

**LEGEND**

- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- ▷ FLARED END SECTION (FES)
- SEWER MANHOLE (SMH)
- TELEPHONE MANHOLE (TMH)
- GAS GATE (GG)
- GAS SERVICE (GS)
- WATER GATE (WG)
- WATER SERVICE (WS)
- HYDRANT (HYD)
- ☆ SPLASH BLOCK
- ☆ LIGHT POLE (LP)
- ☆ PROPOSED LAMP POST (LAMP)
- UTILITY POLE (UP)
- UTILITY POLE W/ LIGHT (UP/LP)
- HAND HOLE (HH)
- VERTICAL GRANITE CURB (GC)
- SLOPED GRANITE CURB (SGC)
- BITUMINOUS CONCRETE BEAM (BB)
- C&G CAP COD BEAM (CCB)
- PRECAST CONCRETE CURB (CC)
- EDGE OF PAVEMENT (EP)
- ▲ SIGN

**NOTES**

THE PROPERTY LINE AND TOPOGRAPHIC INFORMATION IS BASED ON AN ACTUAL INSTRUMENT SURVEY PERFORMED BY NORWOOD ENGINEERING COMPANY CO., INC. IN SEPTEMBER OF 2013.

LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA PROVIDED BY THE OWNER. UNLESS OTHERWISE NOTED, FIELD RESEARCHED AND POSSIBLE UNDERGROUND UTILITIES OR MANHOLES NOT INDICATED ON THESE PLANS SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION. VERIFY FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. THE BOSTON WATER AND SEWER COMMISSION IS NOT PART OF DIG SAFE THEREFORE, FIELD LOCATIONS OF WATER AND SEWER LINES MUST BE MARKED BY THE COMMISSION. CALL 1-617-350-9400 FORTY EIGHT HOURS IN ADVANCE OF ANY EXCAVATION.

SEE ARCHITECTURAL PLANS PREPARED BY EDWARD H. YEMANS, 43 GASLIGHT LANE, NEASTON, MASSACHUSETTS, 02356, PHONE 508-238-3873.

BENCHMARKS: BWSIC RECORDS (G.I.S. MAP NO. 12D)

REFERENCE BENCHMARK: DMH 40

DRAIN MANHOLE 40 LOCATED IN LILA ROAD AS SHOWN ON THE BWSIC G.I.S. SEWER MAPS RIM=195.29 INVERT=184.60 (BOSTON CITY BASE)

CONSTRUCTION BENCHMARK: HYD H27

FRONT BONNET NUT OF HYDRANT H27 IN LILA ROAD AS SHOWN ON THE BWSIC G.I.S. WATER MAPS - ELEVATION=201.03 (BOSTON CITY BASE)

**DEED REFERENCE:**  
 RECORD COUNTY REGISTRY BOOK 48444 - PAGE 135

**PLAN REFERENCE:**  
 SUFFOLK COUNTY REGISTRY BOOK 4831 - PAGE 423  
 BOOK 7053 - PAGE 133

**CITY STREET LAYOUTS:**  
 LILA ROAD L-6781  
 LILA ROAD L-6782  
 LILA ROAD L-7529

**ASSESSOR'S REFERENCE:**  
 PARCEL 19-6334-000

**CITY FIELD NOTES:**  
 BOOK 1370 PAGE 134  
 BOOK 1367 PAGE 46  
 BOOK 1348 PAGE 100  
 BOOK 889 PAGE 34  
 BOOK 830 PAGE 46  
 BOOK 807 PAGE 70

**BWSIC PLANS:**  
 G.I.S. WATER & SEWER MAPS  
 BWSIC PLAN NO. A-41-11  
 BWSIC PLAN NO. H-1701A  
 BWSIC PLAN NO. H-1701B

DIMENSIONAL REQUIREMENTS		
SINGLE-FAMILY	REQUIRED	PROPOSED ADDITION
LOT AREA	9,000 SF	11,387 SF
FRONTAGE	70 FT	100.00 FT
LOT WIDTH	70 FT	100.00 FT
FRONT YARD	12 FT	12.25 FT
SIDE YARD	40 FT	47.25 FT
REAR YARD	-	2,344 SF
G.F.A.	0.3	0.206
F.A.R.	0.3	0.206
HEIGHT	35 FT	SEE ARCH PLANS
STORIES	2.5	1.0
OPEN SPACE	2,000 SF	8,376 SF
FRONT SETBACK FOR PROPOSED ADDITION (EXISTING 23.85')		11.387 SF
EXISTING GROSS FLOOR AREA (1,356 SF) FROM ASSESSOR'S RECORDS		
SEE ARTICLE 2A "LOT LINE REAR" WHERE A LOT IS IRREGULARLY SHAPED. A LINE PERPENDICULAR TO THE MEAN DIRECTION OF THE SIDE LOT LINES, AT LEAST TEN FEET IN LENGTH ON THE LOT.		

**OWNER:**  
 LAVELLE FAMILY TRUST  
 MATTHEW J. LAVELLE  
 20 LILA ROAD  
 JAMAICA PLAN, MA 02130

**APPLICANT:**  
 JAMES MCABE  
 77 SEYMOUR STREET  
 ROSINDALE, MA 02132  
 617-201-5247

**BUILDING PERMIT PLAN**  
 FOR AN ADDITION AT  
**20 LILA ROAD**  
**BOSTON, MASS.**  
 (JAMAICA PLAN - 02130-3421)

SEPTEMBER 25, 2013  
 NORWOOD ENGINEERING CO., INC.  
 CIVIL ENGINEERS & LAND SURVEYORS  
 1410 ROUTE ONE, NORWOOD, MA 02062  
 PHONE: 781-762-0143 FAX 781-762-8595

REVISIONS

SHEET No. 1 OF 1

Edward H. Yeomans  
 43 Gaslight Lane  
 N.Easton, MA, 02356  
 508.238.3873

**GENERAL NOTES**

- General
1. Structural drawings are to be used with the entire set of drawings.
  2. All safety regulations are to be strictly followed. Methods of construction and erection of structural materials is the contractor's responsibility.
  3. The contractor is responsible for dissemination of all revisions and requirements to the subcontractors.
  4. Reasonable care has been taken in the preparation of all drawings and specifications. However the Engineer does not guarantee against human error and for that reason it is imperative that the contractor shall check all dimensions and details and must verify all conditions, dimensions and elevations at the site. All discrepancies shall be brought to the attention of the Engineer before proceeding.
  5. The Contractor shall submit complete shop drawings for all concrete reinforcing, all structural steel, and both calculations and shopdrawings for all manufactured lumber products and their connectors for review prior to fabrication.

**Concrete**

1. All concrete work and materials shall comply with the Specifications for Structural Concrete for Buildings (ACI 301-89)
2. All concrete shall have a 28-day compressive strength of 3000 PSI, with maximum 1 inch aggregate and maximum 8% air entrainment for exterior concrete exposed to moisture.
3. All reinforcing steel shall be deformed bars of new billet steel conforming to ASTM A 615 Grade 60.
4. Concrete cover of reinforcing bars shall be as follows:
  - a. 3" at concrete placed directly against earth.
  - b. 2" at all other locations
5. No horizontal construction joints are allowed, unless specifically shown on the drawings or allowed in writing by the Engineer.

Reinforcing Bar	Embedment	Length	Standard Hook
#4	12"	12"	12"
#5	12"	12"	12"
#6	12"	12"	12"
#7	16"	16"	16"

**Foundations**

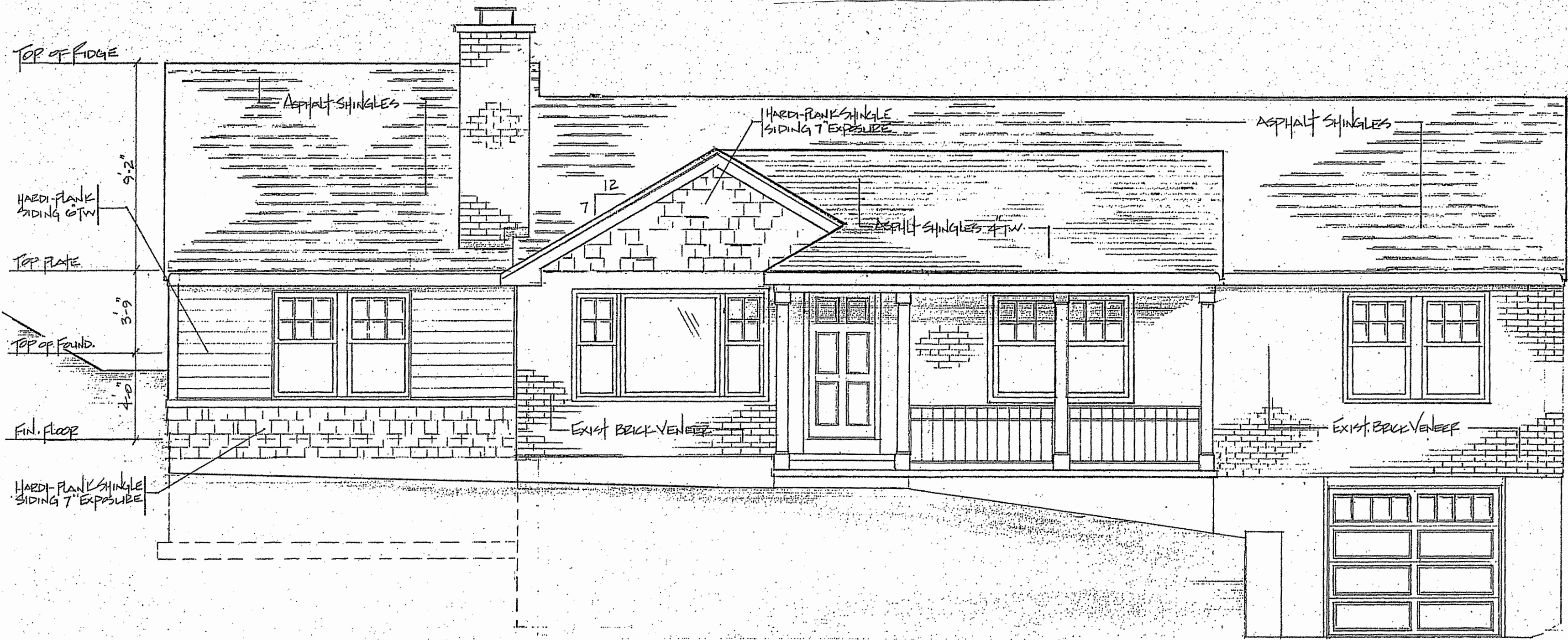
1. The Allowable Presumed Soil Bearing Capacity is 3000 PSF; which is to be verified in the field before construction.
2. Footings shall be carried to lower elevation than shown on the drawings if required to reach proper bearing capacity.
3. Walls acting as retaining walls shall not be backfilled without bracing until all supporting soil and slabs are in place and at adequate strength.
4. Compact all fill under footings and slabs to the specified density and verify.

**Framing Lumber and Connectors**

1. All framing lumber shall be kiln dried 19% maximum moisture content. Lumber shall meet as a minimum the following design values for SPRUCE-PINE-FIR:
  - a. 2x Studs Construction Grade Fb=800, Fv=70, Fc=750
  - b. 2x Joists/rafters No.1 Grade Fb=1150, Fv=70
  - c. Posts No.1 Grade Fb=800, Fv=85, Fc=875
2. All fastening of framing, plates, sills, sheathing and other wood members shall be in accordance with the details shown and minimum requirements of the Massachusetts State Building Code Appendix M / 100 MPH WVCMA
3. Connectors shown are as manufactured by Simpson Strong-Tie Co. Inc. Substitutions must be approved in writing by the Engineer. Installation of all connectors shall be in strict accordance with the manufacturer's instructions and must employ all required fasteners.
4. All connectors shall be hot dip galvanized.
5. Install all connector fasteners before loading the joint.
6. Split wood is not acceptable for any connection.
7. All exposed framing members shall be treated per AWPA C2/C3 CCA 0.25 and members in contact with soil shall be treated per AWPA C23/C24 CCA 0.60. Job site fabrication cuts and bores shall be treated in accordance with AWPA Std. M4.
8. All manufactured LVL wood framing components shall have the following physical properties as a minimum: E=1.8x10<sup>6</sup> psi, Fb=2800, Fv=240.
9. All TJI floor joists shall be as manufactured by Trus Joist MacMillan or Boise Cascade and as sized on the drawings. All fastening, bearing, bracing and stiffening shall be in strict accordance with the manufacturer's requirements.
10. All plywood shall be APA Performance Rated Panels conforming to the following minimum requirements:
  - A. Floor- Sturd-I-Floor T&G, Exposure 1, 1/2", span rating 16"
  - B. Wall sheathing - Exposure 1, 1/2", span rating 16"
  - C. Roof sheathing- Exposure 1, 5/8", span rating 16"

**DESIGN CRITERIA**

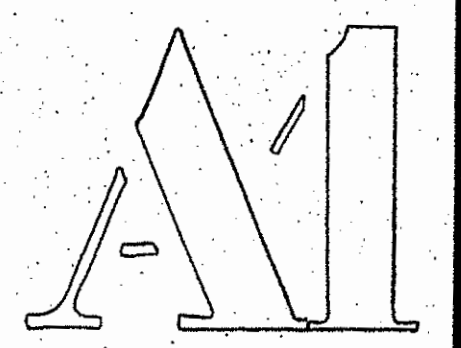
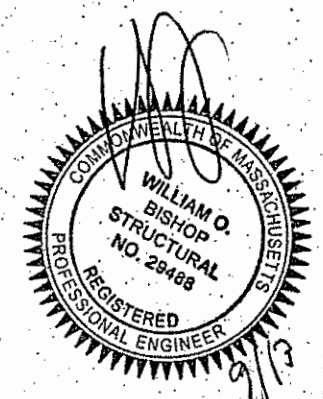
1. Applicable Building Code Massachusetts 8th Edition
2. Loads
  - a. Dead Loads: 1) Roof 10 psf  
2) Floor 10 psf
  - b. Live Loads: 1) Typ. Floor 40 psf  
2) Sleeping Areas 30 psf  
3) Attic 20 psf
  - c. Ground Snow Load 40 psf
  - d. Design Wind Speed 100 mph



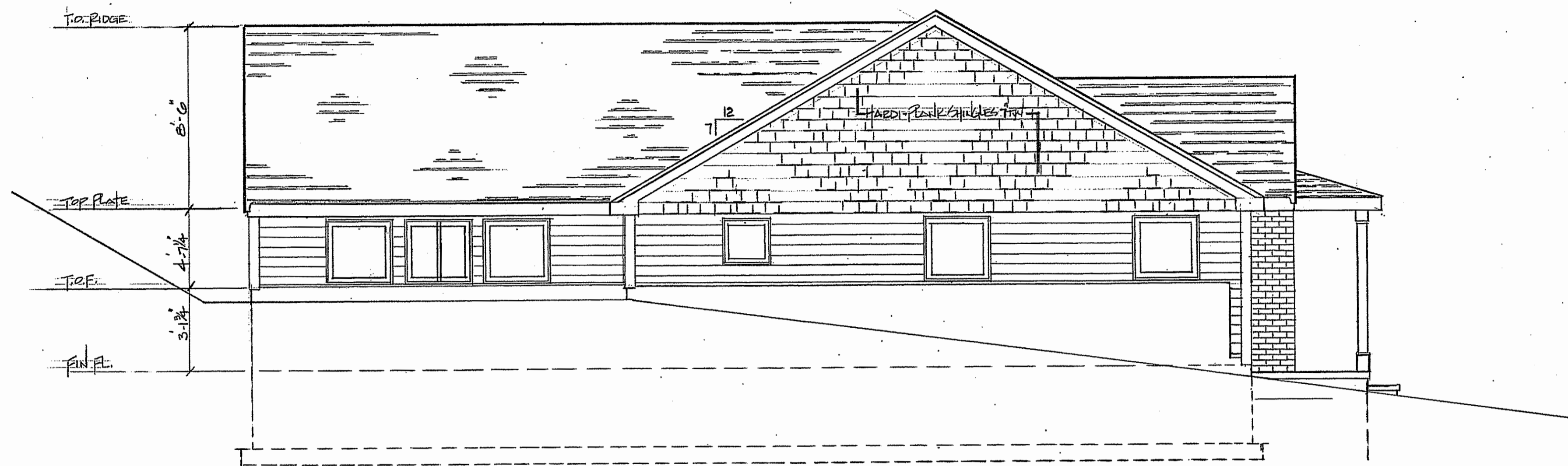
FRONT ELEVATION 1/4"=1'-0"

DATE: 20 AUG 2013  
 SCALE: 1/4"=1'-0"  
 DWN: E.H. Yeomans  
 PLAN: 2325-13

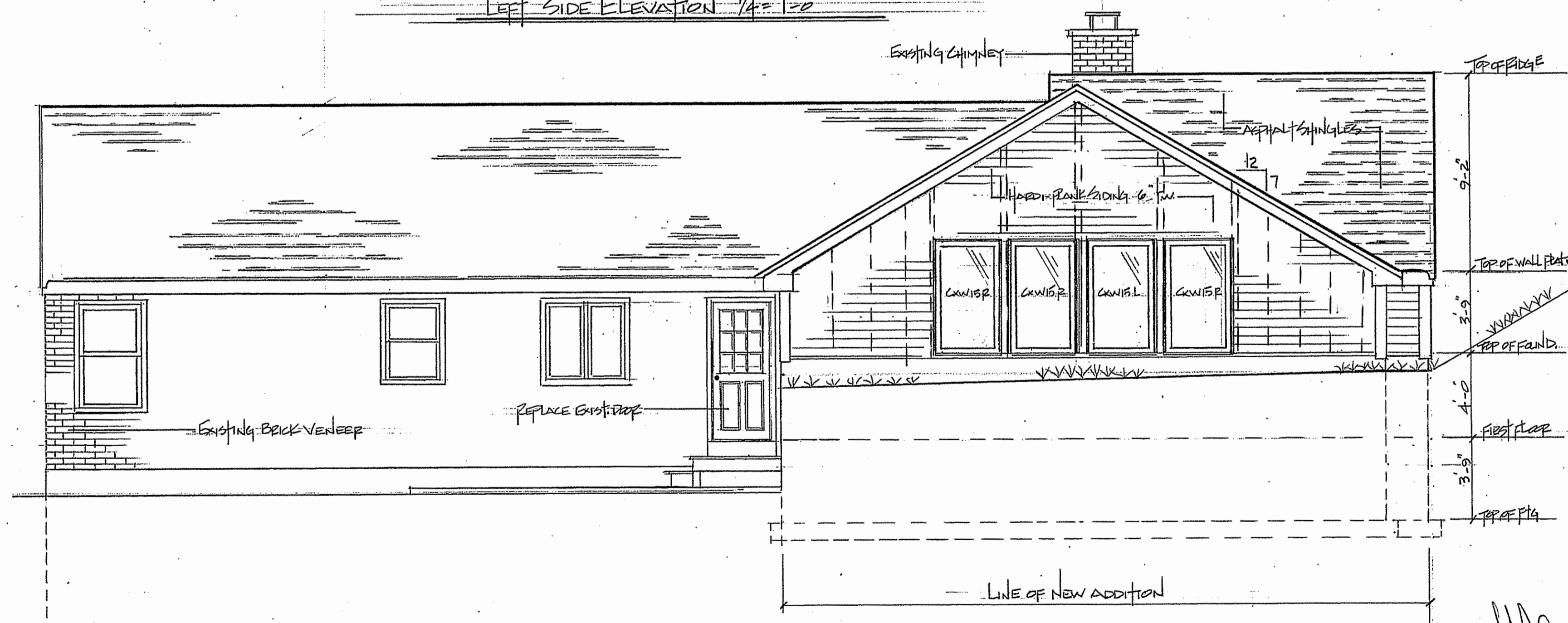
PROPOSED ADDITION & RENOVATIONS  
 20 LILA ROAD  
 JAMAICA PLAIN, MA



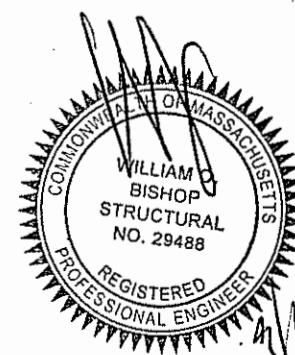
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LEFT SIDE ELEVATION 1/4" = 1'-0"



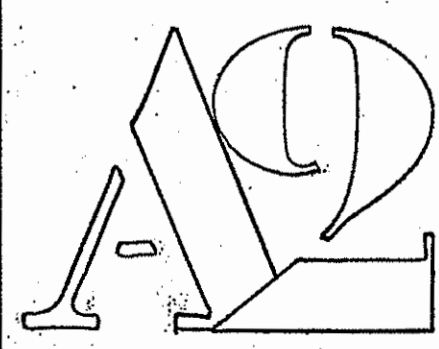
REAR ELEVATION 1/4" = 1'-0"



ELEVATIONS

DATE: 20 AUG 2013  
 SCALE: 1/4" = 1'-0"  
 DWN: E.H. Yeomans  
 PLAN: 2825-13

PROPOSED ADDITIONAL RENOVATIONS:  
 20 LILA ROAD  
 JAMAICA PLAIN, MA



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EXISTING RAFTER  
 EXISTING CEILING JOISTS  
 SIMPSON ML2472 EA. SIDE  
 3-1 1/2" LVL

SECTION D 1/2" = 1'-0"

EXIST. DRAIN EDGE  
 1" x 8" FASCIA  
 3-PT 2" x 8" BM  
 SIMPSON BULL CAP  
 1" x 6" PT POST

EXISTING CONC. SLAB  
 SIMPSON ABUGG BASE

EXISTING FOUNDATION

FRONT PORCH SECTION 1/2" = 1'-0"

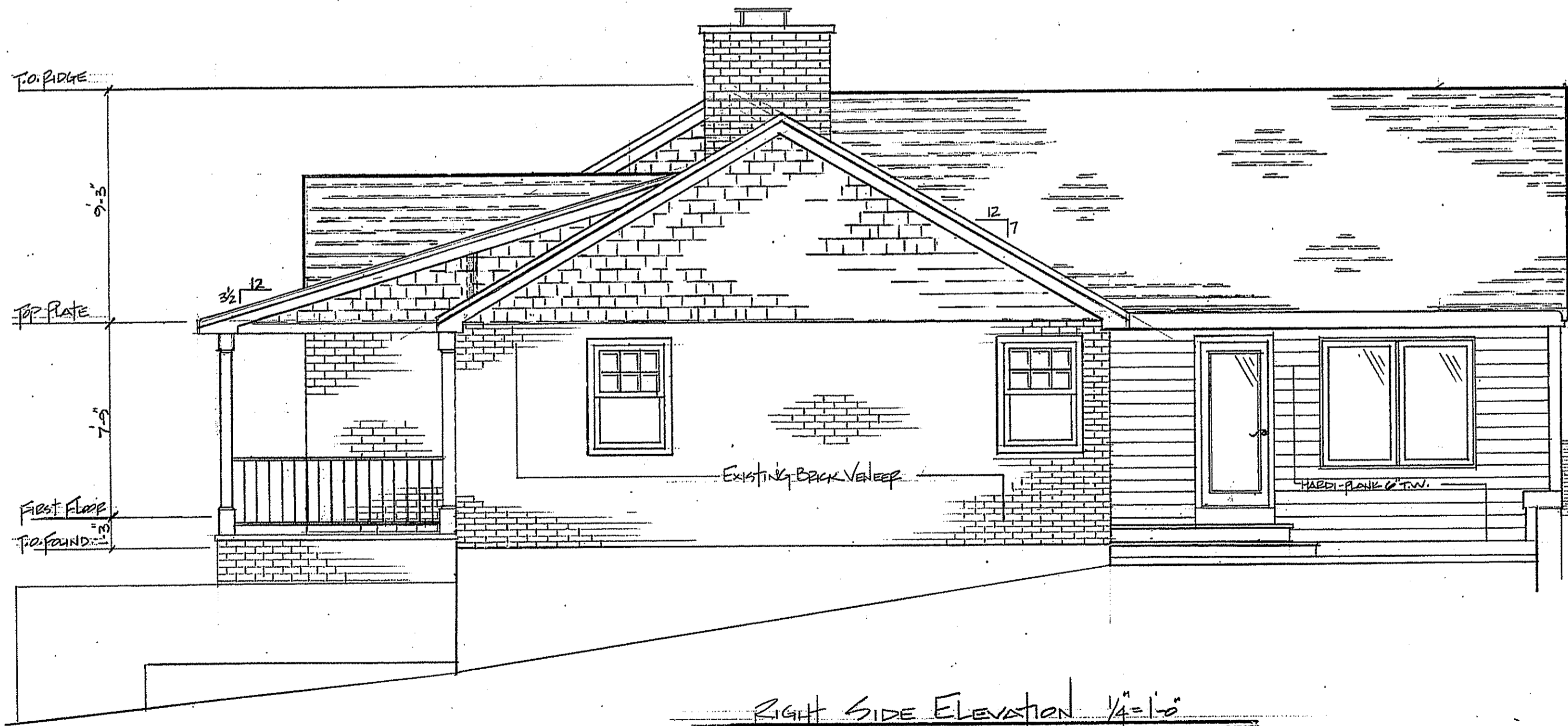
2" x 8" RAFTERS 16" OC  
 5/8" PLYWOOD  
 ASPHALT SHINGLES 4" TW. OVER ICE & WATER SHIELD  
 2" x 4" FURLIN 16" OC  
 3/2" 12  
 H2 EA. RAFT

2" x 6" C/J 16" OC

EXISTING BRICK VENEER

EXIST. 2" x 12" FLOOR JOISTS

TO RIDGE  
 9'-3"  
 TOP PLATE  
 7'-9"  
 FIRST FLOOR  
 TO FOUNDATION  
 1'-3"

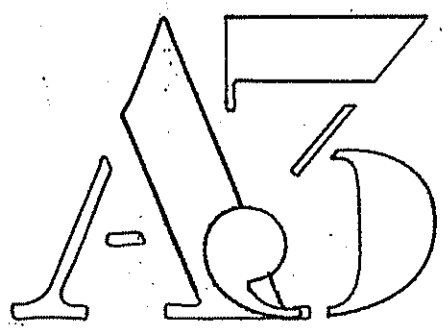
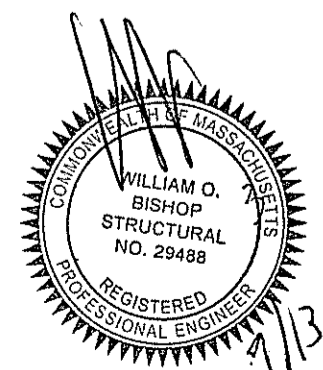


RIGHT SIDE ELEVATION 1/4" = 1'-0"

RIGHT SIDE ELEVATION & SECTIONS

DATE: 20 AUG 2013  
 SCALE: AS NOTED  
 DWN: E.H. Yeomans  
 PLAN: 2325510

PREPARED ADDITION & RENOVATIONS:  
 20 LILAC ROAD  
 JAFFRAYCA PRATT - MA

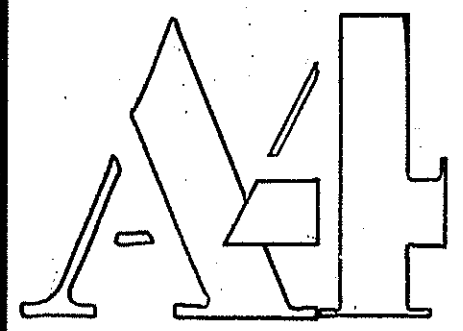
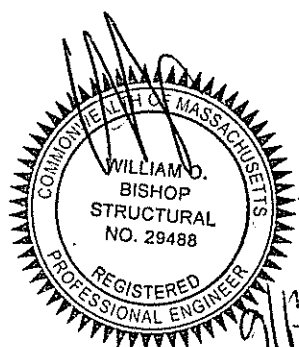


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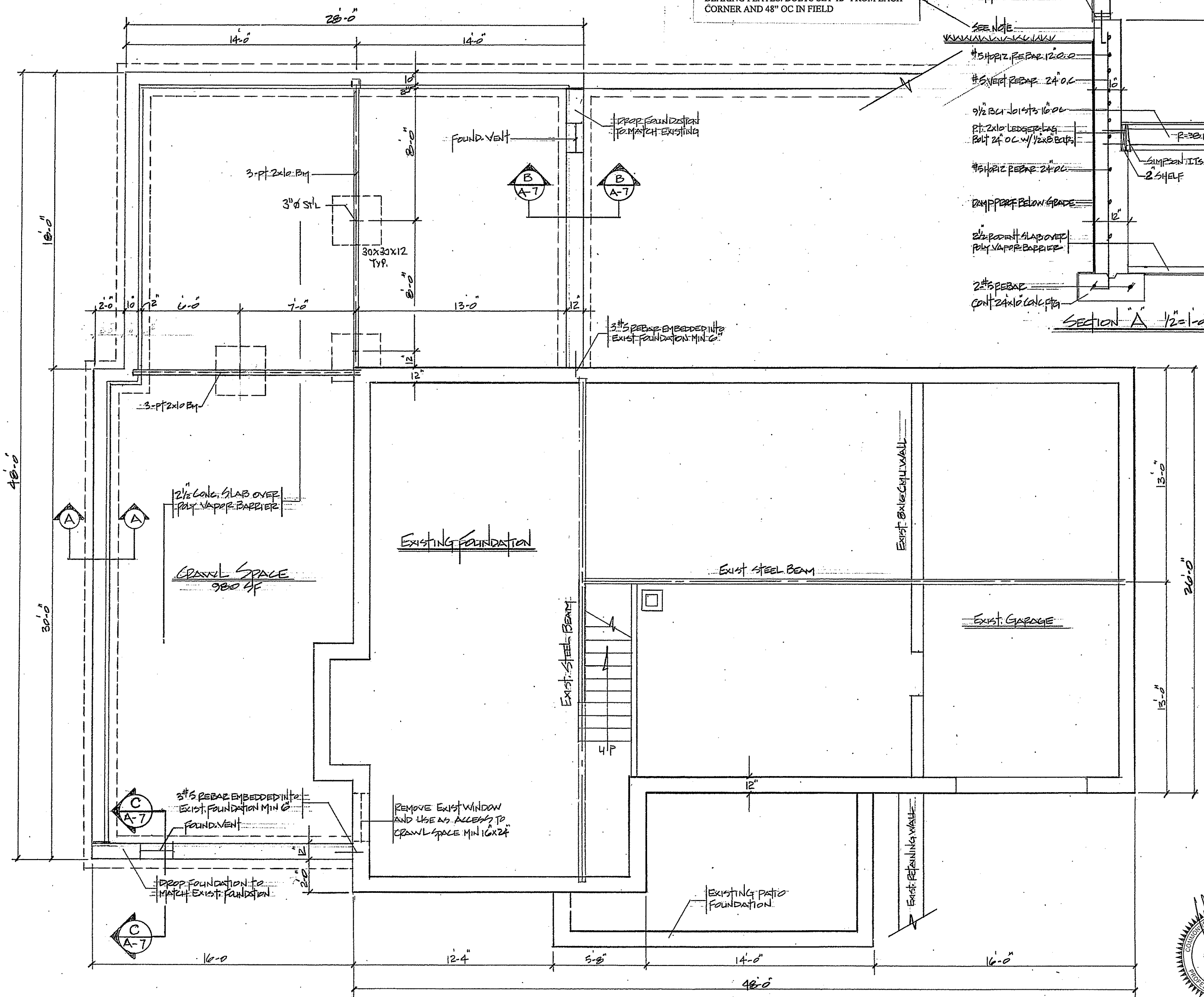
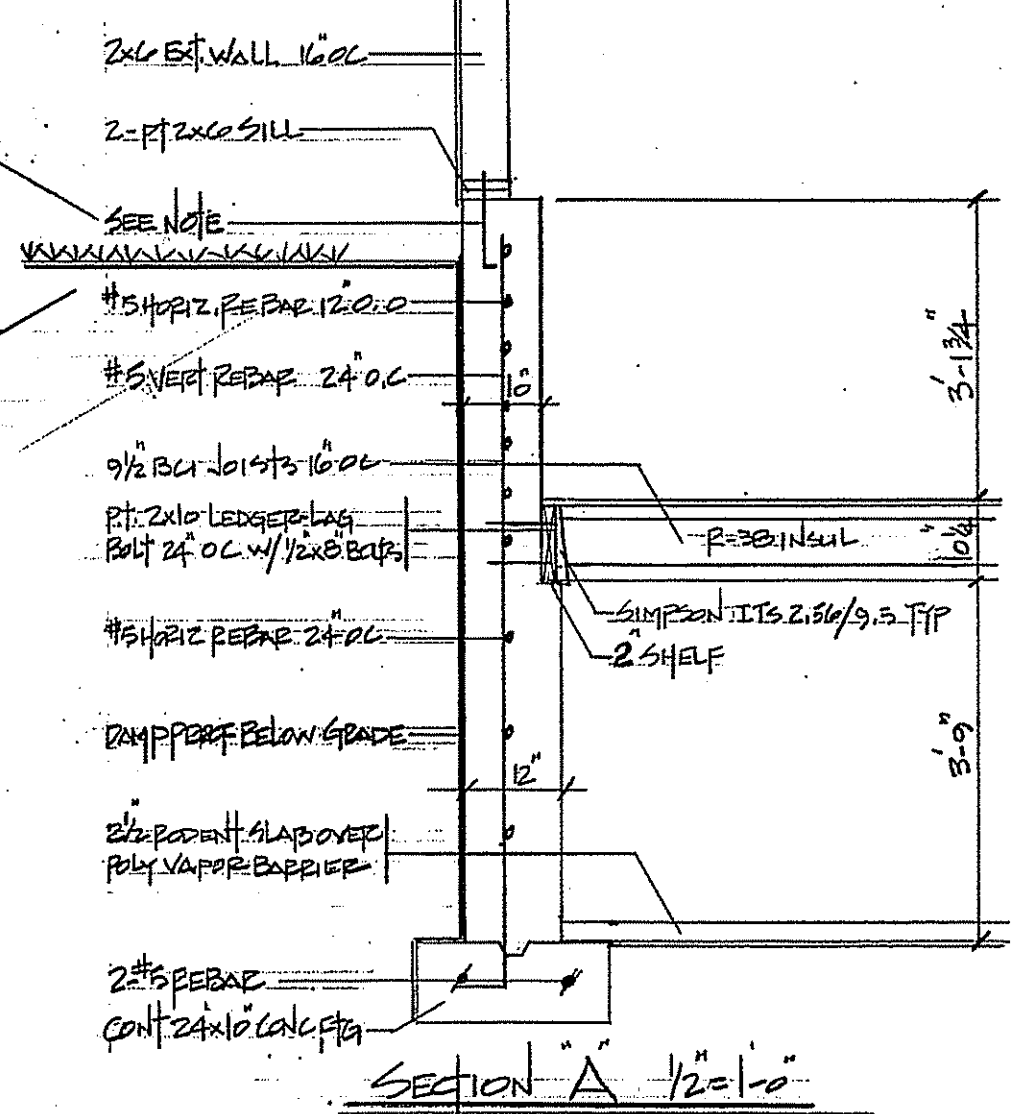
FOUNDATION PLAN

DATE: 20 AUG 2013  
 SCALE: AS NOTED  
 DWN: E.H. Yeomans  
 PLAN: 2325-13

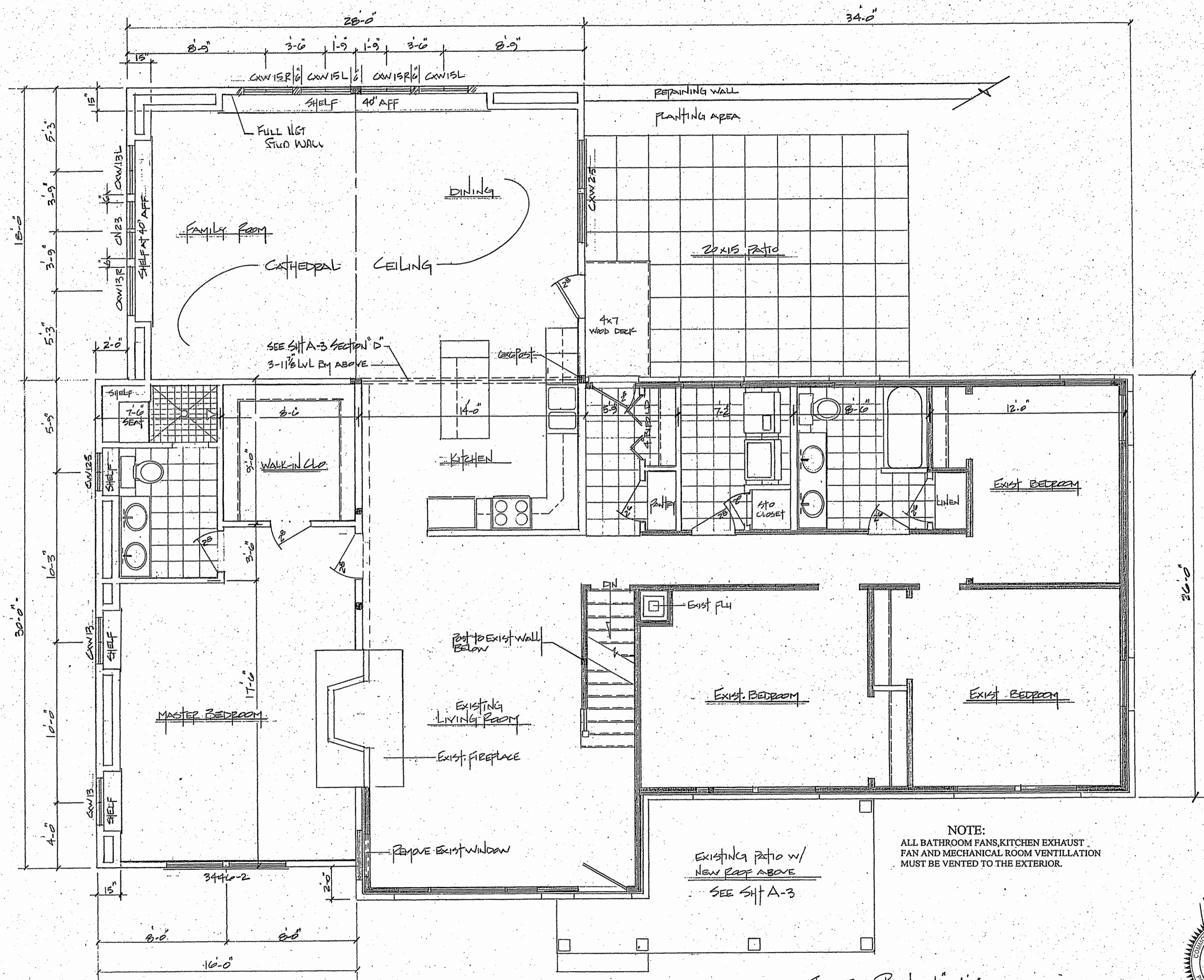
PROPOSED ADDITION & RENOVATIONS  
 20 LILA ROAD  
 JAMAICA PRAIN, MA



NOTE:  
 USE 5/8x12" ANCHOR BOLTS EMBEDDED MIN. 7"  
 INTO CONCRETE WITH SIMPSON BPSS/8-3  
 BEARING PLATES. BOLTS SET 12" FROM EACH  
 CORNER AND 48" OC IN FIELD



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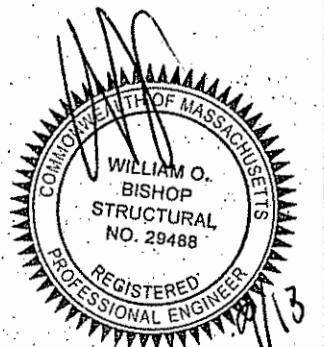


FLOOR PLAN

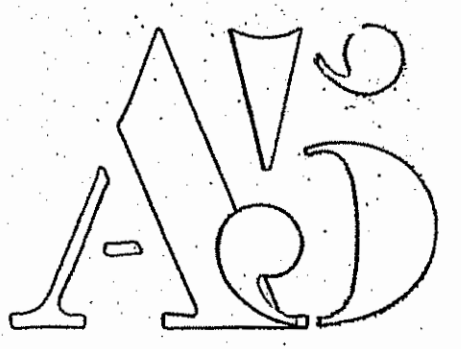
DATE: 20 AUG 2013  
 SCALE: 1/4" = 1'-0"  
 DWN: E.H. Yeomans  
 PLAN: 2325-13

PROPOSED ADDITION & RENOVATIONS  
 20 LILA ROAD  
 JAMAICA PLAIN MA

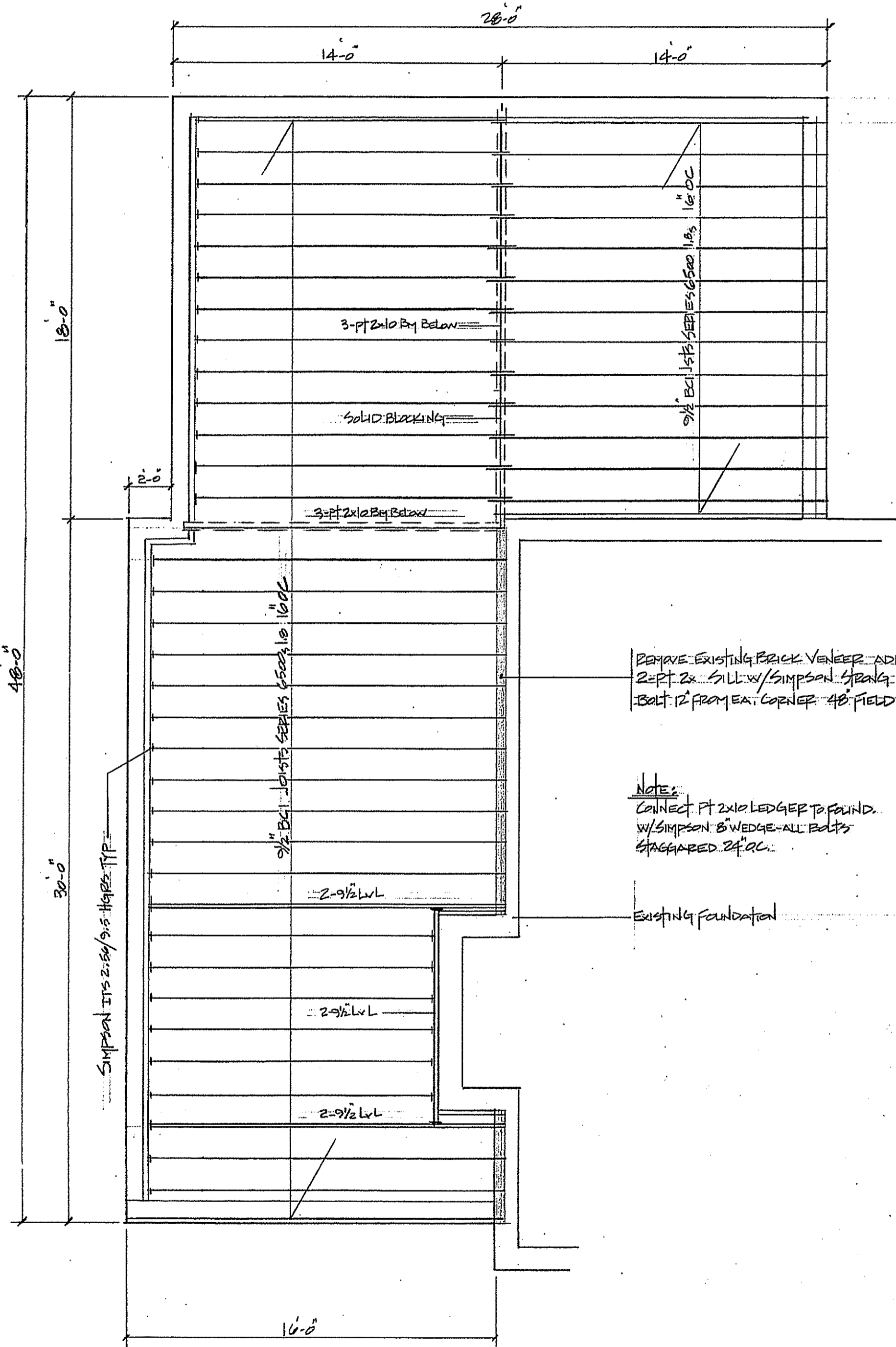
NOTE:  
 ALL BATHROOM FANS, KITCHEN EXHAUST FAN AND MECHANICAL ROOM VENTILLATION MUST BE VENTED TO THE EXTERIOR.



FLOOR PLAN 1/4" = 1'-0"



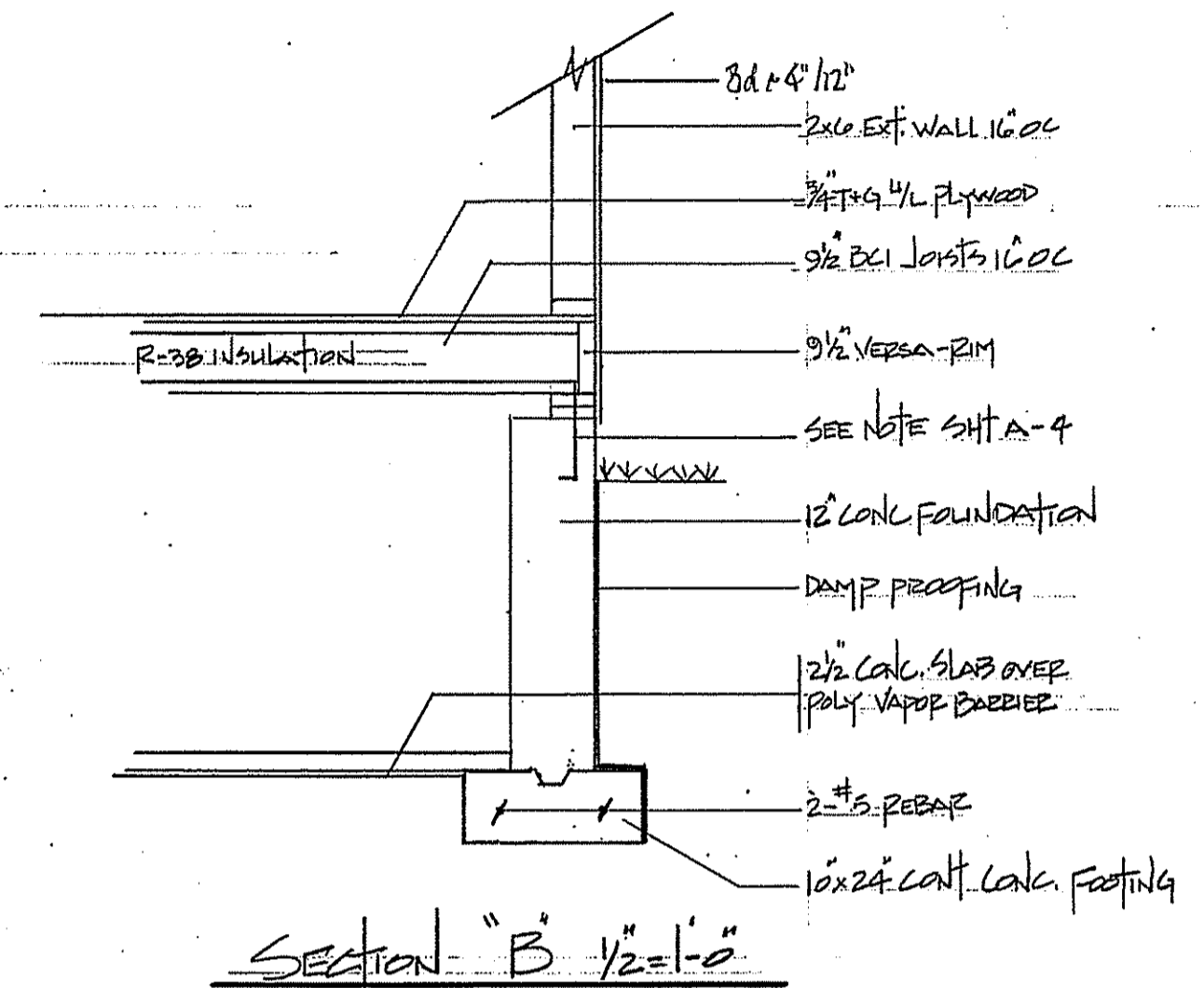
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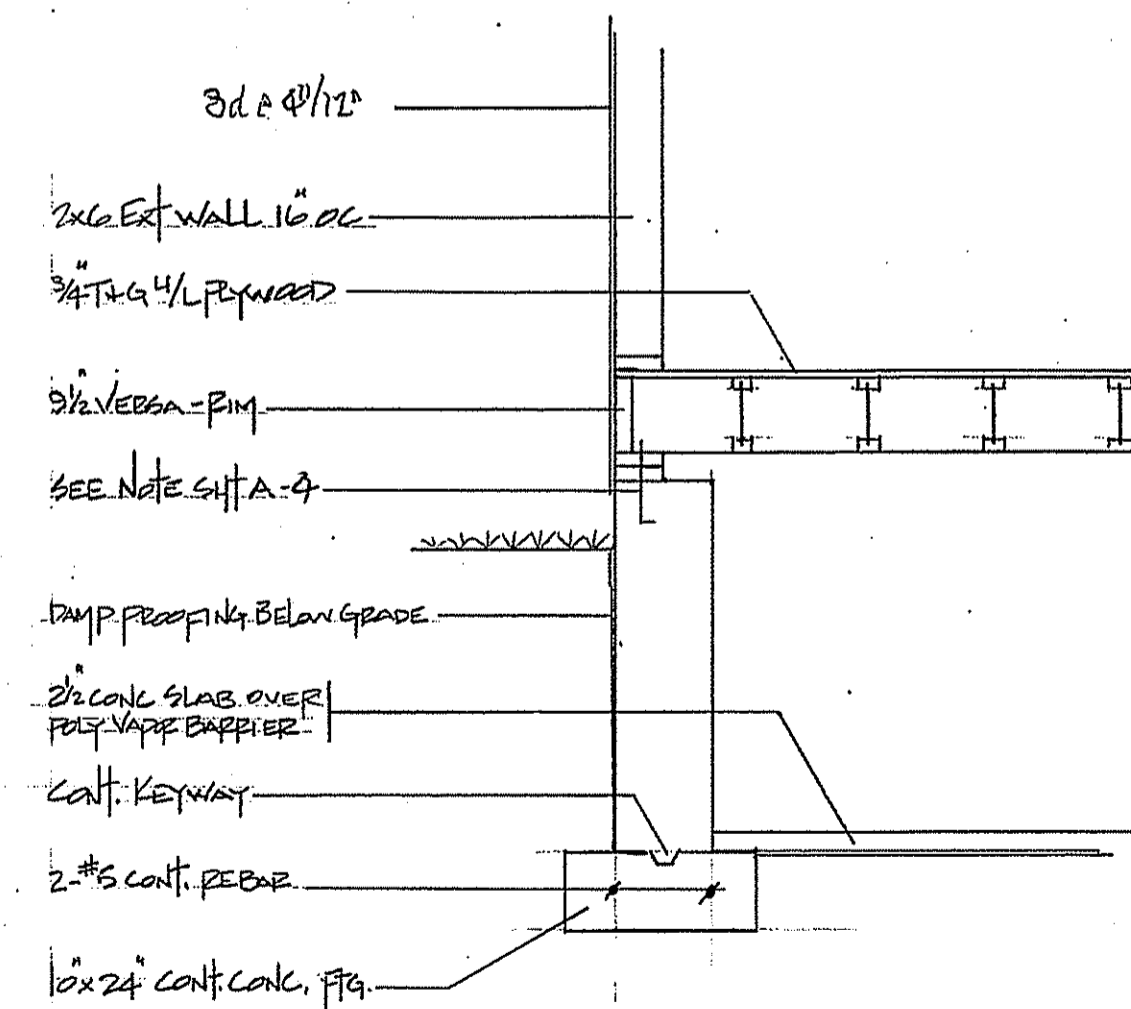
FLOOR FRAMING PLAN 1/4" = 1'-0"

RETAIN EXISTING BRICK VENEER. ADD:  
 2-PT 2x SILL W/ SIMPSON STRONG  
 BOLT 12" FROM EX. CORNER 48" FIELD

NOTE:  
 CONNECT PT 2x10 LEDGER TO FOUND.  
 W/ SIMPSON B WEDGE - ALL BOLTS  
 STAGGERED 24" OC



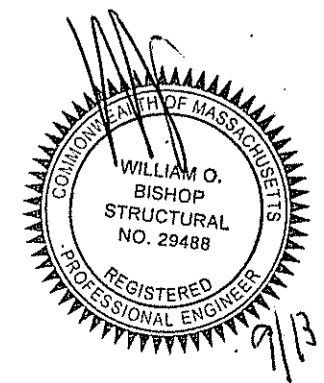
SECTION "B" 1/2" = 1'-0"



SECTION "C" 1/2" = 1'-0"

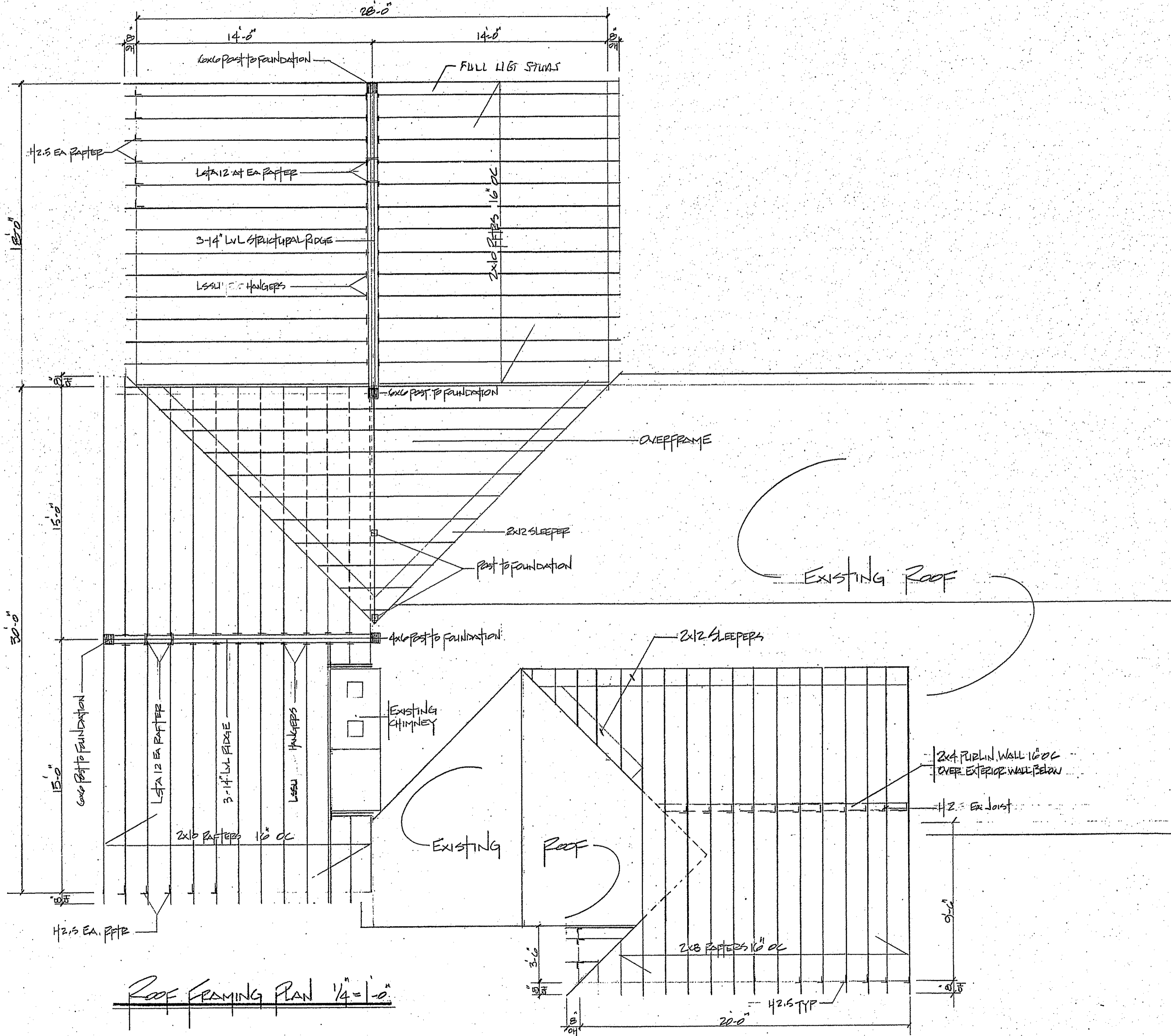
DATE: 20 AUG 2013  
 SCALE: AS NOTED  
 DWN: E.H. Yeomans  
 PLAN: 2325-13

PROPOSED ADDITION & RENOVATIONS  
 20 LILA ROAD  
 JAMAICA PLAIN, MA



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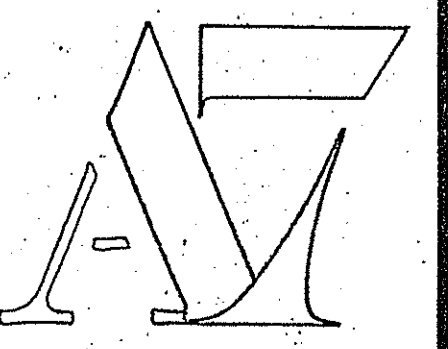
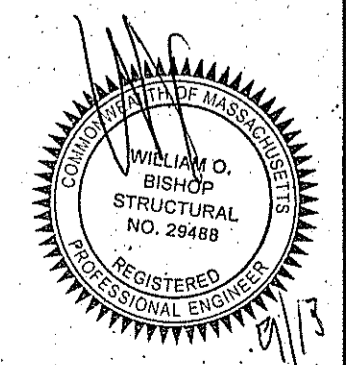
ROOF FRAMING PLAN



ROOF FRAMING PLAN 1/4" = 1'-0"

DATE: 20 AUG 2013  
 SCALE: 1/4" = 1'-0"  
 DWN: E.H. Yeomans  
 PLAN: 2325-13

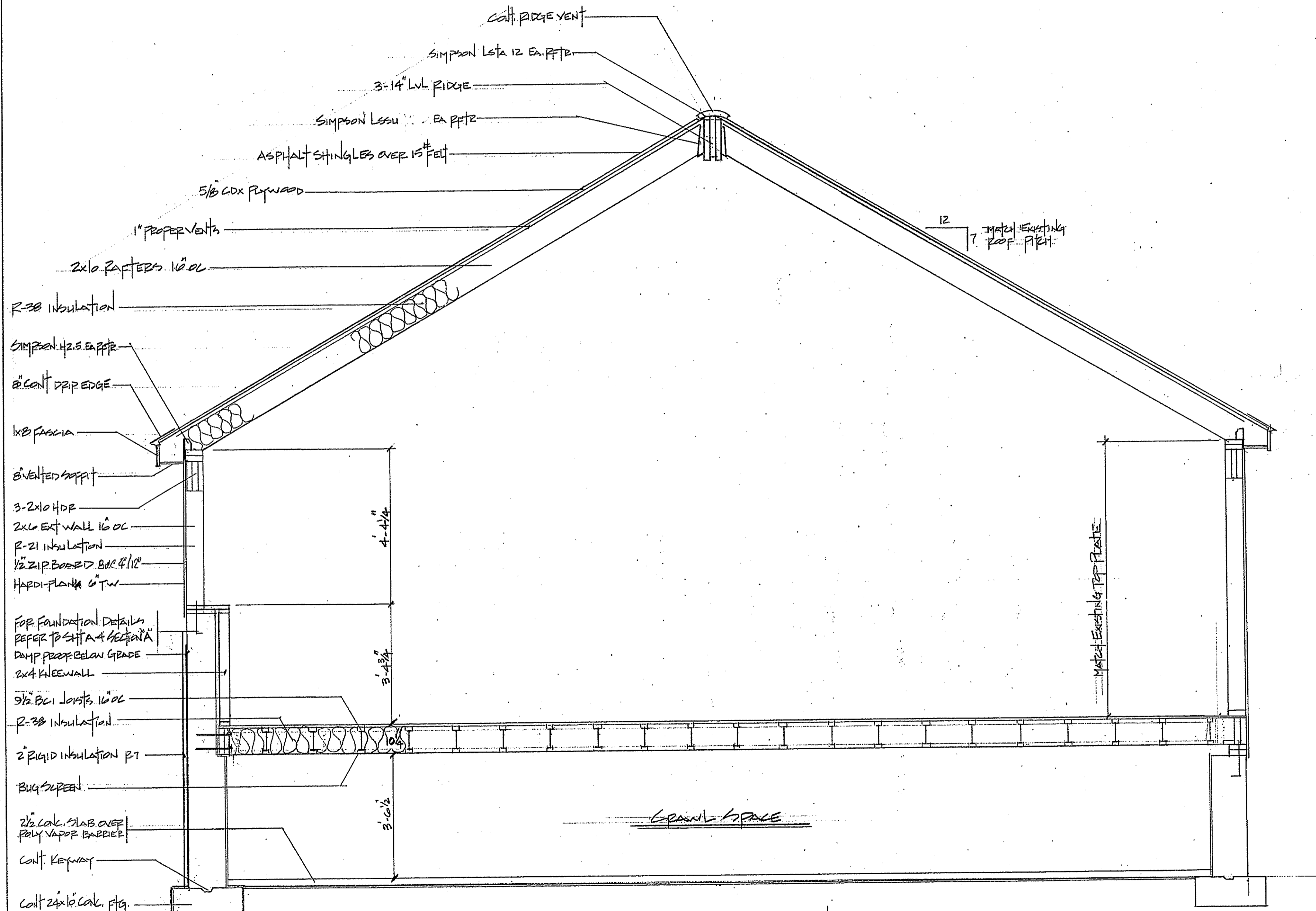
PROPOSED ADDITION & RENOVATIONS  
 20 LILA ROAD  
 JAMAICA PLAIN, MA





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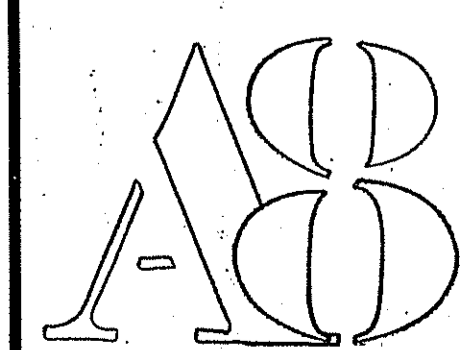
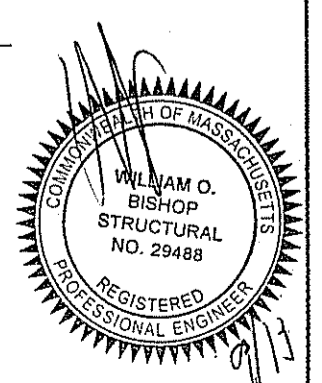
MASTER BEDROOM SECTION

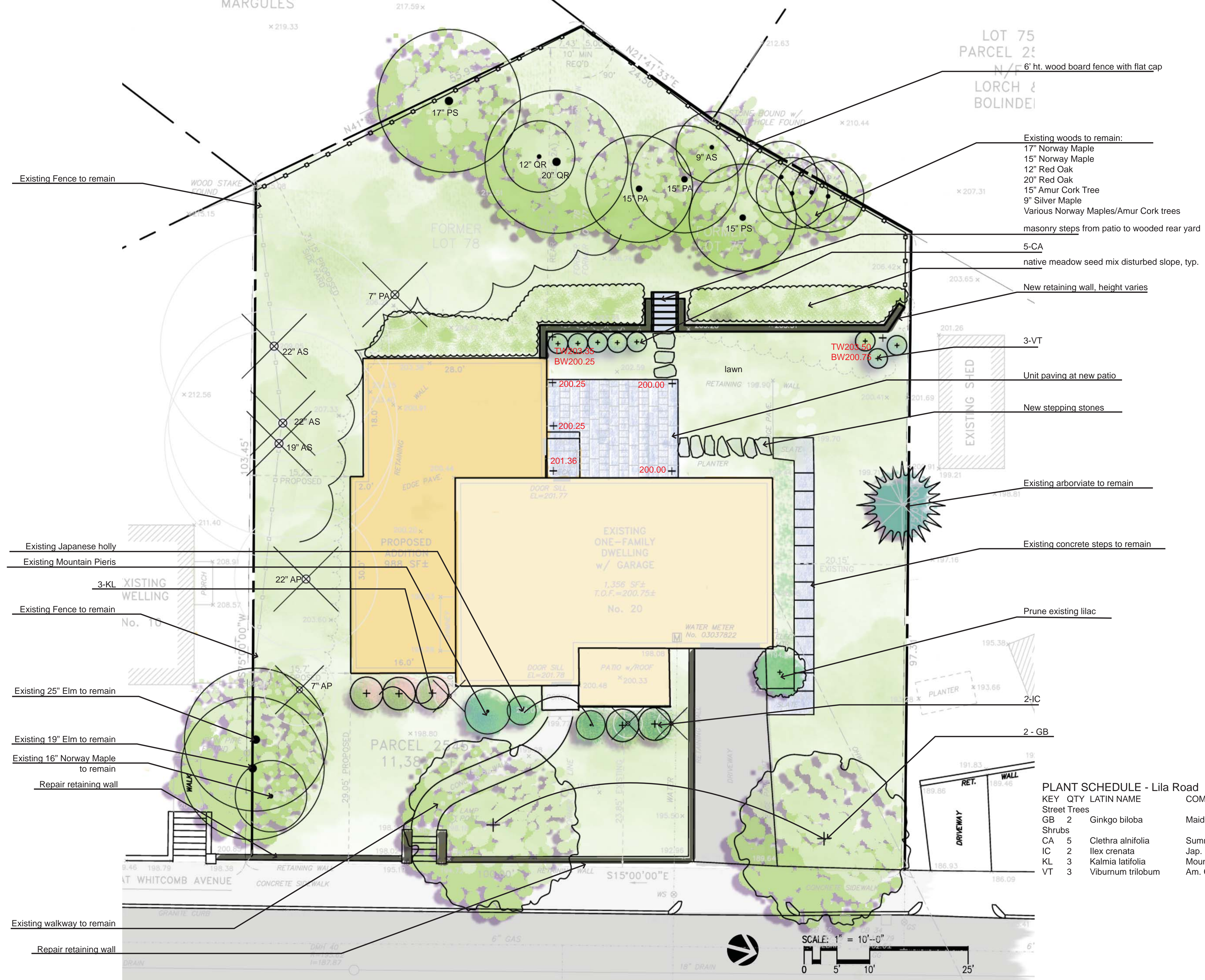


MASTER BEDROOM SECTION 1/2" = 1'-0"  
 (FAMILY ROOM/DINING TYPICAL)

DATE: 20 AUG 2013  
 SCALE: 1/2" = 1'-0"  
 DWN: E.H. Yeomans  
 PLAN: 2325-13

PROPOSED ADDITION & RENOVATIONS  
 20 HILLS ROAD  
 JAMAICA PLAIN, MA





**TREES TO BE REMOVED**  
 (includes 6" or greater dbh.) sizes and location on plan  
 AP Acer platanoides  
 AS Acer saccharinum  
 PA Phellodendron amurense  
 QR Quercus rubra

- PLANTING NOTES**
- All plant material shall be approved by the Landscape Architect prior to arrival on the site.
  - All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.
  - No substitution of plant species will be allowed without the written approval of the Landscape Architect. Any proposed substitutions of plant species shall be a plant of equivalent overall form, height and branching habit, flower, leaf and fruit, color and time of bloom.
  - The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
  - All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
  - No planting shall be installed before acceptance of rough grading of topsoil.
  - The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3' greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
  - The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.
  - All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
  - 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
  - All beds as shown on the drawings shall be edged with a 4" trench neatly cut and backfilled with bark mulch. All shrub beds shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
  - All planting to be done under the full time supervision of a certified arborist, nurseryman or licensed Landscape Architect.
  - All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.

Existing woods to remain:  
 17" Norway Maple  
 15" Norway Maple  
 12" Red Oak  
 20" Red Oak  
 15" Amur Cork Tree  
 9" Silver Maple  
 Various Norway Maples/Amur Cork trees

masonry steps from patio to wooded rear yard  
 5-CA  
 native meadow seed mix disturbed slope, typ.  
 New retaining wall, height varies

3-VT  
 Unit paving at new patio  
 New stepping stones

Existing arborviate to remain  
 Existing concrete steps to remain

Prune existing lilac

2-IC  
 2-GB

2-GB

2-GB

**PLANT SCHEDULE - Lila Road**

KEY	QTY	LATIN NAME	COMMON NAME	SIZE	NOTES
<b>Street Trees</b>					
GB	2	Ginkgo biloba	Maidenhair Tree	2.5-3" cal	B&B
<b>Shrubs</b>					
CA	5	Clethra alnifolia	Summersweet	24" ht.	
IC	2	Ilex crenata	Jap. Holly	24" ht.	
KL	3	Kalmia latifolia	Mountain Laurel	24" ht.	
VT	3	Viburnum trilobum	Am. Cranberrybush	36" ht.	