

DRAWING LIST

SHEET NO.	DRAWING TITLE
A1.1	EXISTING/DEMOLITION PLAN
A1.2	EXISTING/DEMOLITION PLAN
A1.3	CONSTRUCTION PLAN
A1.4	ELEVATION PLAN
A1.5	CONSTRUCTION PLAN
L1.1	EXISTING/DEMOLITION SITE PLAN
L1.2	CONSTRUCTION SITE PLAN

UTILITIES LEGEND

	GAS METER
	WATER METER
	ELECTRICAL METER
	WALL MOUNTED ELECTRICAL PANELS (P1 & P2)
	WATER HEATER
	BOILER SYSTEM B1 BOILER 1ST FLR B2 BOILER 2ND FLR

ABBREVIATION:

BSMT	= BASEMENT
GIP	= CAST-IN-PLACE
CLO	= CLOSET
CONC	= CONCRETE
CONT	= CONTINUOUS
DIA	= DIAMETER
DWG	= DRAWING
EXT	= EXTERIOR
EXTG	= EXISTING
ETR	= EXISTING TO REMAIN
ESA	= EXISTING SET ASIDE
FLR	= FLOOR
FTG	= FOOTING
FNDR	= FOUNDATION
LC	= LALLY COLUMN
LIN	= LINEN
MAX	= MAXIMUM
MIN	= MINIMUM
PLTF	= PLATFORM
P.T.	= PRESSURE TREATED
R&D	= REMOVE AND DISPOSE
RDR	= RADIATOR
SKYL	= SKYLIGHTS
STL	= STEEL
STGE	= STORAGE
THK	= THICK
TR	= TO REMAIN
TYP	= TYPICAL
WIC	= WALK-IN-CLOSET

PROJECT RENOVATION/RESTORATION EVALUATION:

A FEW YEARS AGO, A ROARING FIRE ENGULFED THE BUILDING ON 37 PERRIN STREET CAUSING SIGNIFICANT DAMAGE TO THE SECOND AND THIRD FLOORS. THE STRUCTURE WAS EXPOSED TO THE WEATHER THAT CAUSED ADDITIONAL DAMAGE ON ALL FLOORS INCLUDING THE BASEMENT.

OUR RECOMMENDATION THAT THE STRUCTURE SHOULD GO UNDER A TOTAL RENOVATION/RESTORATION.

THE GENERAL CONTRACTOR SHOULD PERFORM ALL NECESSARY TESTING TO IDENTIFY ANY CONTAMINANTS AND HAZARDOUS MATERIALS THAT REQUIRED A PROPER HANDLING AND DISPOSAL AS MANDATE BY THE LOCAL AUTHORITIES.

THE CONTRACTOR SHOULD CONSIDER TESTING FOR FOLLOWING CONSTRUCTION MATERIAL AS LISTED HEREIN:
 a. PLASTERED COVERING ON ALL SURFACES.
 b. PAINT ON ALL COVERED SURFACES.
 c. INSULATION COVERING ON ALL HEATING PIPES.
 d. SOIL AT BASEMENT FLOOR UNDER AND AROUND THE OIL TANKS.
 e. SEALANT THROUGHOUT THE ENTIRE STRUCTURE.
 f. ROOFING SHINGLES.

ALL DEBRIS SHALL BE PROPERLY DISPOSED OFF AT A LEGAL PLANT.

THE REMAINING OF DAMAGED FURNITURE AND DEBRIS IN THE BUILDING MAKES IT DIFFICULT TO MAKE AN ACCURATE ASSESSMENT FOR RENOVATION/RESTORATION; HOWEVER, WE PREPARED THE RENOVATION/CONSTRUCTION PLANS BASED ON OUR OBSERVATION AT THE TIME. WE FILED VERIFY THE PROPERTY MENTIONED ABOVE TO OUR BEST ABILITY.

SHOULD ANY MODIFICATION REQUIRED AND/OR NEEDED DURING CONSTRUCTION, IT WILL BE DEALT WITH ACCORDINGLY AND AN ADDITIONAL SERVICE CHARGE WILL BE APPLIED.

PLEASE REFER TO DETAILED CONSTRUCTION DOCUMENTS.

THIS DWELLING WAS BUILT IN THE 1900 AND HAS A BALLOON FRAMING.

BALLOON FRAMING EXACERBATED THE PROBLEM OF HOUSE FIRES BECAUSE WITHOUT ANY FIREBREAKS BETWEEN FLOORS DUE TO FULL LENGTH STUDS.

THE GENERAL CONTRACTOR SHALL PLACED FIRE BLOCKING ON ALL FLOORS.

DEMOLITION GENERAL NOTES:

- ALL DEMOLITION DRAWINGS IN THIS CONTRACT ARE GENERAL IN NATURE ARE INTENDED TO ASSIST THE CONTRACTOR IN UNDERSTANDING THE EXTENT OF DEMOLITION REQUIRED TO ACCOMMODATE WORK SHOWN IN THE CONTRACT DOCUMENTS.
- PRIOR TO THE REMOVAL OF ELECTRICAL WIRING, RECEPTACLES, SWITCHES, LIGHT FIXTURES AND ANY OTHER ELECTRICAL DEVICES WITHIN THE WORK LIMITS, THE CONTRACTOR SHALL SHUTOFF POWER SUPPLY AT MAIN ELECTRICAL.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING WITH THE OWNER ALL ITEMS SCHEDULED TO BE DEMOLISHED FOR SALVAGE OR REUSE PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL, UPON DISCOVERY OF HAZARDOUS MATERIALS, IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER AND THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL CONDITIONS IN THE FIELD AND REPORT TO ARCHITECT/ENGINEER IF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS.

DEMOLITION NOTES:

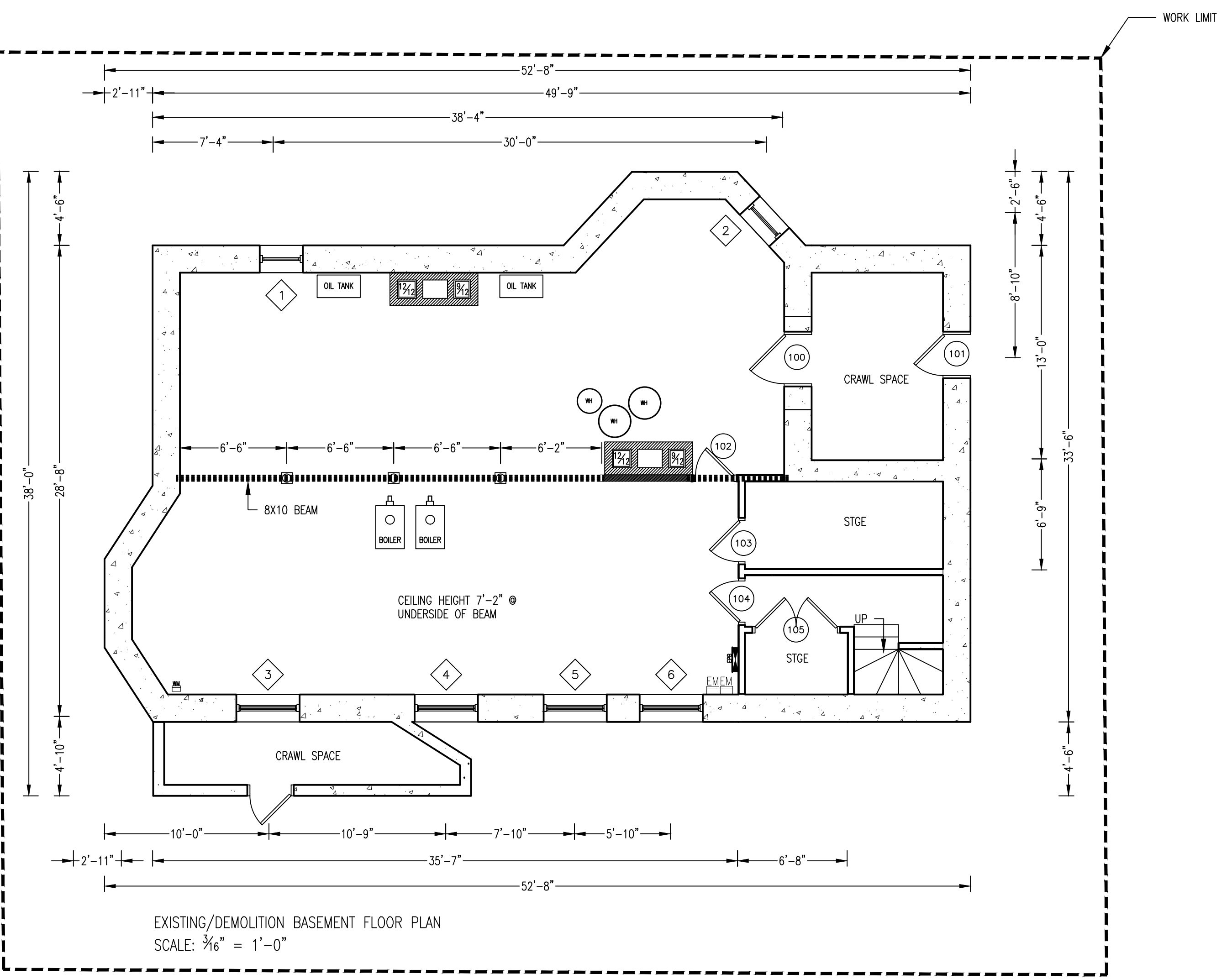
PRIOR TO STARTING THE DEMOLITION OPERATION, THE CONTRACTOR SHALL FOLLOW A SEQUENTIAL GUIDELINES SCHEDULE THAT REFLECT THE RECOMMENDATION NOTED AT THE PROJECT EVALUATION AND AS LISTED HEREIN:

- UPON OBTAINING ALL LABORATORY MATERIAL TESTING, THE CONTRACTOR SHALL REMOVE ALL DAMAGED FURNITURE, AND DEBRIS FROM SITE.
- REMOVE AND DISPOSE ALL ROOFING SYSTEM INCLUDING THE SMALL RUBBER ROOF OVER THE THREE SEASON ROOM AT THE SECOND FLOOR.
- ANY REMOVAL OF UNSTABLE BEARING WALLS SHALL BE AS VERIFY AND APPROVED BY THE ENGINEER.
- REMOVE AND DISPOSE ALL ATTIC FLOOR JOISTS.
- SELECTIVE REMOVAL AND DISPOSAL OF ALL WOOD STRUCTURE TORCHED BY FIRE.
- REMOVE AND DISPOSE THE CONC. PLATFORM, COVERED PORCH AND THE SUNDECK WHERE SHOWN ON THE DRAWINGS.
- REMOVE AND DISPOSE BOTH CHIMNEY.
- REMOVE AND DISPOSE ALL PLUMBING PIPING AND PLUMBING FIXTURES.
- REMOVE AND DISPOSE ALL ELECTRICAL WIRING, FIXTURES AND OUTLETS.
- REMOVE AND DISPOSE ALL DOORS & WINDOWS AND FRAMES.
- REMOVE AND DISPOSE ALL VINYL FLOORING, CERAMIC FLOORING, SELECTIVE REMOVAL OF TORCHED WOOD FLOORING.
- REMOVE AND DISPOSE ALL HORSEHAIR PLASTER AND WOOD LATH.
- THE CONTRACTOR IS RESPONSIBLE TO PROPERLY DISPOSED OF ALL DEMOLITION AND CONSTRUCTION DEBRIS OFF SITE TO AN APPROVED WASTE MANAGEMENT PLANT.

AS REQUESTED BY THE INSPECTIONAL SERVICES DEPARTEMENT:

THE SQUARE FOOTAGE OF EXISTING & PROPOSED ARE AS LISTED HEREIN:

- SQUARE FOOTAGE OF EXISTING FIRST FLOOR 1608 SQFT
- PROPOSED SQUARE FOOTAGE OF FIRST FLOOR 1608 SQFT NO CHANGE.
- SQUARE FOOTAGE OF EXISTING SECOND FLOOR 1670 SQFT
- PROPOSED SQUARE FOOTAGE OF SECOND FLOOR 1670 SQFT NO CHANGE.
- SQUARE FOOTAGE OF EXISTING THIRD FLOOR 1156 SQFT
- PROPOSED SQUARE FOOTAGE OF THIRD FLOOR 1576 SQFT (+420 SQFT)



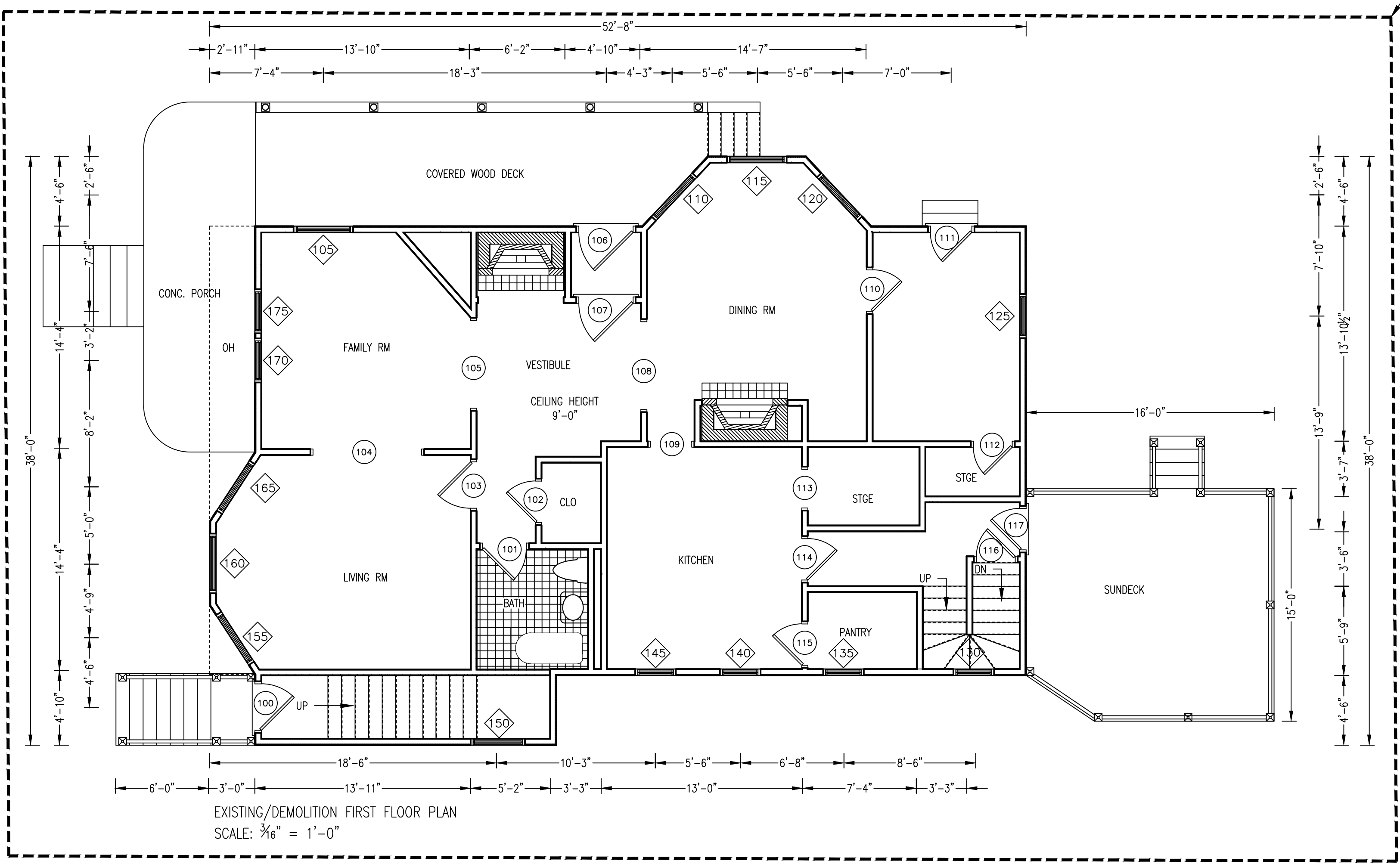
EXISTING/DEMOLITION BASEMENT FLOOR PLAN
SCALE: 3/16" = 1'-0"

BASEMENT FLOOR WINDOW SCHEDULE/EXISTING/DEMOLITION

1	2817	R.O.	2'-8 3/8" X 1'-7 1/4", R&D;
2	2817	R.O.	2'-8 3/8" X 1'-7 1/4", R&D;
3	TW 3436	R.O.	3'-6 1/8" X 3'-9 1/4", R&D;
4	TW 3436	R.O.	3'-6 1/8" X 3'-9 1/4", R&D;
5	TW 3436	R.O.	3'-6 1/8" X 3'-9 1/4", R&D;
6	TW 3436	R.O.	3'-6 1/8" X 3'-9 1/4", R&D;

BASEMENT FLOOR DOOR SCHEDULE/EXISTING/DEMOLITION

100	3'-0" X 2'-8", R&D;
101	3'-0" X 2'-8", R&D;
102	2'-6" X 6'-8", R&D;
103	2'-8" X 6'-8", R&D;
104	2'-2"-6" X 6'-8", R&D;
105	2'-6" X 6'-8", R&D;



EXISTING/DEMOLITION FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

FIRST FLOOR WINDOW SCHEDULE/EXISTING/DEMOLITION

105	TW 3446	R.O.	3'-6 1/8" X 4'-9 1/4", R&D;
110	TW 3446	R.O.	3'-6 1/8" X 4'-9 1/4", R&D;
115	TW 3446	R.O.	3'-6 1/8" X 4'-9 1/4", R&D;
120	TW 3446	R.O.	3'-6 1/8" X 4'-9 1/4", R&D;
125	TW 2446	R.O.	2'-6 1/8" X 4'-9 1/4", R&D;
130	TW 2446	R.O.	2'-6 1/8" X 4'-9 1/4", R&D;
135	TW 2446	R.O.	2'-6 1/8" X 4'-9 1/4", R&D;
140	TW 2446	R.O.	2'-6 1/8" X 4'-9 1/4", R&D;
145	TW 2446	R.O.	2'-6 1/8" X 4'-9 1/4", R&D;
150	TW 3036	R.O.	3'-2 1/8" X 3'-9 1/4", R&D;
155	TW 3446	R.O.	3'-6 1/8" X 4'-9 1/4", R&D;
160	TW 3446	R.O.	3'-6 1/8" X 4'-9 1/4", R&D;
165	TW 3446	R.O.	3'-6 1/8" X 4'-9 1/4", R&D;
170	TW 3446	R.O.	3'-6 1/8" X 4'-9 1/4", R&D;
175	TW 3446	R.O.	3'-6 1/8" X 4'-9 1/4", R&D;

FIRST FLOOR DOOR SCHEDULE/EXISTING/DEMOLITION

100	3'-0" X 6'-8", EXTERIOR, R&D;
101	2'-10" X 6'-8", R&D;
102	2'-8" X 6'-8", R&D;
103	3'-0" X 6'-8", R&D;
104	7'-0" X 6'-8", CASED OPENING, R&D;
105	4'-6" X 6'-8", CASED OPENING, R&D;
106	3'-6" X 6'-8", EXTERIOR, R&D;
107	3'-6" X 6'-8", R&D;
108	5'-8" X 6'-8", CASED OPENING, R&D;
109	2'-8" X 6'-8", CASED OPENING, R&D;
110	2'-8" X 6'-8", R&D;
111	2'-8" X 6'-8", EXTERIOR, R&D;
112	2'-8" X 6'-8", R&D;
113	2'-6" X 6'-8", CASED OPENING, R&D;
114	2'-8" X 6'-8", R&D;
115	2'-8" X 6'-8", R&D;
116	2'-6" X 6'-8", R&D;
117	2'-8" X 6'-8", EXTERIOR, R&D;

DESIGN BY ELI SEMAN
 17 ETHEL STREET
 ROXBURY, MA 02119-1607
 TEL: 617-469-2115
 ESEMAN@HOTMAIL.COM



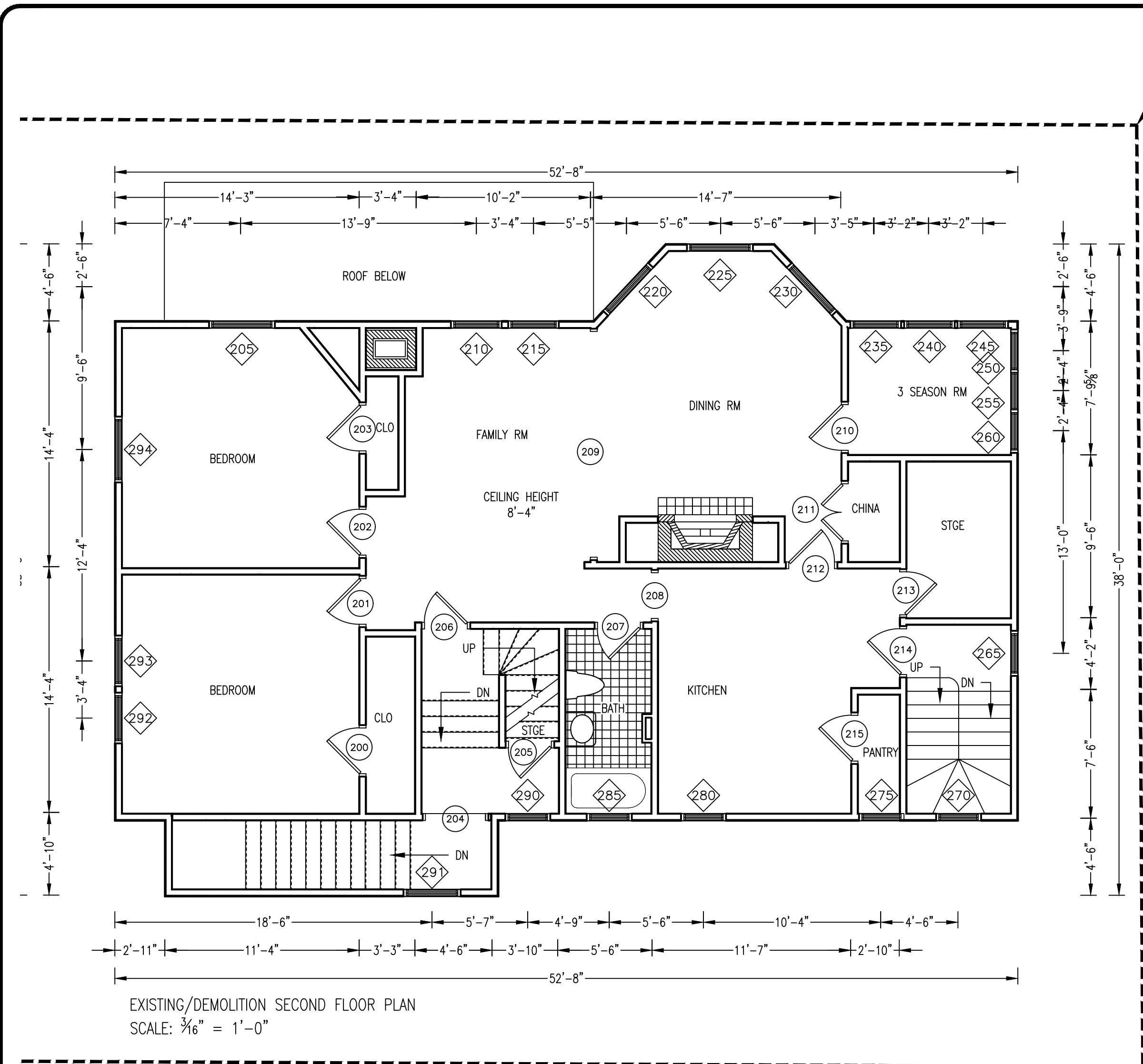
Revision #	Date	Revisions

RENOVATION/RESTORATION
 27 PERRIN STREET
 ROXBURY, MA 02119

SCALE: NOTED
 DATE: May 8, 2023
 DESIGN BY: ES
 DRAWING BY: ES
 CHECKED BY: ES
 JOB NO. ROX032423



DRAWING #
A1.1



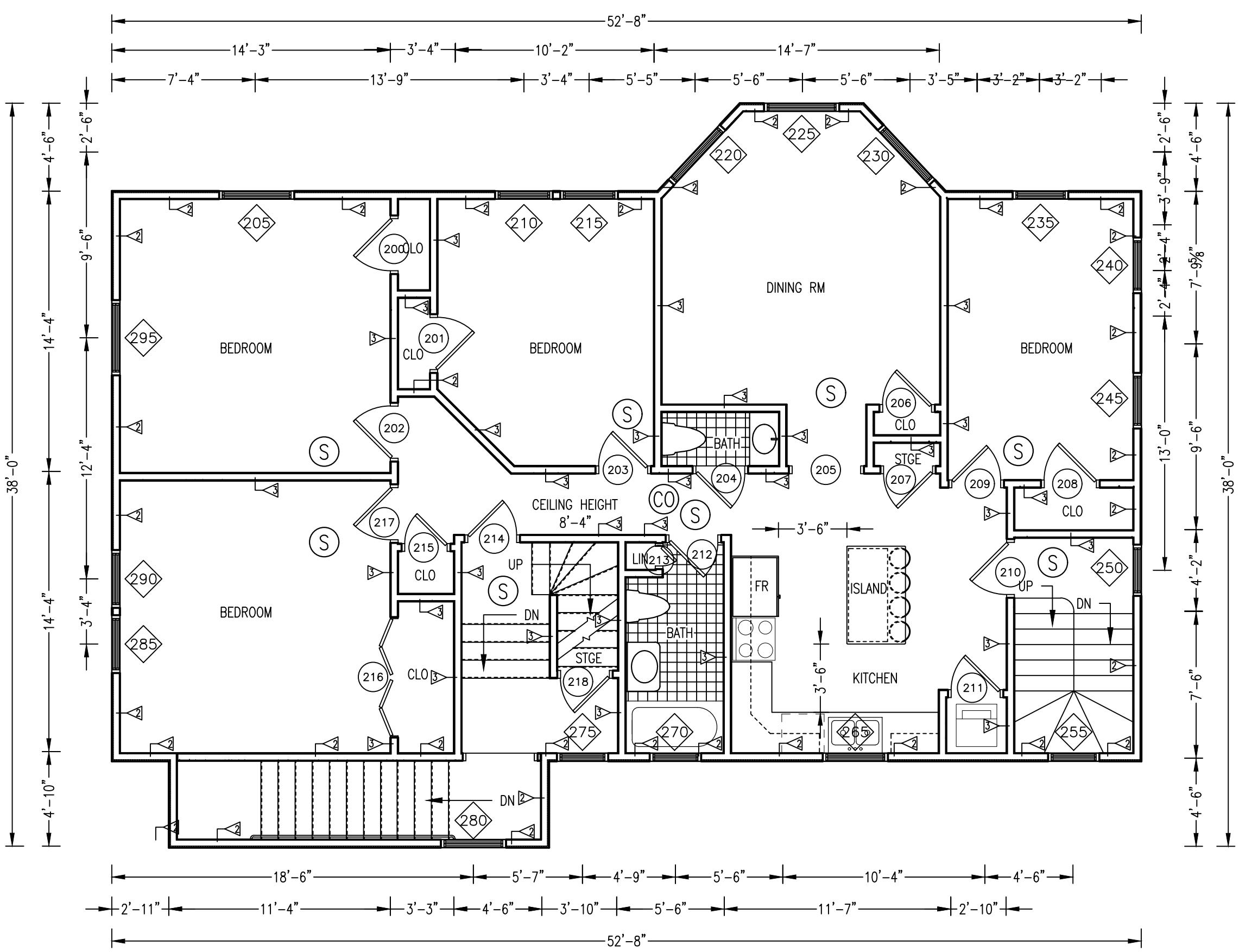
SECOND FLOOR WINDOW SCHEDULE/EXISTING/DEMOLITION

205	TW 3446	R.O.	3'-6 1/2" X 4'-9 1/4", R&D;
210	TW 2446	R.O.	2'-6 1/2" X 4'-9 1/4", R&D;
215	TW 2446	R.O.	2'-6 1/2" X 4'-9 1/4", R&D;
220	TW 3446	R.O.	3'-6 1/2" X 4'-9 1/4", R&D;
225	TW 3446	R.O.	3'-6 1/2" X 4'-9 1/4", R&D;
230	TW 3446	R.O.	3'-6 1/2" X 4'-9 1/4", R&D;
235	TW 3446	R.O.	2'-6 1/2" X 3'-9 1/4", R&D;
240	TW 3446	R.O.	2'-6 1/2" X 3'-9 1/4", R&D;
245	TW 3446	R.O.	2'-6 1/2" X 3'-9 1/4", R&D;
250	TW 3446	R.O.	2'-6 1/2" X 3'-9 1/4", R&D;
255	TW 3446	R.O.	2'-6 1/2" X 3'-9 1/4", R&D;
260	TW 3446	R.O.	2'-6 1/2" X 3'-9 1/4", R&D;
265	TW 2436	R.O.	2'-6 1/2" X 3'-9 1/4", R&D;
270	TW 2436	R.O.	2'-6 1/2" X 3'-9 1/4", R&D;
275	TW 2436	R.O.	2'-6 1/2" X 3'-9 1/4", R&D;
280	TW 2436	R.O.	2'-6 1/2" X 3'-9 1/4", R&D;
285	TW 2436	R.O.	2'-6 1/2" X 3'-9 1/4", R&D;
290	TW 2436	R.O.	2'-6 1/2" X 3'-9 1/4", R&D;
291	TW 3036	R.O.	3'-2 1/2" X 3'-9 1/4", R&D;
292	TW 3446	R.O.	3'-6 1/2" X 4'-9 1/4", R&D;
293	TW 3446	R.O.	3'-6 1/2" X 4'-9 1/4", R&D;
294	TW 3446	R.O.	3'-6 1/2" X 4'-9 1/4", R&D;

SECOND FLOOR DOOR SCHEDULE/EXISTING/DEMOLITION

200	2'-8" X 6'-8", R&D;
201	2'-8" X 6'-8", R&D;
202	2'-8" X 6'-8", R&D;
203	2'-8" X 6'-8", R&D;
204	3'-6" X 6'-8", CASED OPENING, R&D;
205	2'-6" X 6'-8", R&D;
206	2'-6" X 6'-8", R&D;
207	2'-6" X 6'-8", R&D;
208	2'-8" X 6'-8", CASED OPENING, R&D;
209	13'-2" X 7'-8", CASED OPENING, R&D;
210	2'-8" X 6'-8", R&D;
211	2'-1'-8" X 6'-8", R&D;
212	2'-8" X 6'-8", R&D;
213	2'-8" X 6'-8", R&D;
214	2'-8" X 6'-8", R&D;
215	2'-8" X 6'-8", R&D;

EXISTING/DEMOLITION SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

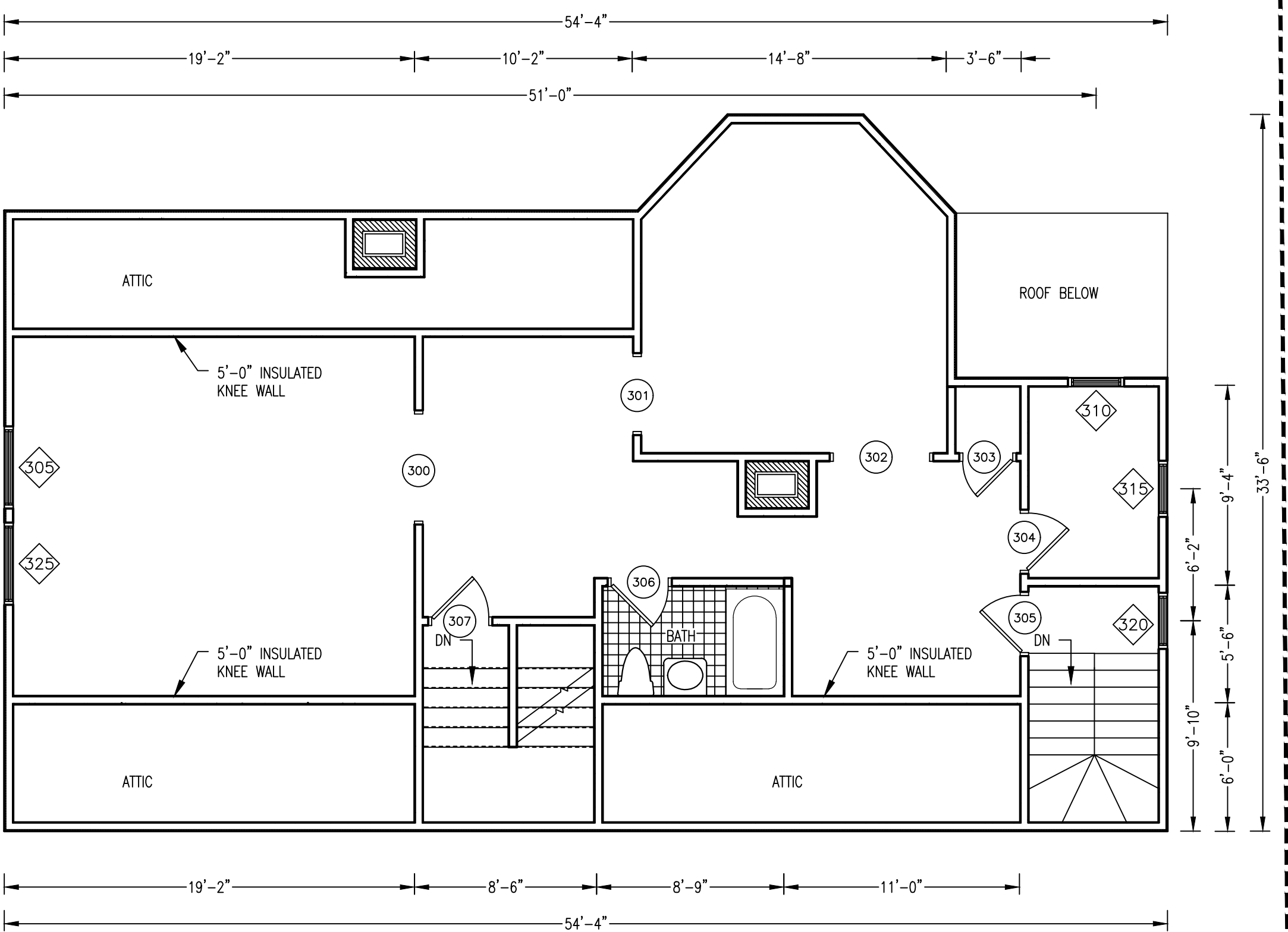


ATTIC FLOOR WINDOW SCHEDULE/EXISTING/DEMOLITION

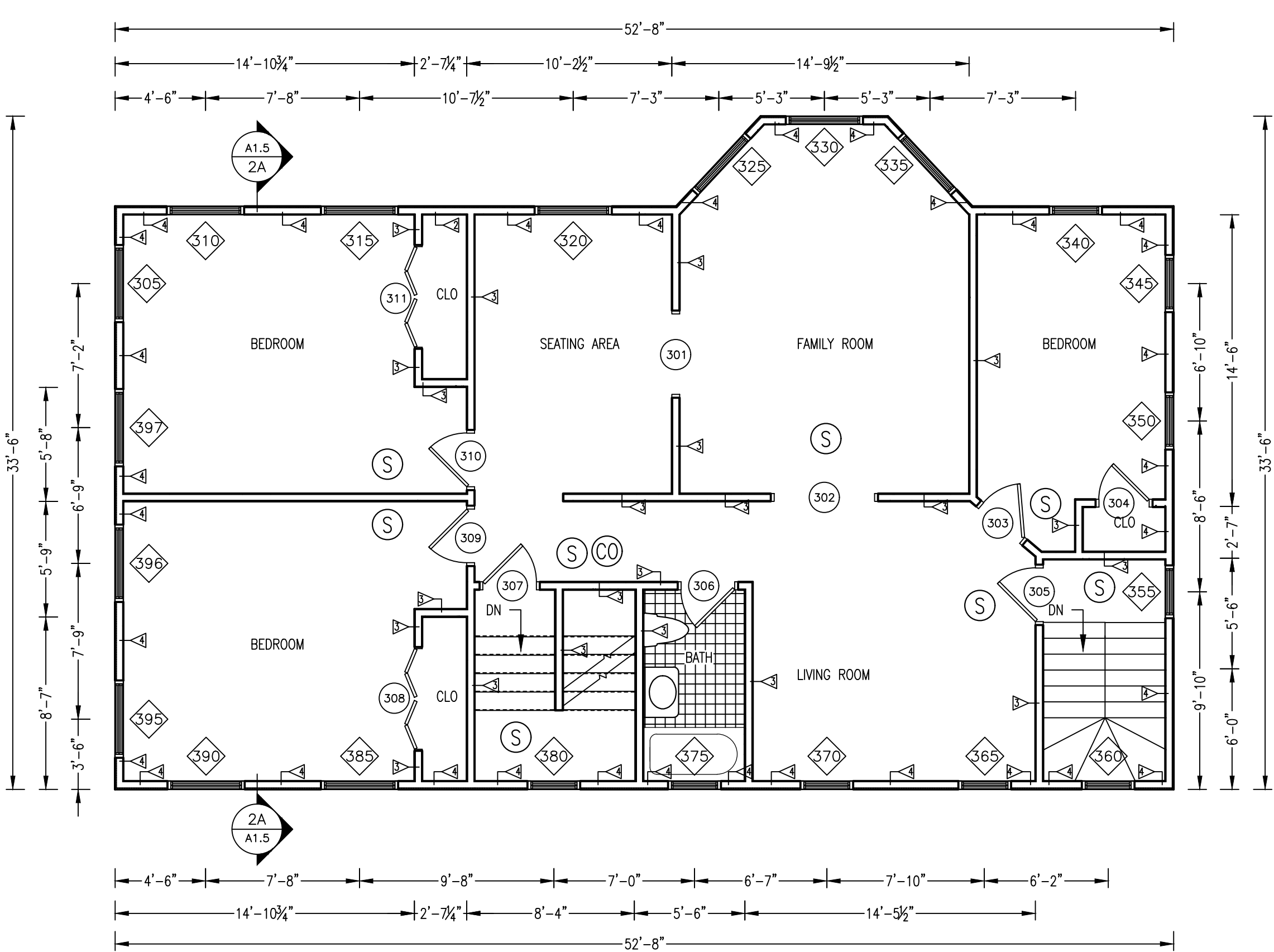
305	TW 3446	R.O.	3'-6 1/2" X 4'-9 1/4", R&D;
310	TW 2442	R.O.	2'-6 1/2" X 4'-5 1/4", R&D;
315	TW 2442	R.O.	2'-6 1/2" X 4'-5 1/4", R&D;
320	TW 2442	R.O.	2'-6 1/2" X 4'-5 1/4", R&D;
325	TW 3446	R.O.	3'-6 1/2" X 4'-9 1/4", R&D;

ATTIC FLOOR DOOR SCHEDULE/EXISTING/DEMOLITION

300	5'-0" X 6'-8", CASED OPENING, R&D;
301	3'-6" X 6'-8", CASED OPENING, R&D;
302	4'-6" X 6'-8", CASED OPENING, R&D;
303	2'-6" X 6'-8", R&D;
304	2'-6" X 6'-8", R&D;
305	2'-8" X 6'-8", R&D;
306	2'-6" X 6'-8", R&D;
307	2'-8" X 6'-8", R&D;



EXISTING/DEMOLITION THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"



CONSTRUCTION PLAN THIRD FLOOR
SCALE: 3/16" = 1'-0"

SECOND FLOOR WINDOW SCHEDULE/CONSTRUCTION

205	TW 3452	R.O.	3'-6 1/2" X 5'-4 1/4",
210	TW 2452	R.O.	2'-6 1/2" X 5'-4 1/4",
215	TW 2452	R.O.	2'-6 1/2" X 5'-4 1/4",
220	TW 3452	R.O.	3'-6 1/2" X 5'-4 1/4",
225	TW 3452	R.O.	3'-6 1/2" X 5'-4 1/4",
230	TW 3452	R.O.	3'-6 1/2" X 5'-4 1/4",
235	TW 2452	R.O.	2'-6 1/2" X 5'-4 1/4",
240	TW 2452	R.O.	2'-6 1/2" X 5'-4 1/4",
245	TW 2452	R.O.	2'-6 1/2" X 5'-4 1/4",
250	TW 2842	R.O.	2'-10 1/2" X 4'-9 1/4",
255	TW 2842	R.O.	2'-10 1/2" X 4'-9 1/4",
265	TW 3036	R.O.	3'-2 1/2" X 3'-9 1/4",
270	TW 2432	R.O.	2'-6 1/2" X 3'-9 1/4",
275	TW 2836	R.O.	2'-10 1/2" X 3'-9 1/4",
280	TW 2836	R.O.	2'-10 1/2" X 3'-9 1/4",
285	TW 3452	R.O.	3'-6 1/2" X 5'-4 1/4",
290	TW 3452	R.O.	3'-6 1/2" X 5'-4 1/4",
295	TW 3452	R.O.	3'-6 1/2" X 5'-4 1/4",

SECOND FLOOR DOOR SCHEDULE CONSTRUCTION

200	2'-6" X 6'-8",
201	2'-6" X 6'-8",
202	2'-8" X 6'-8",
203	2'-8" X 6'-8",
204	2'-4" X 6'-8",
205	3'-6" X 6'-8", CASED OPENING
206	2'-6" X 6'-8",
207	2'-4" X 6'-8",
208	2'-6" X 6'-8",
209	2'-8" X 6'-8",
210	2'-8" X 6'-8",
211	2'-6" X 6'-8",
212	2'-6" X 6'-8",
213	1'-0" X 6'-8",
214	2'-8" X 6'-8",
215	2'-4" X 6'-8",
216	2'-3'-0" X 6'-8",
217	2'-8" X 6'-8",
218	2'-6" X 6'-8",

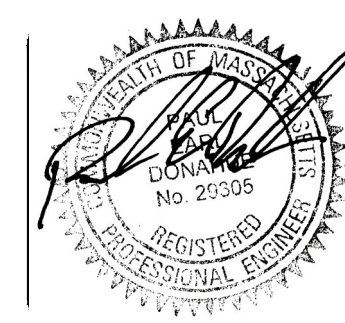
ATTIC FLOOR WINDOW SCHEDULE/CONSTRUCTION

305	TW 3036	R.O.	3'-6 1/2" X 3'-9 1/4",
310	TW 3036	R.O.	3'-6 1/2" X 3'-9 1/4",
315	TW 3036	R.O.	3'-6 1/2" X 3'-9 1/4",
320	TW 3036	R.O.	3'-6 1/2" X 3'-9 1/4",
325	TW 3036	R.O.	3'-6 1/2" X 3'-9 1/4",
330	TW 3036	R.O.	3'-6 1/2" X 3'-9 1/4",
335	TW 3036	R.O.	3'-6 1/2" X 3'-9 1/4",
340	TW 2836	R.O.	2'-10 1/2" X 3'-9 1/4",
345	TW 2842	R.O.	2'-10 1/2" X 4'-5 1/4",
350	TW 2842	R.O.	2'-10 1/2" X 4'-5 1/4",
355	TW 2842	R.O.	2'-10 1/2" X 4'-5 1/4",
360	TW 2842	R.O.	2'-10 1/2" X 4'-5 1/4",
365	TW 2836	R.O.	2'-10 1/2" X 3'-9 1/4",
370	TW 2842	R.O.	2'-10 1/2" X 4'-5 1/4",
375	TW 2842	R.O.	2'-10 1/2" X 4'-5 1/4",
380	TW 2842	R.O.	2'-10 1/2" X 4'-5 1/4",
385	TW 3036	R.O.	3'-6 1/2" X 3'-9 1/4",
390	TW 3036	R.O.	3'-6 1/2" X 3'-9 1/4",
395	TW 3036	R.O.	3'-6 1/2" X 3'-9 1/4",
396	TW 3036	R.O.	3'-6 1/2" X 3'-9 1/4",
397	TW 3036	R.O.	3'-6 1/2" X 3'-9 1/4",

ATTIC FLOOR DOOR SCHEDULE/CONSTRUCTION

301	4'-0" X 6'-8", CASED OPENING;
302	5'-6" X 6'-8", CASED OPENING;
303	3'-8" X 6'-8",
304	2'-6" X 6'-8",
305	2'-8" X 6'-8",
306	2'-6" X 6'-8",
307	2'-8" X 6'-8",
308	2'-2'-6" X 6'-8", BI-FOLD;
309	2'-8" X 6'-8",
310	2'-8" X 6'-8",
311	2'-2'-6" X 6'-8", BI-FOLD;

DESIGN BY ELI SEMAN
17 ETHEL STREET
ROSLINDALE, MA 02131-1607
TEL: 617-869-2115
ESEMAN@HOTMAIL.COM



CONSTRUCTION DOCUMENTS

Revision #	Date	Revisions

RENOVATION/RESTORATION
27 PERRIN STREET
ROXBURY, MA 02119

SCALE: NOTED
DATE: May 8, 2023
DESIGN BY: ES
DRAWING BY: ES
CHECKED BY: ES
JOB NO. R03032423



DRAWING #
A1.2

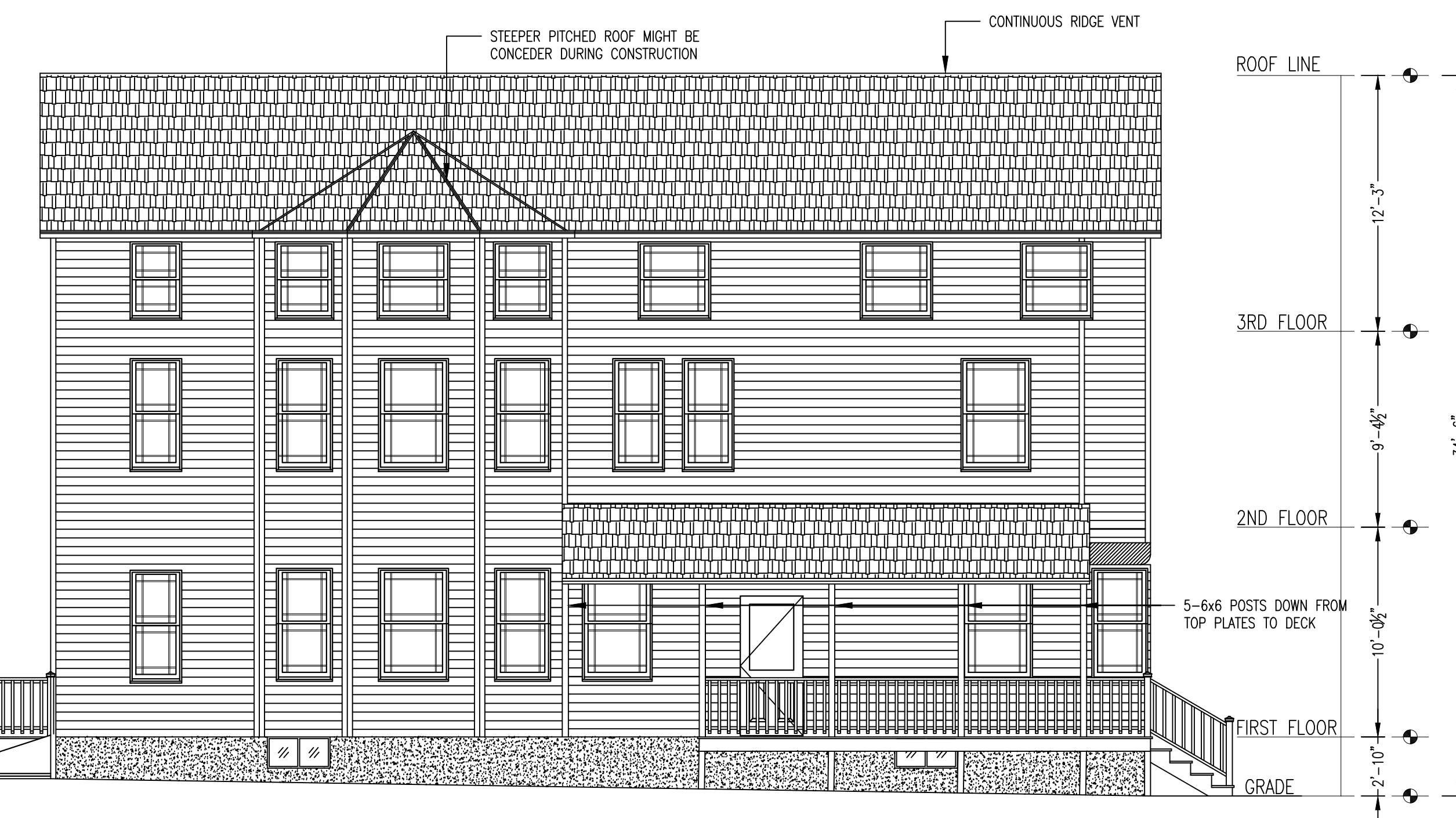
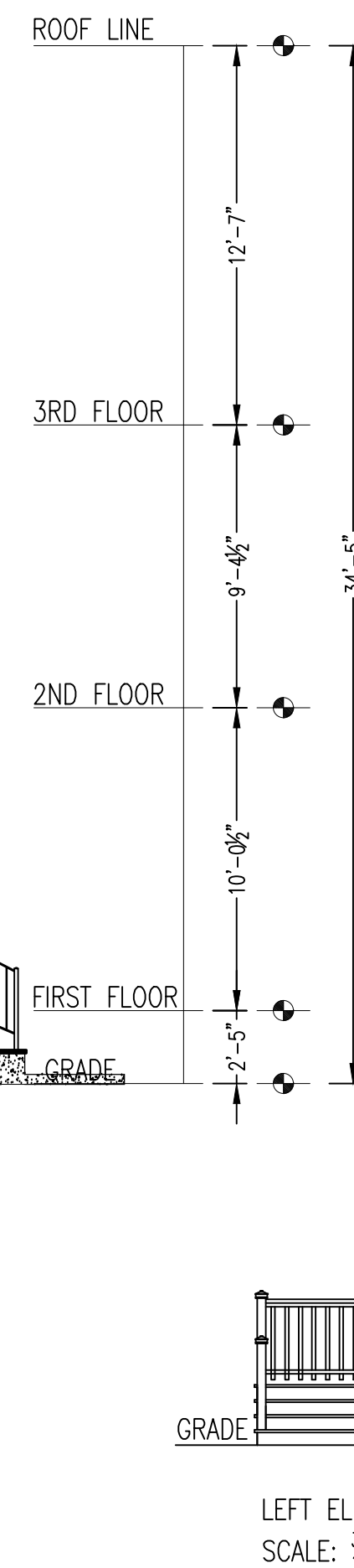
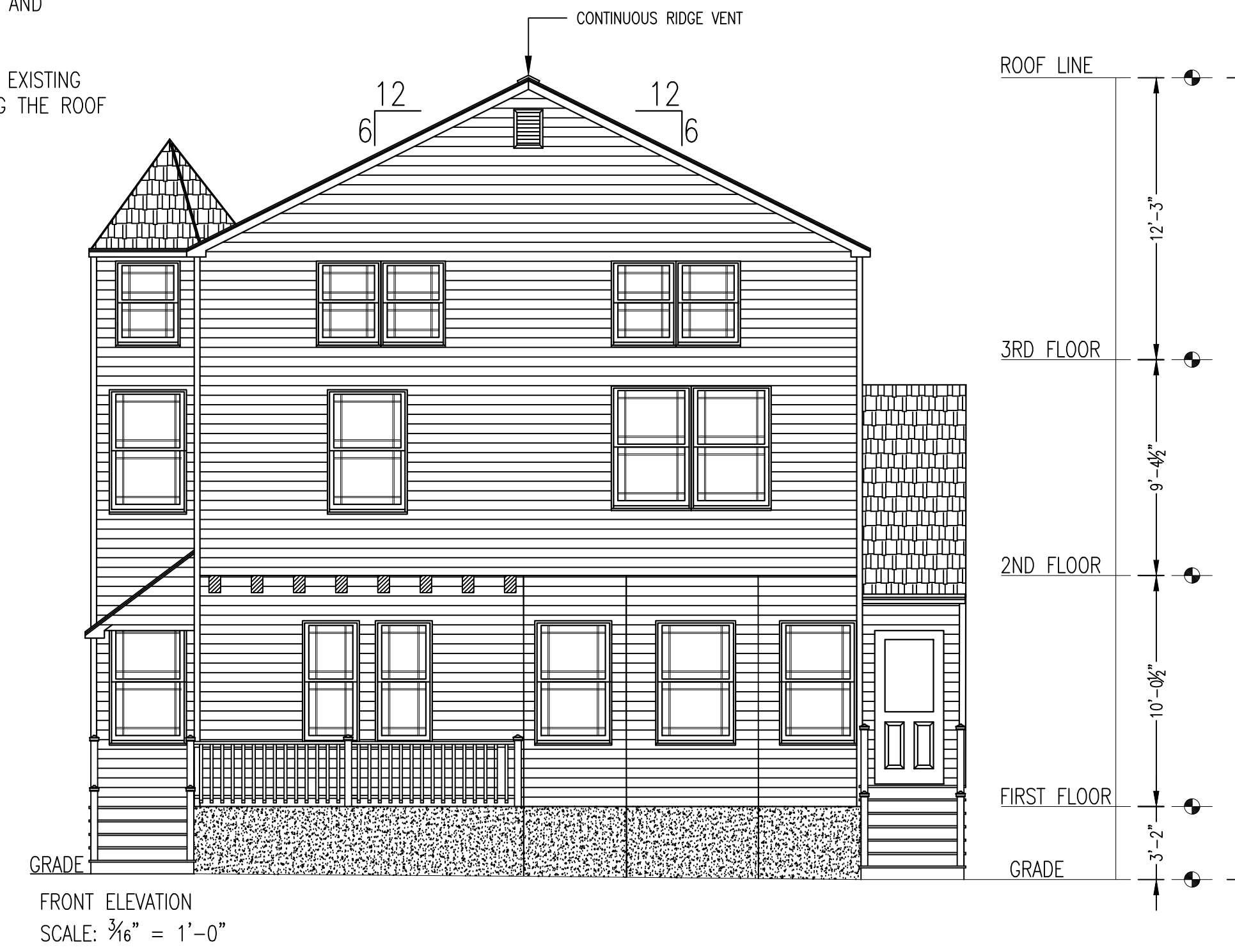
WE HAVE WORKED DILIGENTLY TO PROVIDE A TRUE PICTURE OF WHAT THE ROOF LINE APPEARS TO BE PRIOR TO THE HOUSE FIRE TOOK PLACE. OUR SITE INVESTIGATION AND USING GOOGLE EARTH IMAGING SHOWN PRIOR TO THE INCIDENT ENABLE US TO COLLECT ENOUGH DATA TO REDRAW THE EXISTING ELEVATION WITH ALL DIFFERENT TYPE OF DORMERS.

DRAWINGS A1.8 & A1.9 ARE SHOWN EXISTING AND PROPOSED ELEVATIONS.

WE HOPE OUR ELEVATIONS PRESENTATION OF EXISTING AND PROPOSED WOULD HELP YOU COMPARING THE ROOF LINE STATUS BEFORE AND AFTER THE FIRE.

THE EXTERIOR MATERIALS ARE AS LISTED HEREIN:

1. ARCHITECTURAL ASPHALT ROOFING SHINGLES AS LISTED BY GAF ROOFING MANUFACTURER.
2. CERTAINTED VINYL SIDING.
3. GRACE ICE & WATER SHIELD.
4. VERANDA COMPOSITE DECKING.
5. PVC RAILINGS



CONSTRUCTION DOCUMENTS

DESIGN BY ELI SEMAN
17 ETHEL STREET
ROSLINDALE, MA 02131-1507
TEL: 617-869-2185
ESMAN@HOTMAIL.COM

Date	Revision #	Revisions
01/23/24	Revision # 2	EXISTING 4 PROPOSED ELEVATIONS AS REQUESTED
01/27/24	Revision # 3	EXTERIOR MATERIALS

RENOVATION/RESTORATION
27 PERRIN STREET
ROXBURY, MA 02119

SCALE: NOTED
DATE: May 8, 2023
DESIGN BY: ES
DRAWING BY: ES
CHECKED BY: ES
JOB NO. ROX032423



DRAWING #
A1.8

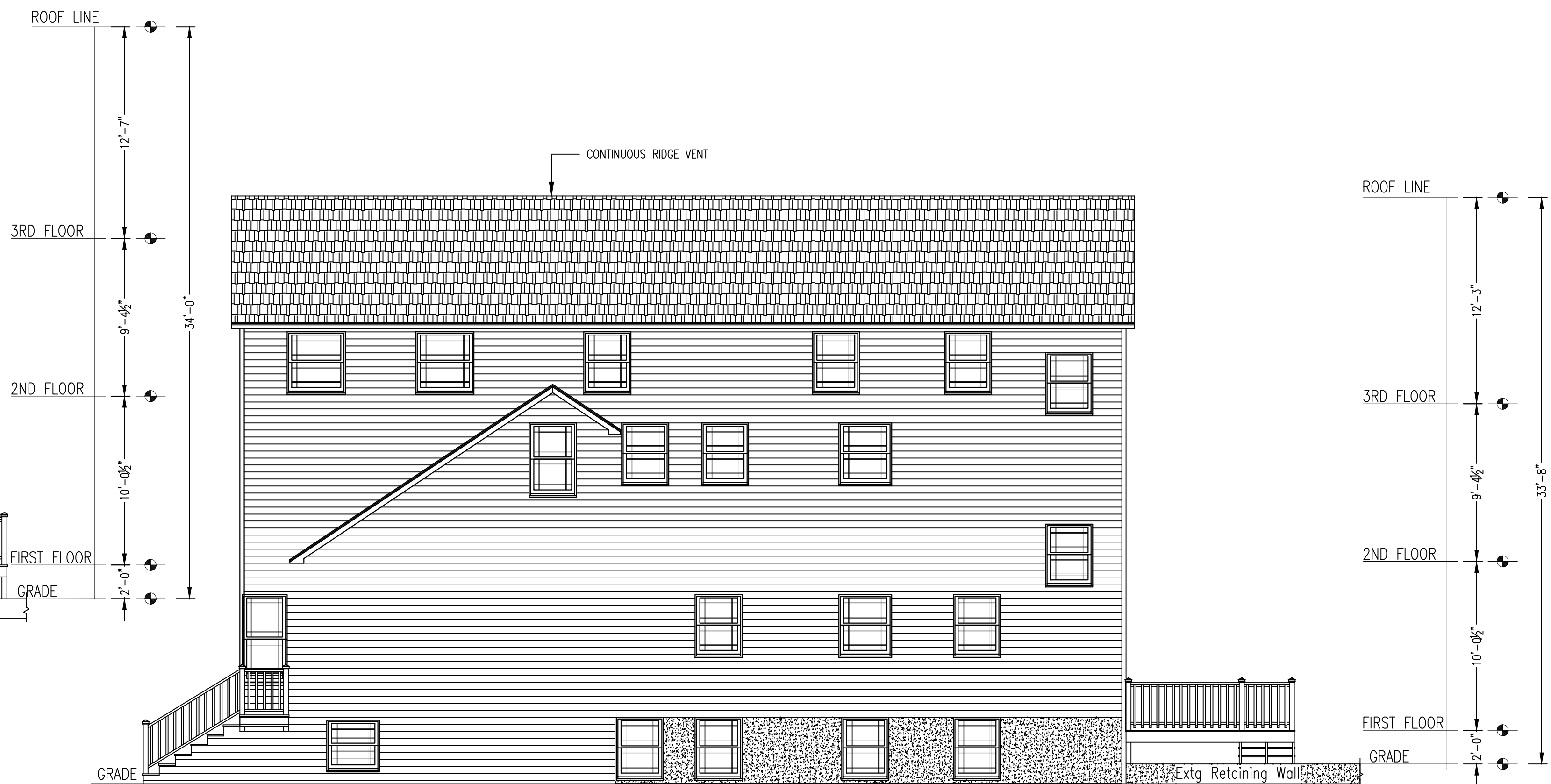
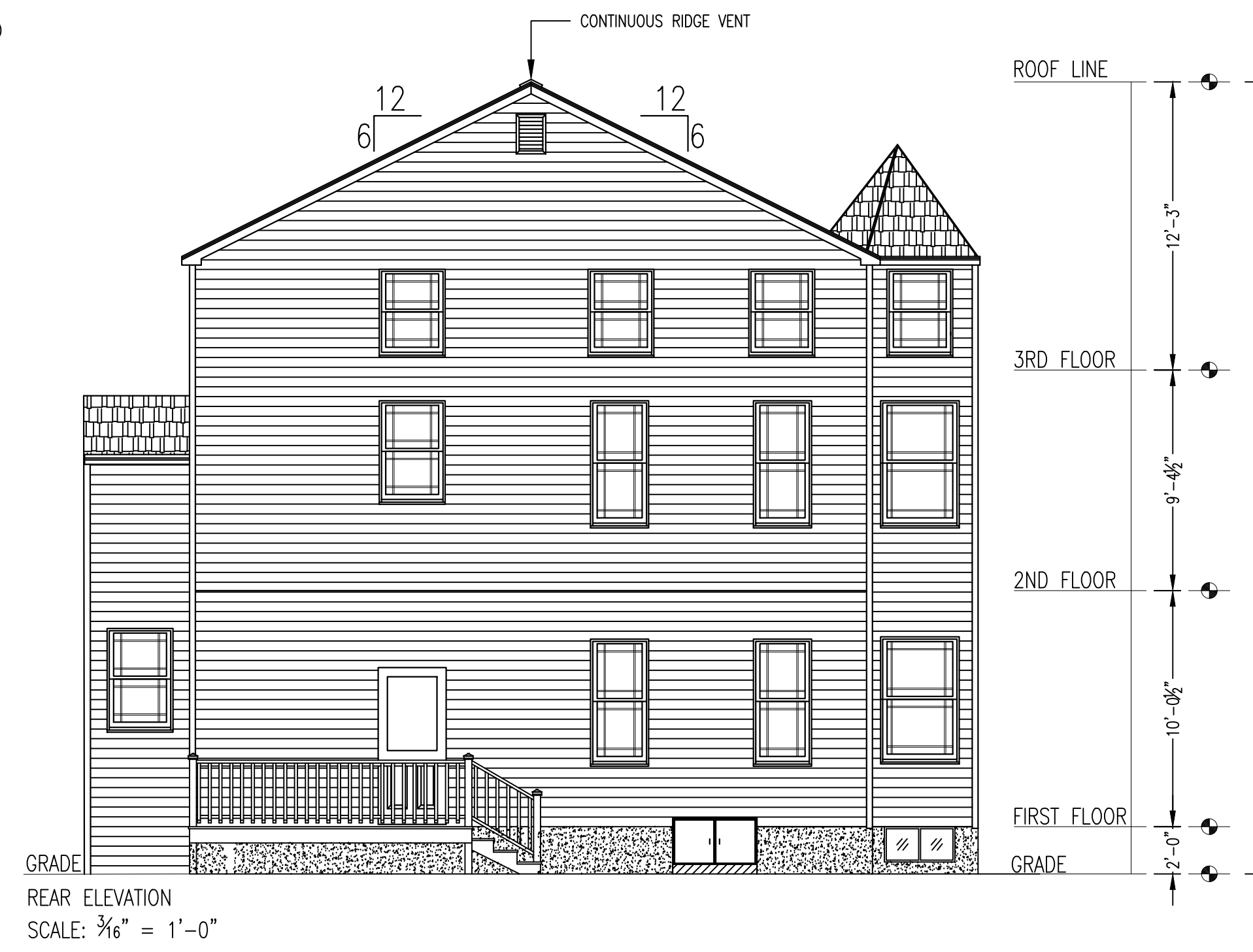
WE HAVE WORKED DILIGENTLY TO PROVIDE A TRUE PICTURE OF WHAT THE ROOF LINE APPEARS TO BE PRIOR THE HOUSE FIRE TOOK PLACE. OUR SITE INVESTIGATION AND USING GOOGLE EARTH IMAGING SHOWN PRIOR TO THE INCIDENT ENABLE US TO COLLECT ENOUGH DATA TO REDRAW THE EXISTING ELEVATION WITH ALL DIFFERENT TYPE OF DORMERS.

DRAWINGS A1.8 & A1.9 ARE SHOWN EXISTING AND PROPOSED ELEVATIONS.

WE HOPE OUR ELEVATIONS PRESENTATION OF EXISTING AND PROPOSED WOULD HELP YOU COMPARING THE ROOF LINE STATUS BEFORE AND AFTER THE FIRE.

THE EXTERIOR MATERIALS ARE AS LISTED HEREIN:

1. ARCHITECTURAL ASPHALT ROOFING SHINGLES AS LISTED BY GAF ROOFING MANUFACTURER.
2. CERTAINTED VINYL SIDING.
3. GRACE ICE & WATER SHIELD.
4. VERANDA COMPOSITE DECKING.
5. PVC RAILINGS



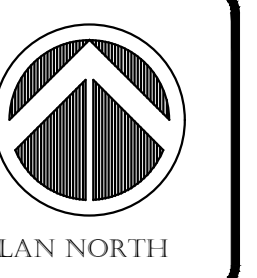
CONSTRUCTION DOCUMENTS

DESIGN BY ELI ESMAN
17 ETHEL STREET
ROSLINDALE, MA 02131-1507
TEL: 617-869-2185
EESMAN@HOTMAIL.COM

Revisions
Revision # 1
Date 01/23/24
Revision # 2
Date 01/27/24
Revision # 3

EXISTING 4 PROPOSED ELEVATIONS AS REQUESTED
EXTERIOR MATERIALS

SCALE: NOTED
DATE: May 8, 2023
DESIGN BY: ES
DRAWING BY: ES
CHECKED BY: ES
JOB NO. ROX052423



DRAWING #
A1.9

RENOVATION/RESTORATION
27 PERRIN STREET
ROXBURY, MA 02119

