

Addition, Alterations and Repairs to: 35 Forbes Street, Boston, MA 02130 March 28, 2012 Permit Set

rf schmidt
ARCHITECTS

78 Wolcott Road
Chestnut Hill, MA
02467.3109

617.731.7770

List of Drawings

- Plot Plan
- A.1 Existing Conditions Floor Plans
- A.2 Proposed Floor Plans
- A.3 Existing and Proposed Roof Plans
- A.4 Existing Exterior Elevations
- A.5 Proposed Exterior Elevations

Zoning Code:

Zoning District: 3F-5000 per Map 9B and Article 55 of the City of Boston
Zoning Code.

Existing, detached 3-family residential use allowed. No change to existing use proposed.

Table - E

	Required/Allowed	Actual	Proposed
Lot Size	7,000 sf	5,206 sf	No change
Floor Area Ratio (FAR)	0.6 X 5,206 sf=3,123 sf	2,465 sf; FAR=.47	3,089 sf; FAR=0.59
Building Height	3 stories/35'-0"	3 stories/ 27'-4 1/2"	No change

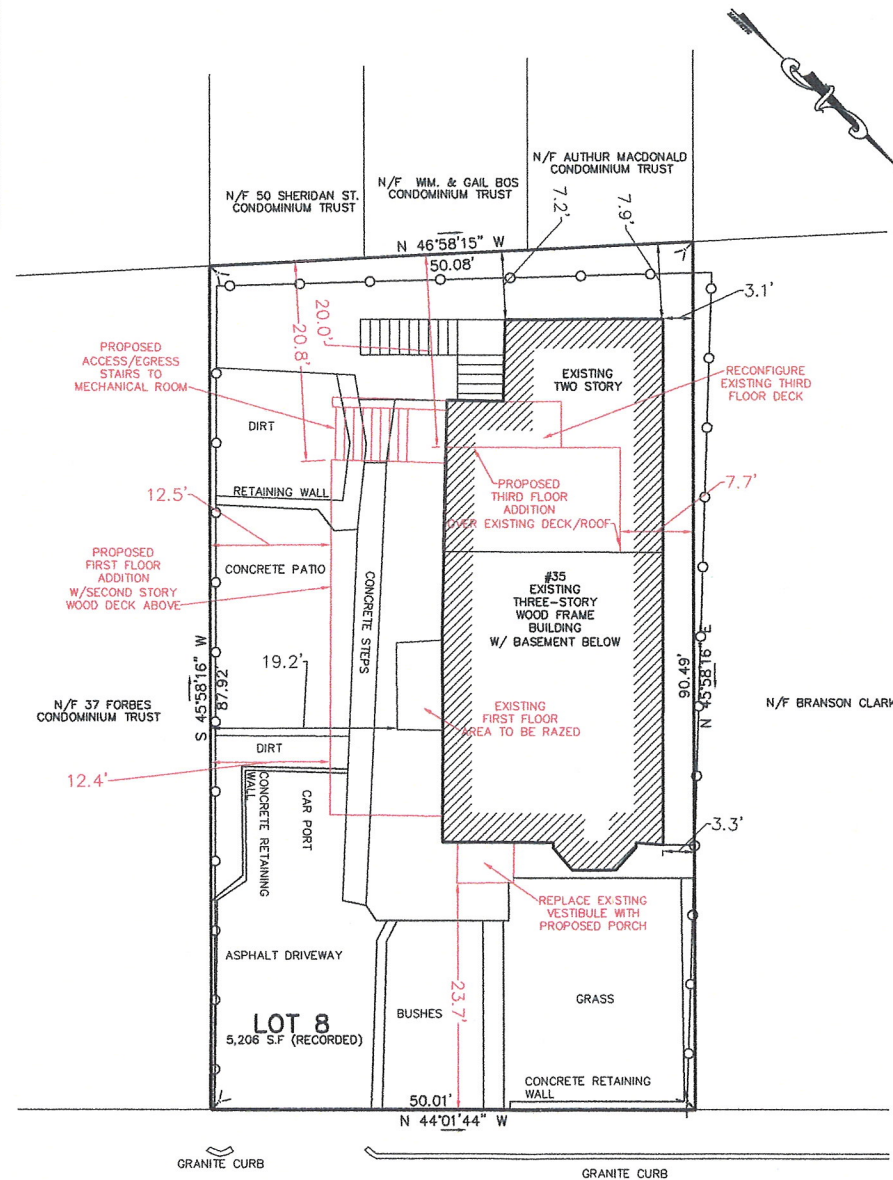
Building Code (MA State Building Code, 8th Edition - 2009 International Existing Building Code (IEBC):

- Use Group R-2 occupancy
 - More than 50% of the building will be renovated. Sprinkler system will be provided per IEBC Sections 704.2.2 & 801.2.
 - A fire alarm and detection system will be provided per IEBC Section 804.2).
 - State Sanitary Code (105 CMR 410.250) requires that each habitable room be provide with "transparent or translucent glass which admits light from the outdoors and which is equal in area to no less than 8% of the entire floor area of that room."
- Emergency escape windows not required for sprinklered building per IBC Section 1029.1 Exception 1.

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HYDE SQUARE OVERLAY DISTRICT
 ZONING DISTRICT: JAMAICA PLAIN NEIGHBORHOOD DISTRICT (3F-5000)

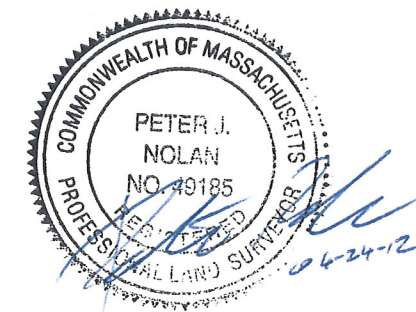
ZONING LEGEND			
ITEM	REQUIRED	EXISTING	COMPLIANCE
MIN. LOT AREA PER DWELLING UNIT	3,000 S.F.	5,206 S.F.	YES
MIN. LOT AREA PER ADDT. DWELLING UNIT	2,000 S.F. (X2)	5,206 S.F.	EXISTING NON-CONFORMING
MIN. LOT FRONTAGE	40'	50.01'	YES
MIN. LOT WIDTH	40'	50'±	YES
MAX. F.A.R.	0.6	0.59 (PROPOSED)	YES
MIN.USABLE OPEN SPACE (FOR 3 UNITS)	1,750 S.F.	2,000S.F (PROPOSED)	YES
FRONT YARD	15'	23.7'	YES
SIDE YARD	7' MIN. 17' AGG.	7.7' MIN. 20.1' AGG. (PROP)	YES
REAR YARD	20'	20.0' (PROP.)	YES
MAX.REAR YARD OCCUPANCY(ACC. BLD.)	25%	NONE	YES
MAX. BUILDING HEIGHT	35'/ 3 STORIES	33.79'/ 3 STORIES	YES



FORBES STREET
 (PUBLIC WAY 35' WIDE)

NOTES:

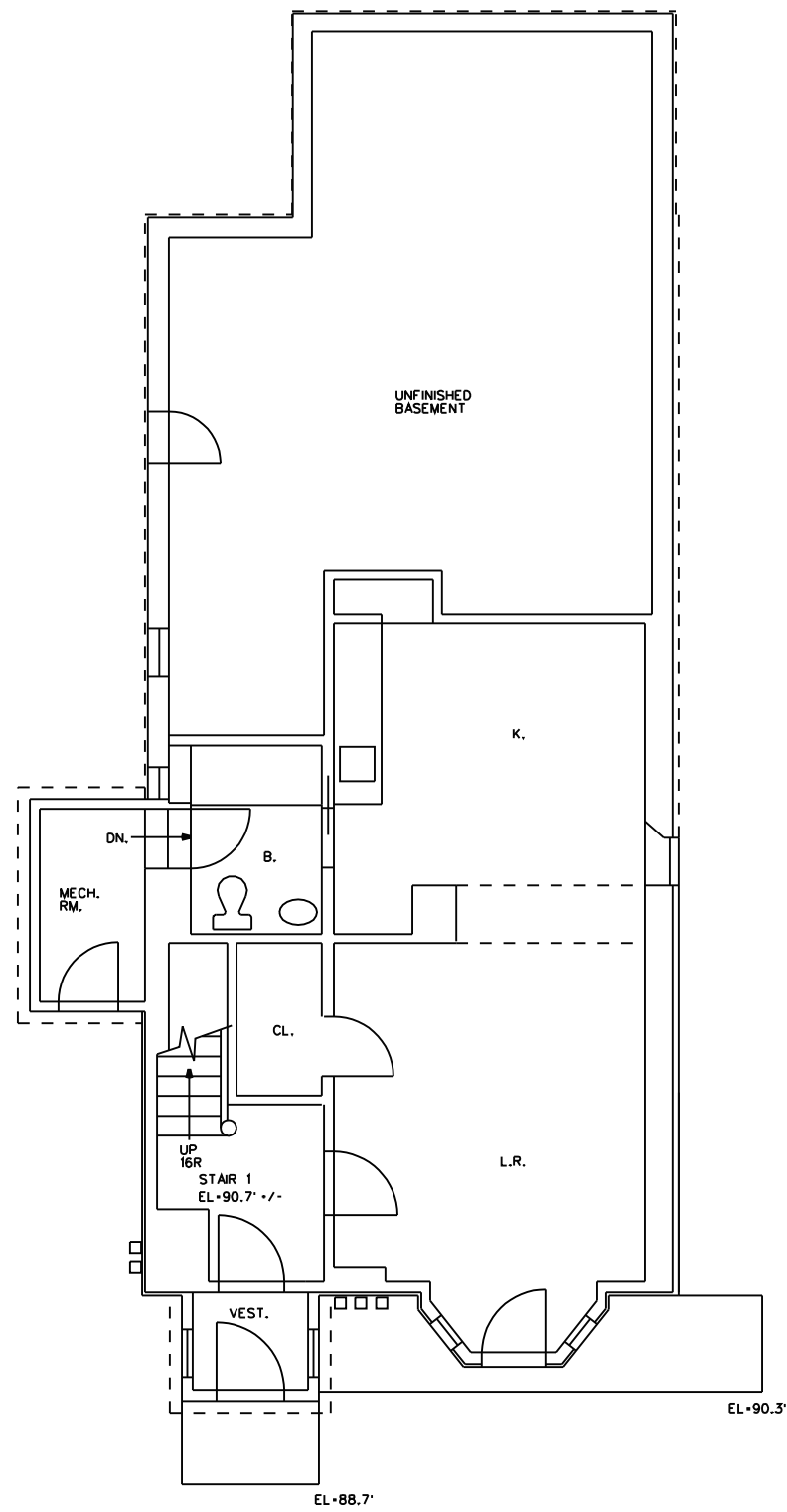
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2. DEED REFERENCE BOOK 49137 PG 246, SUFFOLK COUNTY REGISTRY OF DEEDS.
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.



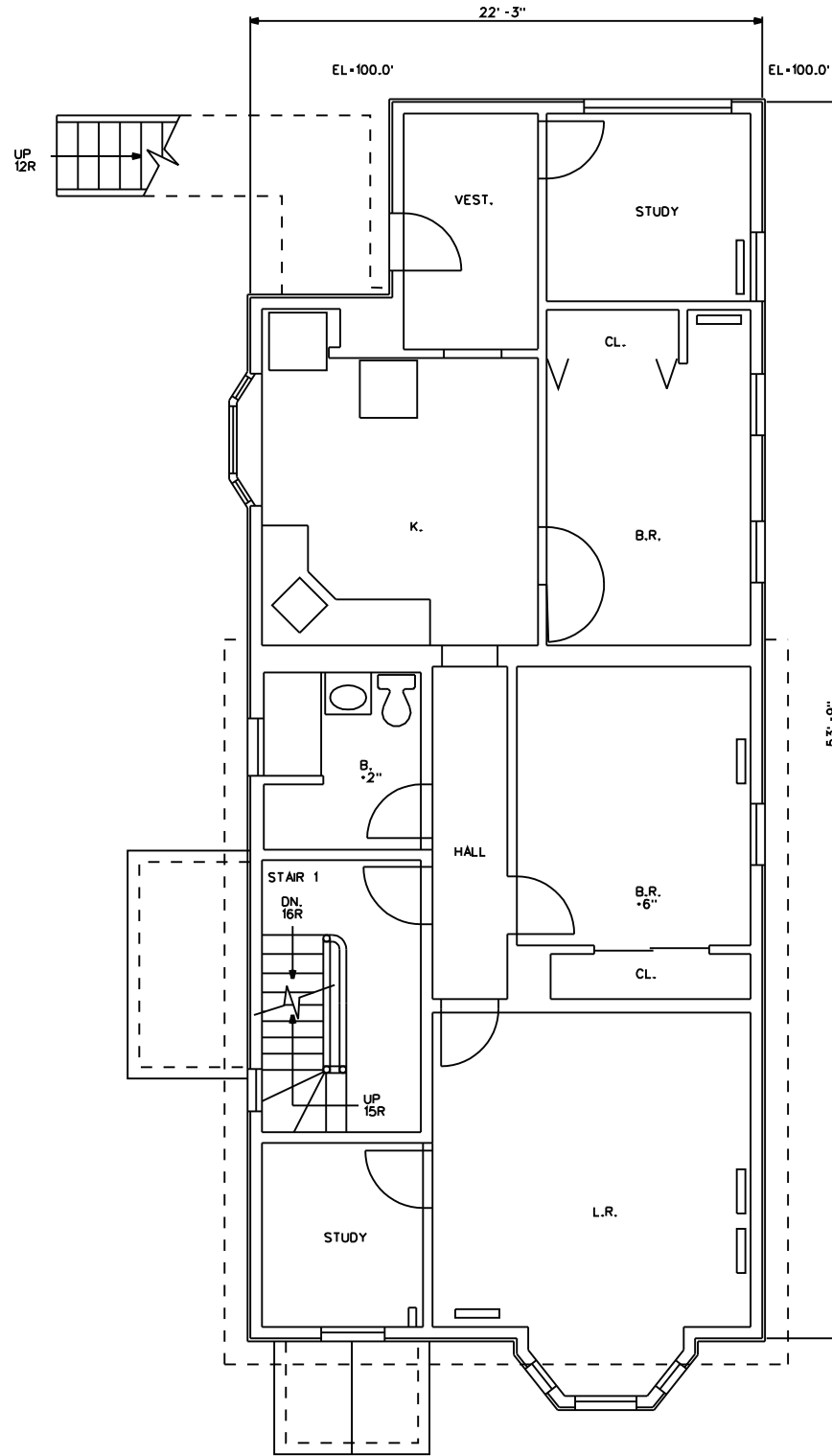
SCALE	1"=20'
DATE	02/28/12
SHEET	1
PLAN NO.	1 OF 1
RESEARCH BY:	PJN
DRAWN BY:	MPM
CHKD BY:	MPM
APPD BY:	PJN
35 FORBES STREET JAMAICA PLAIN (BOSTON) MASSACHUSETTS PLAN TO ACCOMPANY CITY OF BOSTON I.S.D APPLICATION	
PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 27 NEWTON STREET BRIGHTON MA 02135 PHONE: 617 891 7478/617 782 1533 FAX: 617 782 1533	

SHEET NO.
1

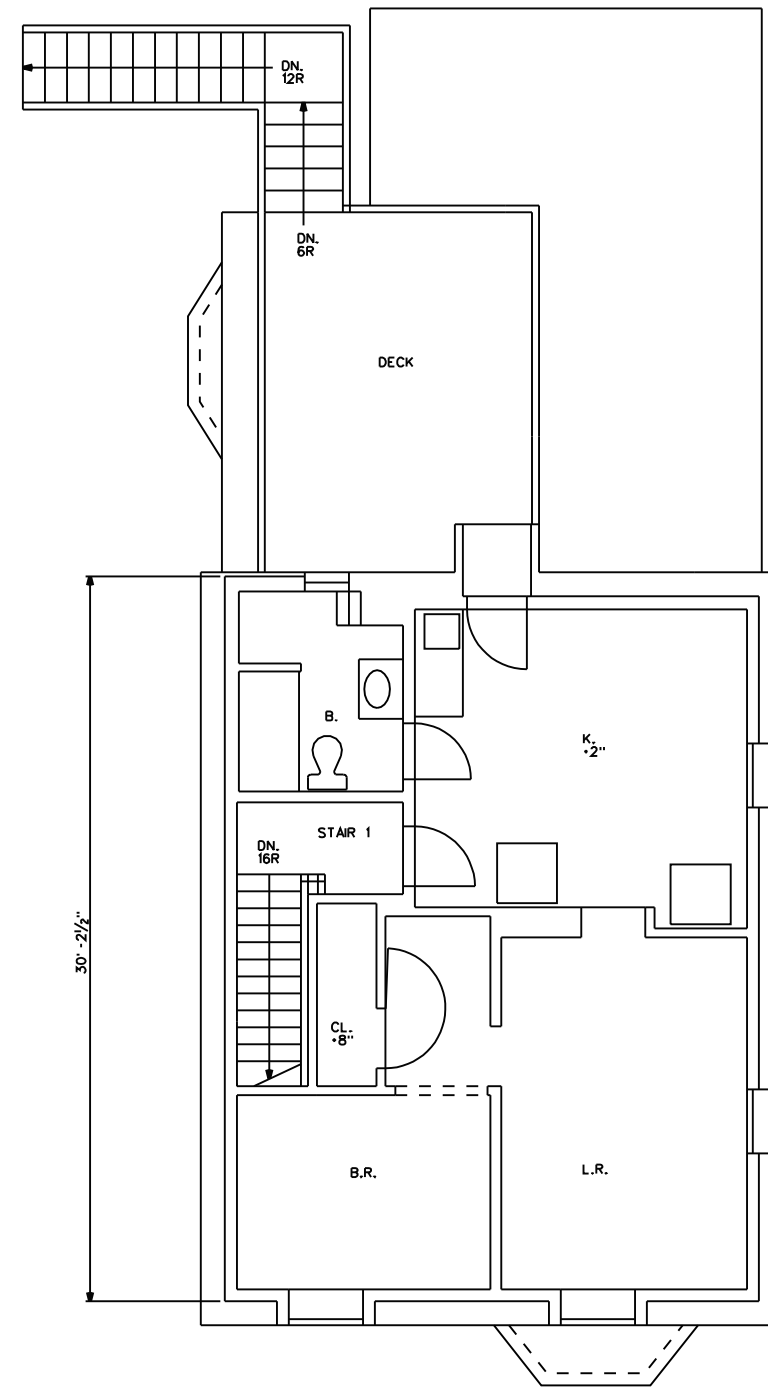
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Existing First Floor Plan



Existing Second Floor Plan



Existing Third Floor Plan

EXISTING AREA:

3rd Floor	670 sf
2nd Floor	1,150 sf
1st Floor	645 sf
Total	2,465 sf

Lot Area 5,206 sf x FAR 0.6
3,123 sf Maximum Allowable

rf schmidt
ARCHITECTS
78 Wolcott Road
Chester Hill, MA
02467-3108
617.731.7770



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Existing Conditions
Floor Plans

A.1

FIELD VERIFY ALL DIMENSIONS.
DRAWINGS ARE NOT TO BE SCALED.
CONTACT ARCHITECT FOR INTERPRETATION OF DIMENSIONS.

WALL TYPES

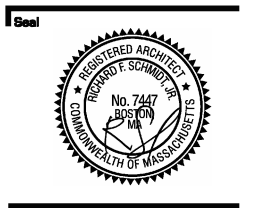
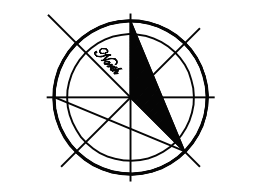
FOR INTERIOR WALLS:
 ONE LAYER 1/2" BLUE BOARD EA. SIDE W/ PLASTER SHW COAT EA. SIDE ON NEW OR EXISTING 2x4 WOOD STUDS @ 16" O.C. SUPPLY & INSTALL SOUND ATTENUATION INSULATION AT FIRE RATED WALLS.
 ALL BED ROOMS & BATH ROOMS PROVIDE ACOUSTIC SEALANT AT HEAD & SHOE. SUBSTITUTE 2x6 STUDS TO ACCOMMODATE UTILITIES AND/OR THICKER WALLS WHERE REQUIRED.
 INSTALL MOISTURE RESISTANT GWB AT WET AREAS. INSTALL HARD-BACKER BOARD AT AREAS TO RECEIVE TILE FINISH.
 INSTALL MOLD RESISTANT DRYWALL AT BELOW GRADE LOCATIONS.

INDICATES 1-HOUR FIRE RATING. CONSTRUCTION SAME AS ABOVE, EXCEPT PROVIDE FIRE CODE DRYWALL. DOORS IN THIS WALL CONFIGURATION SHALL BE FIRE-RATED W/ CLOSERS.

FLOOR SEPARATIONS & STC RATINGS:
 DRYWALL CEILING (1-HOUR FIRE RATING):
 TWO-LAYERS 1/2" FIRE RATED BLUE BOARD W/ PLASTER SHW COAT ON SOUND ATTENUATION VIBRATION ISOLATION FURRING CHANNELS AT 8" O.C. ON NEW OR EXISTING FRAMING. SUPPLY & INSTALL SOUND ATTENUATION INSULATION BETWEEN APARTMENTS. PROVIDE ACOUSTIC SEALANT AT HEAD & SHOE OF ASSOCIATED PARTITIONS. STC-50 MIN.
 INSTALL MOISTURE RESISTANT GWB AT WET AREAS.

INDICATES 1-HOUR FIRE RATING. CONSTRUCTION SAME AS ABOVE, EXCEPT PROVIDE FIRE CODE DRYWALL. DOORS IN THIS WALL CONFIGURATION SHALL BE FIRE-RATED W/ CLOSERS.

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 Chestnut Hill, MA 02467-3108
 817.731.7770

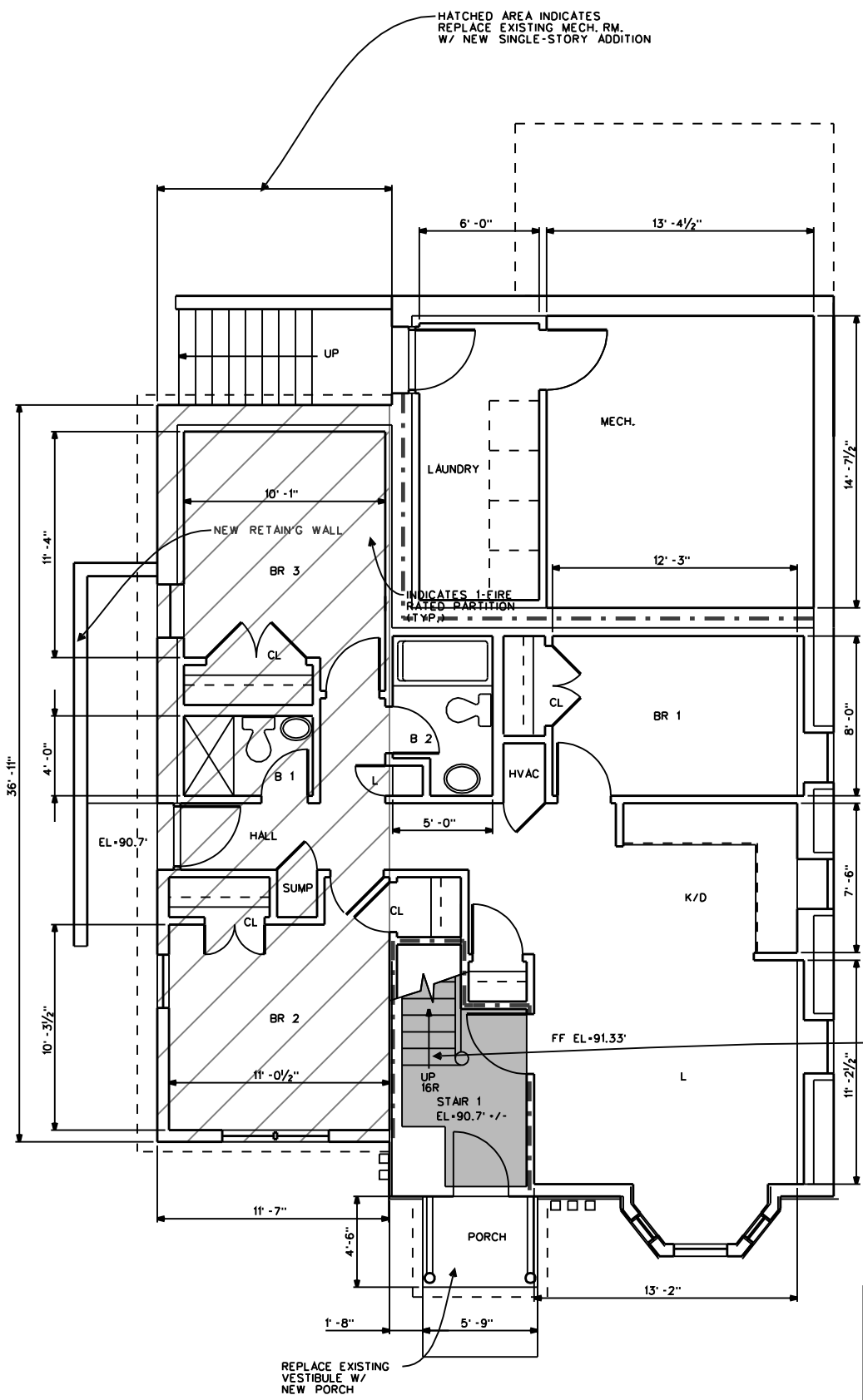


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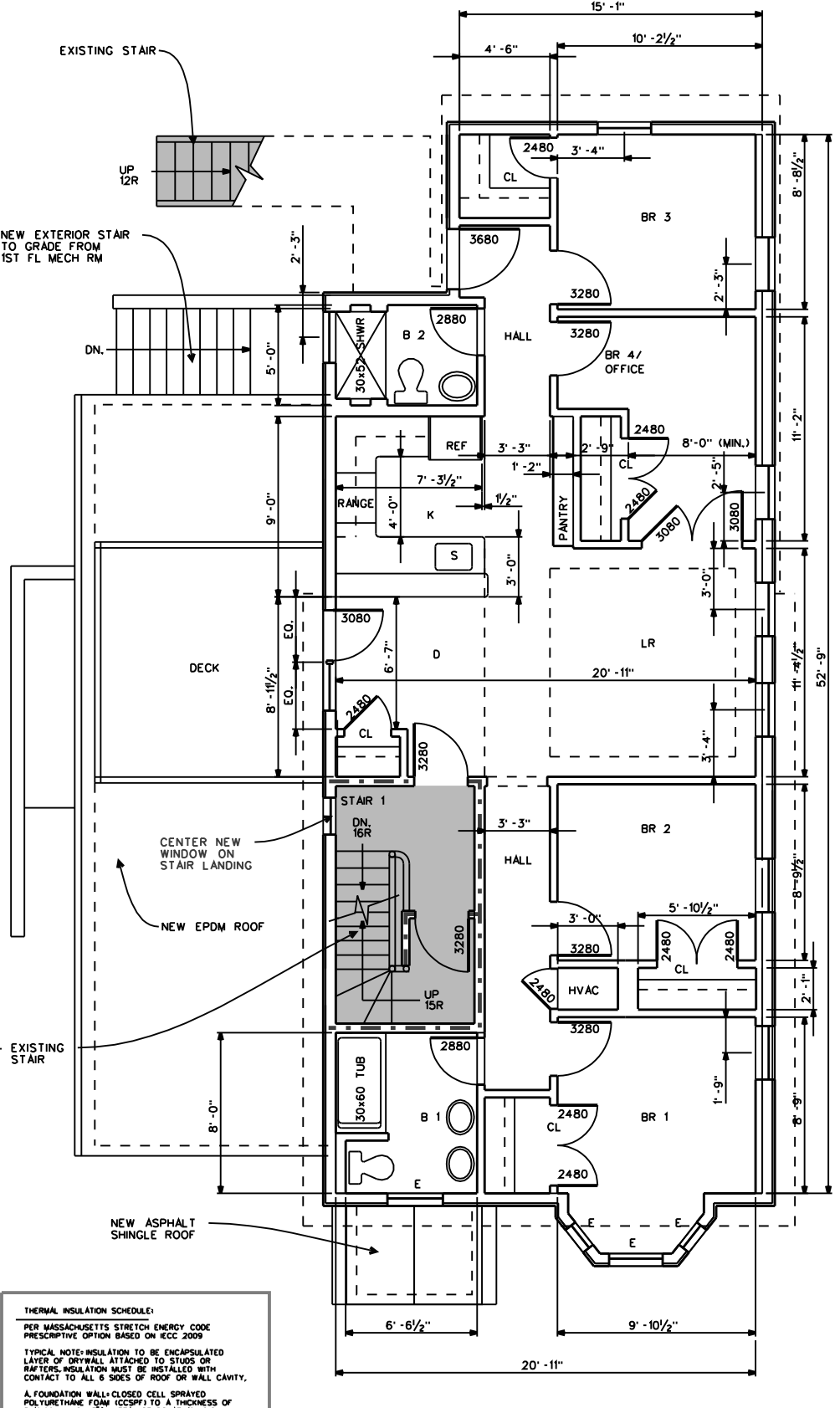
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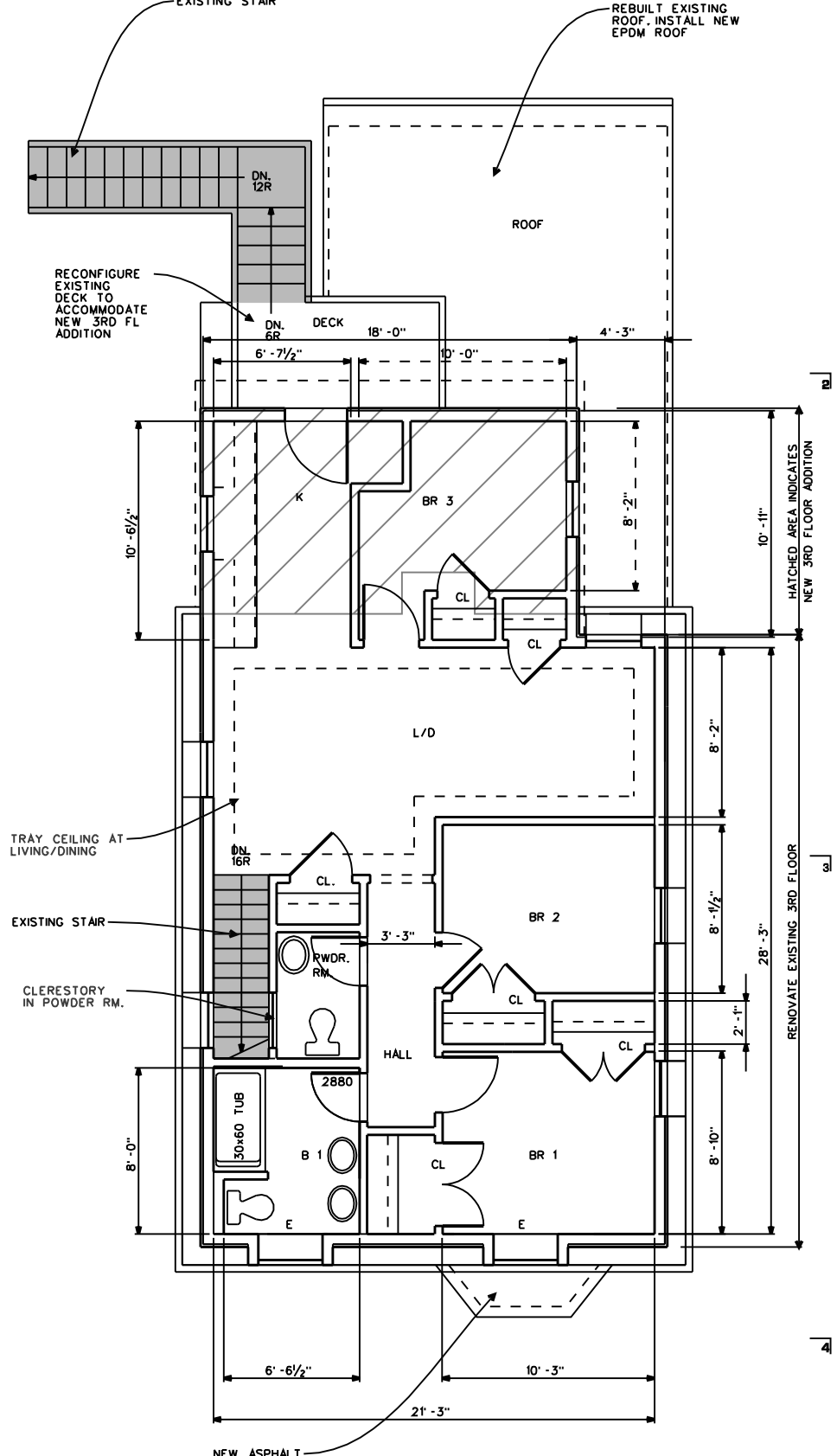
Proposed Floor Plans
A.2



Proposed First Floor Plan



Proposed Second Floor Plan



Proposed Third Floor Plan

THERMAL INSULATION SCHEDULE:
 PER MASSACHUSETTS STRETCH ENERGY CODE PRESCRIPTIVE OPTION BASED ON IECC 2009

TYPICAL NOTES: INSULATION TO BE ENCAPSULATED LAYER OF DRYWALL ATTACHED TO STUDS OR RAFTERS. INSULATION MUST BE INSTALLED WITH CONTACT TO ALL 6 SIDES OF ROOF OR WALL CAVITY.

A. FOUNDATION WALL: CLOSED CELL SPRAYED POLYURETHANE FOAM (ICSPF) R-30.00 MIN. ON 3/8" METAL STUDS AT 16" O.C. FILL BALANCE OF CAVITY WITH UNFACED FIBERGLASS BATT INSULATION. HOLD STUDS 1/2" OFF OF EXISTING WALL FACE.

B. EXISTING WOOD STUD WALL: OPEN CELL SPRAYED POLYURETHANE FOAM (ICSPF) R-5.5 PER INCH MIN. WITH VAPOR RETARDER. SPRAY FOAM INSULATION TO BE INSTALLED BETWEEN EXISTING WOOD STUDS.

C. NEW WOOD STUD WALLS - OPEN CELL SPRAYED POLYURETHANE FOAM (ICSPF) R-30.00 MIN. WITH VAPOR RETARDER. SPRAY FOAM INSULATION TO BE INSTALLED BETWEEN NEW WOOD STUDS.

D. EXISTING ROOF: OPEN CELL SPRAYED POLYURETHANE FOAM (ICSPF) R-5.5 PER INCH IN SHALLOW FRAMING WITH VAPOR RETARDER. SPRAY FOAM INSULATION TO BE INSTALLED BETWEEN EXISTING WOOD RAFTERS.

E. NEW ROOF FRAMING: SPRAYED POLYURETHANE FOAM (ICSPF) R-30.00 MIN. WITH VAPOR RETARDER. SPRAY FOAM INSULATION TO BE INSTALLED BETWEEN NEW WOOD RAFTERS.

F. SLAB: R-10.00 MIN. UNDER ENTIRE FOOTPRINT OF NEW CONCRETE SLAB.

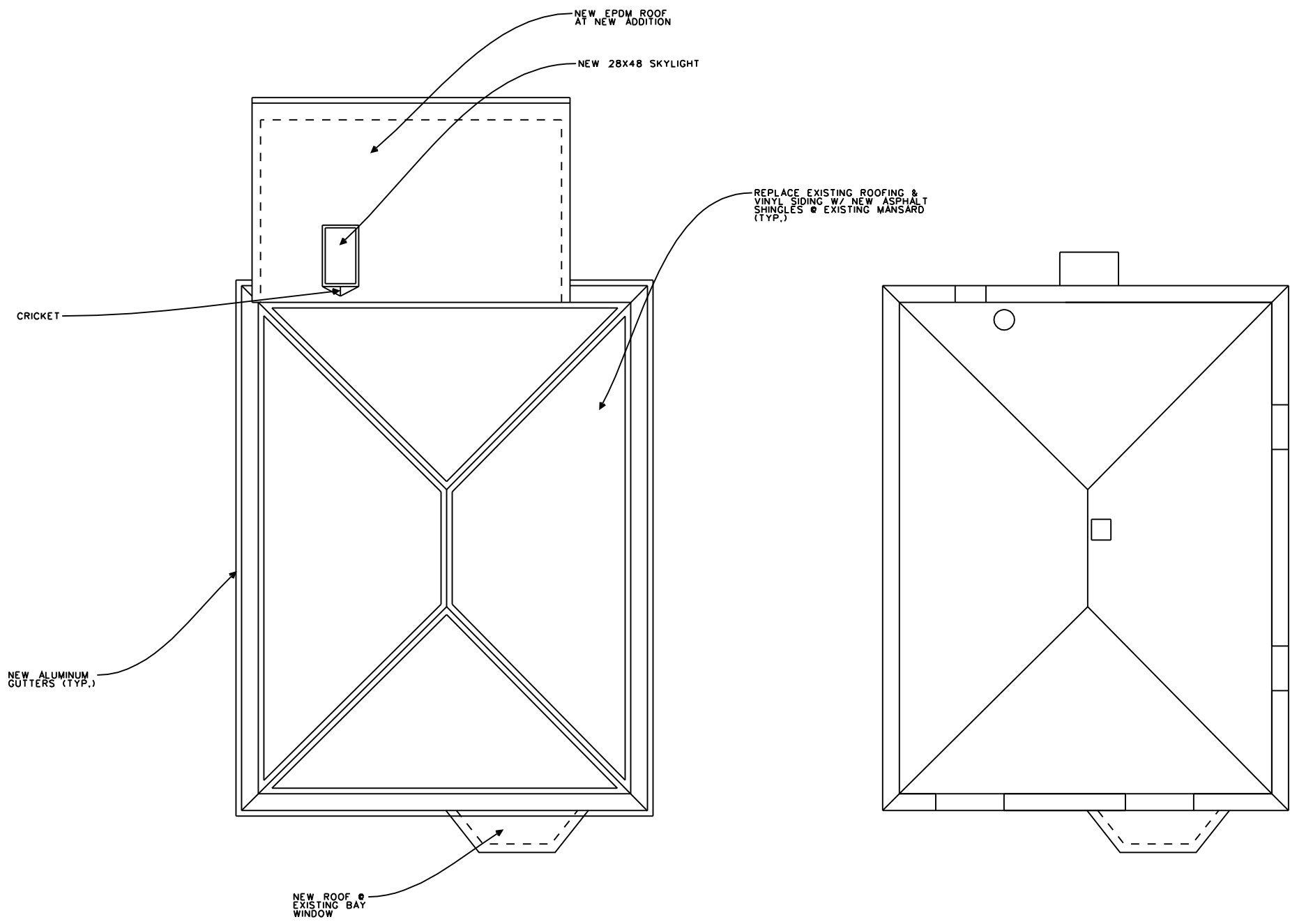
AIR SEALS - SEAL ALL JOINTS, SEAMS AND PENETRATIONS BE TWEEN CONDITIONED & UNCONDITIONED SPACE. CONTRACTOR TO PROVIDE ENERGY STAR THERMAL BYPASS CHECKLIST.

CONTRACTOR TO POST R-VALUES OF INSULATION, WINDOW U VALUES, AND HVAC EFFICIENCIES ON OR NEAR ELECTRICAL PANEL.

EXISTING AREA:	PROPOSED AREA:
3rd Floor • 670 sf	3rd Floor • 835 sf
2nd Floor • 1,150 sf	2nd Floor • 1,162 sf
1st Floor • 645 sf	1st Floor • 1,080 sf
Total • 2,465 sf	Total Area • 3,089 sf

Lot Area • 5,206 sf x FAR 0.6 •
 3,123 sf Maximum Allowable

FIELD VERIFY ALL DIMENSIONS. DRAWINGS ARE NOT TO BE SCALED. CONTACT ARCHITECT FOR INTERPRETATION OF DIMENSIONS.



Proposed Roof Plan

Existing Roof Plan

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78 Wolcott Road
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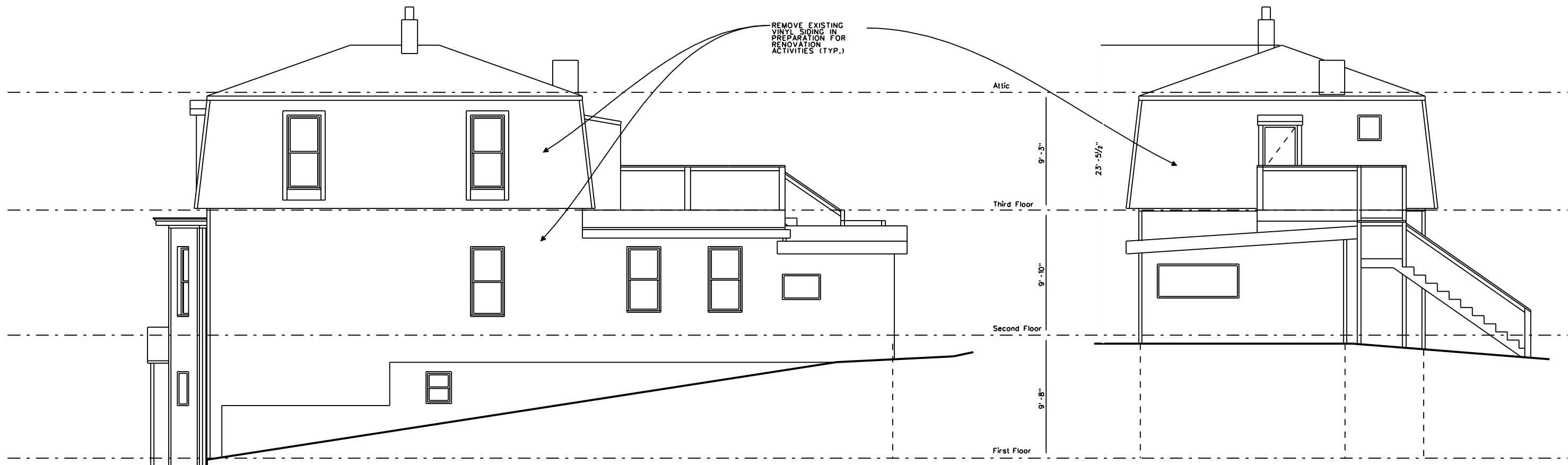


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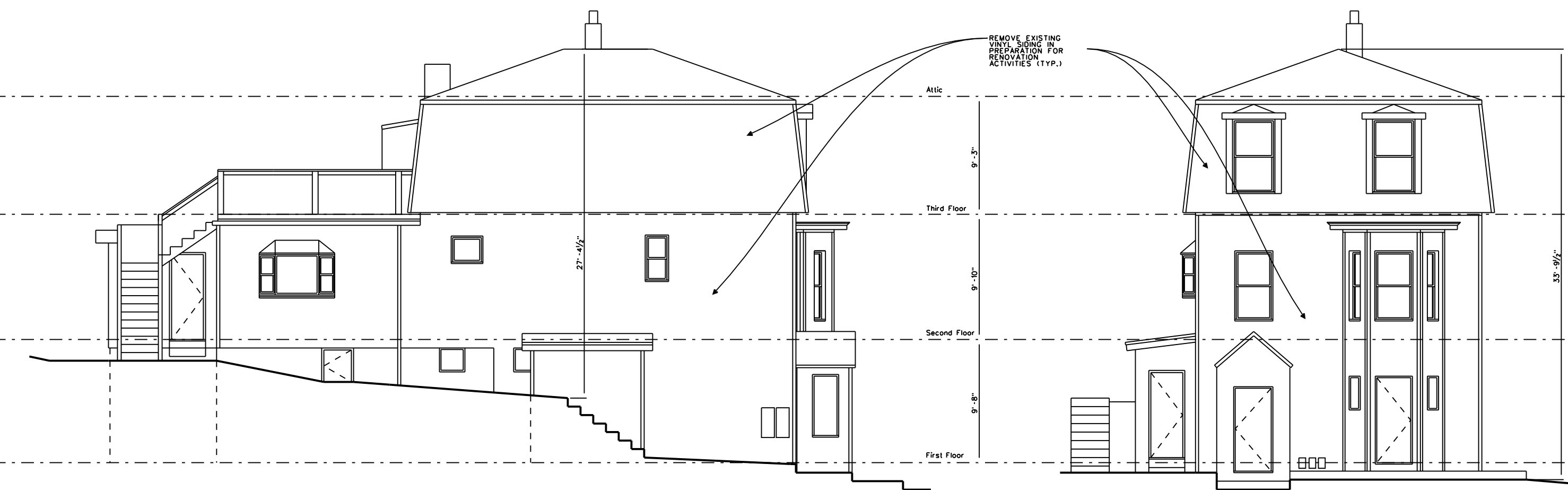
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Existing & Proposed Roof Plans
A.3

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Right Side Elevation

Rear Elevation



Left Side Elevation

Front Elevation

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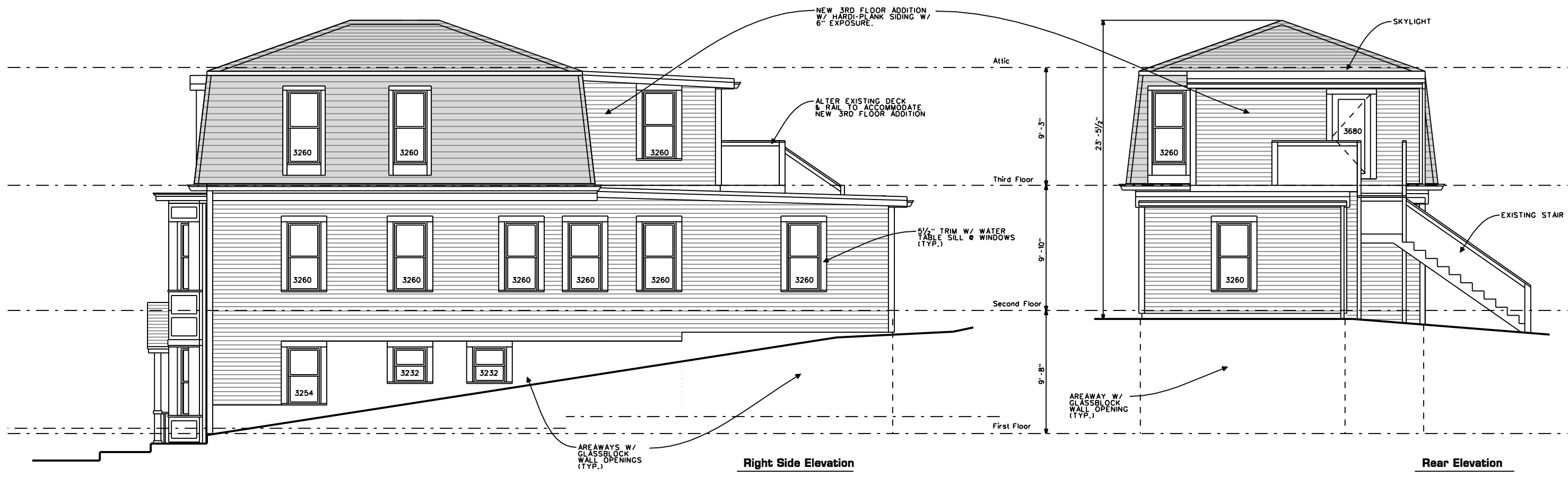
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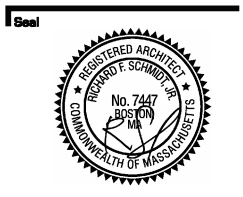
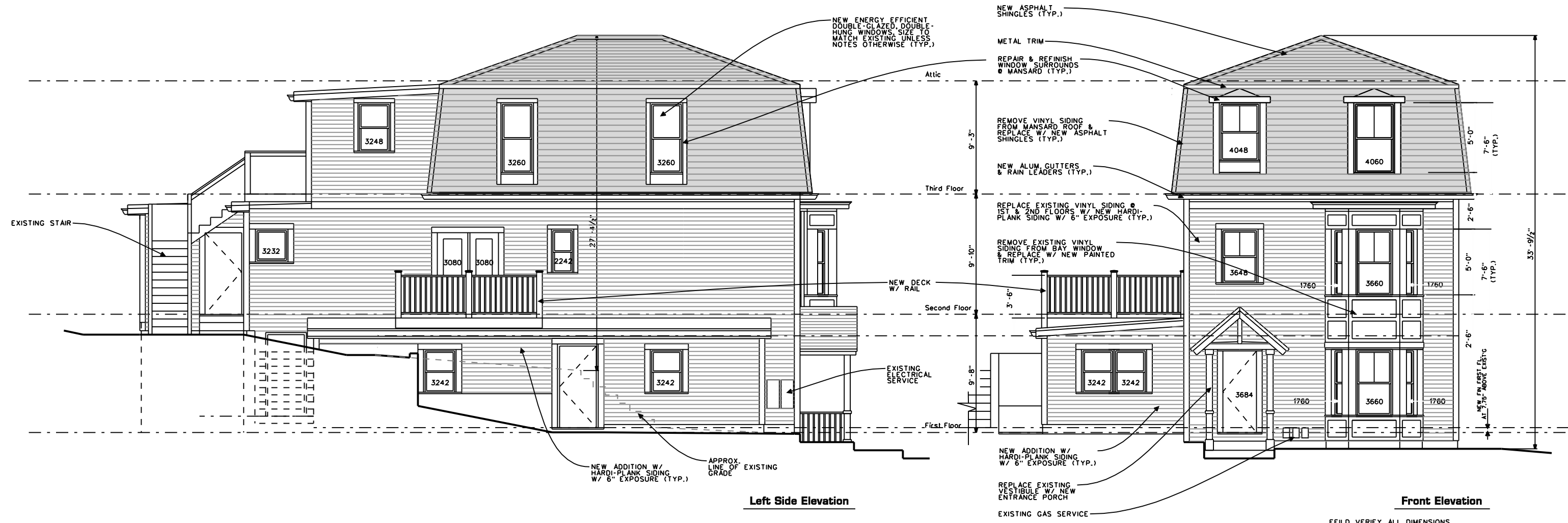
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Existing Elevations
A.4

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Proposed Elevations
A.5

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