  
JAMAICA PLAIN  
BOSTON, MA

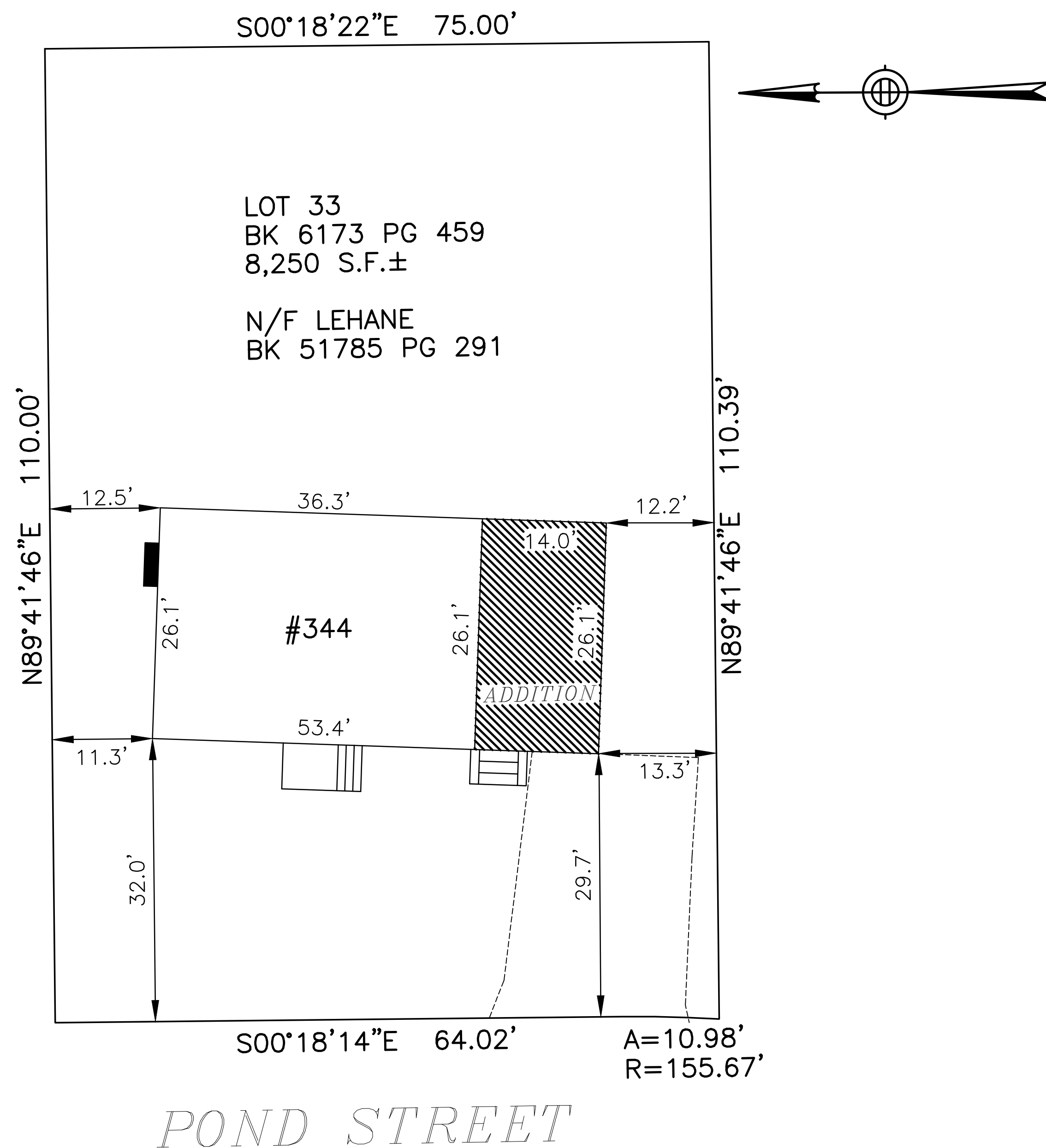
Project

COVER SHEET

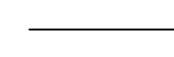

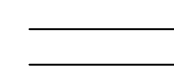
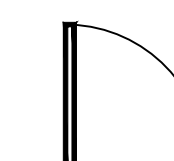



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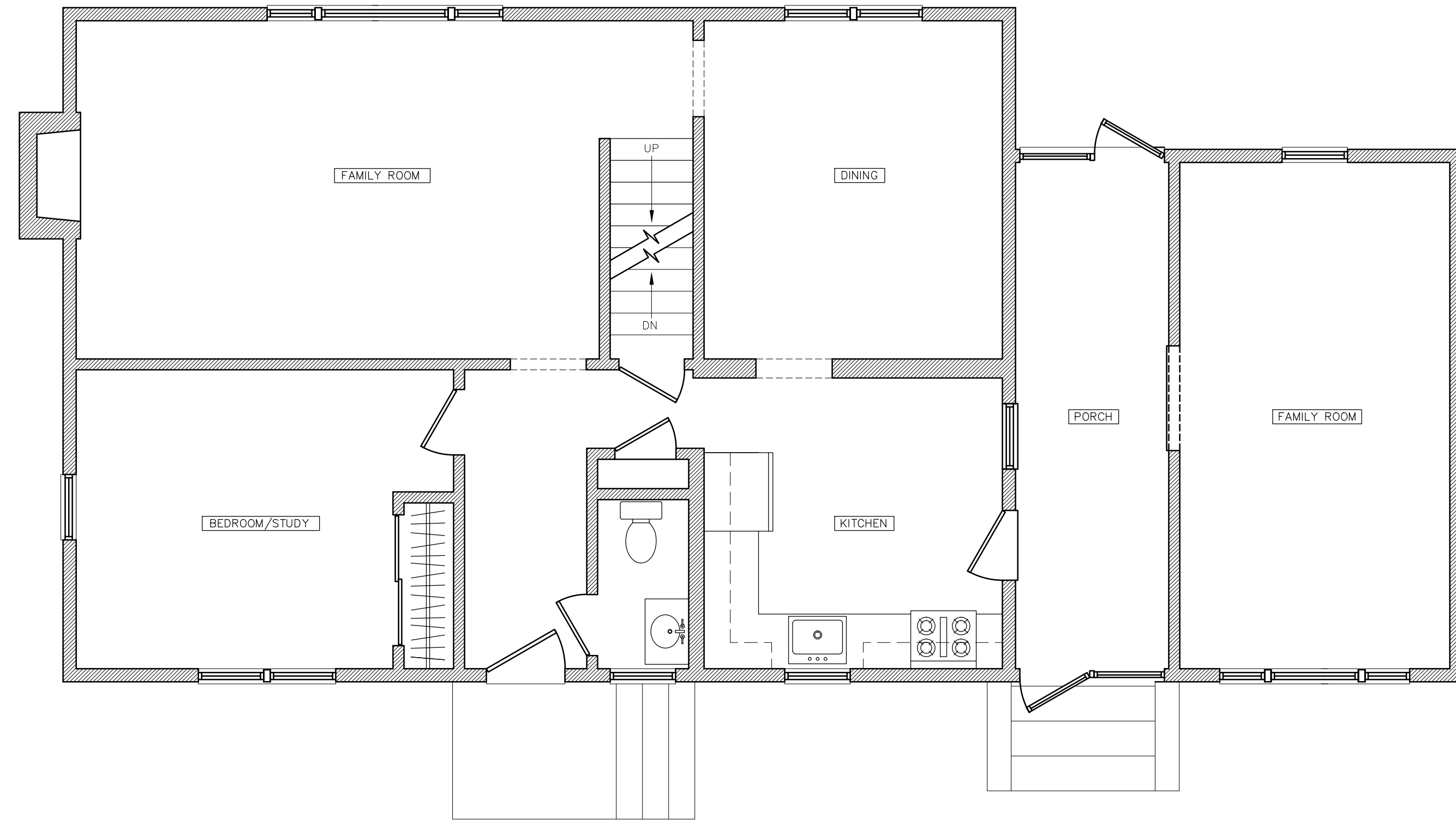
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Drawn JK	Approved	Scale N.A.
Seal		Drawing No.

HOME ADDITIONS  
AND RENOVATION  
  
344 POND STREET  
JAMAICA PLAIN  
BOSTON, MA



LEGEND

-  EXISTING TO BE REMOVED
-  EXISTING WALL TO REMAIN
-  NEW PARTITION WALL
-  NEW DOOR
-  NEW BIFOLD DOOR
-  EXISTING DOOR
-  DOOR WIDTH



① EXISTING SECOND FLOOR PLAN

② EXISTING FIRST FLOOR PLAN

NO.	DATE	DESCRIPTION	BY

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HOME ADDITIONS  
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344 POND STREET

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BOSTON, MA

Project

EXISTING  
FLOOR PLANS

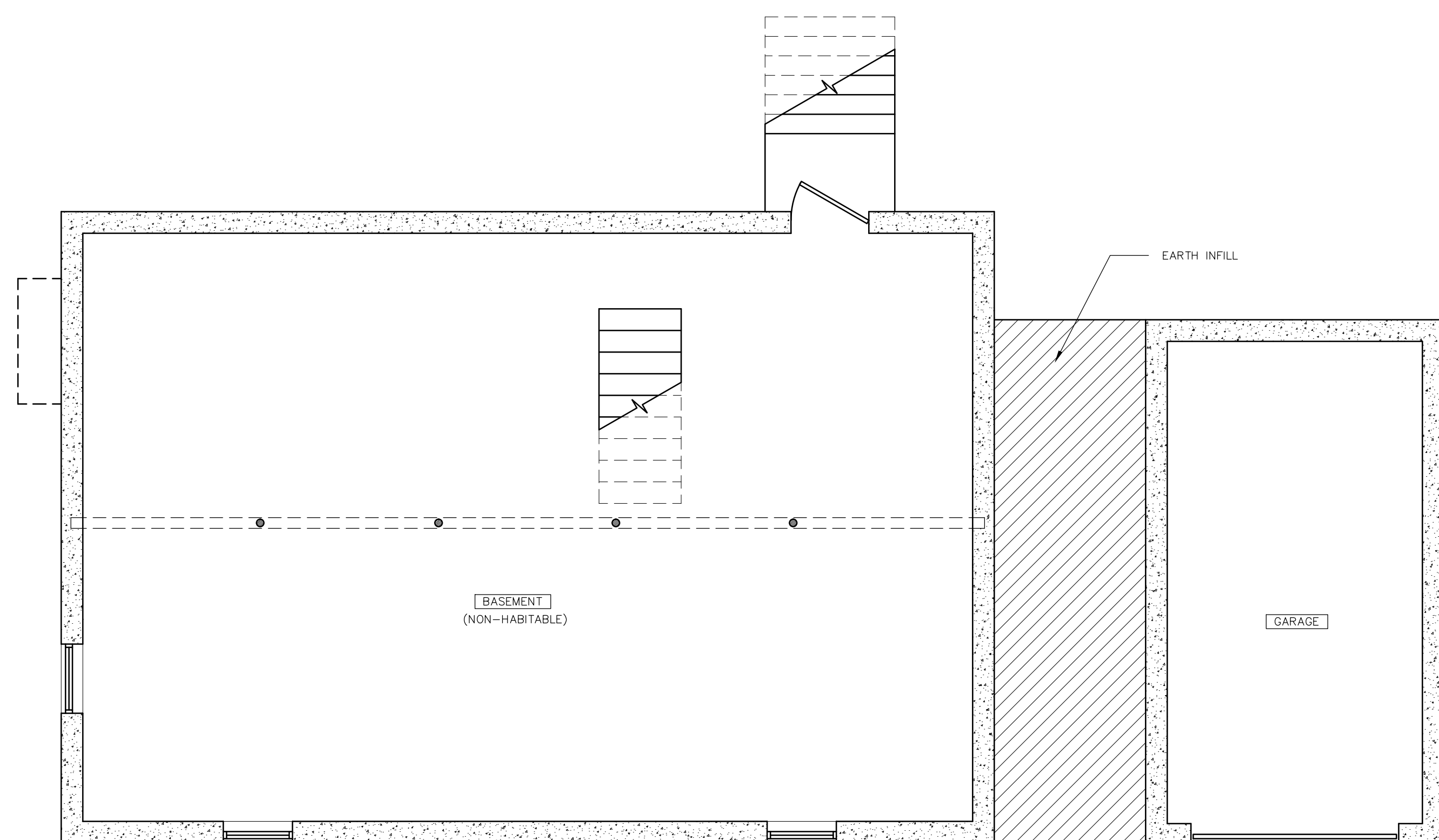
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Project No. 00273.00	Checked	Date 9/05/13
Drawn JK	Approved	Scale 1/4" = 1'-0"

Drawing No.

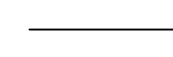
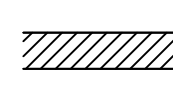
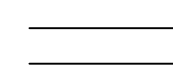
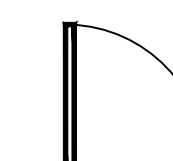


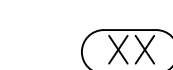
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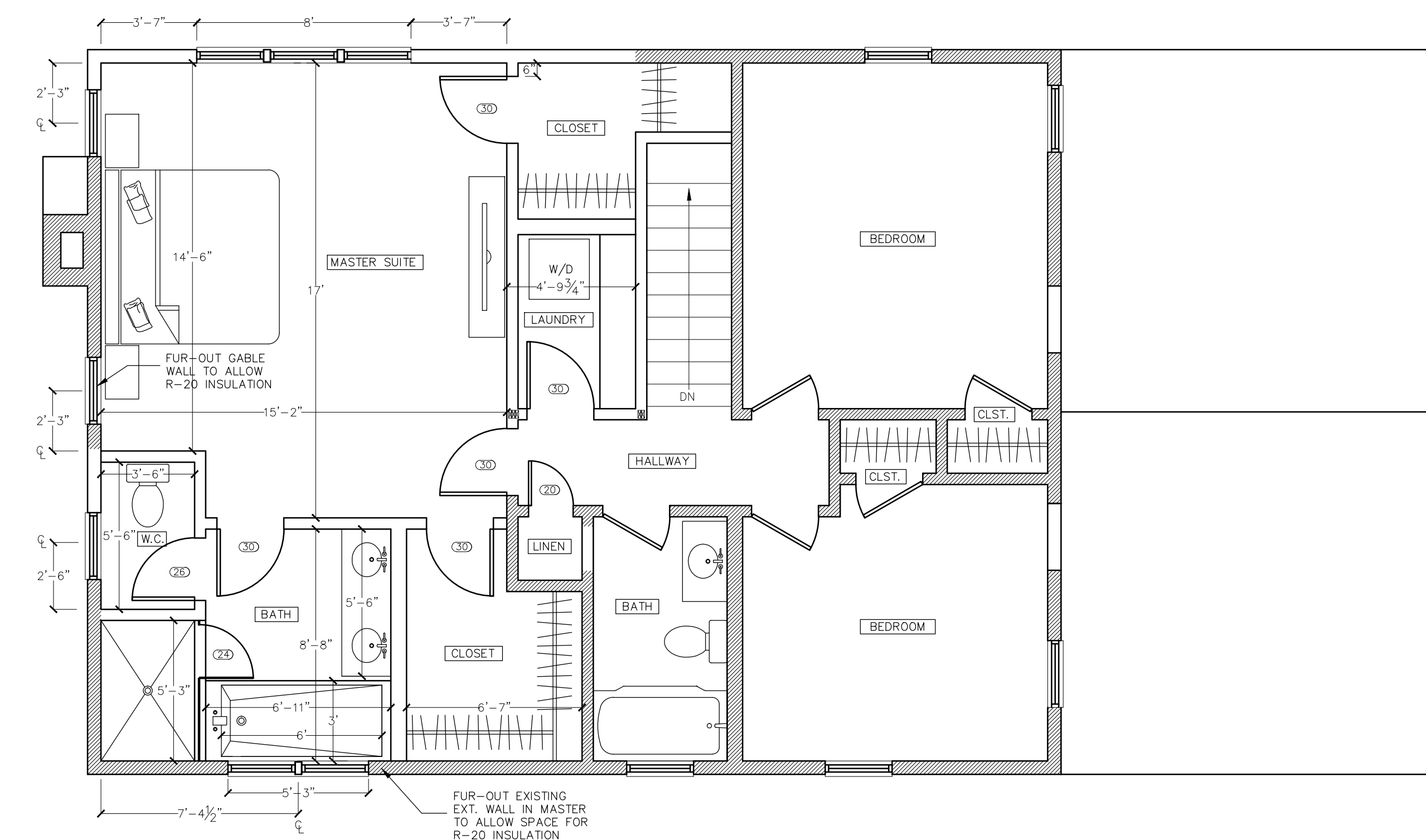
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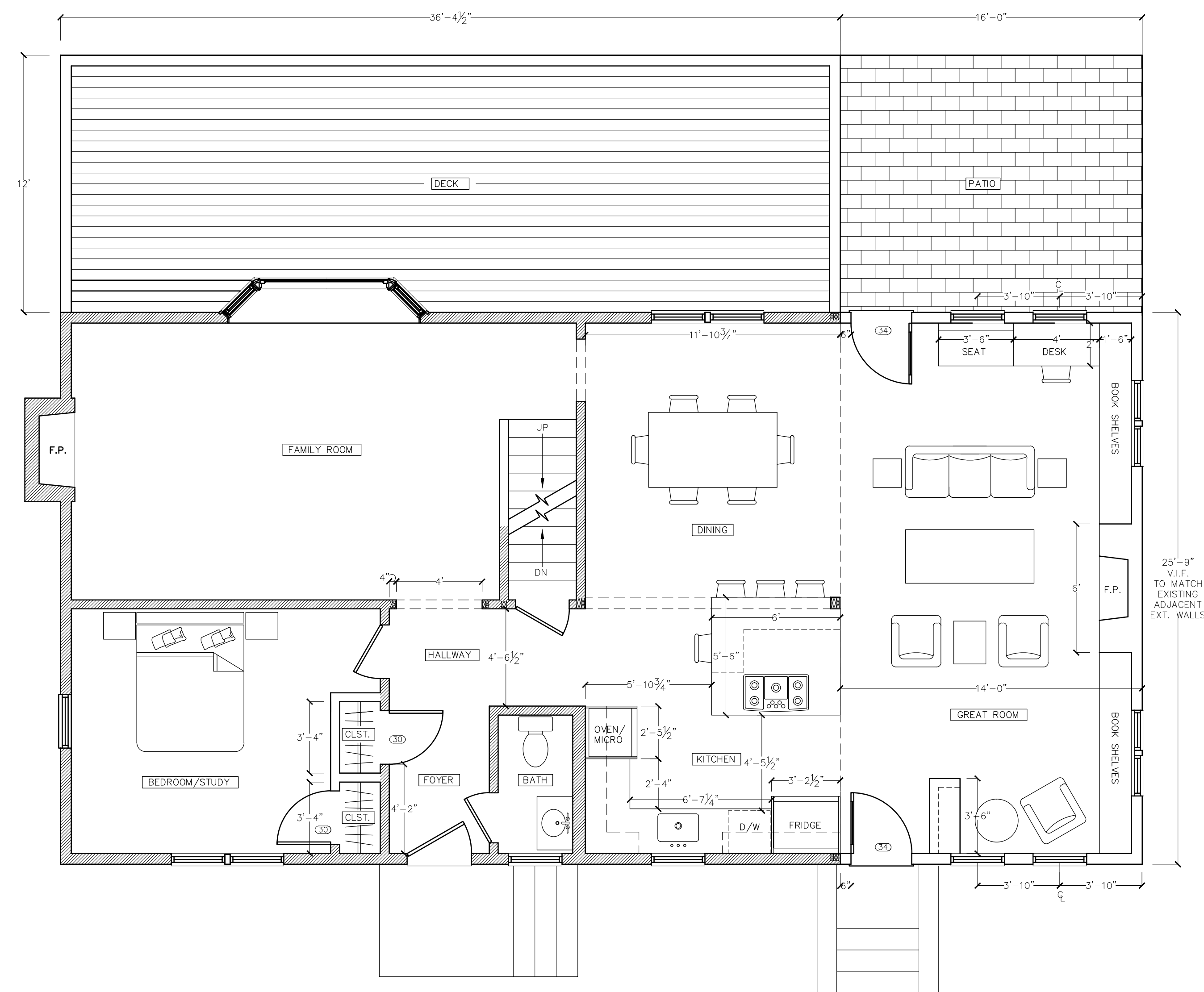
③ EXISTING BASEMENT/GARAGE LEVEL PLAN

LEGEND

-  EXISTING TO BE REMOVED
-  EXISTING WALL TO REMAIN
-  NEW PARTITION WALL
-  NEW DOOR
-  NEW BIFOLD DOOR
-  EXISTING DOOR
-  DOOR WIDTH



1 PROPOSED SECOND FLOOR PLAN



2 PROPOSED FIRST FLOOR PLAN

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01	10.23.13	Move South Wall - Addition	JK

REVISIONS

HOME ADDITIONS AND RENOVATION  
344 POND STREET

JAMAICA PLAIN  
BOSTON, MA

Project

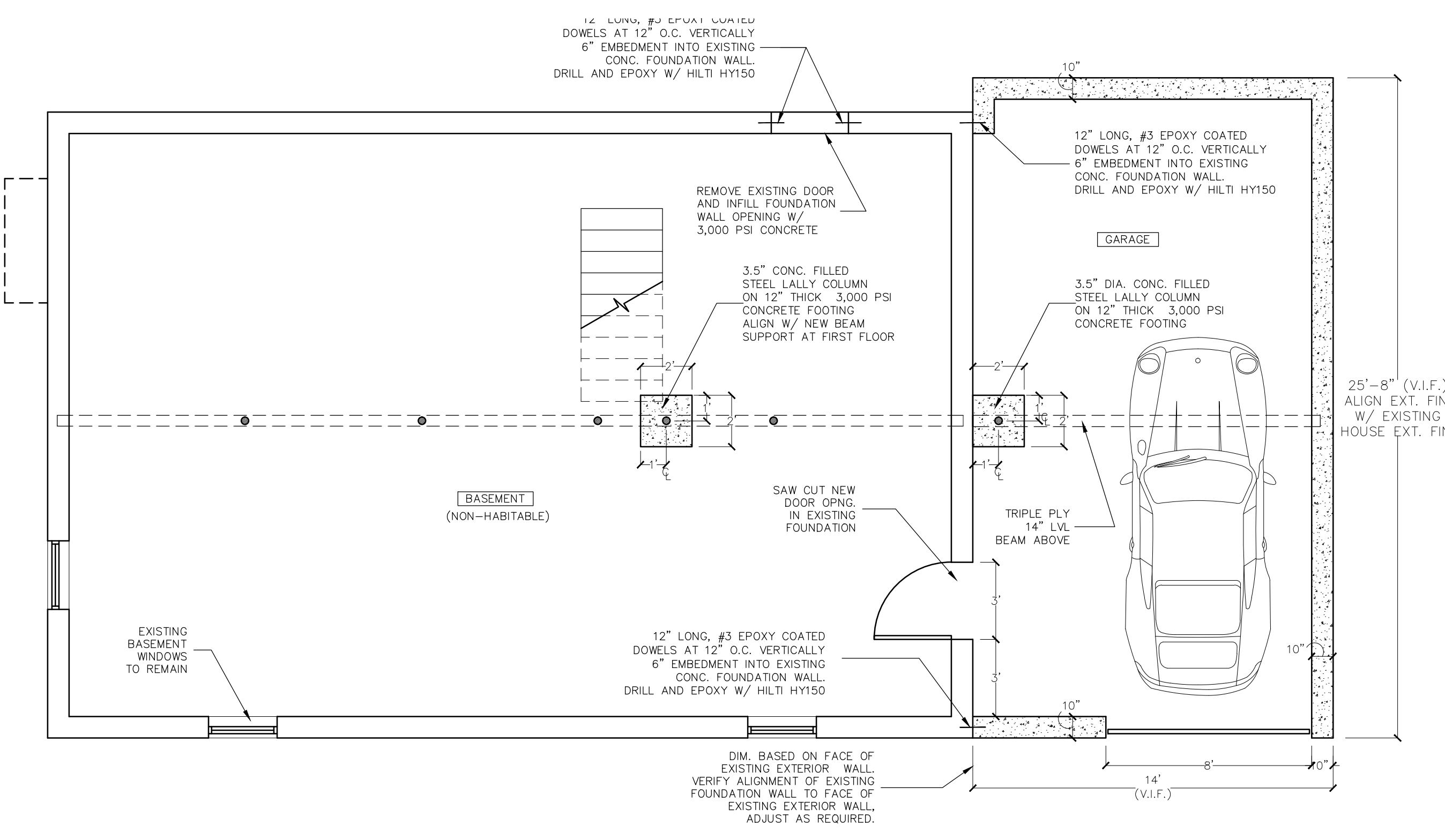
PROPOSED FLOOR PLANS

Drawing Title

Project No. 00273.00	Checked JK	Date 9/05/13
Drawn JK	Approved	Scale 1/4" = 1'-0"

Drawing No.

A-2



3 PROPOSED BASEMENT/GARAGE LEVEL PLAN

Seal

LEGEND

- EXISTING TO BE REMOVED
- ////// EXISTING WALL TO REMAIN
- ==== NEW PARTITION WALL
- ⌣ NEW DOOR
- ⌢ NEW BIFOLD DOOR
- ⌢ EXISTING DOOR
- ⊖ DOOR WIDTH

NO.	DATE	DESCRIPTION	BY

REVISIONS

HOME ADDITIONS  
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344 POND STREET

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BOSTON, MA

Project

EXISTING EXTERIOR  
ELEVATIONS

Drawing Title

Project No. 00273.00	Checked	Date 9/05/13
Drawn JK	Approved	Scale 1/4" = 1'-0"

Drawing No.

A-3

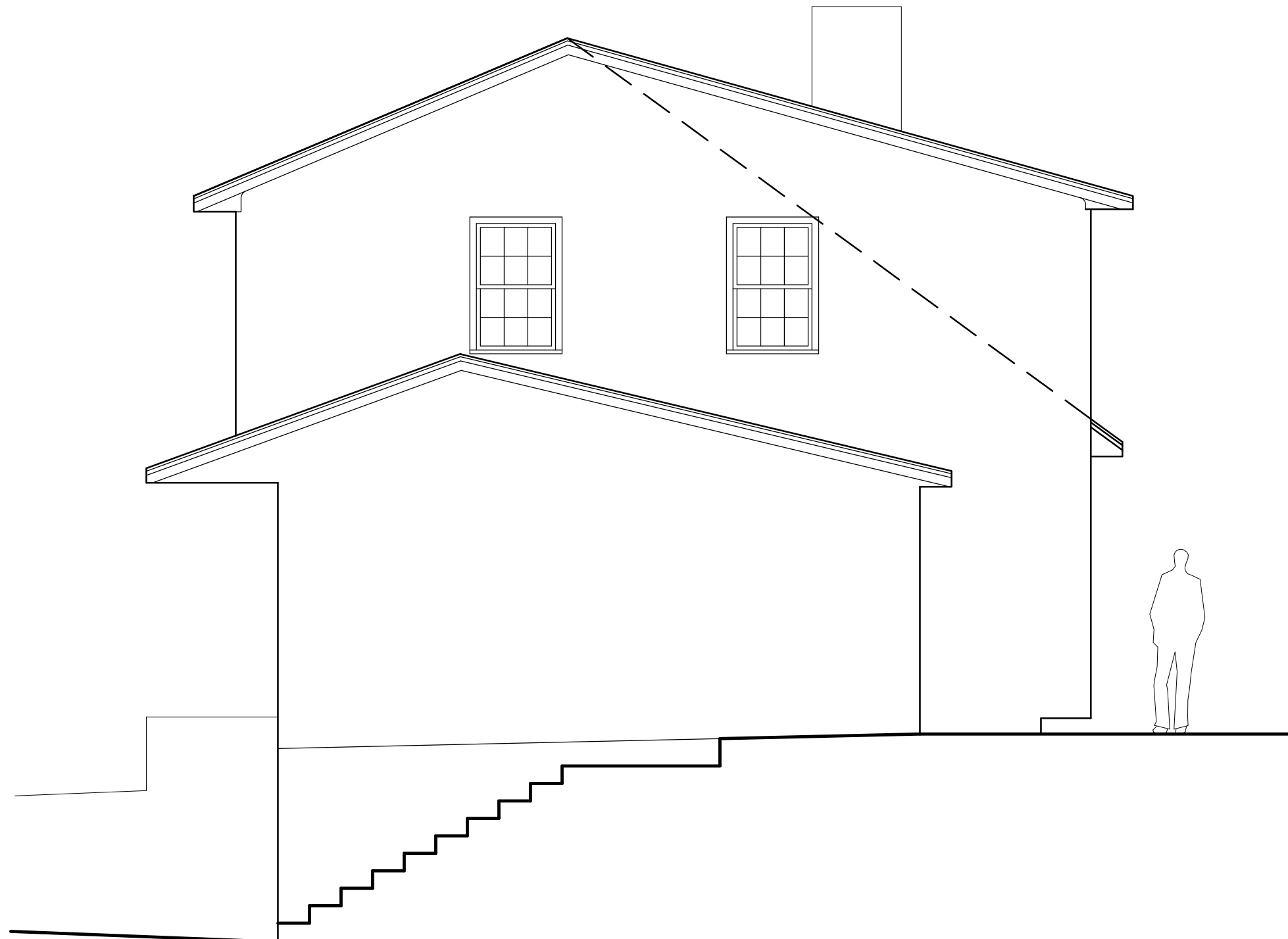
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1 EXISTING GABLE (NORTH) ELEVATION



2 EXISTING FRONT (WEST) ELEVATION

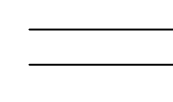
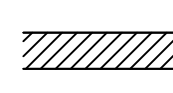
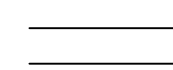
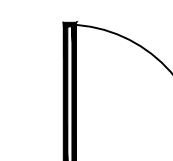


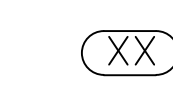


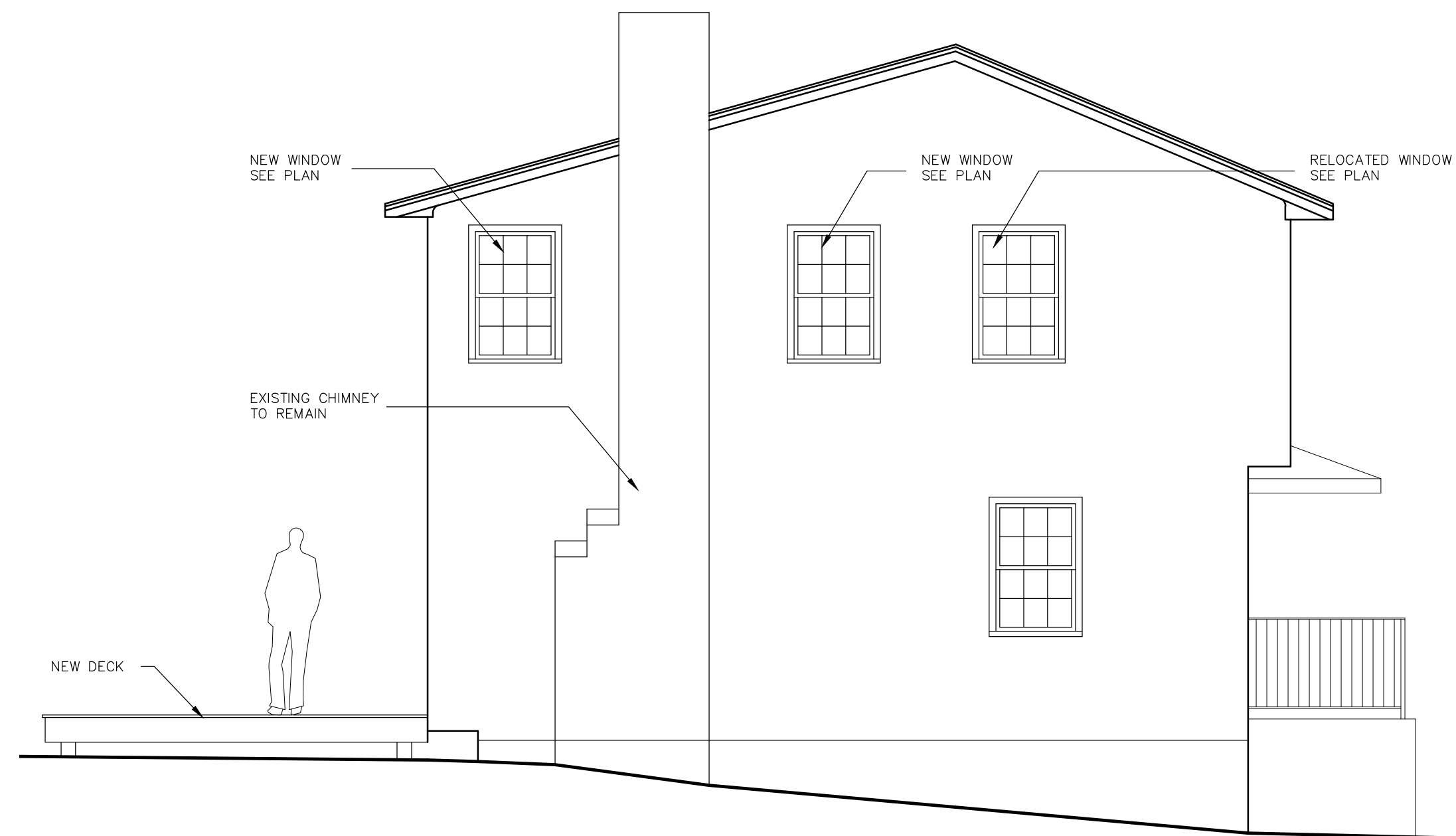
3 EXISTING GABLE (SOUTH) ELEVATION



4 EXISTING REAR (EAST) ELEVATION

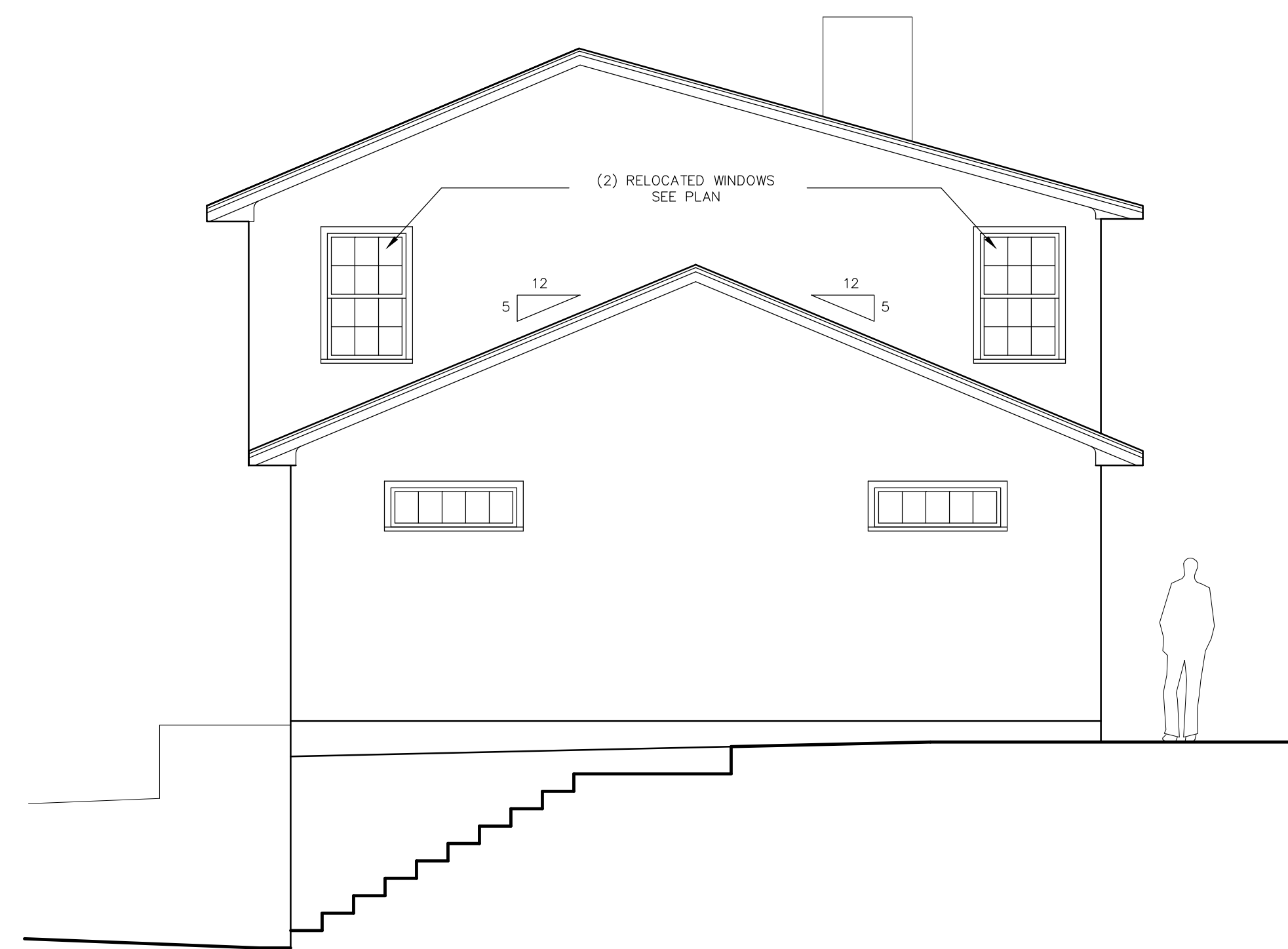
LEGEND

-  EXISTING TO BE REMOVED
-  EXISTING WALL TO REMAIN
-  NEW PARTITION WALL
-  NEW DOOR
-  NEW BIFOLD DOOR
-  EXISTING DOOR
-  DOOR WIDTH



① PROPOSED GABLE (NORTH) ELEVATION

② PROPOSED FRONT (WEST) ELEVATION



③ EXISTING GABLE (SOUTH) ELEVATION

④ PROPOSE REAR (EAST) ELEVATION

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HOME ADDITIONS  
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344 POND STREET

JAMAICA PLAIN  
BOSTON, MA

Project

PROPOSED EXTERIOR  
ELEVATIONS

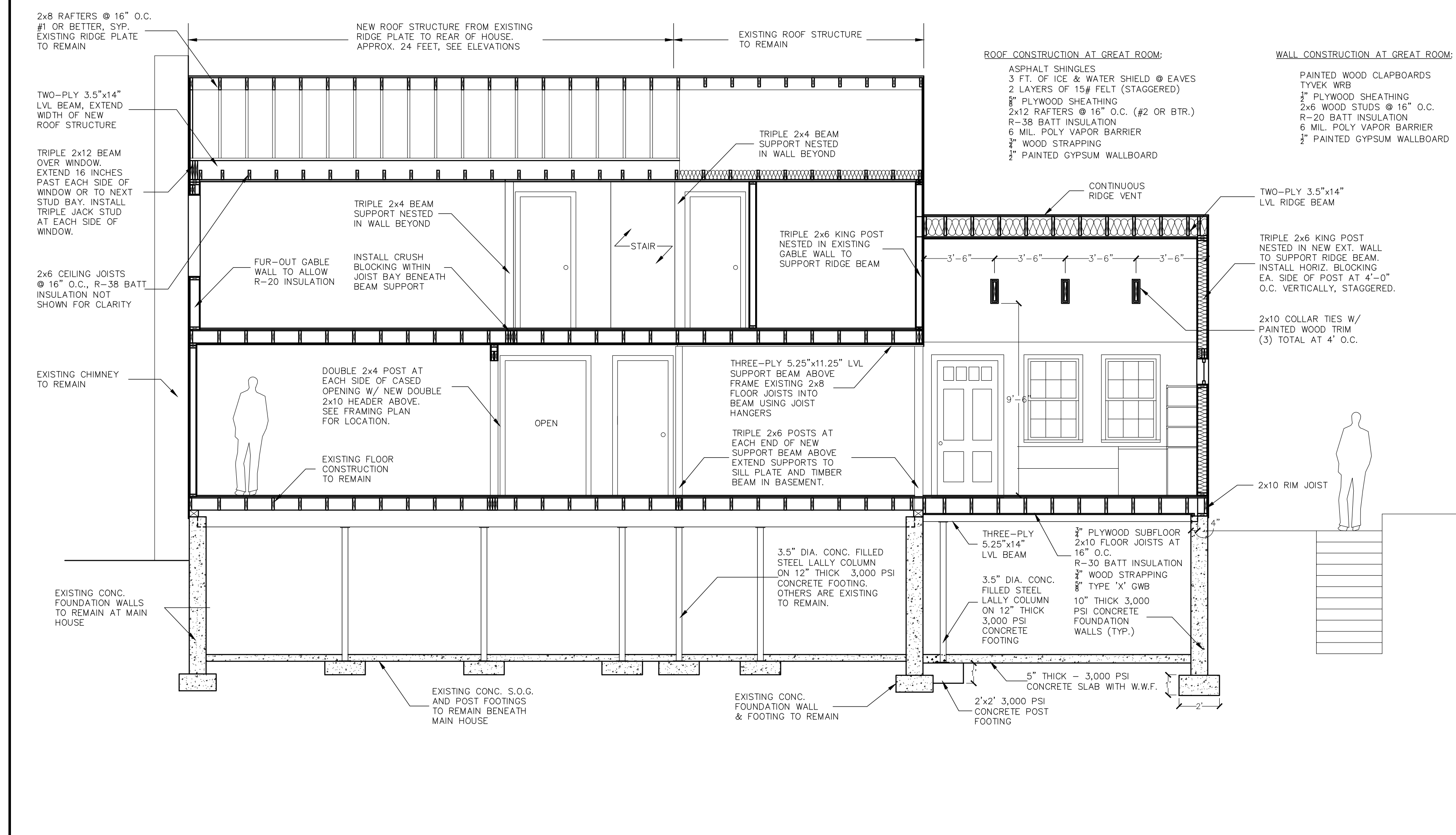
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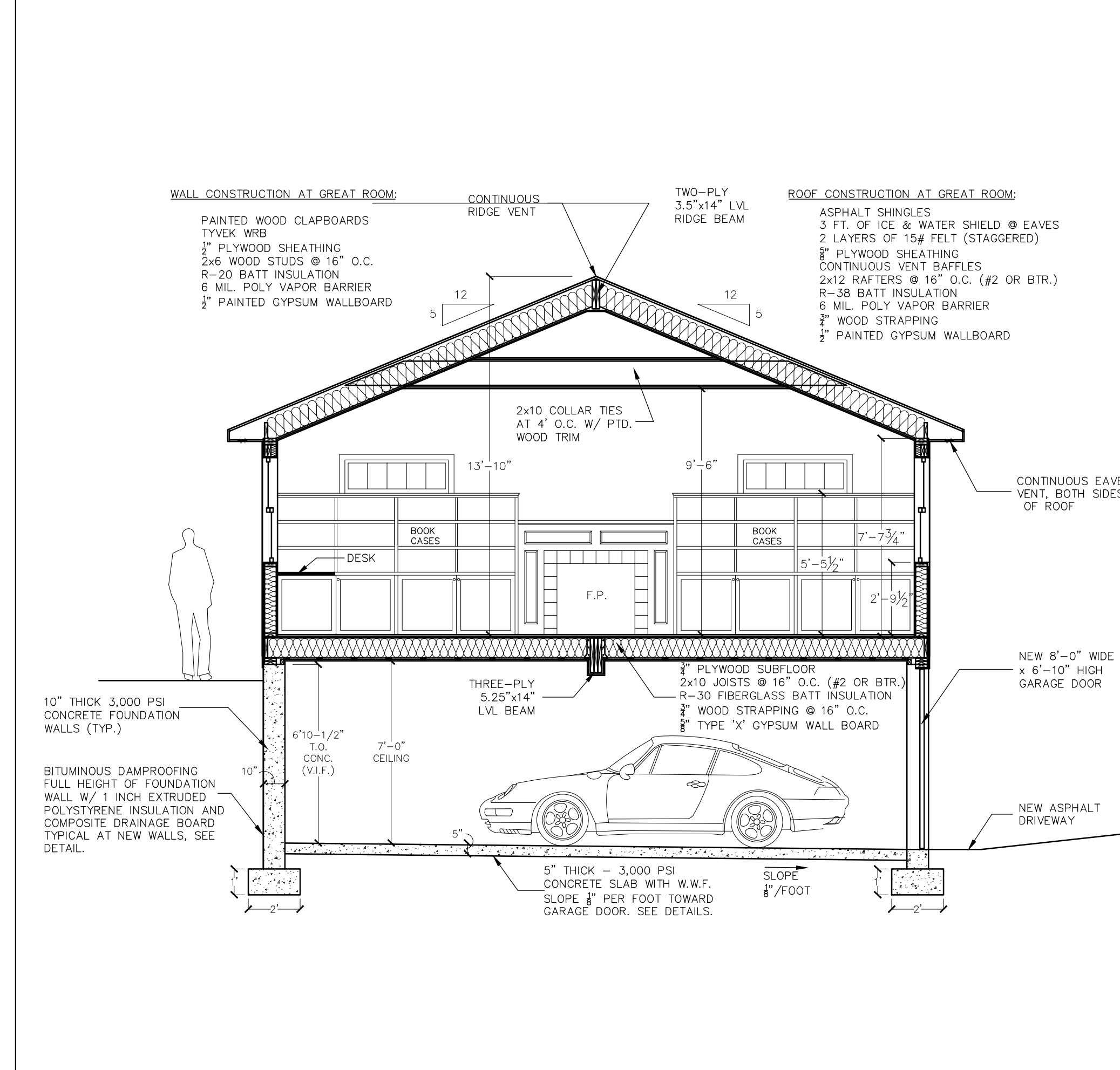
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LEGEND

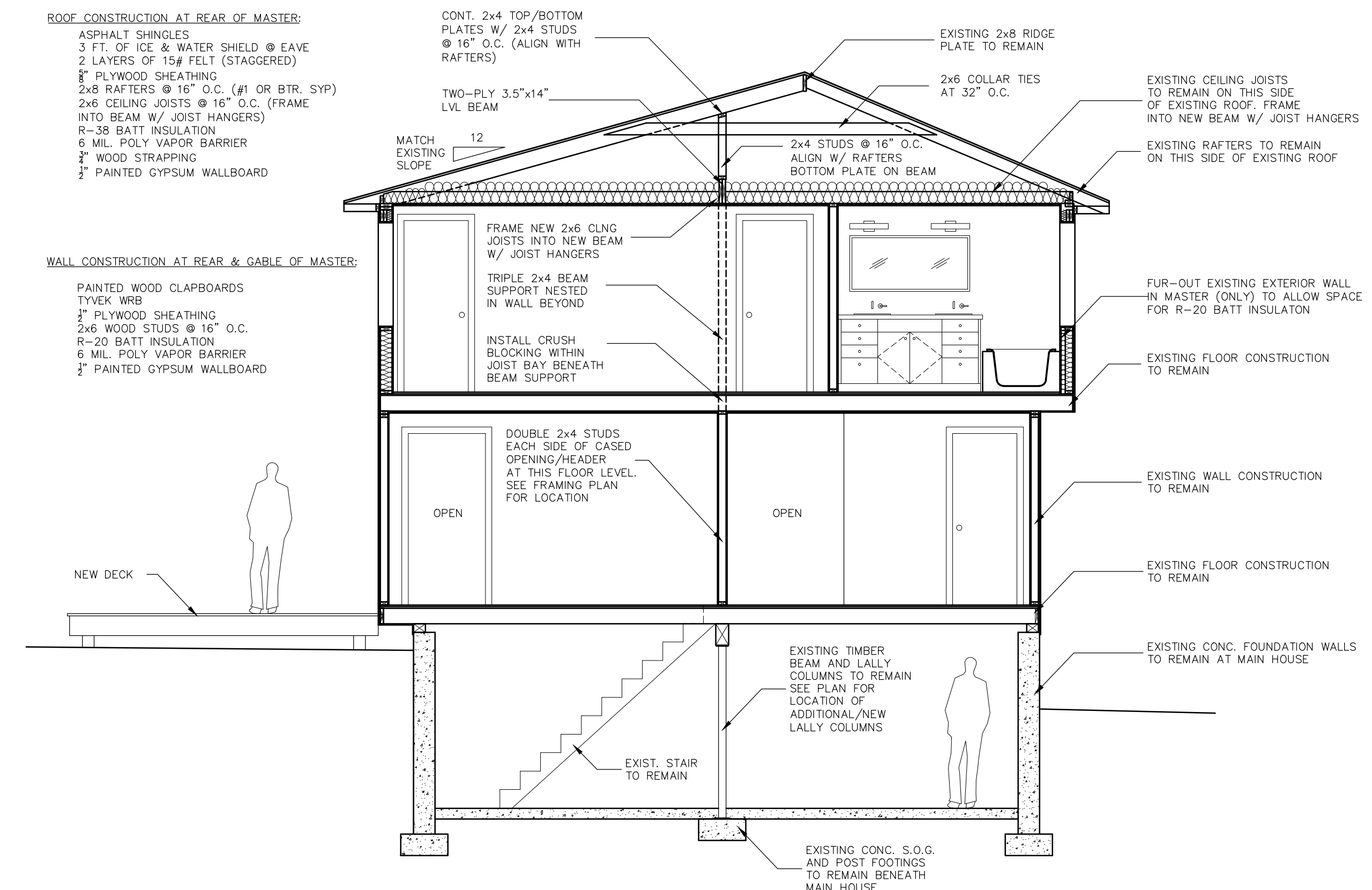
- EXISTING TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW PARTITION WALL
- NEW DOOR
- NEW BIFOLD DOOR
- EXISTING DOOR
- DOOR WIDTH



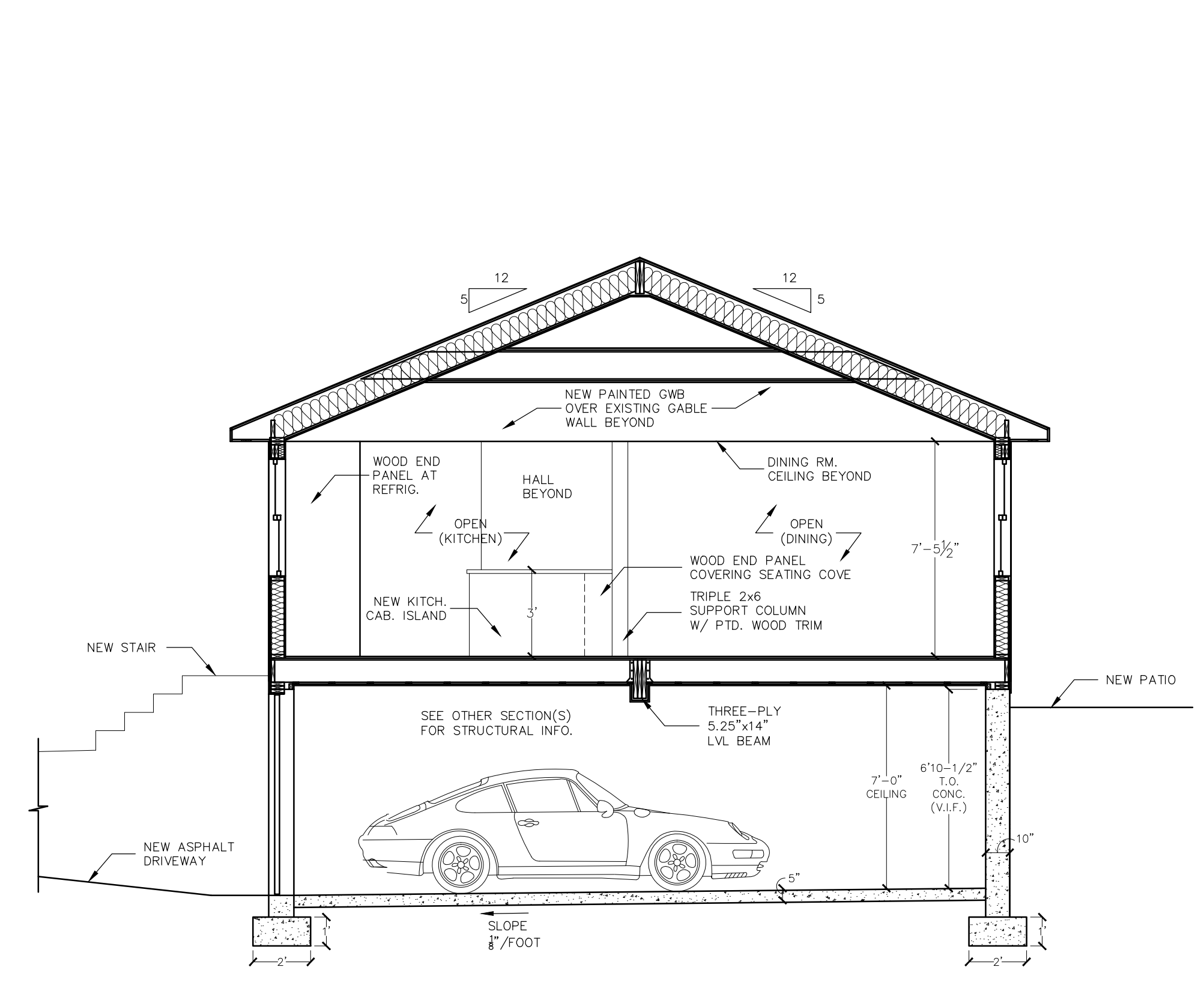
1 CROSS SECTION THROUGH MASTER AND GREAT ROOM - FACING EAST



2 CROSS SECTION THROUGH GREAT ROOM - FACING SOUTH



3 EAST/WEST CROSS SECTION THROUGH MASTER SUITE - FACING SOUTH



4 CROSS SECTION THROUGH GREAT ROOM - FACING NORTH

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REVISIONS

HOME ADDITIONS AND RENOVATION  
344 POND STREET  
JAMAICA PLAIN  
BOSTON, MA  
Project

PROPOSED  
CROSS SECTIONS  
Drawing Title

Project No. 00273.00	Checked JK	Date 9/05/13
Drawn JK	Approved	Scale 1/4" = 1'-0"

Drawing No.  
A-5  
Seal

LEGEND

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REVISIONS

HOME ADDITIONS  
AND RENOVATION  
344 POND STREET

JAMAICA PLAIN  
BOSTON, MA

Project

PROPOSED FRAMING  
PLANS AND DETAILS

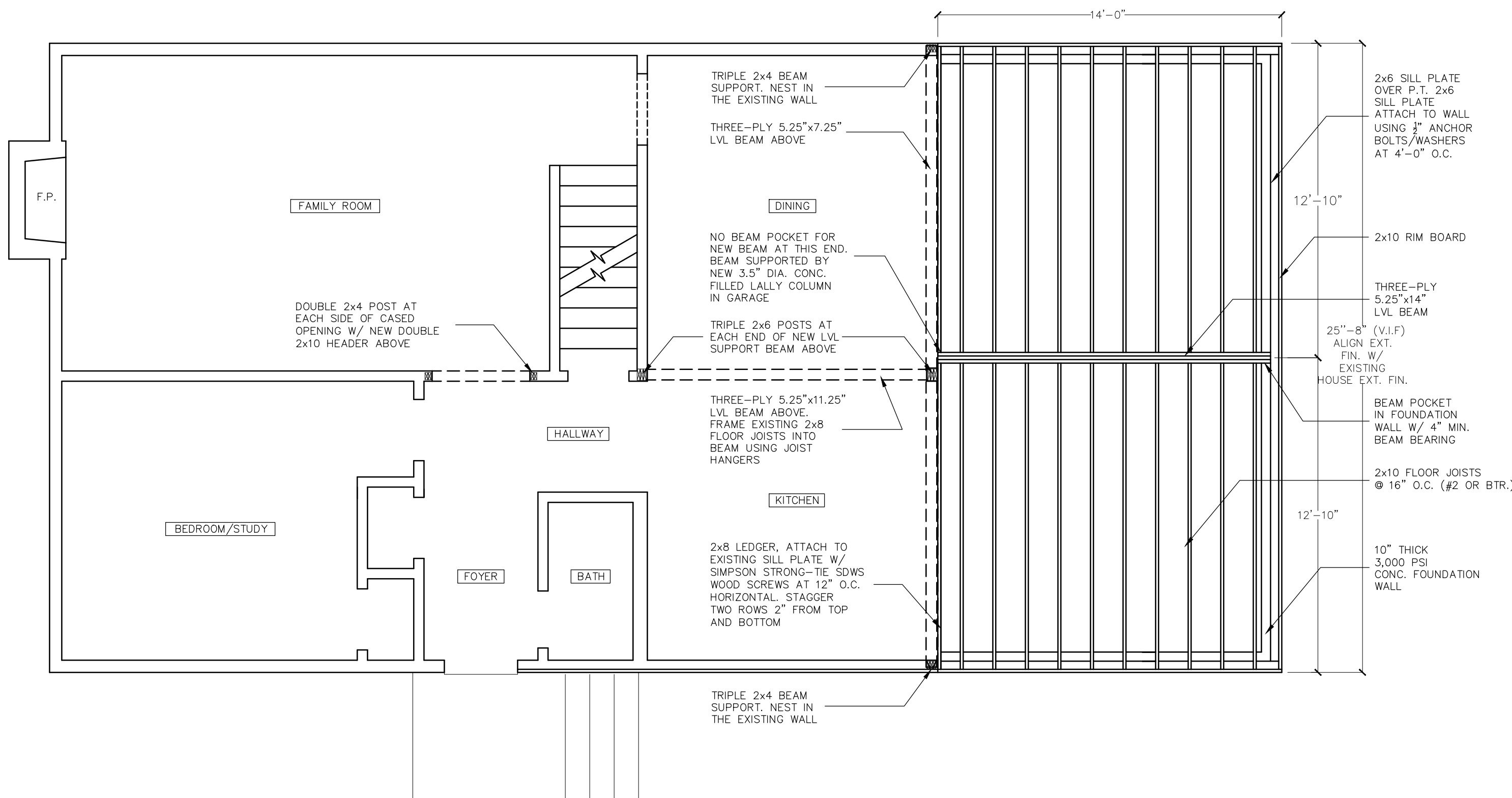
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Project No. 00273.00	Checked JK	Date 9/05/13
Drawn JK	Approved	Scale 3/4" = 1'-0"

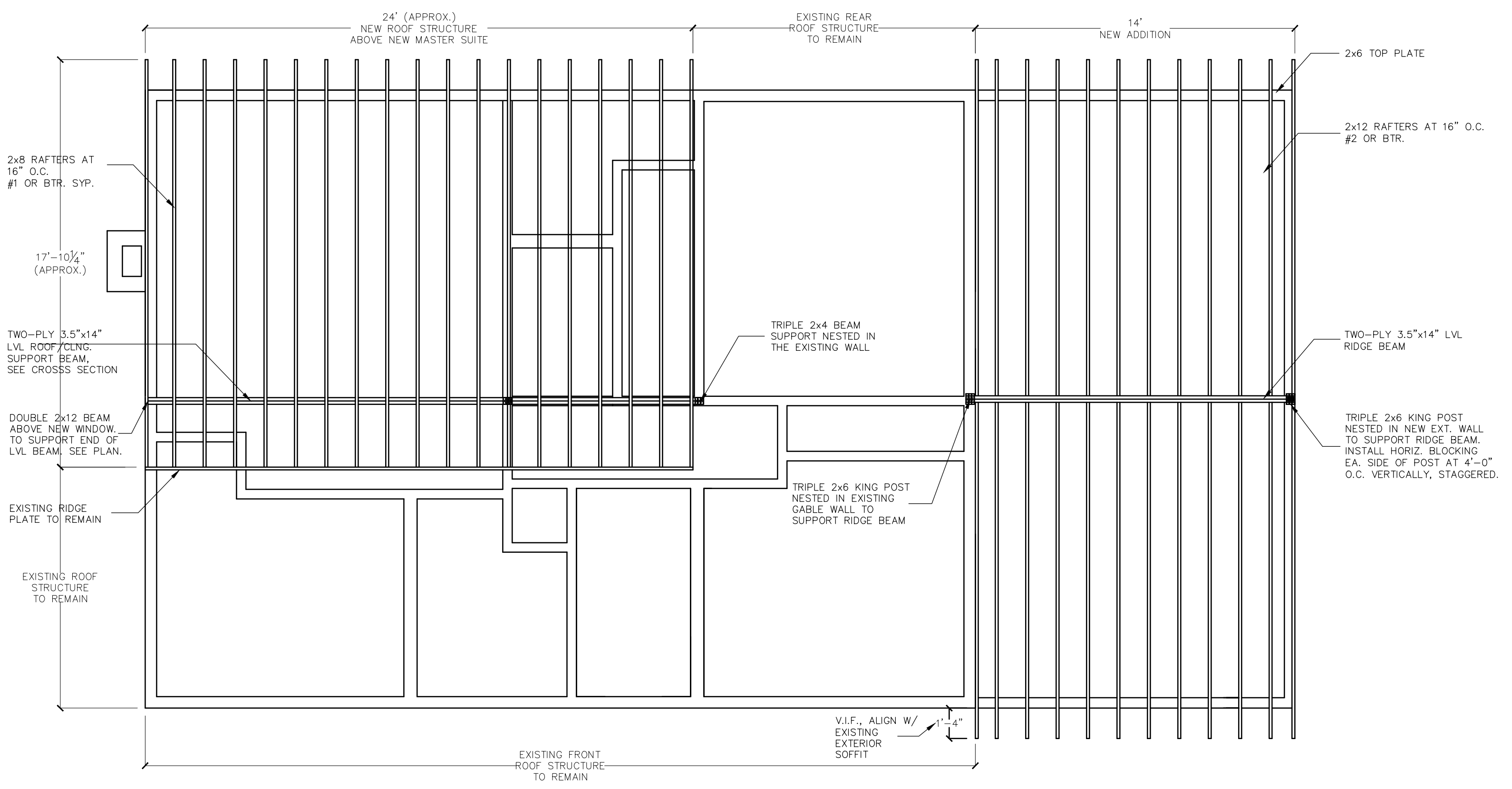
Drawing No.

A-6

Seal



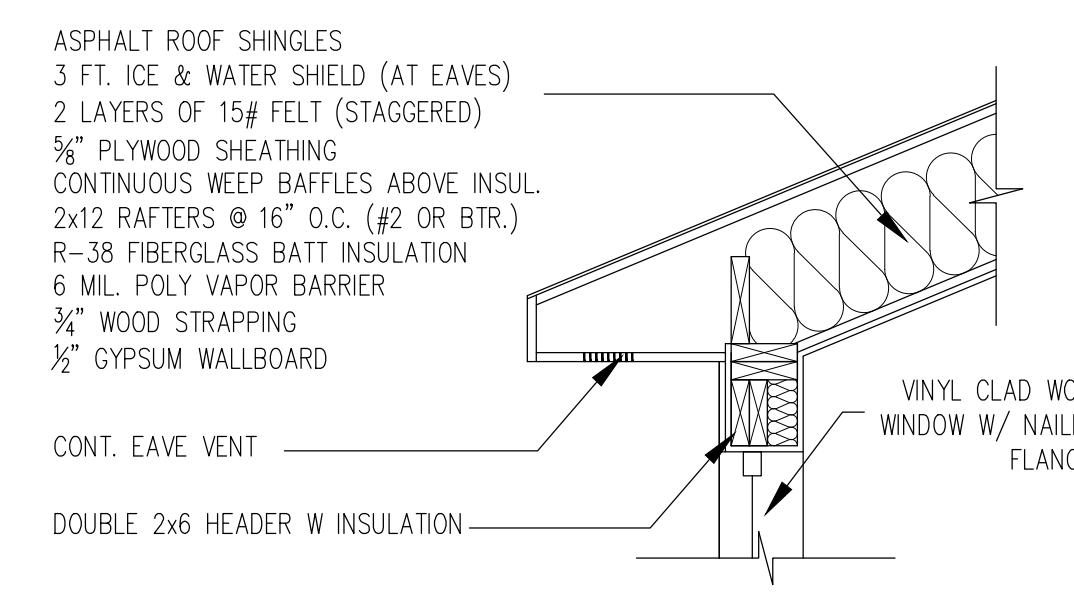
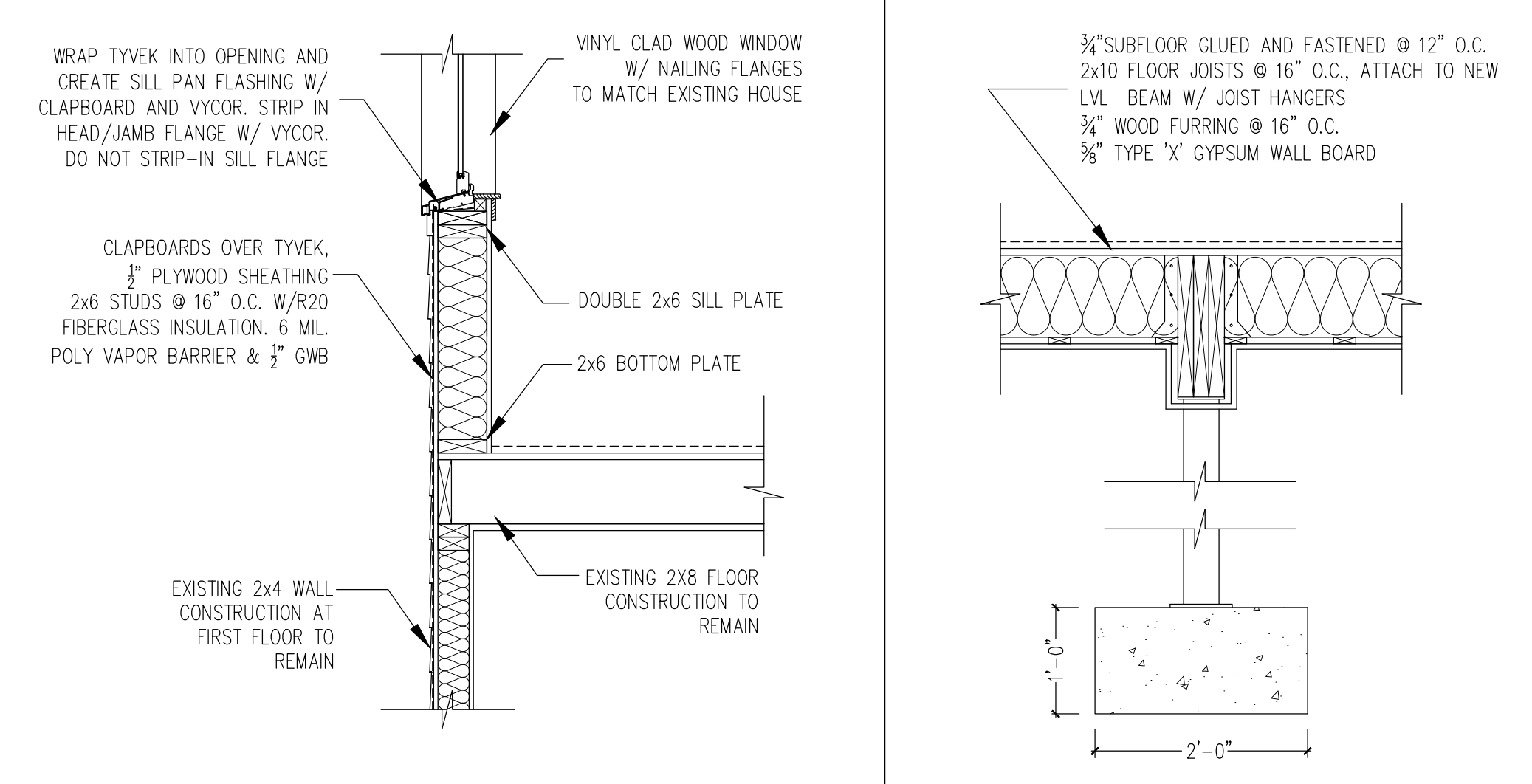
1 PROPOSED FIRST FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"



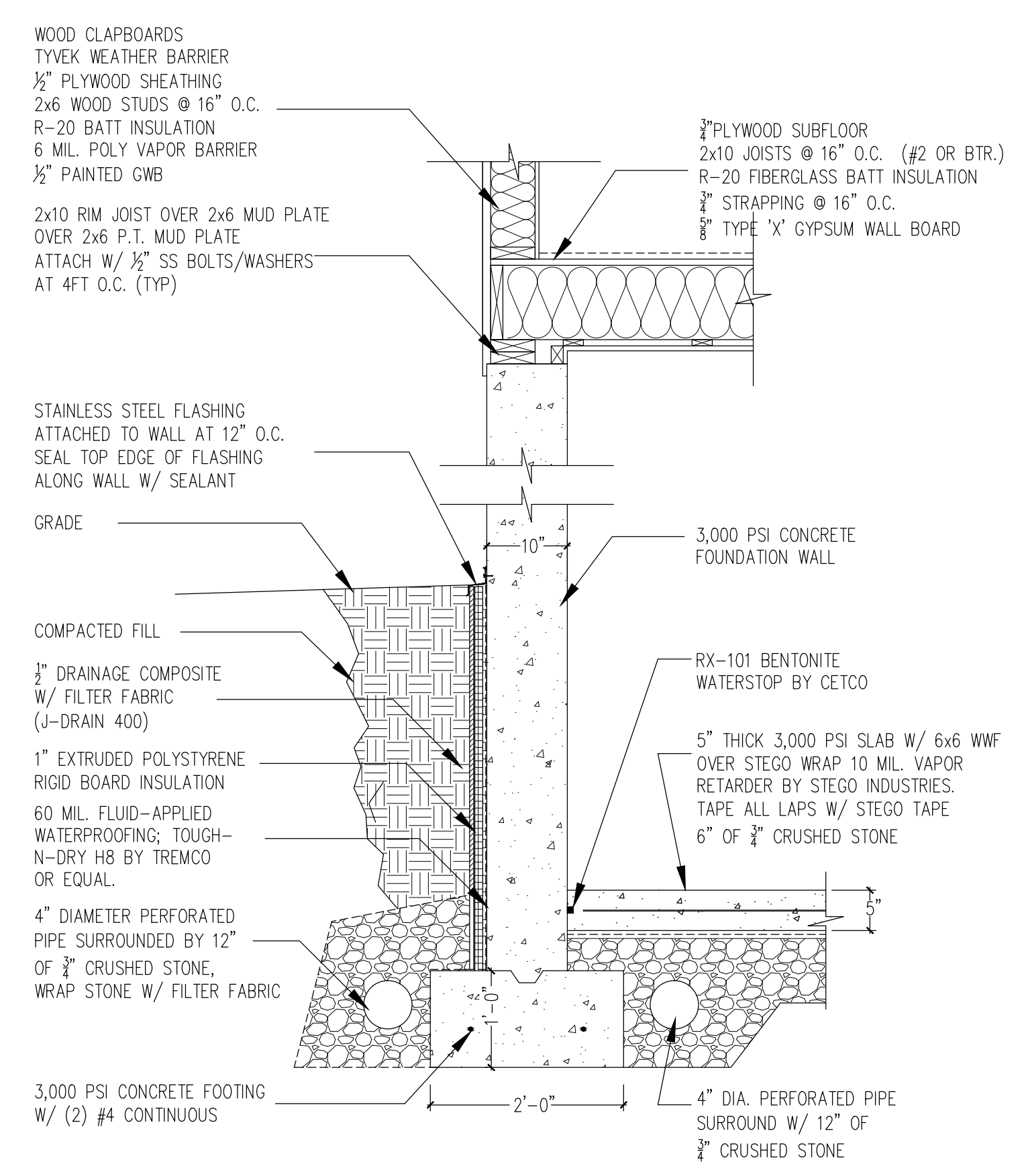
2 PROPOSED ROOF FRAMING PLAN SCALE: 1/4" = 1'-0"

3 BACK WALL AT MASTER SUITE

4 BEAM @ GARAGE CEILING



5 DETAIL AT NEW FOUNDATION WALL



LEGEND

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HOME ADDITIONS  
AND RENOVATION  
344 POND STREET

JAMAICA PLAIN  
BOSTON, MA

Project

INTERIOR ELEVATIONS  
& FRAMING DETAILS

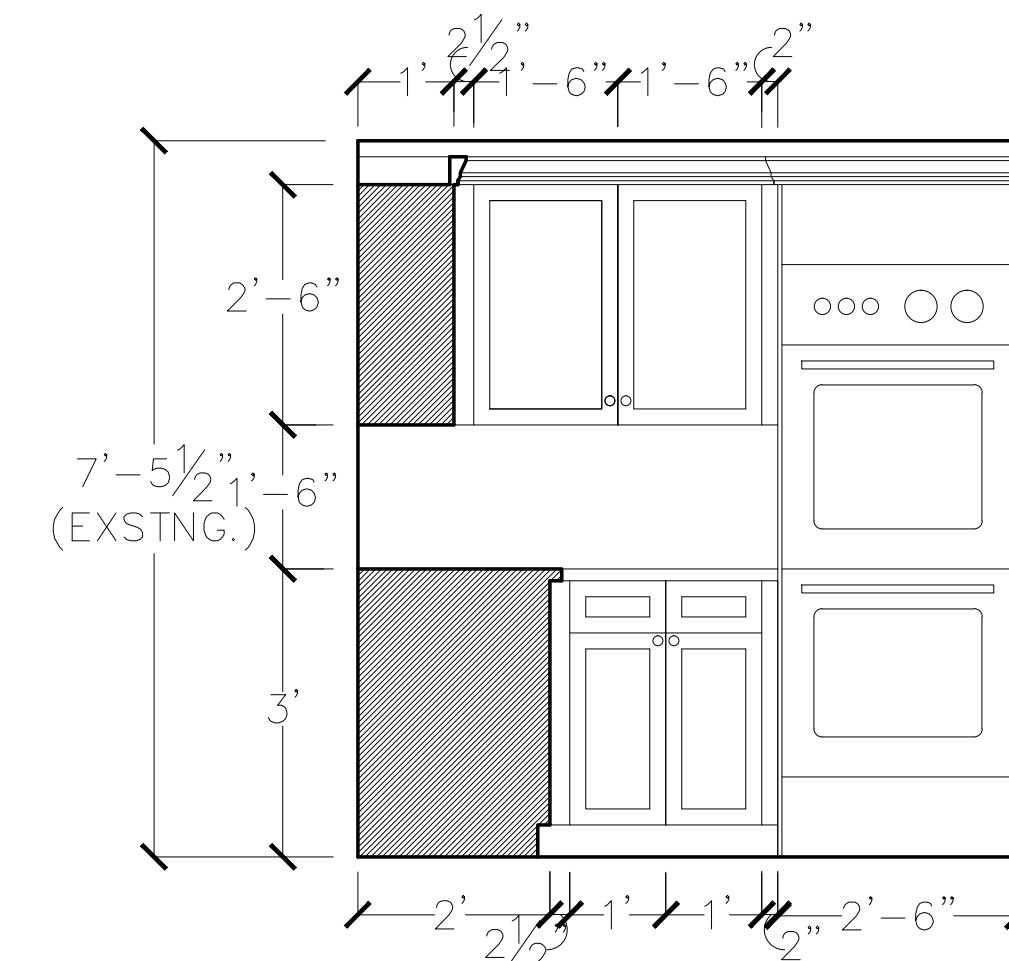
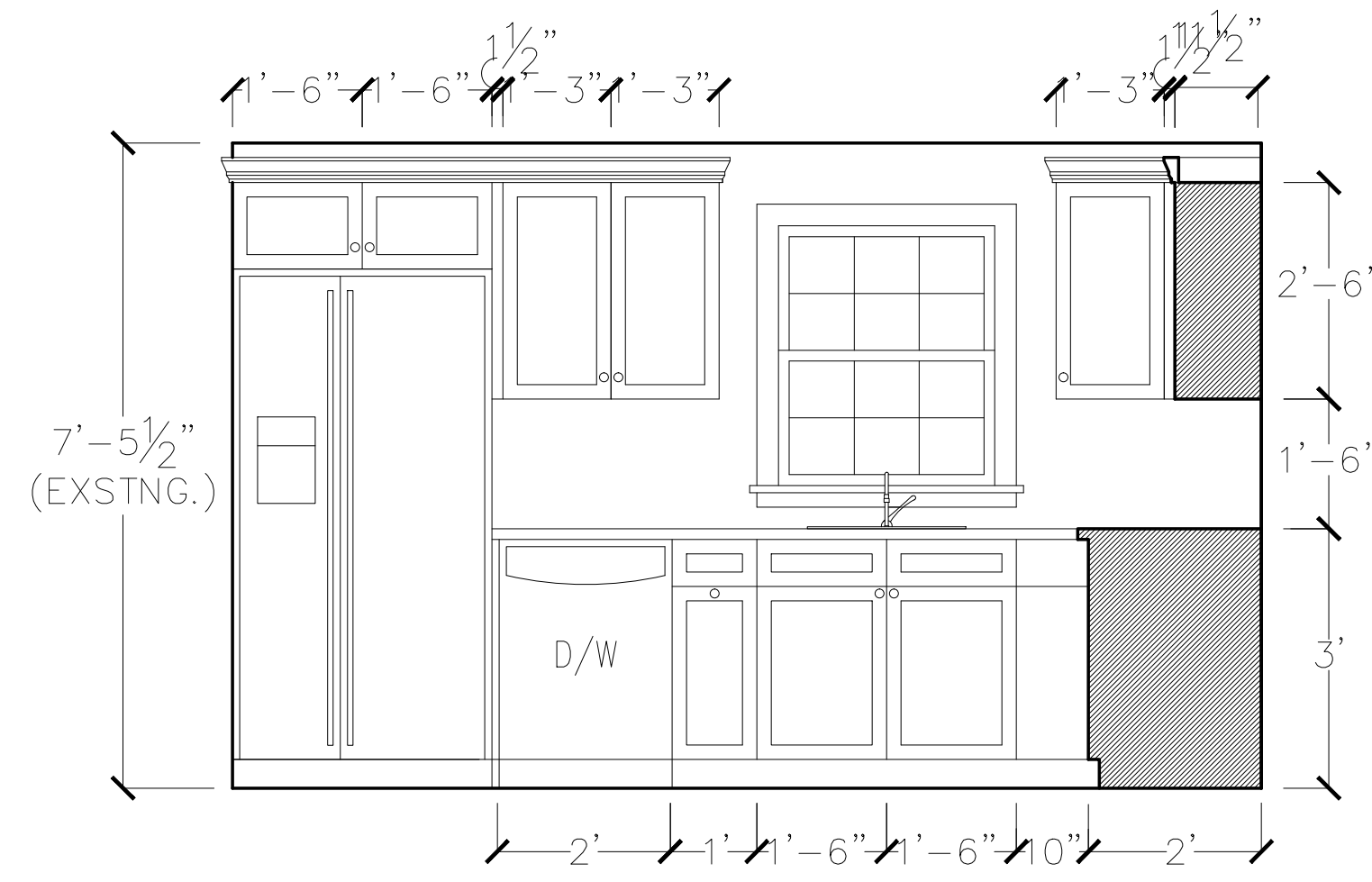
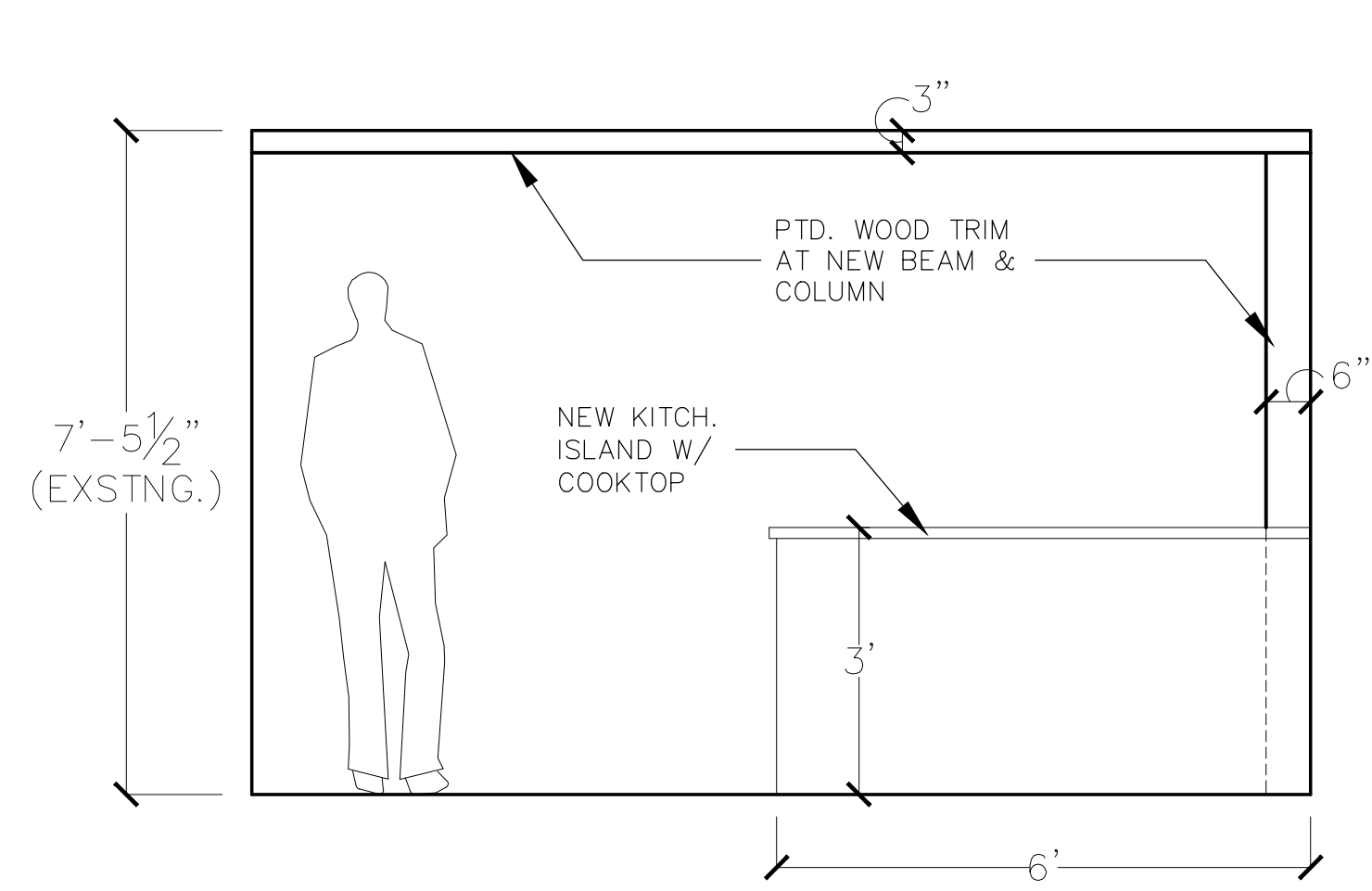
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Drawing No.

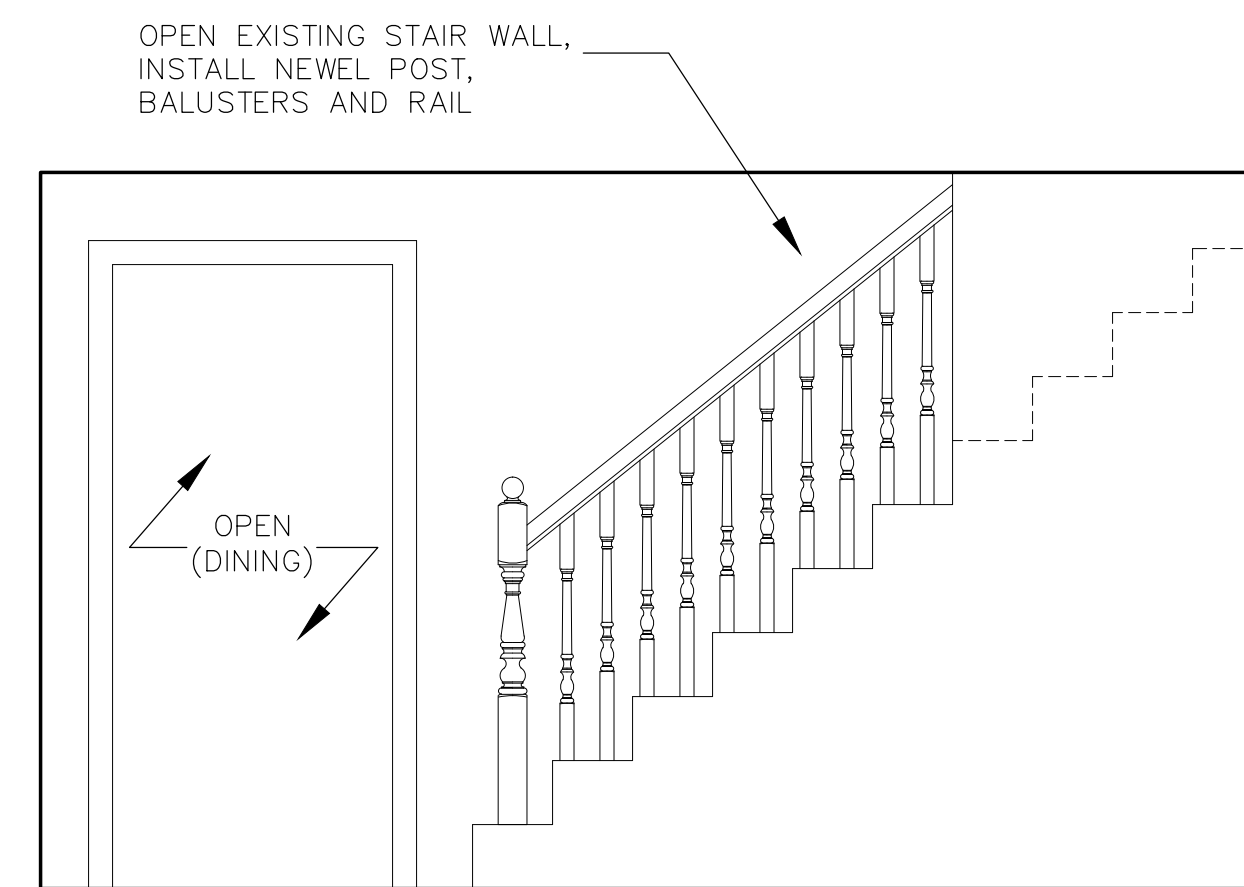
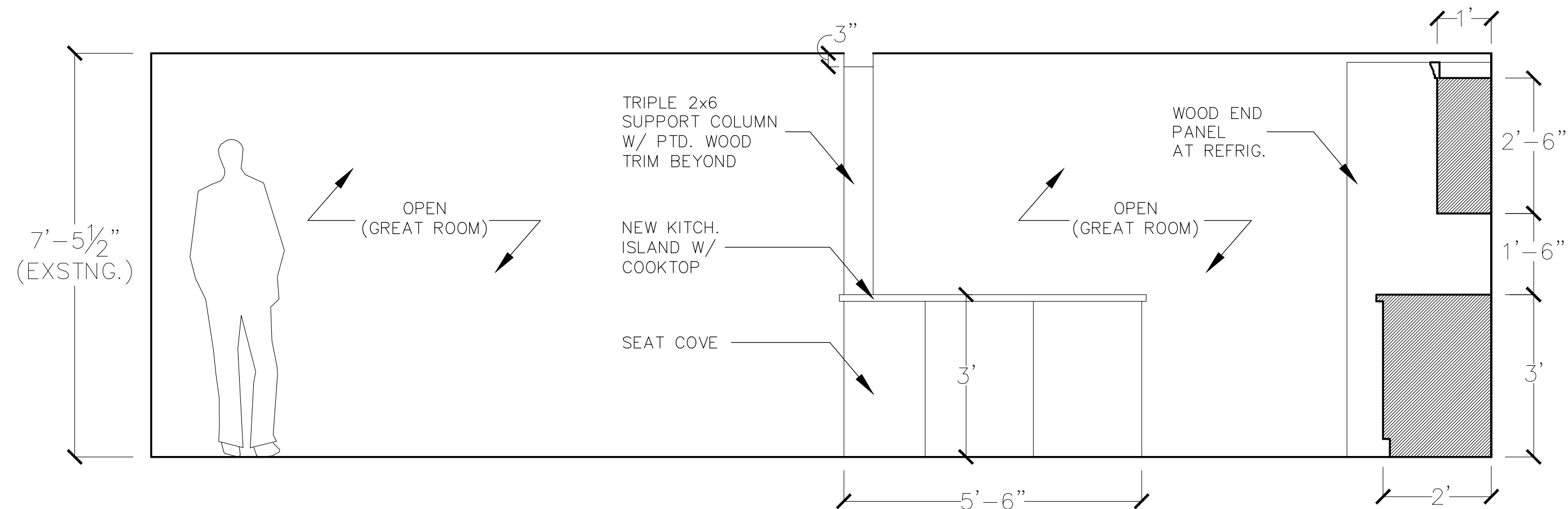
A-7

Seal



1 PROPOSED KITCHEN ELEVATIONS

SCALE: 1/2" = 1' = 0"

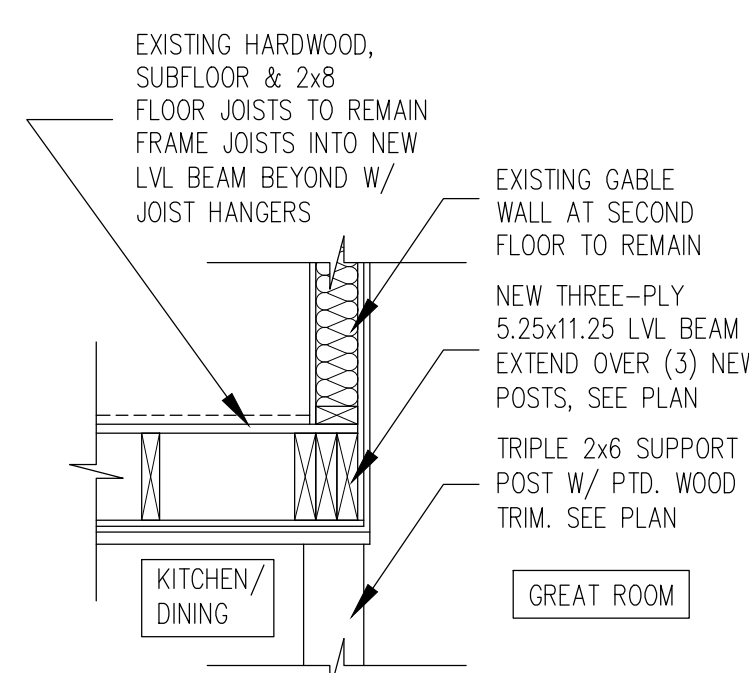
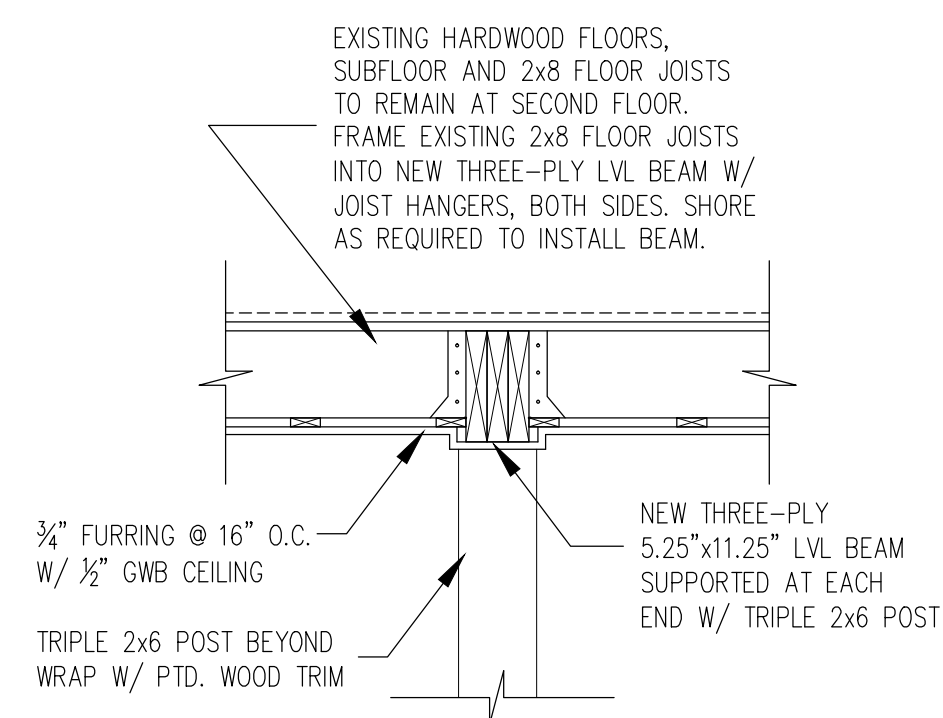


2 PROPOSED DINING ROOM/KITCHEN ELEVATION

SCALE: 1/2" = 1' = 0"

3 PROPOSED LIVING ROOM ELEVATION AT STAIR

SCALE: 1/2" = 1' = 0"

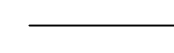
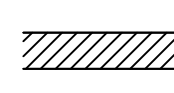
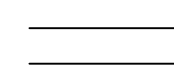
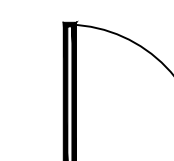





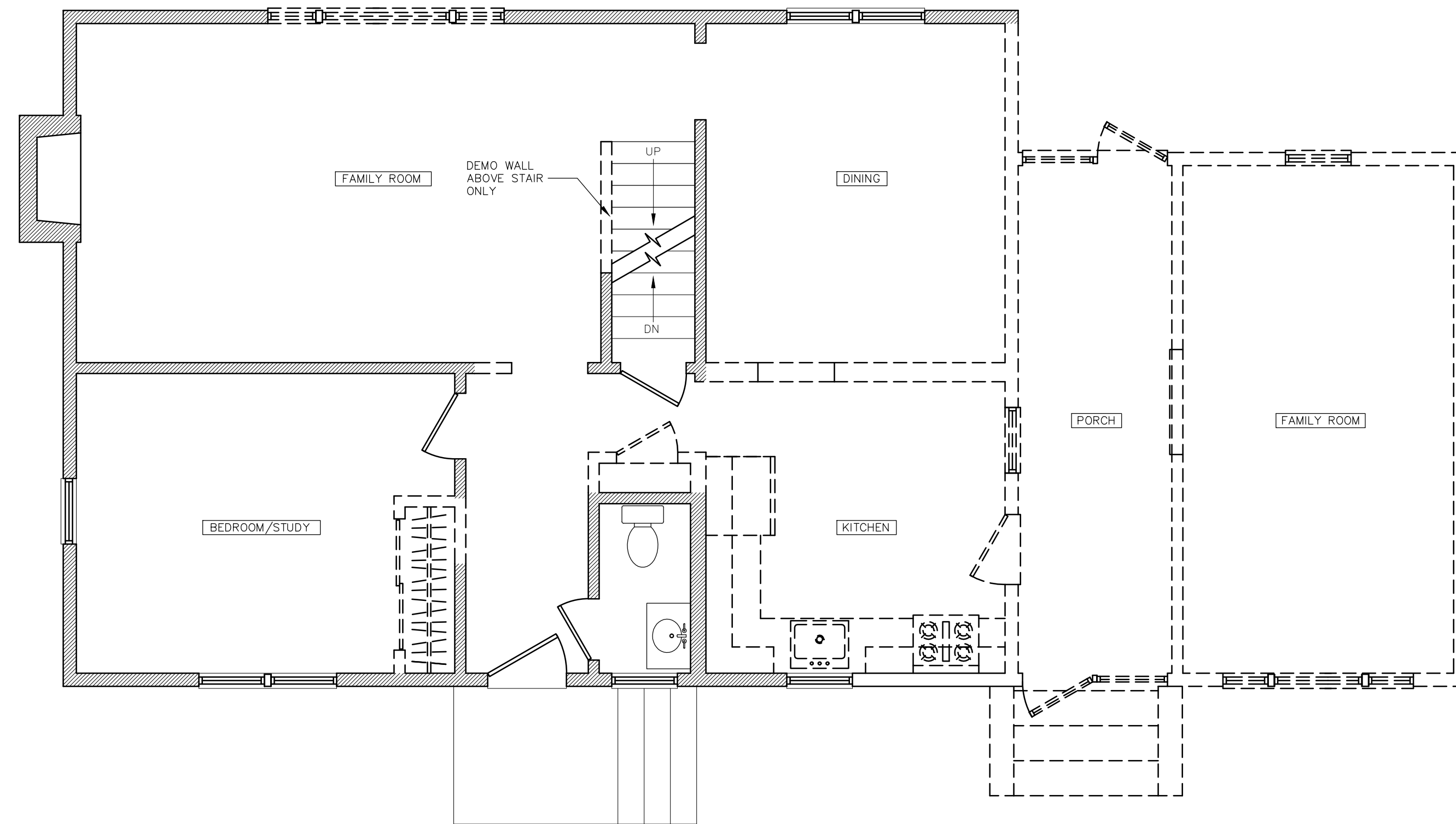
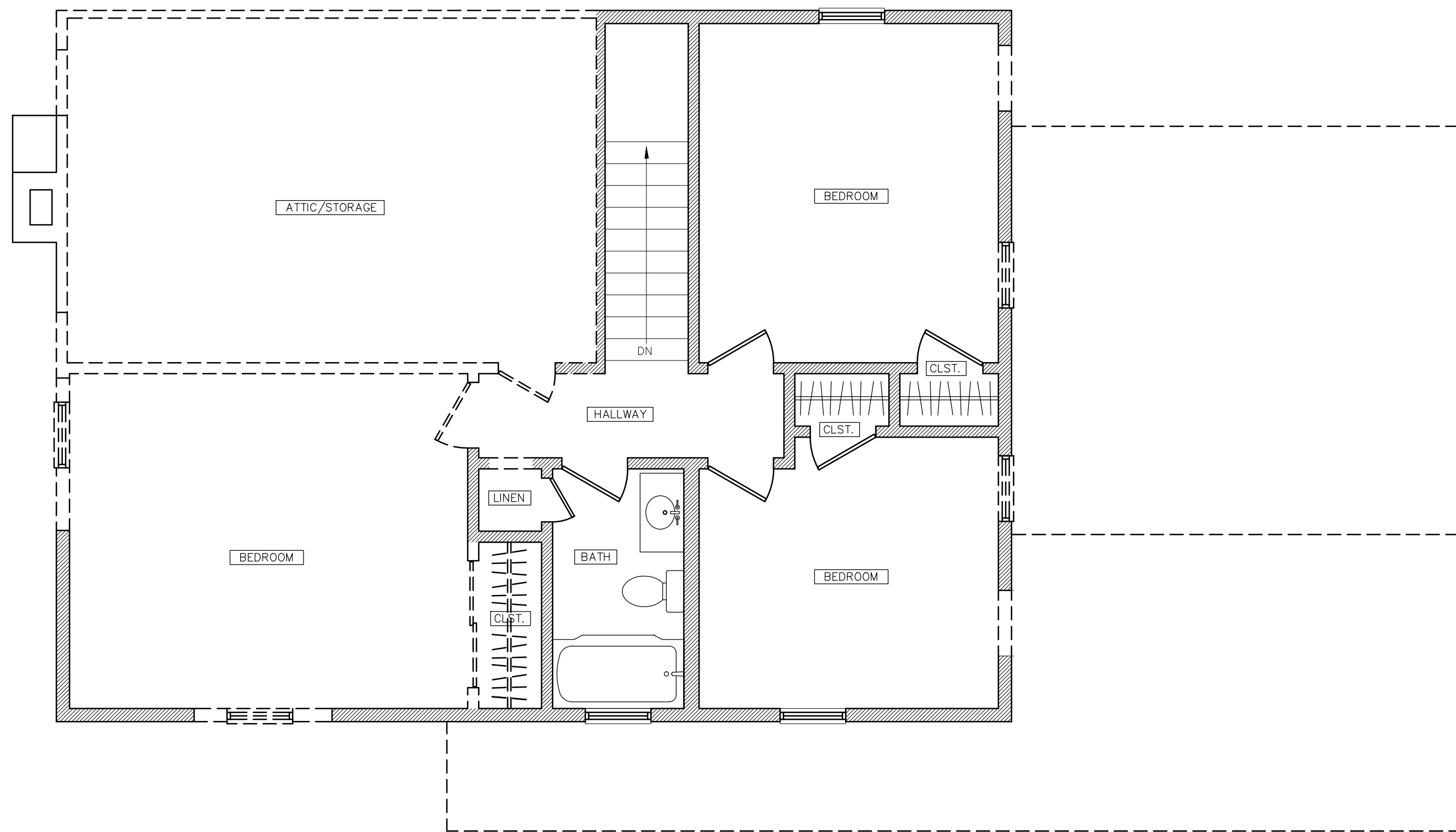
4 NEW BEAM AT DINING/KITCHEN CEILING

5 NEW BEAM AT DINING/KITCHEN AND GREAT RM.



LEGEND

-  EXISTING TO BE REMOVED
-  EXISTING WALL TO REMAIN
-  NEW PARTITION WALL
-  NEW DOOR
-  NEW BIFOLD DOOR
-  EXISTING DOOR
-  DOOR WIDTH



① SECOND FLOOR DEMOLITION PLAN

② FIRST FLOOR DEMOLITION PLAN

NO.	DATE	DESCRIPTION	BY

REVISIONS

HOME ADDITIONS  
AND RENOVATION  
344 POND STREET

JAMAICA PLAIN  
BOSTON, MA

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DEMOLITION  
PLANS

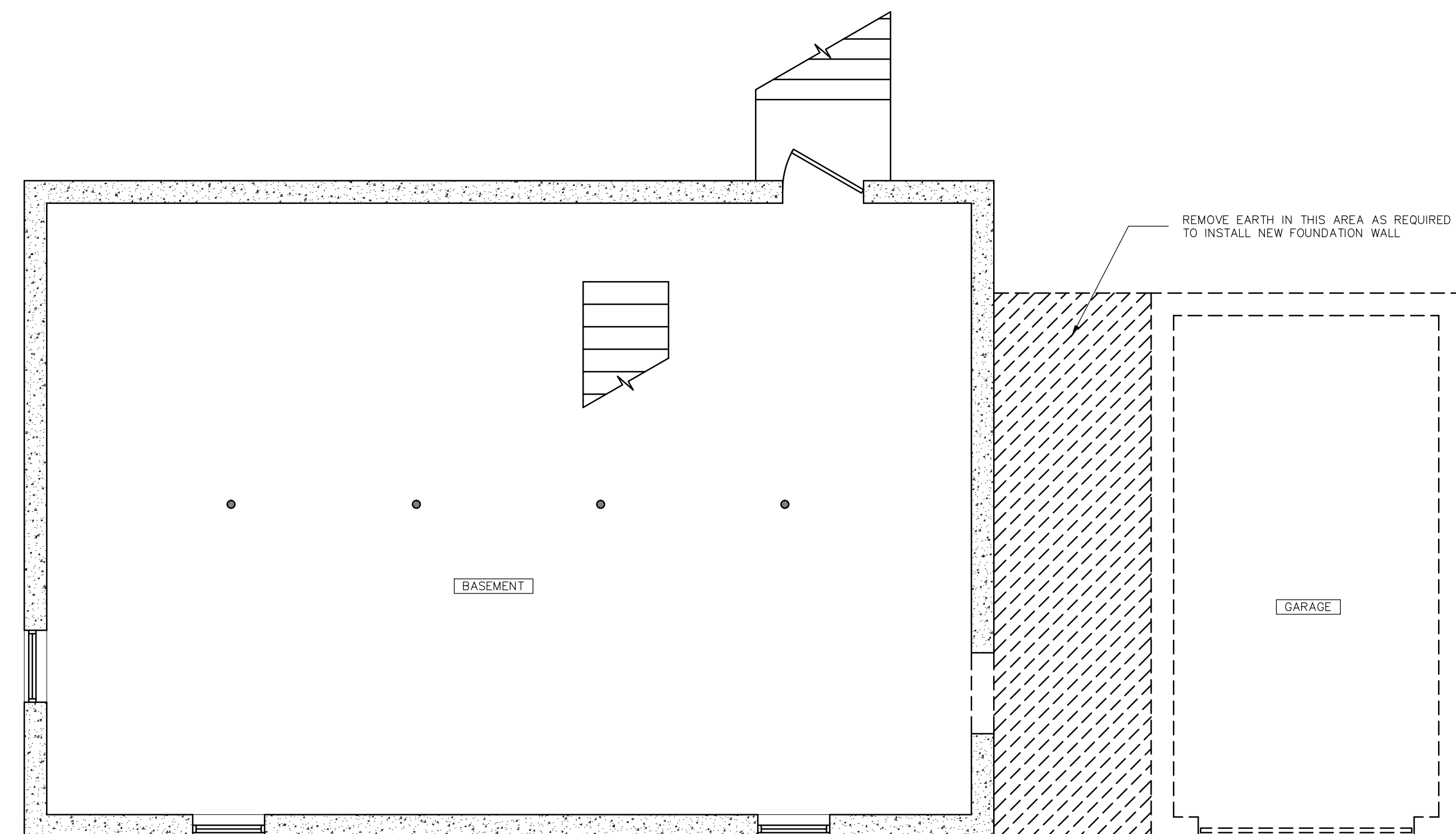
Drawing Title

Project No. 00273.00	Checked	Date 9/05/13
Drawn JK	Approved	Scale 1/4" = 1'-0"

Drawing No.

D-1

Seal



③ BASEMENT/GARAGE LEVEL DEMOLITON PLAN