

# "AS OF RIGHT"

## PROPOSED THREE FAMILY TOWNHOUSE

### 59 PERRIN ST, BOSTON, MA 02119

- TS- TITLE SHEET - SITE PLAN, LIST OF DRAWINGS, PHOTOS  
 SP- EXISTING AND PROPOSED SITE PLAN  
 C1- CIVIL PLANS  
 A1- PROPOSED FIRST FLOOR PLAN AND SECOND FLOOR PLAN  
 A2- PROPOSED THIRD FLOOR PLAN AND ROOF PLAN  
 A3- PROPOSED ELEVATIONS  
 A4- PROPOSED SECTIONS  
 A5- PROPOSED WALL SECTIONS, WALL TYPES, SCHEDULES  
 A6- PROPOSED SCHEDULES ,ROOF DETAILS, WINDOW DETAILS  
 A7- PROPOSED ENLARGED STAIR AND KITCHEN PLANS AND DETAILS

- S1- PROPOSED FOUNDATION PLAN AND FIRST FLOOR FRAMING PLAN  
 S2- PROPOSED SECOND FLOOR AND THIRD FLOOR FRAMING  
 S3- PROPOSED ATTIC AND ROOF FRAMING PLAN  
 S4- PROPOSED SECTIONS AND DETAILS

FP- FIRE PROTECTION PLANS

FA- FIRE ALARM PLANS

ATTACHMENTS- HERS RATING

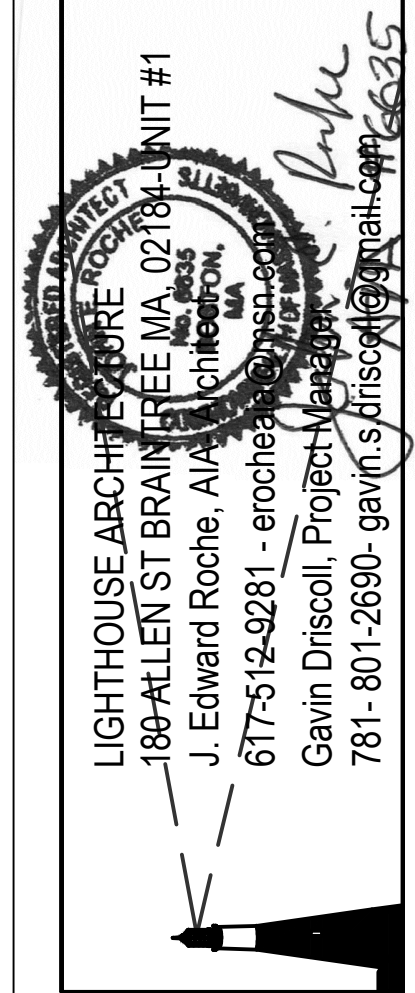
Zoning Table 59 PERRIN ST, BOSTON, MA 02119 Zoning Tables Dimensional Requirements 3F-4000		
Dimensional Regulations	Requirements for Residential Subdistrict 3F-4000	THREE FAMILY TOWNHOUSE
Lot Area	2000 sf for 1 Unit 3 x 2000 = 6000 sf	7,971± sq ft
Lot Width	25	60.00'
Lot Frontage (cannot be less than lot Width)	25	60.00'
Floor Area Ratio	.8	.72 5,745 SF+
Building height (stories)	3	3
Building height (feet)	35'-0"	32'-6"±
Usable Open Space per Dwelling Unit	650 sf X3 = 1,950 sf	2,143 sf ±
Front Yard Depth	20'-0"	25'-10" modal
Side Yard Depth	10'-0"	(L)- 10'-0" (R) 15'-0"
Rear Yard Depth	30'-0"	30'-11"
Rear yard Max. Occ. by Accessory Buildings	.25	N/A

NEIGHBORHOOD DESIGN OVERLAY DISTRICT  
3 PARKING SPACES

**SQUARE FOOTAGE PET FLOOR FOR FAR**

FIRST FLOOR- 2231 sf  
 SECOND FLOOR- 1863 SF  
 THIRD FLOOR- 1641 SF

TOTAL SQUARE FOOTAGE- 5,735 SF / FAR- .72

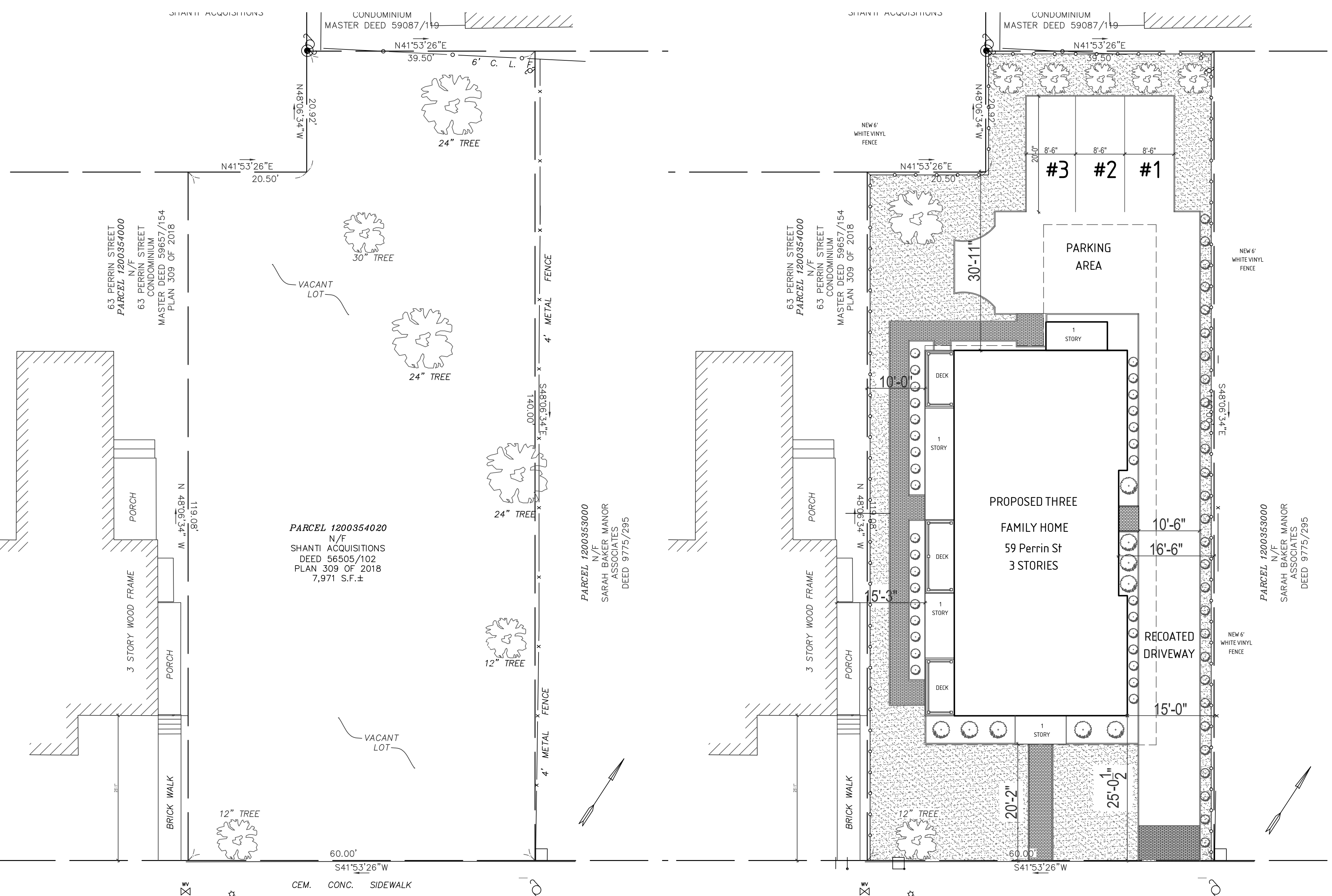


DATE:	10/24/2023
SCALE:	AS NOTED
DRAWN BY:	GSD
CHECKED BY:	JER

SITE PLAN AND ZONING INFORMATION

PROPOSED THREE FAMILY TOWNHOUSE  
 59 PERRIN ST, BOSTON, MA 02119

TS



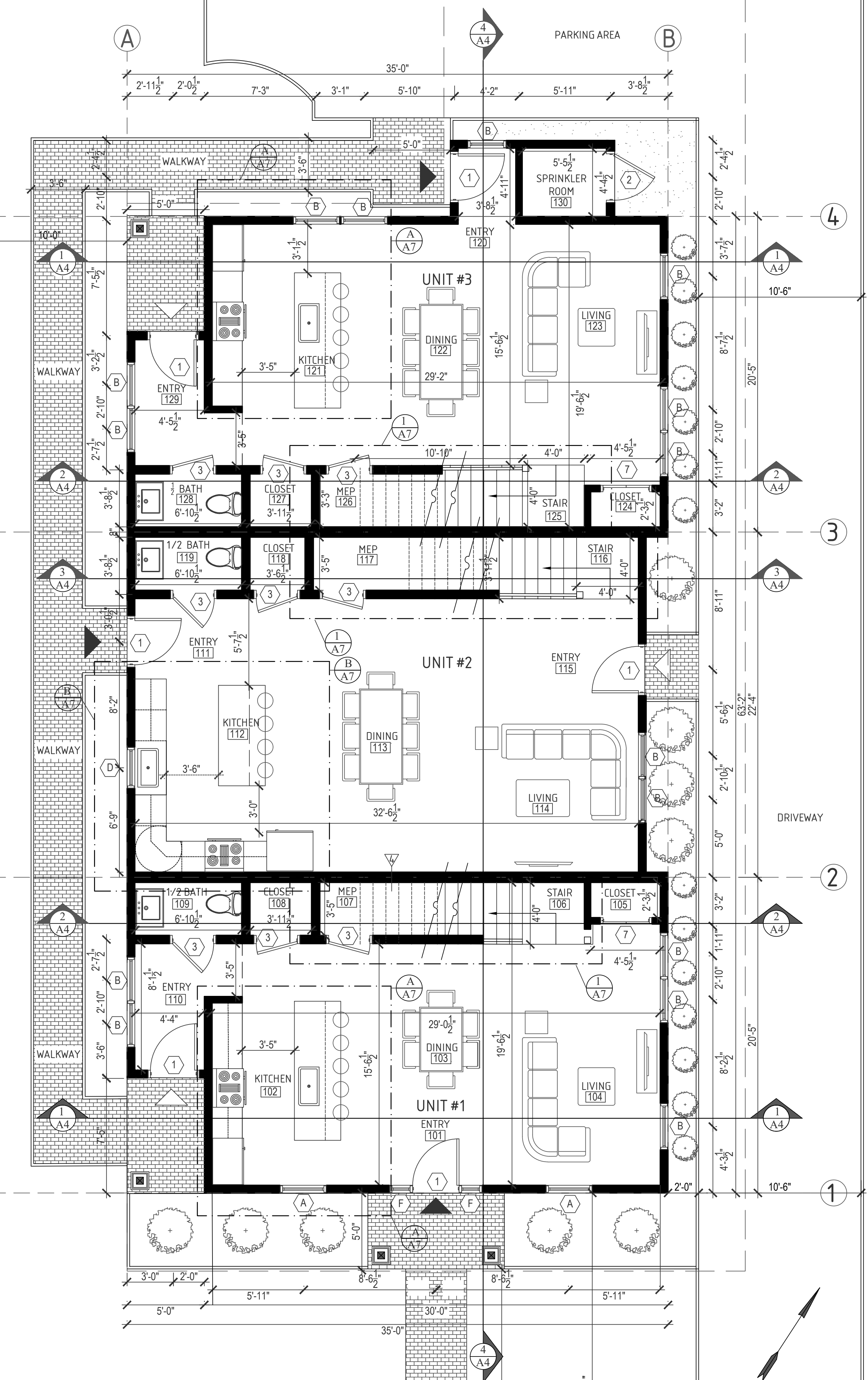
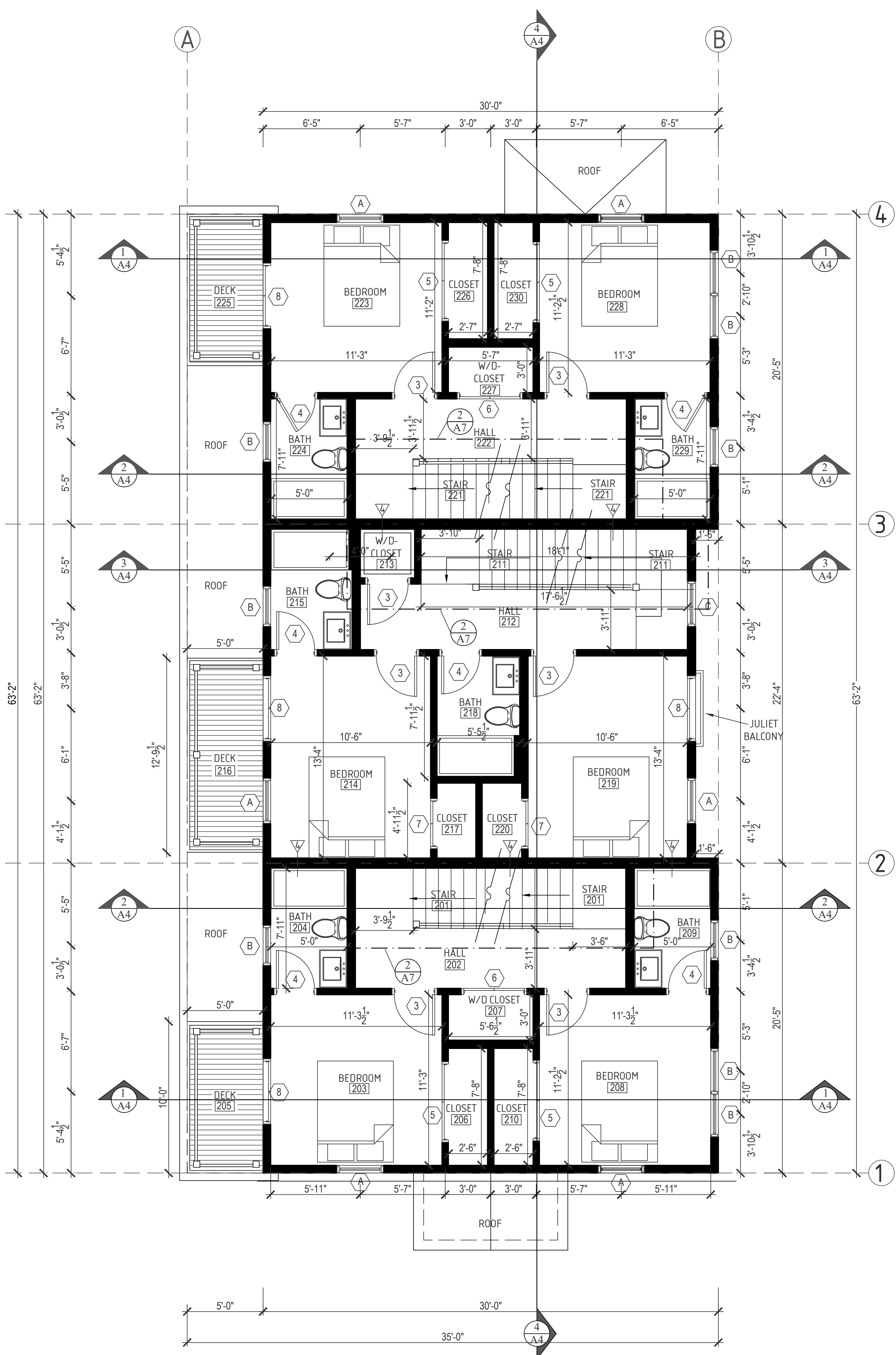
EXISTING SITE PLAN  
3/32"=1'-0"

PERRIN STREET  
(40.0 FT. WIDE - PUBLIC)

PROPOSED SITE PLAN  
3/32"=1'-0"

PERRIN STREET  
(40.0 FT. WIDE - PUBLIC)

GENERAL NOTE:  
 VERIFY AND CONFIRM ALL CONDITIONS AND/OR DIMENSIONS SHOWN PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS.  
 NOTIFY ARCHITECT OF ANY INCONSISTENCIES FOR REVIEW AND APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION.



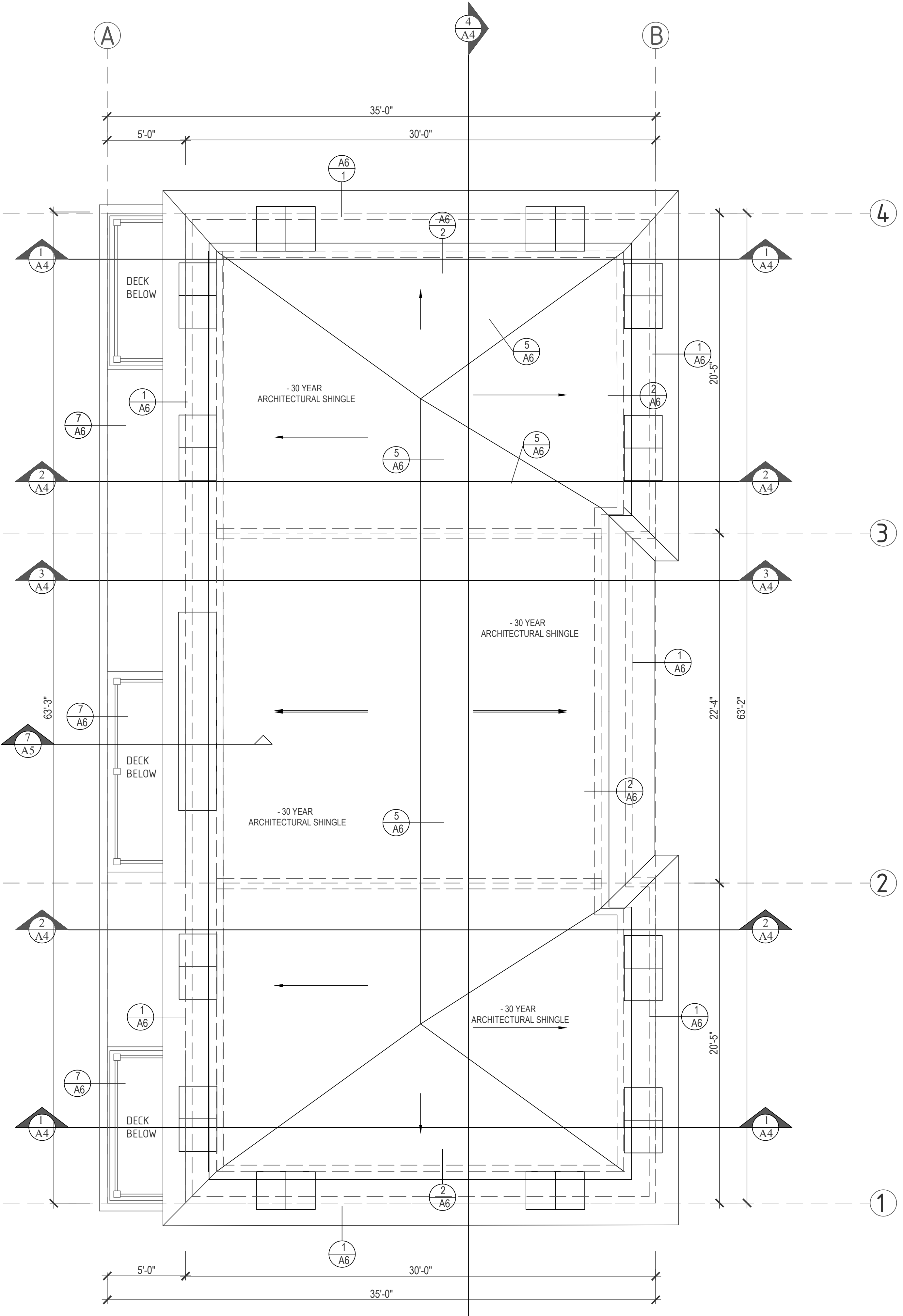
LIGHTHOUSE ARCHITECTURE  
 188 ALLEN ST BRAINREE MA 02128  
 J. Edward Roche, AIA  
 617-512-9281 - eroche@lighthousearch.com  
 Gavin Driscoll, Project Manager  
 781-801-2690, gavin@lighthousearch.com

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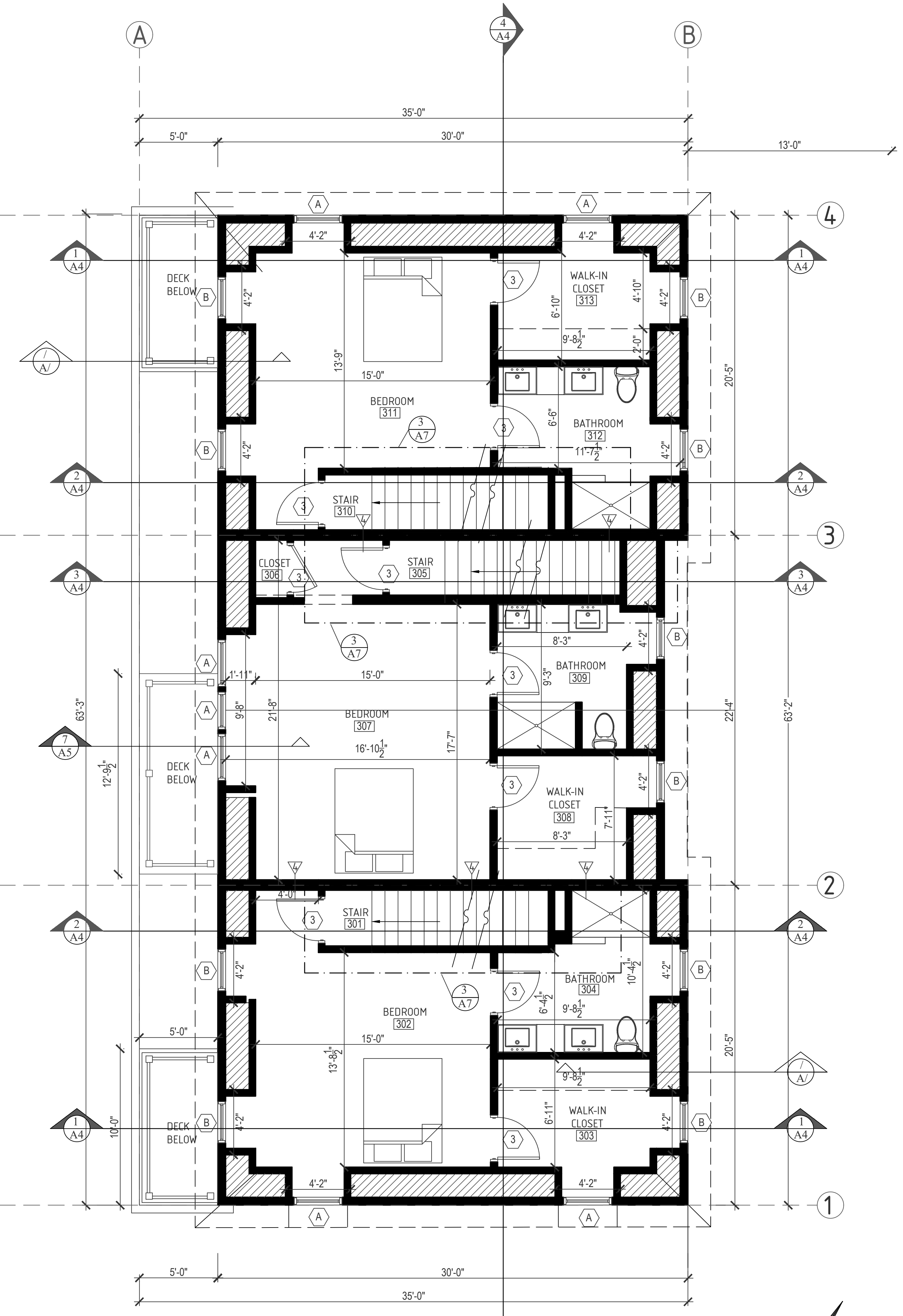
SCHEMATIC FLOOR PLANS

PROPOSED THREE FAMILY TOWNHOUSE  
 59 PERRIN ST, BOSTON, MA 02119

A1



PROPOSED ROOF PLAN  
 $\frac{1}{4}'' = 1'-0''$



PROPOSED THIRD FLOOR PLAN-1,641 SF  
 $\frac{1}{4}'' = 1'-0''$

LIGHTHOUSE ARCHITECTURE  
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PROPOSED THIRD FLOOR AND ROOF PLAN

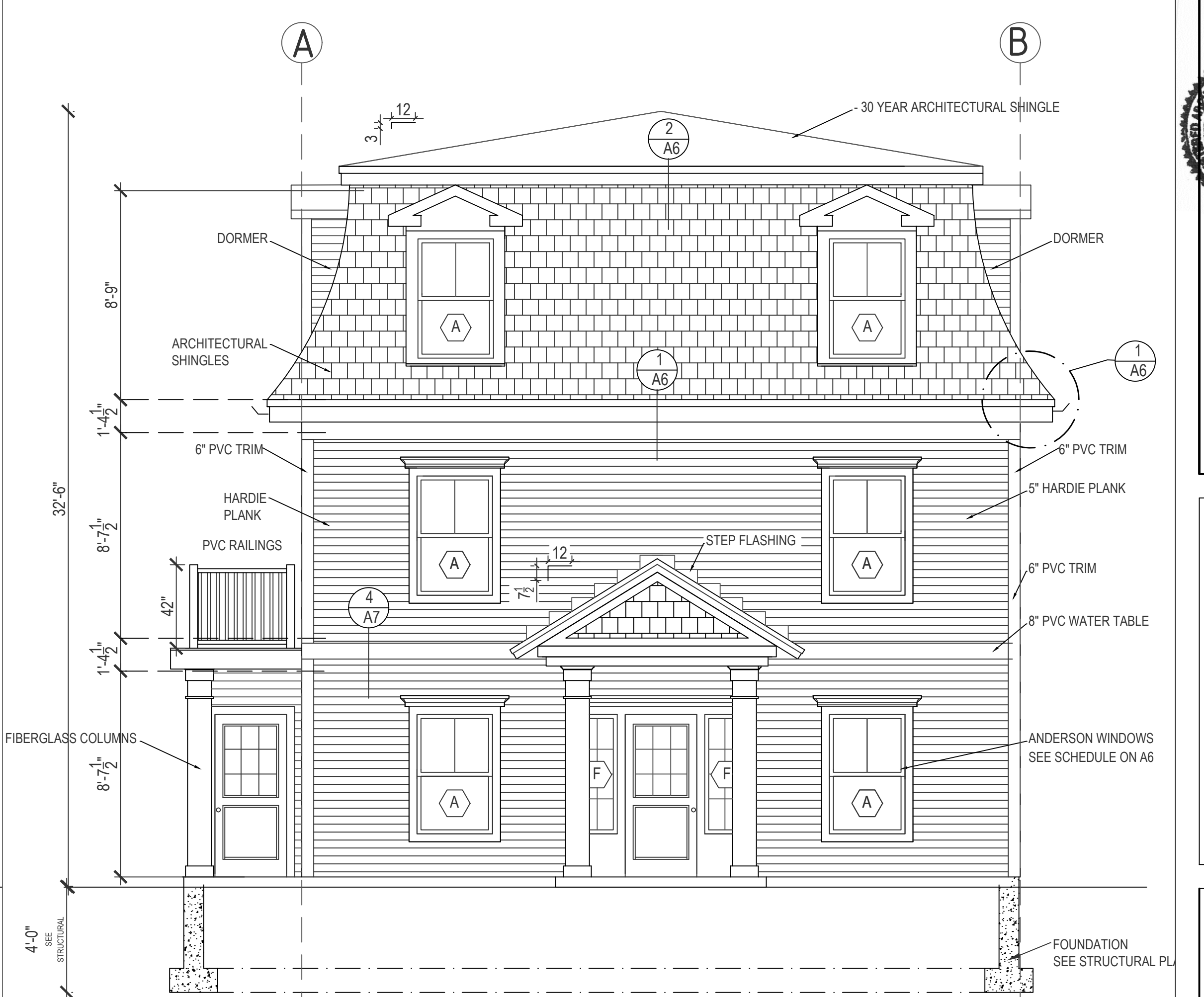
PROPOSED THREE FAMILY TOWNHOUSE  
 59 PERRIN ST, BOSTON, MA 02119

A2

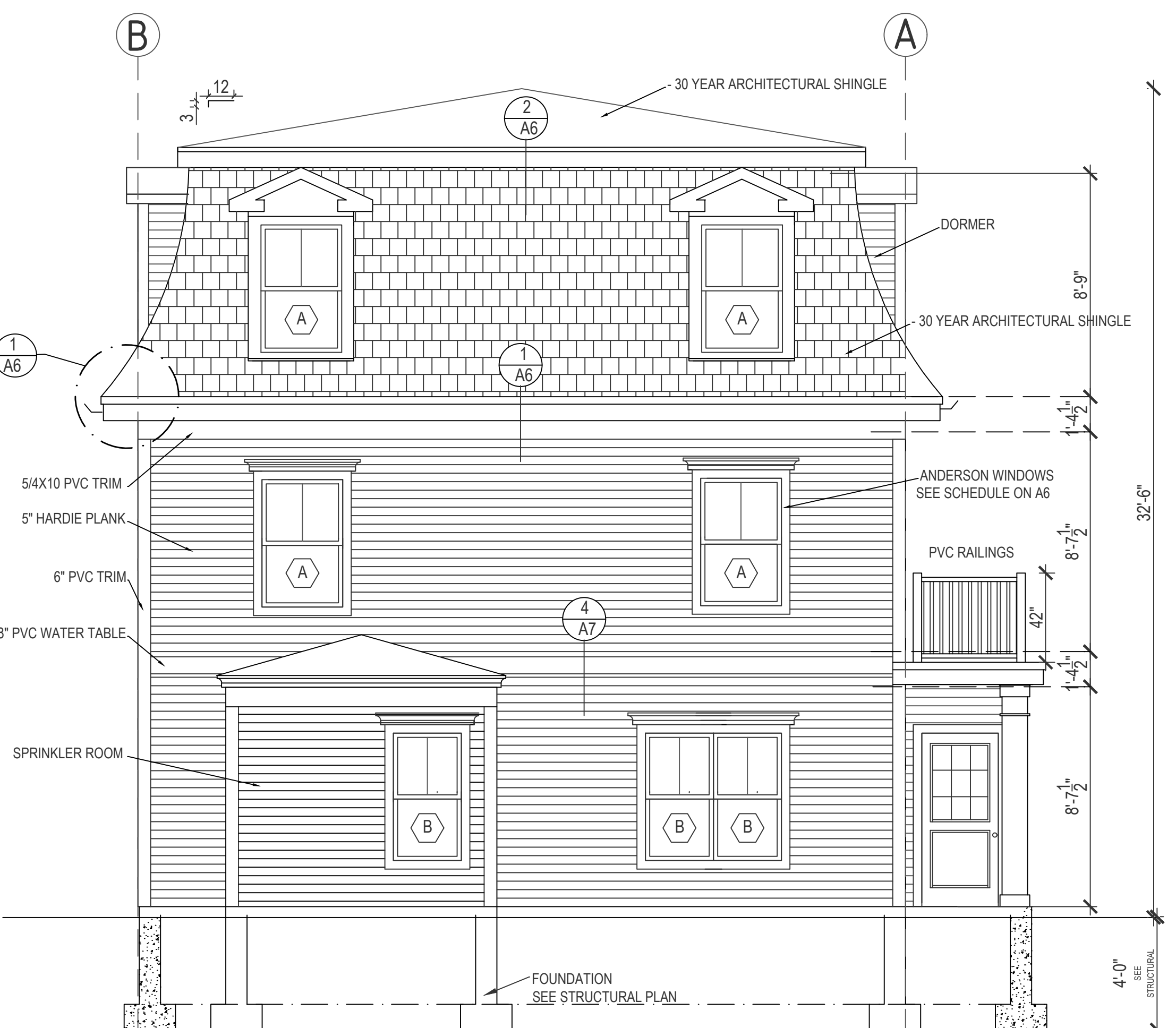




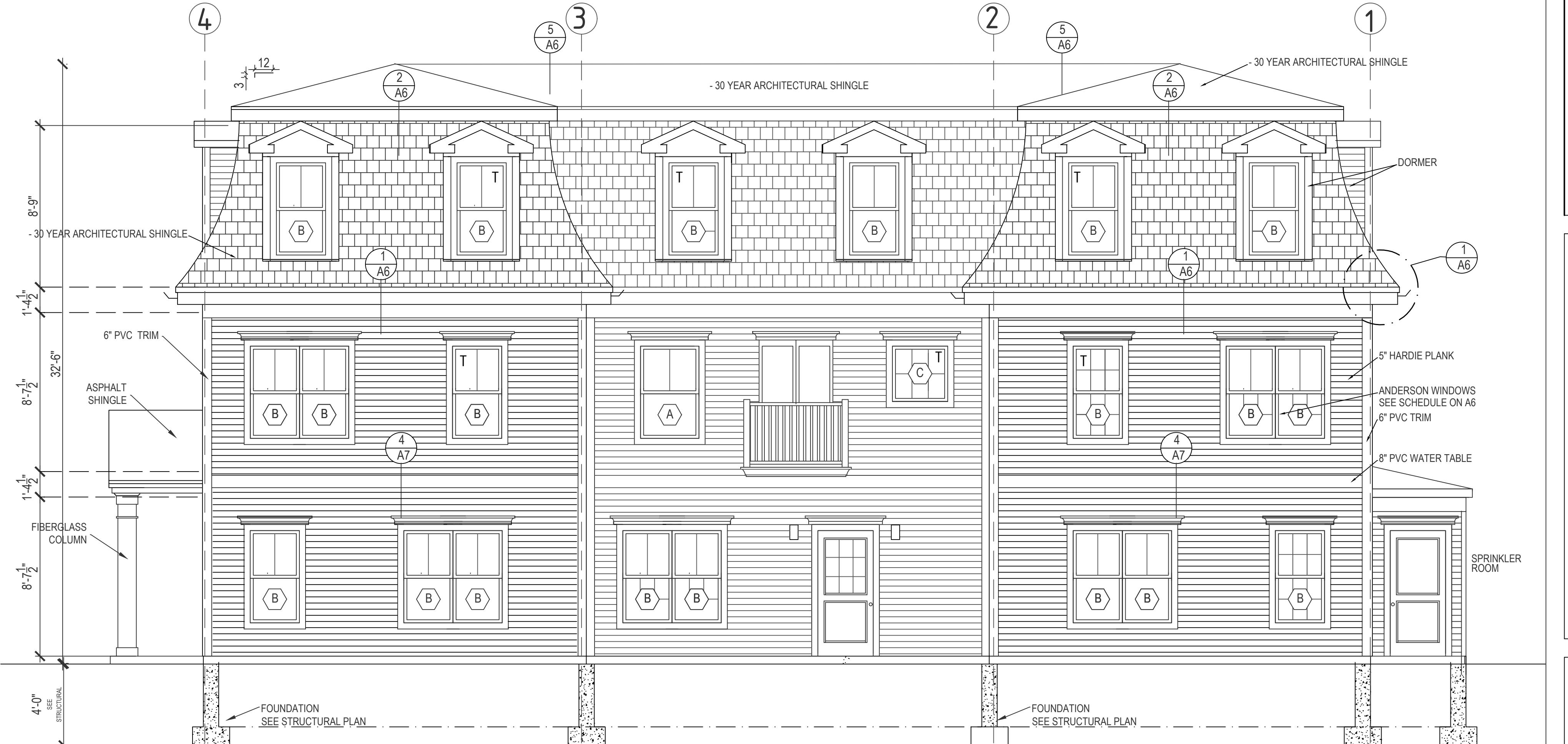
PROPOSED LEFT SIDE ELEVATION  
3/16"=1'-0"



PROPOSED FRONT ELEVATION- FACING PERRIN STREET  
3/16"=1'-0"



PROPOSED REAR ELEVATION  
3/16"=1'-0"



PROPOSED RIGHT SIDE ELEVATION- FACING DRIVEWAY  
3/16"=1'-0"

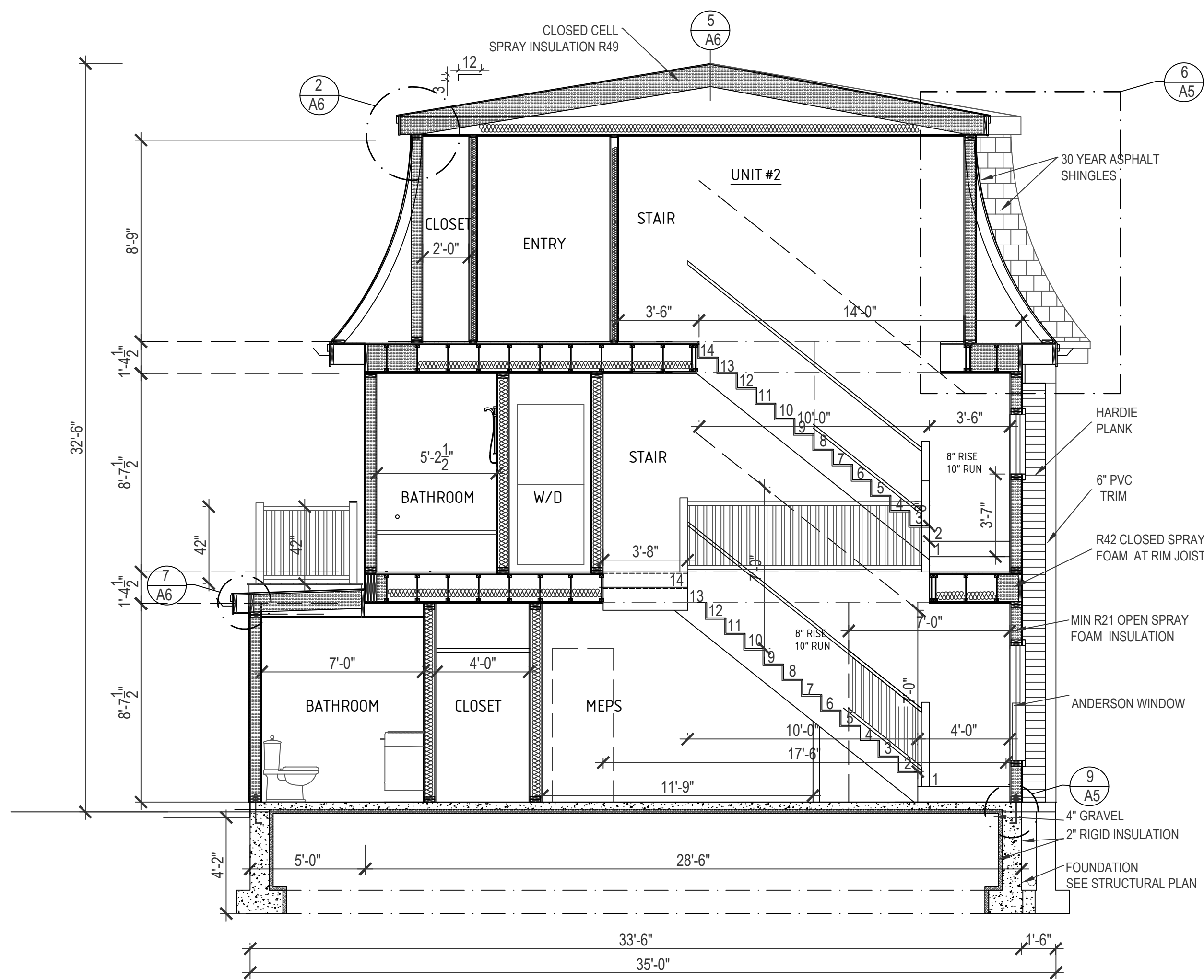
LIGHTHOUSE ARCHITECTURE  
189 ALLEN ST BRANTREE MA 02152  
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DATE: 10/24/2023  
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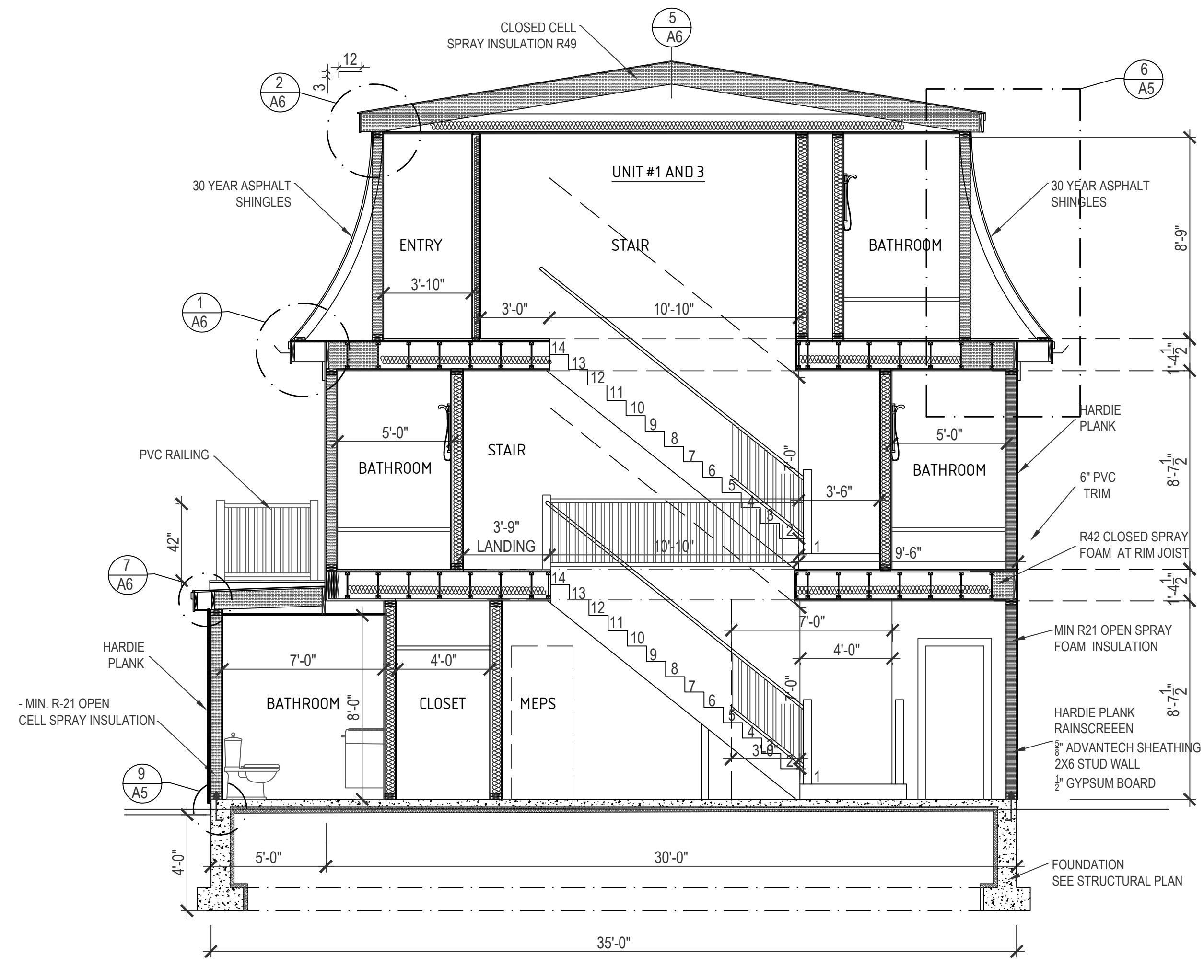
PROPOSED ELEVATIONS

PROPOSED THREE FAMILY TOWNHOUSE  
59 PERRIN ST, BOSTON, MA 02119

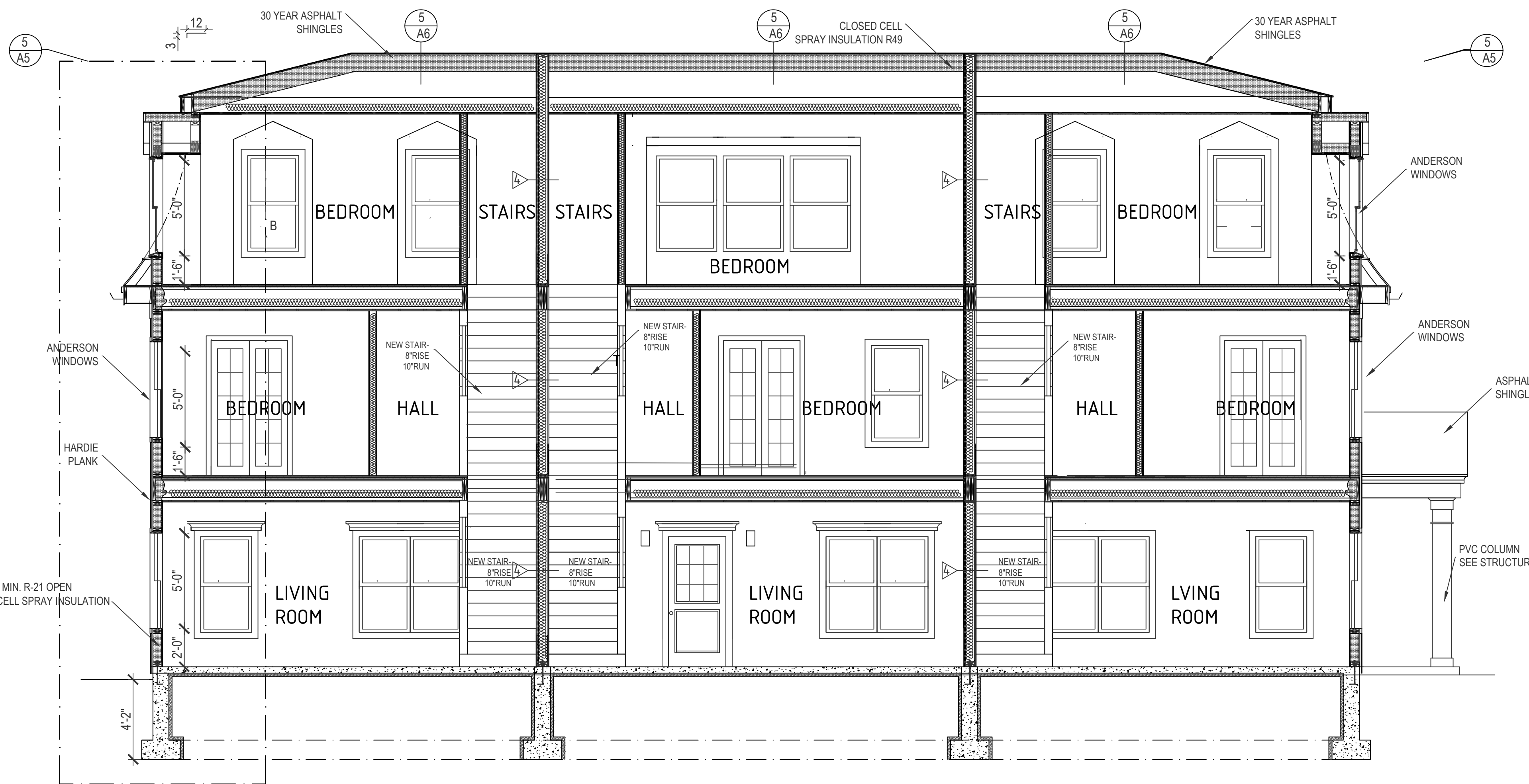
A3



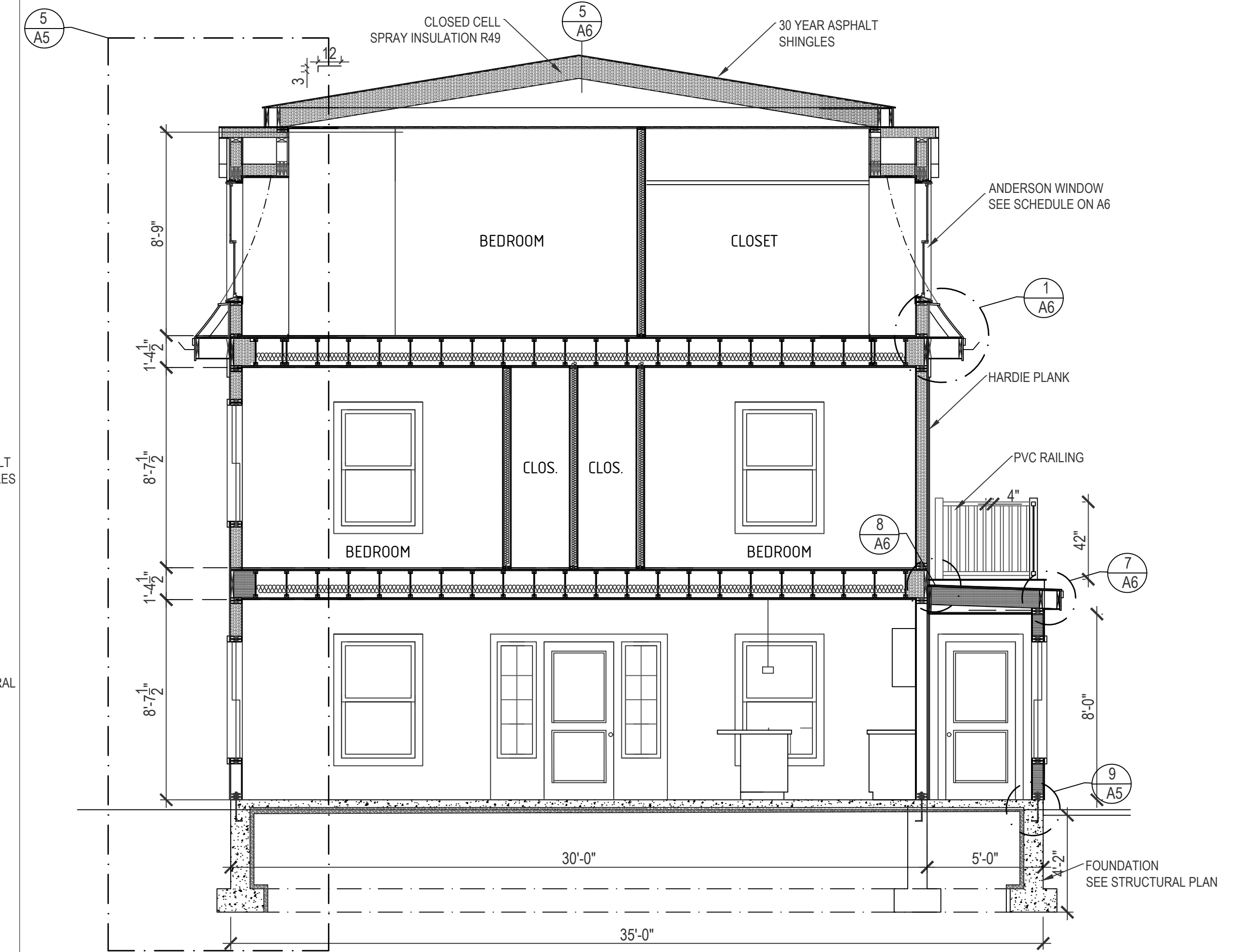
**3** PROPOSED BUILDING SECTION #3  
1/4"=1'-0"



**2** PROPOSED BUILDING SECTION #2- UNIT #1 AND UNIT #3  
1/4"=1'-0"



**4** PROPOSED BUILDING SECTION #4  
1/4"=1'-0"



**1** PROPOSED BUILDING SECTION #1  
1/4"=1'-0"

LIGHTHOUSE ARCHITECTURE  
189 ALLEN ST BRANFEE MA 02130 UNIT #1  
J. Edward Rooke, AIA  
617-512-9281 - erooke@lighthousearch.com  
Gavin Driscoll, Project Manager  
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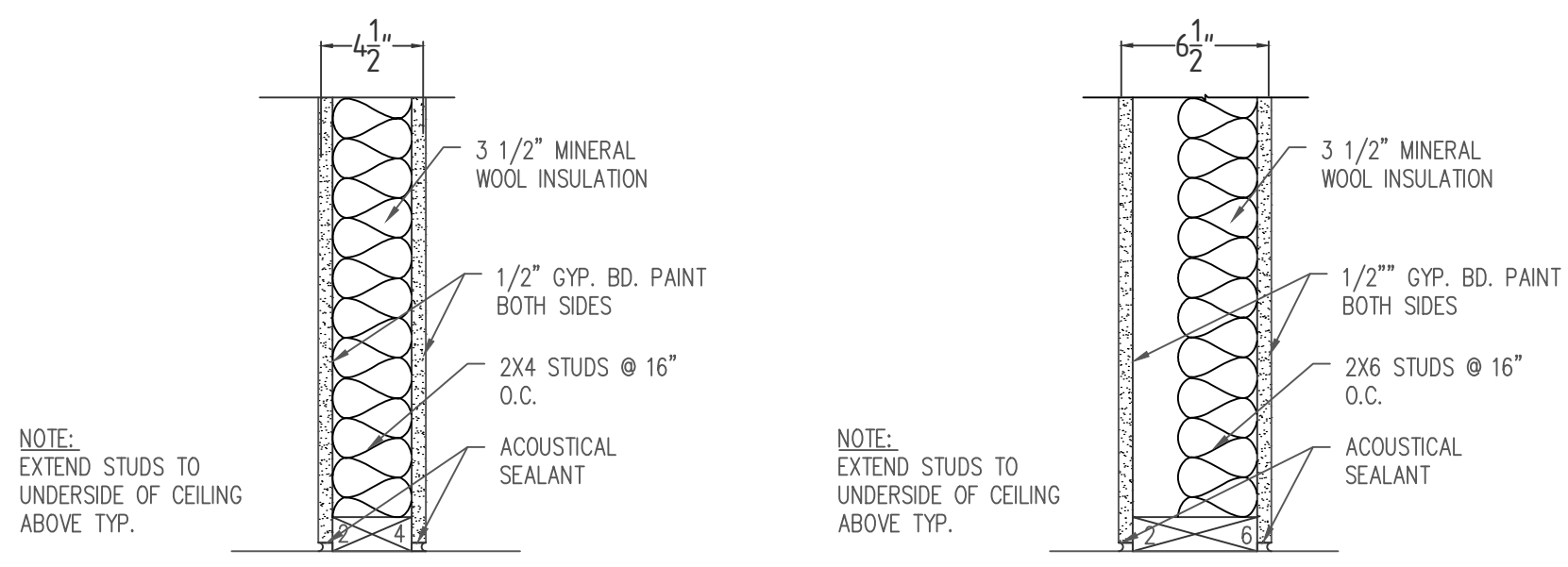
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PROPOSED BUILDING SECTIONS

PROPOSED THREE FAMILY TOWNHOUSE  
59 PERRIN ST, BOSTON, MA 02119

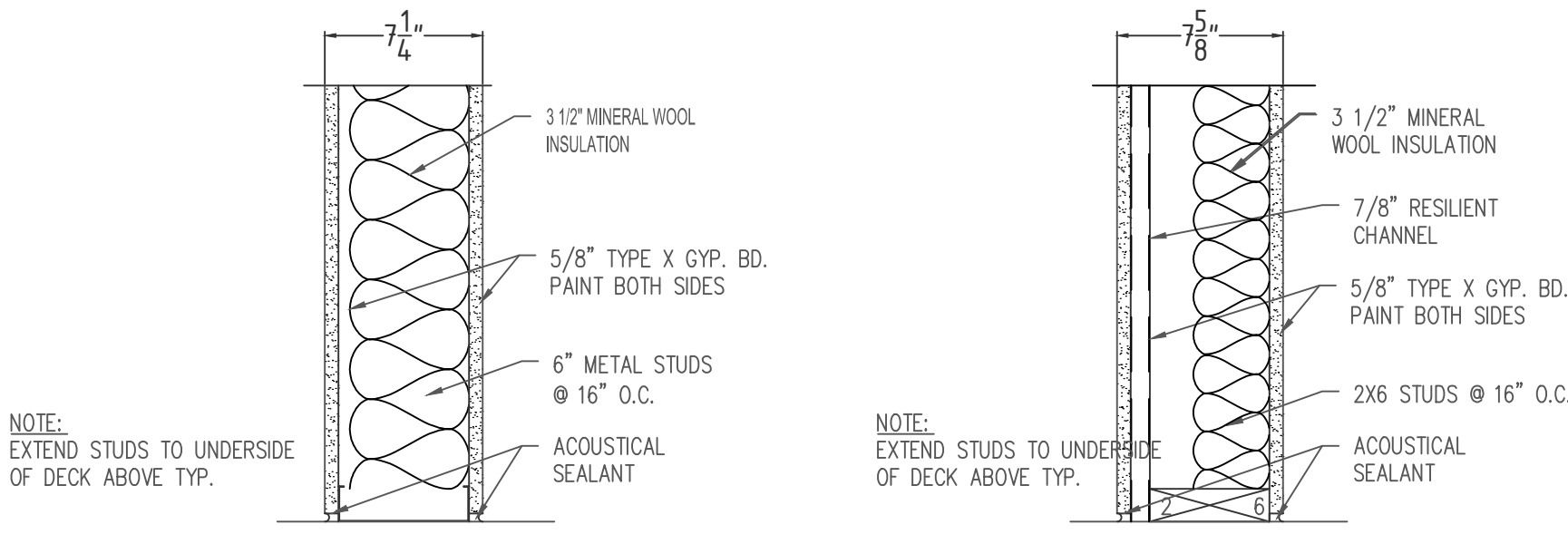
A4





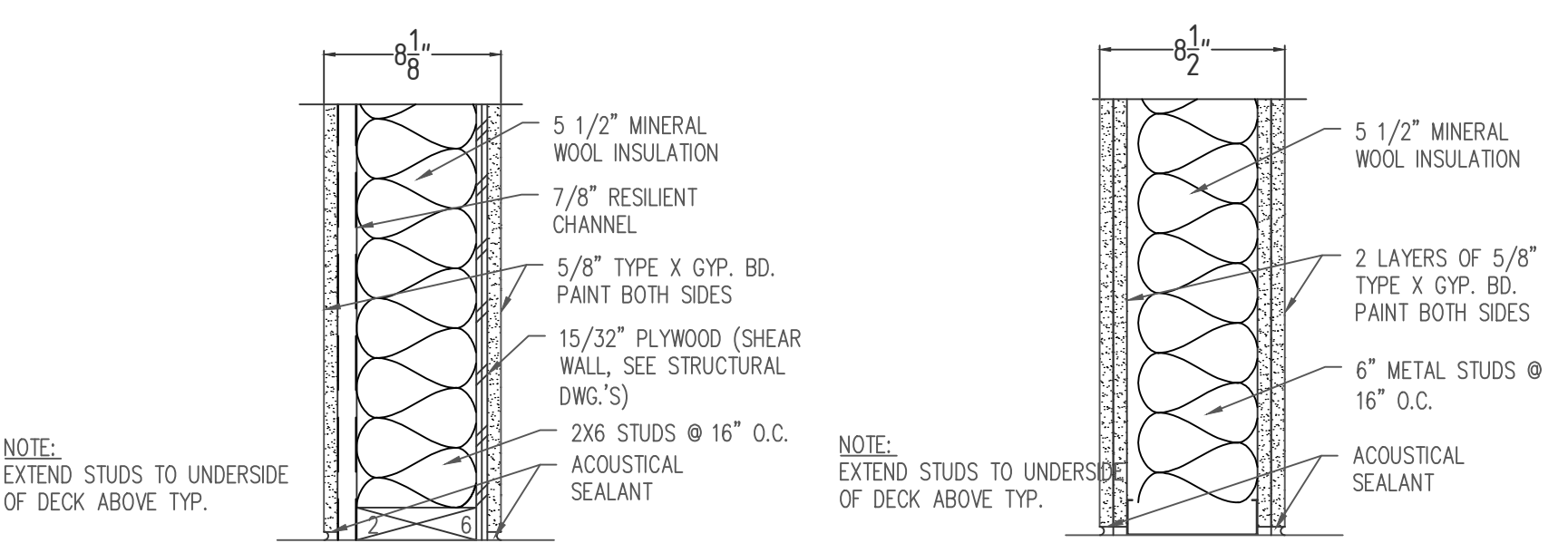
**1 NONRATED (2x4 STUDS)**  
4" STUDS @ 16" O.C.

**2 NONRATED (2x6 STUDS)**  
6" STUDS @ 16" O.C.



**3 1 HR RATED ACOUSTIC (6" STUDS)**  
UL U419, STC 45, 6" STUDS @ 16" O.C.

**4 1HR RATED DEMIZING WALL (2x6 STUDS)**  
UL 311 6" STUDS @ 16" O.C.

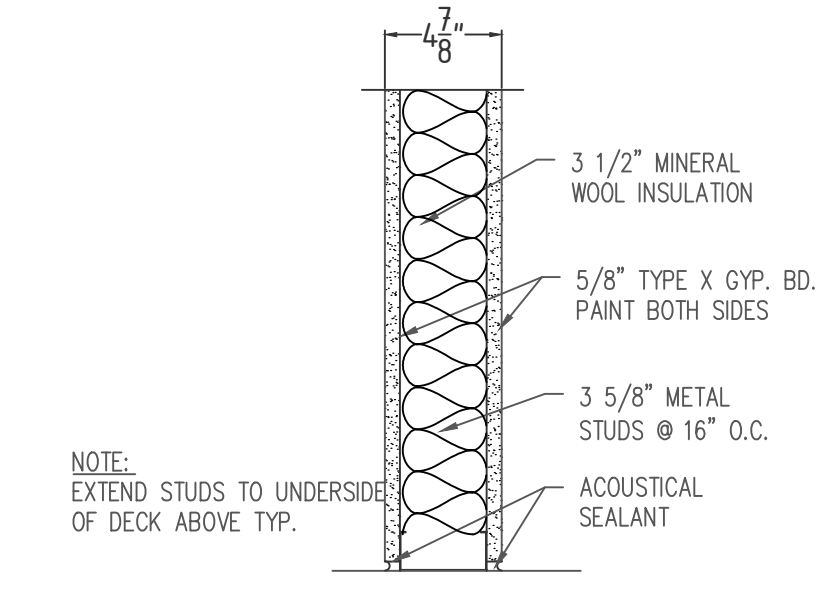


**5 1HR RATED SHEAR WALL (2x6 STUDS)**  
UL 305 6" STUDS @ 16" O.C.

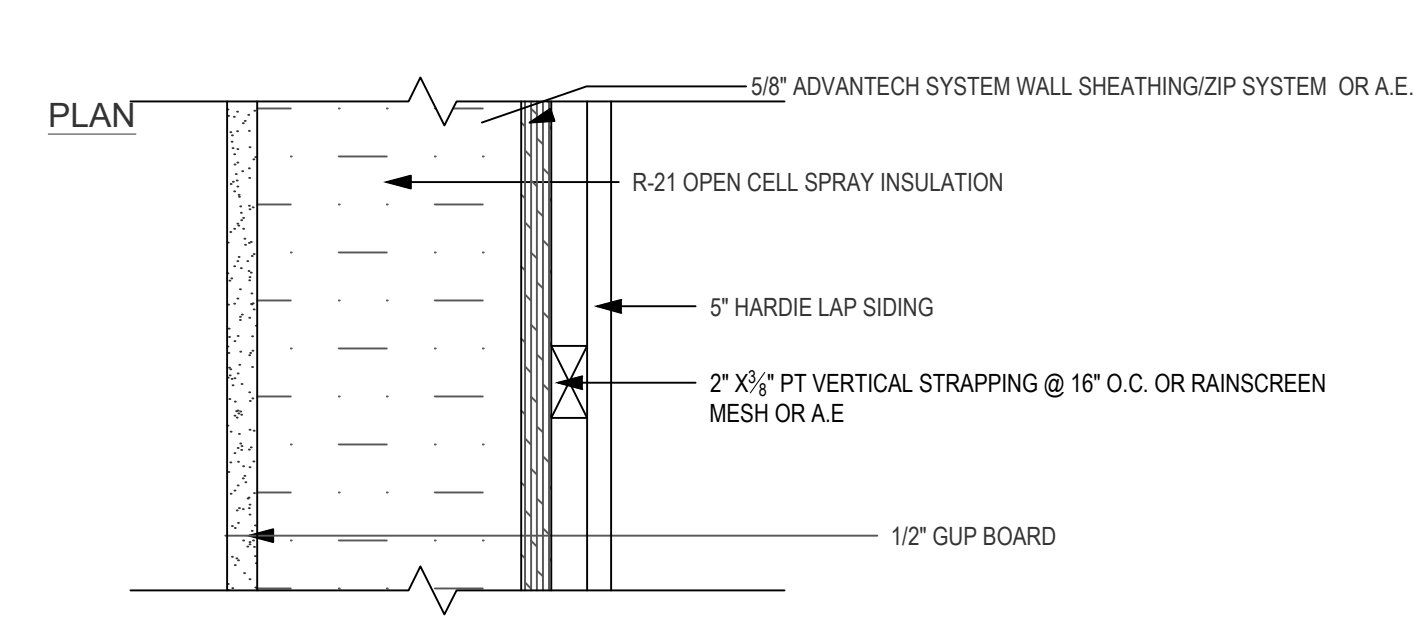
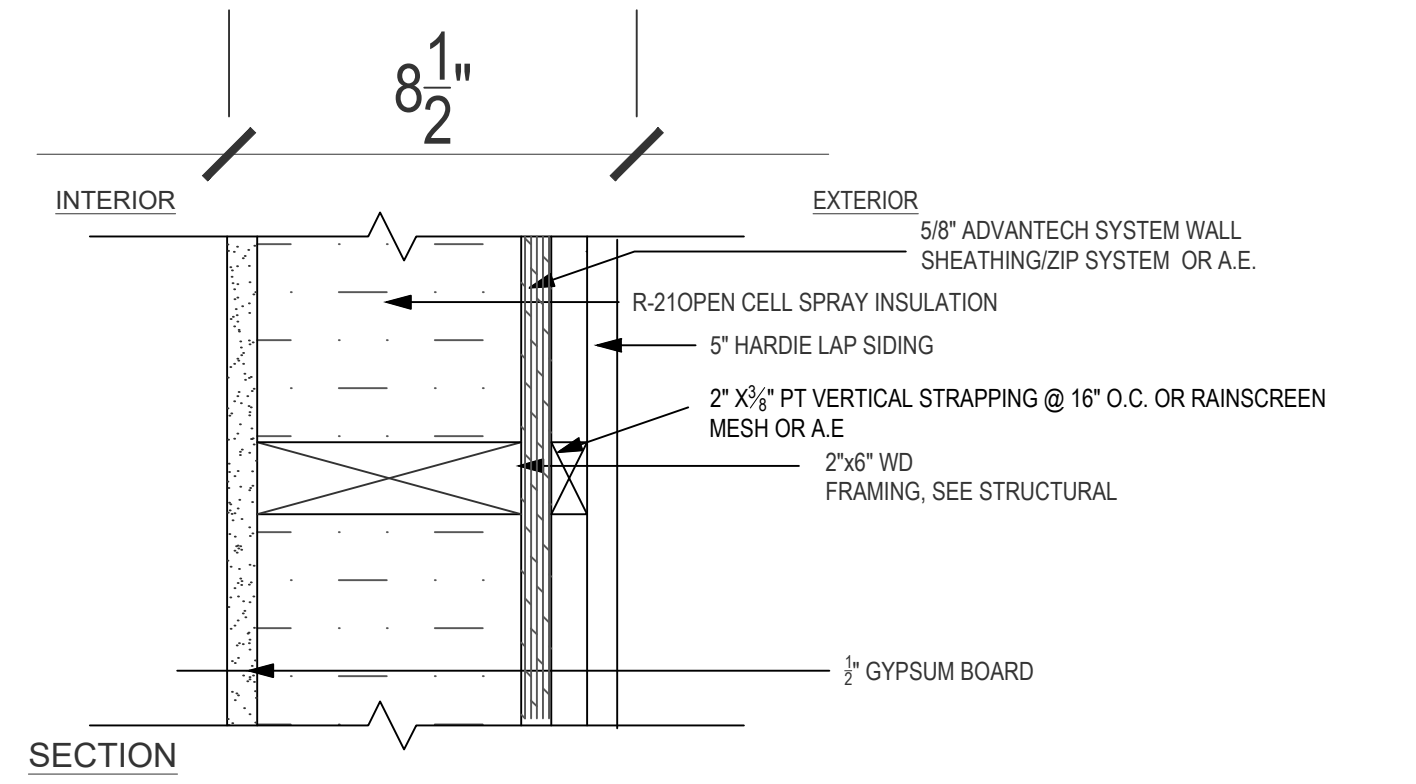
**6 2 HR RATED WALL (6" STUDS)**  
UL U419, STC 45, 6" STUDS @ 16" O.C.

**GENERAL NOTES**

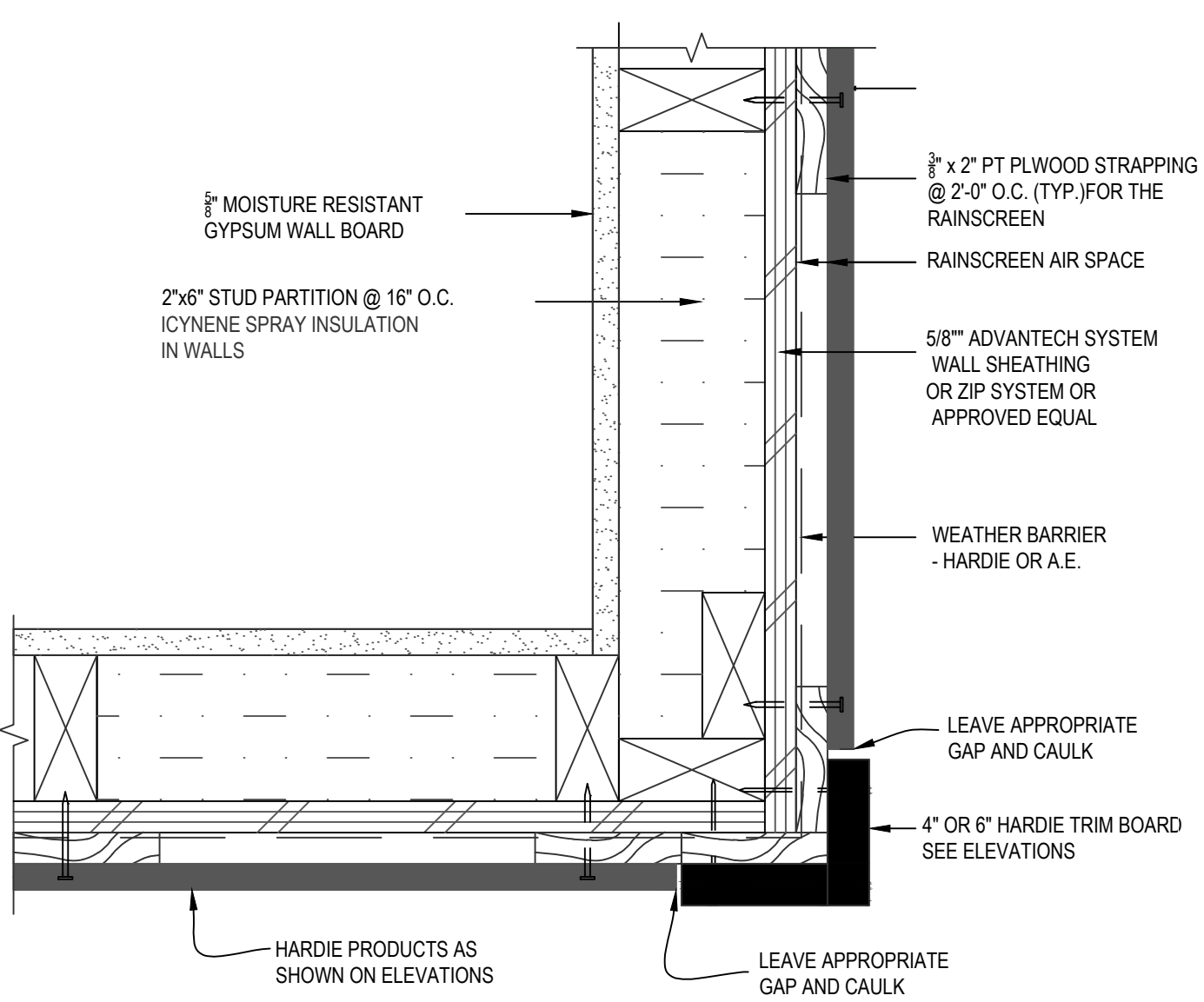
- ALL GWB ARE 5/8" THICK TYPE "X" GWB WITH FIRE RATED CORE
- PROVIDE RATED ACOUSTIC SEALANT AT PERIMETER OF RATED PARTITIONS.
- SUBSTITUTE 5/8" CEMENTITIOUS BACKER BOARD FOR GWB AT WALLS SCHEDULED FOR TILE OR STRUCTURAL GLAZED TILE FINISH; SEE ROOM FINISH SCHEDULE.
- PROVIDE DEFLECTION TRACK HEADS AT ALL FULL HEIGHT METAL STUD PARTITIONS.
- STC VALUES ARE BASED ON LAB TESTS PUBLISHED BY THE GYPSUM ASSOCIATION; CONTRACTOR IS RESPONSIBLE FOR MEETING STC REQUIREMENTS IN THE FIELD.
- BOXES FOR OUTLETS, SWITCHES, ALARMS, CABLE TV & TEL/DATA THAT OCCUR IN DEMISING AND/OR CORRIDOR WALLS SHALL HAVE A CLAY PACK BACKING FOR ACOUSTIC INSULATION.
- STUDS TO BE 16" O.C. UNLESS NOTED OTHERWISE; VERIFY STUD SIZE AND SPACING AT BEARING WALLS WITH STRUCTURAL ENGINEER.
- ALL VERTICAL OR HORIZONTAL PENETRATIONS TO BE SEALED.
- FIRE RATING AT ALL FIRE RATED PARTITIONS AND ASSEMBLIES TO EXTEND TO DECK AND PROVIDE CONTINUOUS FIRE RATING.



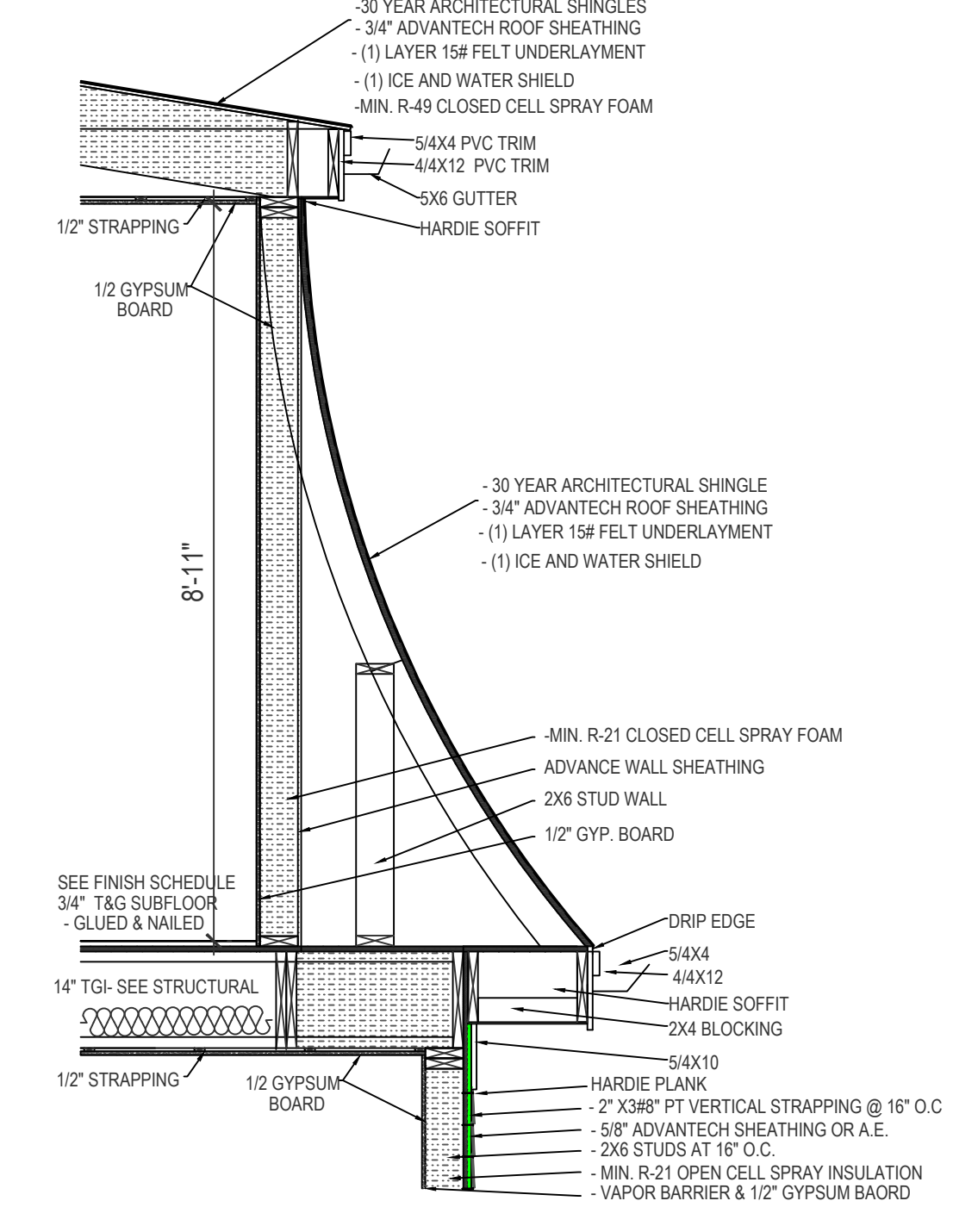
**7 NON RATED ACOUSTIC (3 5/8" STUDS)**  
STC 45, 3 5/8" STUDS @ 16" O.C.



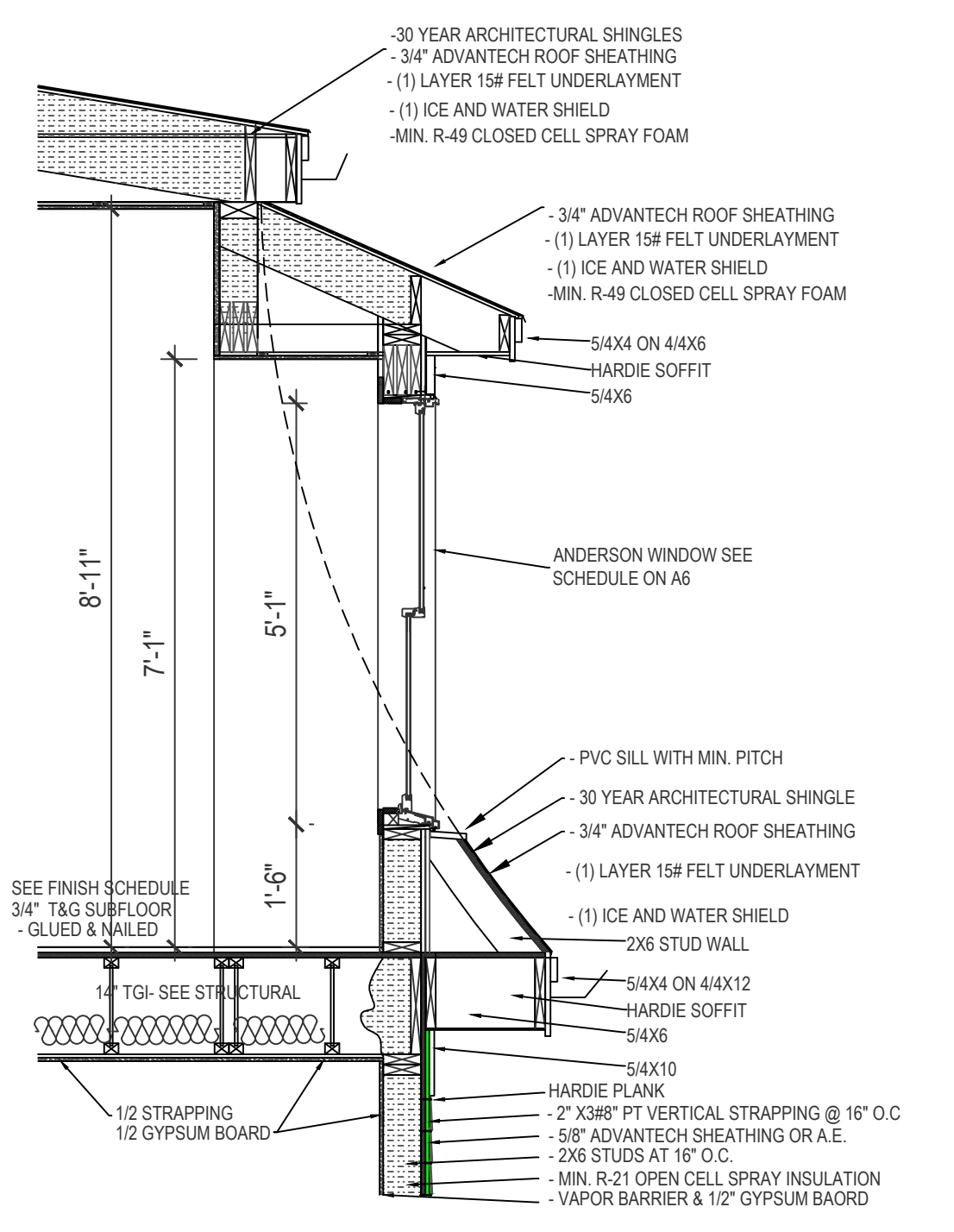
**TYPICAL EXTERIOR WALL ( RAINSCREEN ) - SCALE: 3" = 1'-0"**  
5" HARDIE PLANK LAP SIDING - 2" X 3/8" PT VERTICAL STRAPPING @ 16" O.C. OR RAINSCREEN MESH OR A.E., 5/8" ADVANTECH SYSTEM WALL SHEATHING/ZIP SYSTEM OR A.E., 2" X 6" NOMINAL WOOD STUDS @ 16" O.C. WITH MIN. R-21 OPEN CELL SPRAY FORM INSULATION AND 1/2" GYPSUM BOARD ON THE INTERIOR. NOTE: OUTER FACE OF STUDS AT EXTERIOR WALLS TO ALIGN WITH OUTER FACE OF FOUNDATION WALL.  
ON: SEE STRUCTURAL PLANS FOR DETAILS



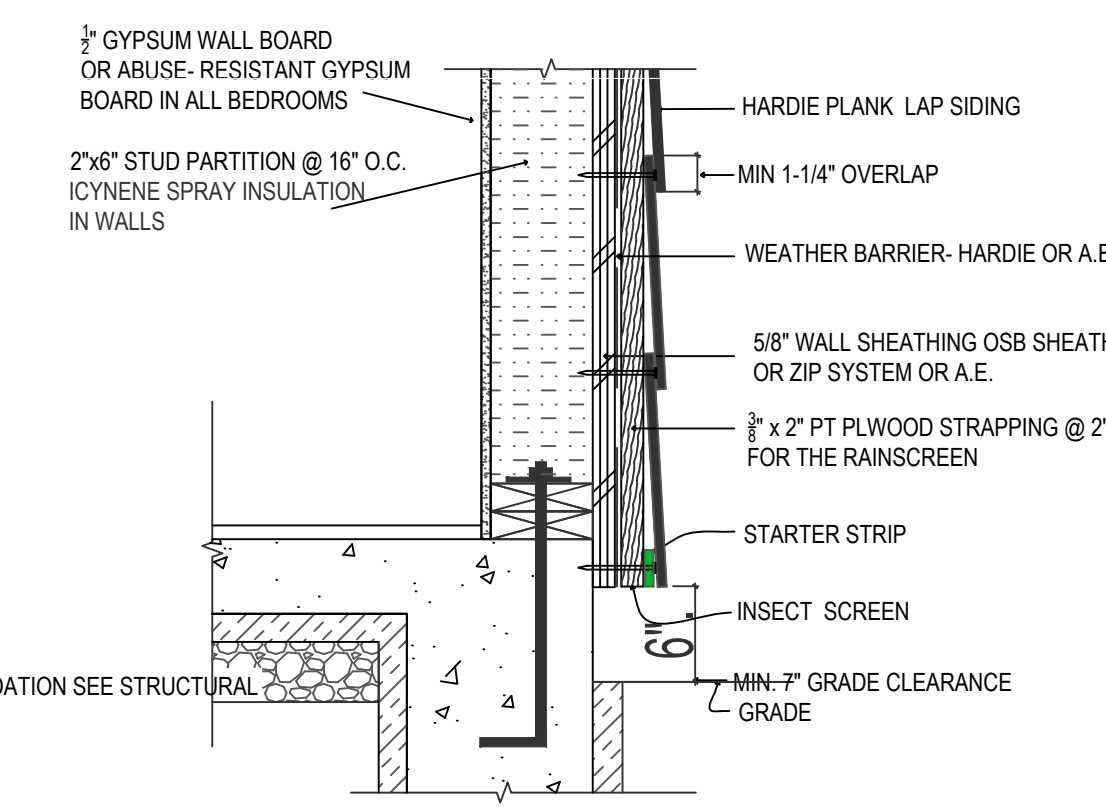
**8 PROPOSED CORNER DETAIL**  
3/4" = 1'-0"



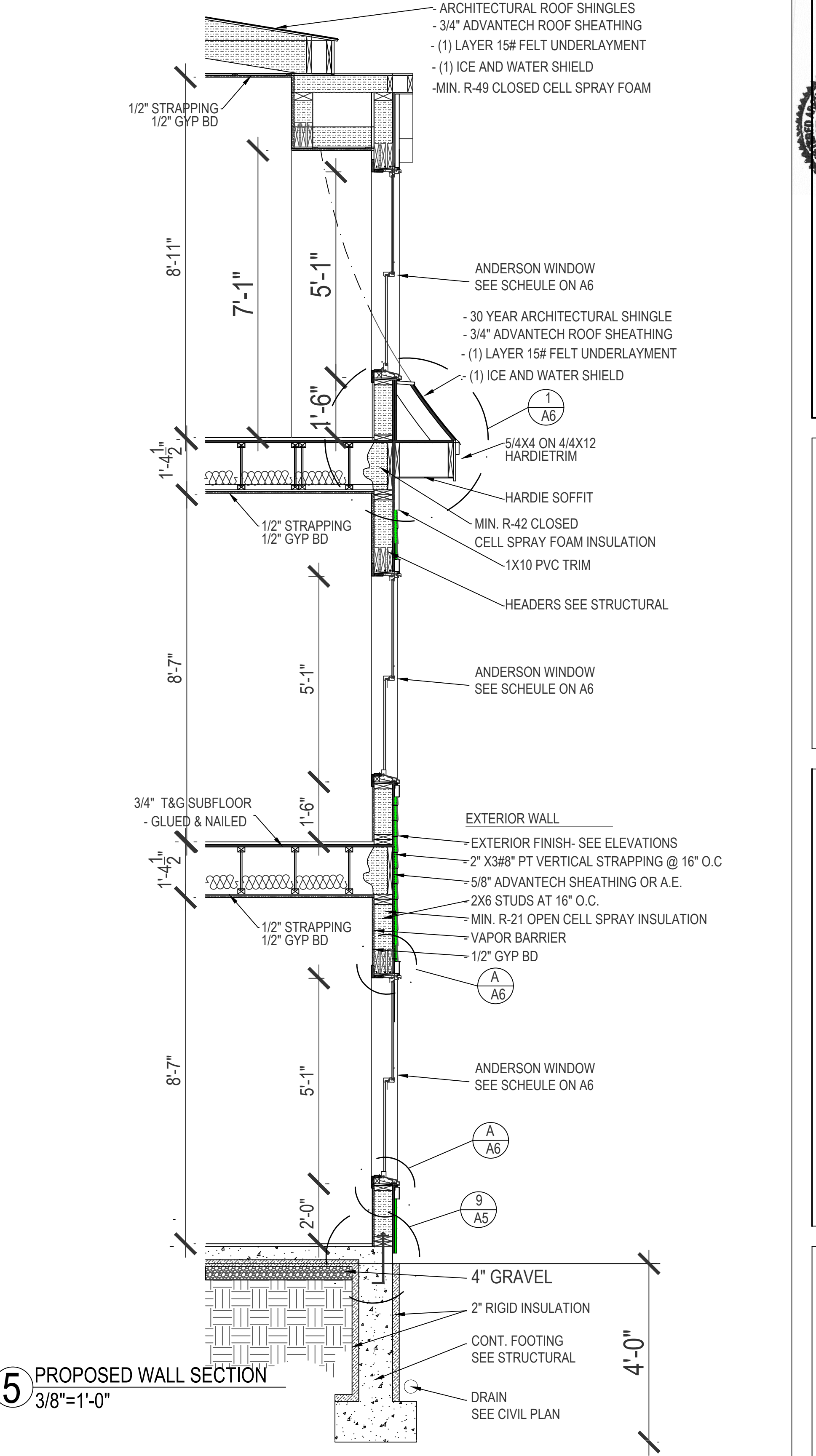
**6 PROPOSED TYP. MANSARD DETAIL**  
1/2" = 1'-0"



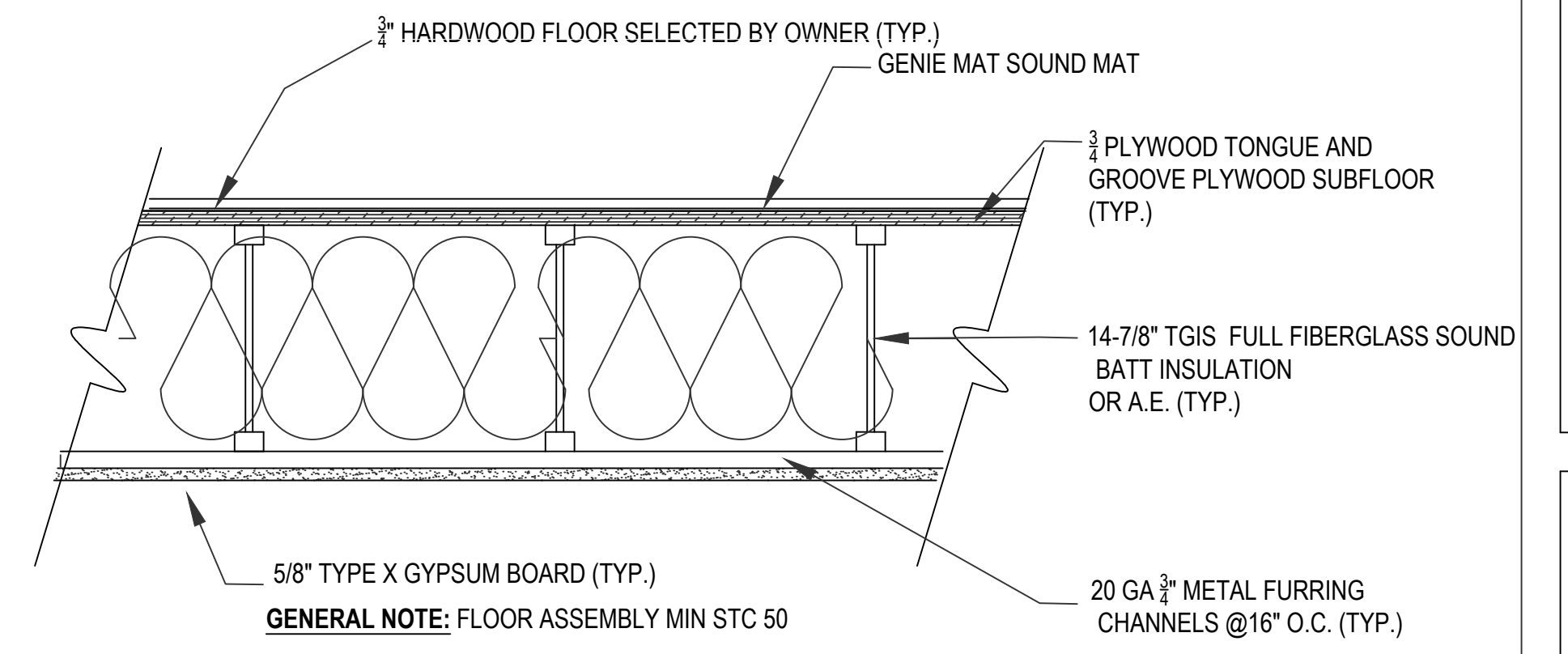
**7 PROPOSED SHED DORMER DETAIL**  
1/2" = 1'-0"



**9 PROPOSED DETAIL @ GRADE**  
3/4" = 1'-0"



**5 PROPOSED WALL SECTION**  
3/8" = 1'-0"



**TYPICAL FLOOR ASSEMBLY UNITS- SCALE: 3" = 1'-0"- 1 HOUR**  
ONE LAYERS OF 5/8" TYPE X GYPSUM BOARD, 11-7/8" TGIS @ 16" O.C. SEE STRUCTURAL PLANS WITH FULL THERMAFIBER SAF, ONE LAYERS OF 5/8" TYPE X GYPSUM BOARD STC-50-54

LIGHTHOUSE ARCHITECTURE  
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DATE:	10/24/2023
SCALE:	AS NOTED
DRAWN BY:	GSD + MT
CHECKED BY:	JER

WALL SECTIONS AND WALL TYPES

PROPOSED THREE FAMILY TOWNHOUSE  
59 PERRIN ST, BOSTON, MA 02119

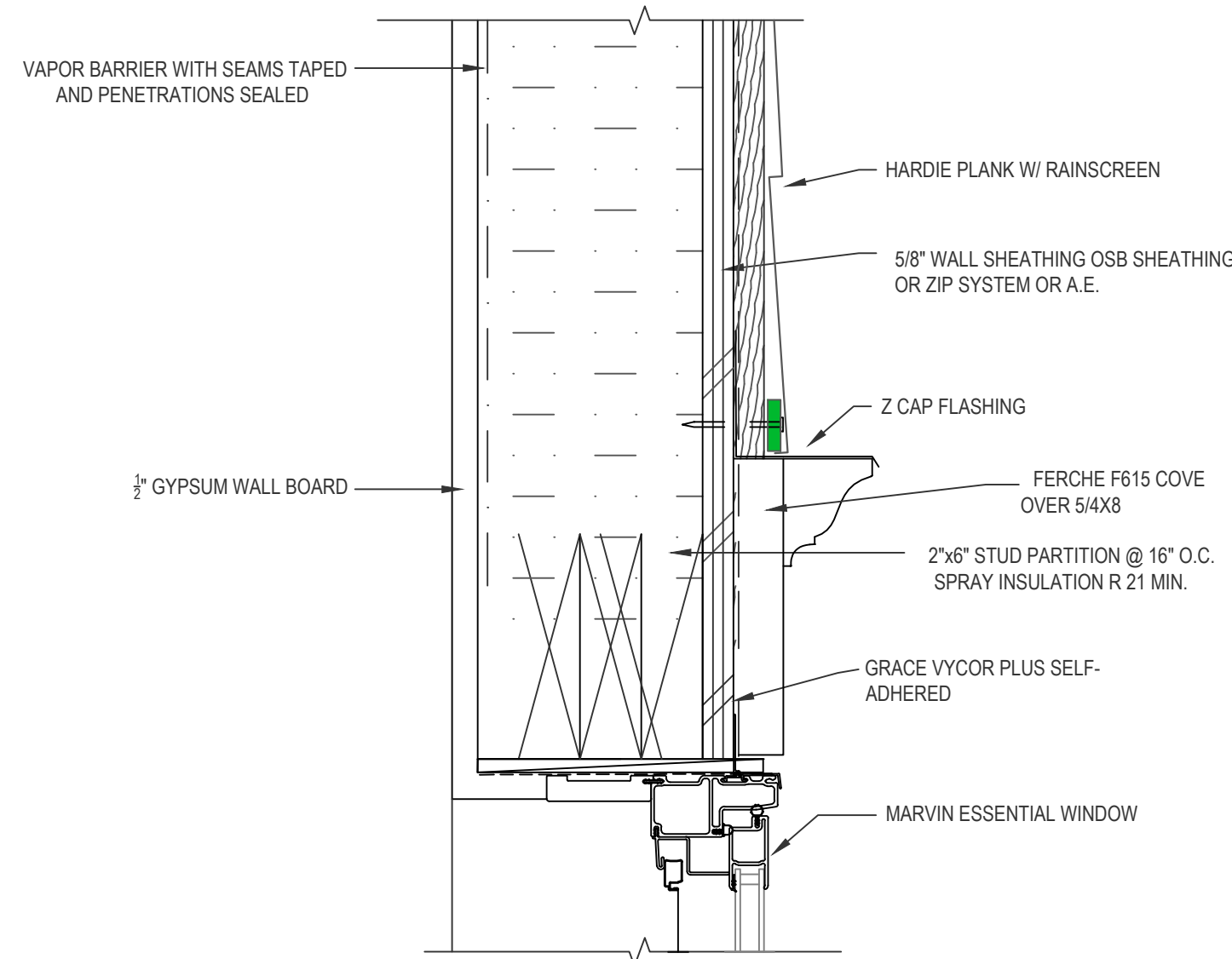
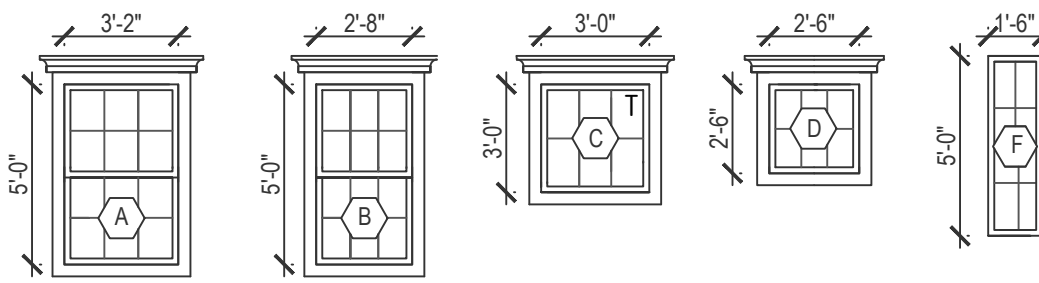
A5



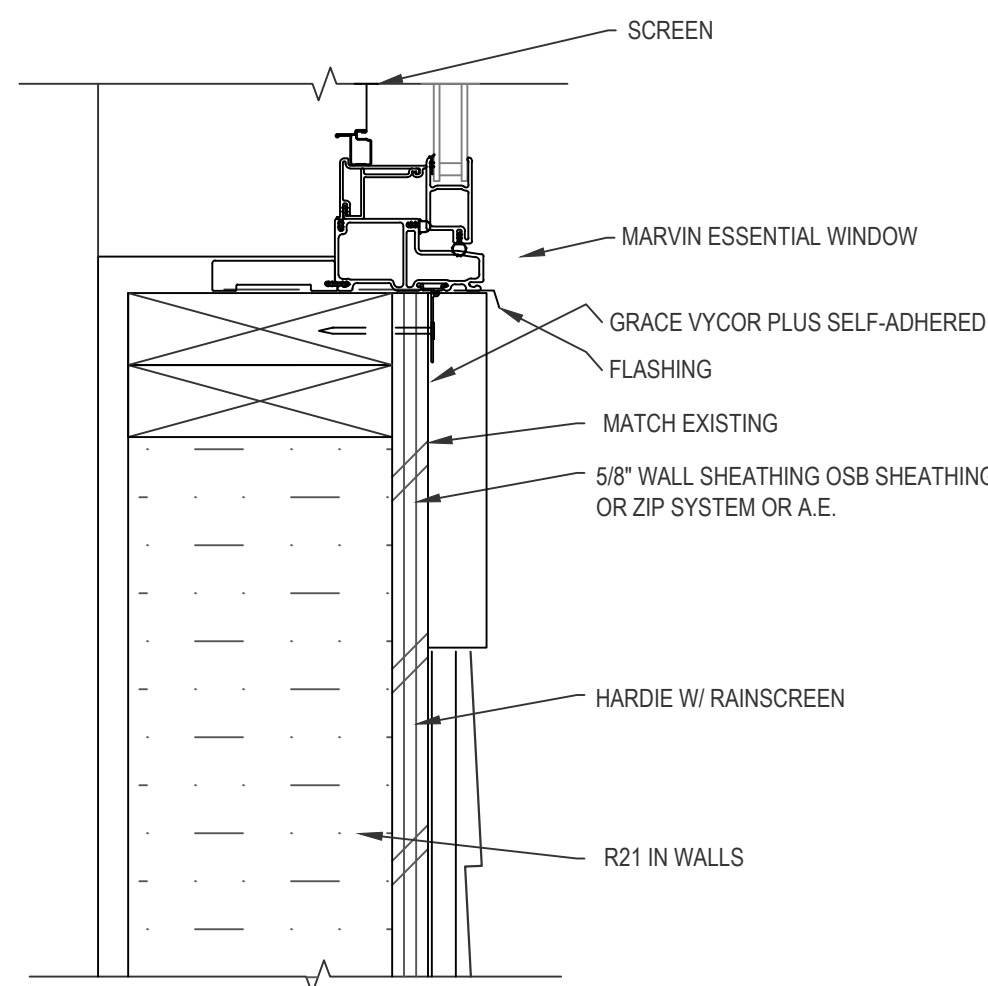
# WINDOW SCHEDULE

NO.	ROUGH OPENING		QTY.	NOTES	CODE
	WIDTH	HEIGHT			
A	3'-2"	5'-0"	15	Egress window	3050 *
B	2'-8"	5'-0"	34	Double Hung	2850 *
C	3'-0"	3'-0"	1	Picture	3030
D	2'-6"	2'-6"	1	Picture	2626
F	1'-6"	5'-0"	2	Picture	1650
Total Windows			53		

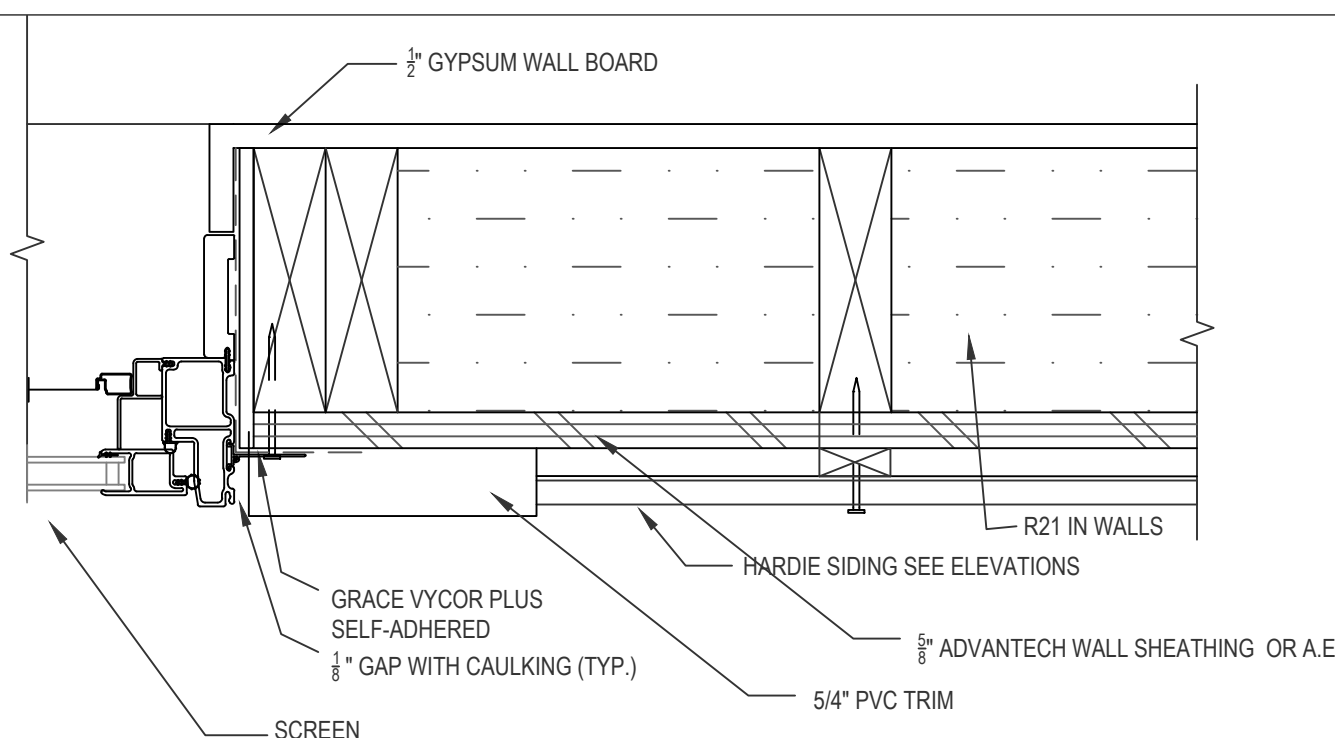
- ALL WINDOWS WERE BASED ON ANDERSON 100/200 SERIES (\* = 200 SERIES)
- ALL BEDROOM WINDOWS TO MEET EGRESS CODE FOR THE 10TH EDITION OF THE MASSACHUSETTS BUILDING CODE.
- GC TO CONFIRM ROUGH OPENINGS BEFORE INSTALLATION



**A** ANDERSON WINDOW DETAIL @ HEAD  
SCALE: 3/8"=1'-0"



**B** ANDERSON WINDOW @ SILL  
SCALE: 3/8"=1'-0"



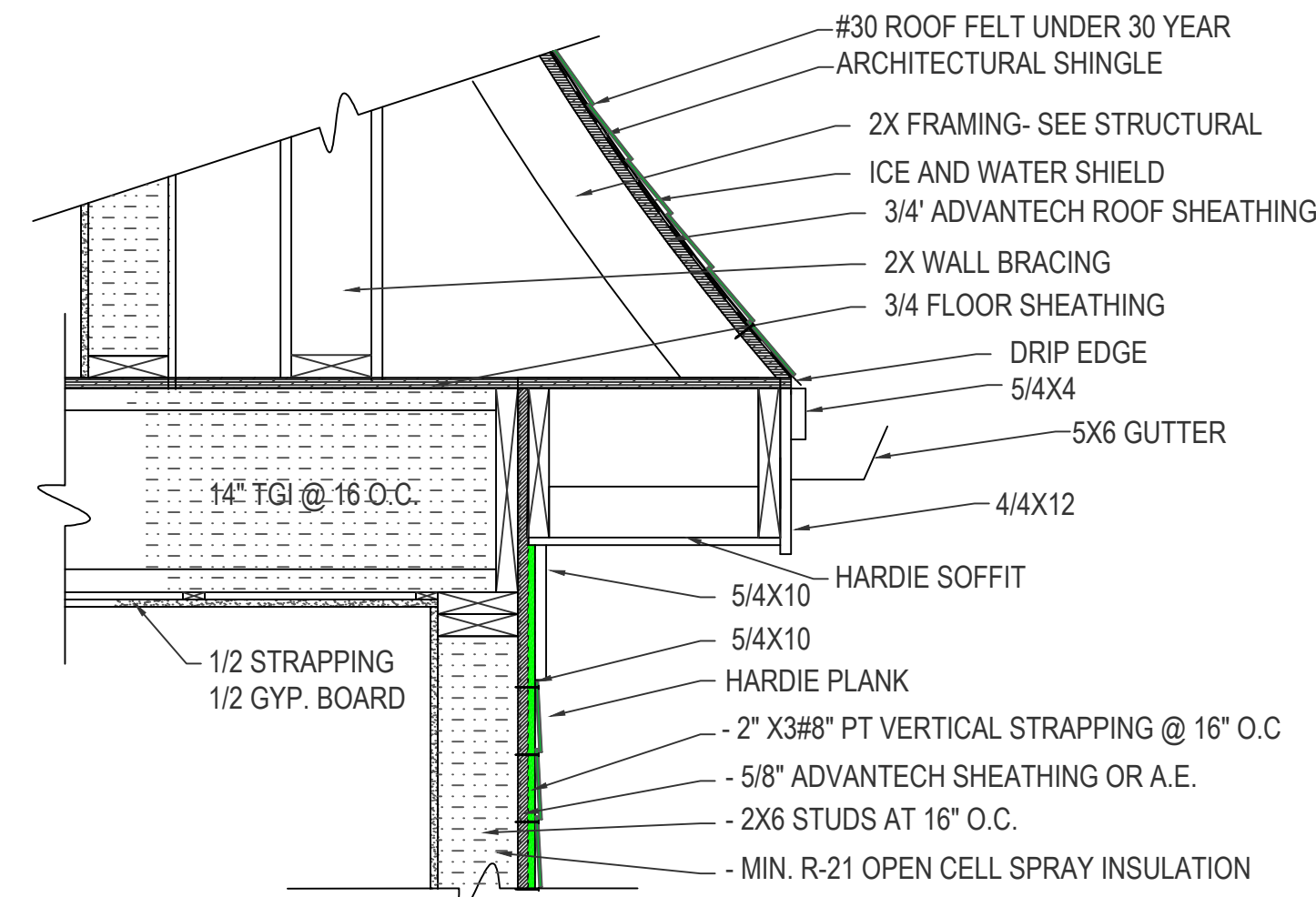
**C** ANDERSON WINDOW @ JAMB  
SCALE: 3/8"=1'-0"

# DOOR SCHEDULE

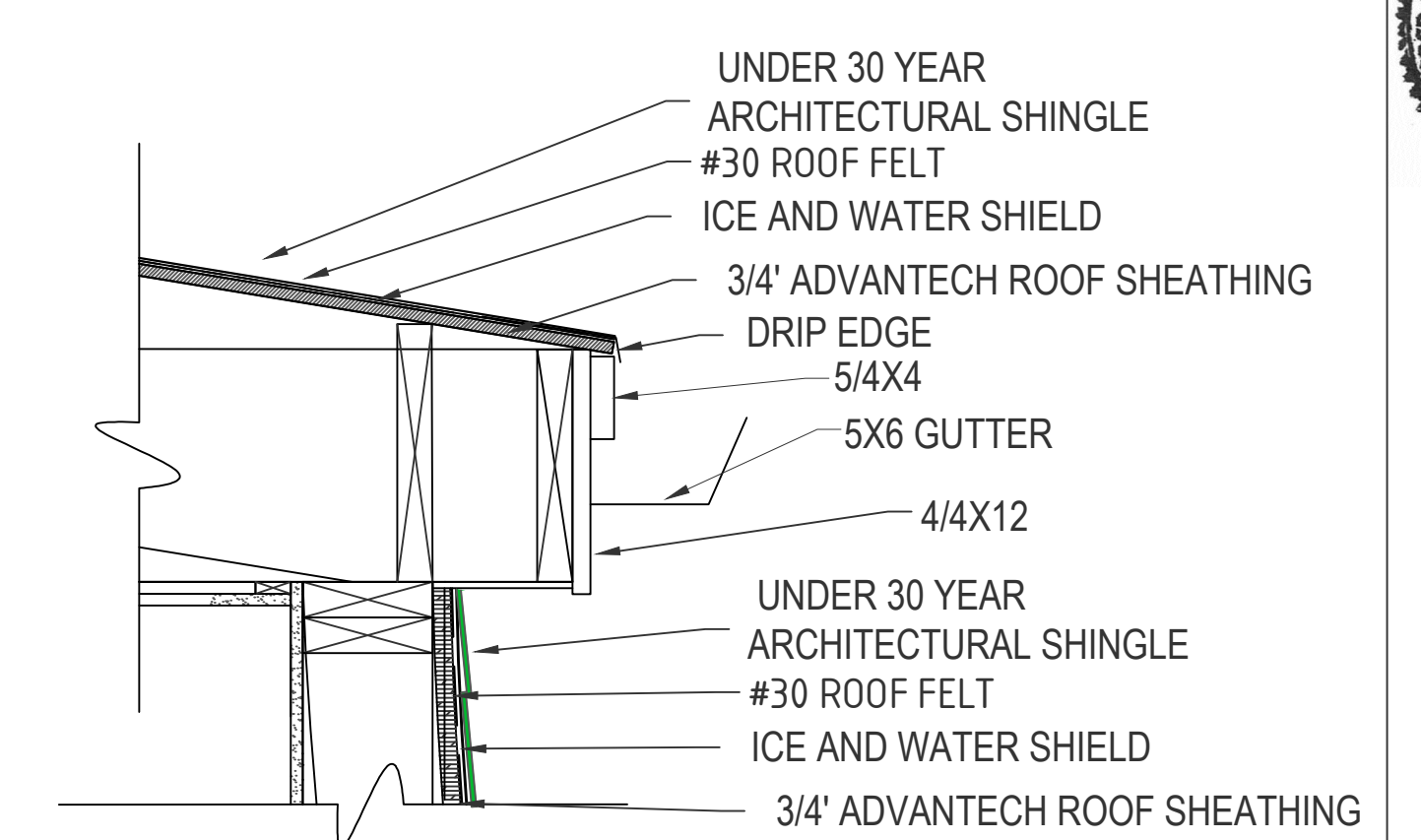
NO.	ROUGH OPENING		QTY.	NOTES
	WIDTH	HEIGHT		
1	3'-0"	7'-0"	6	EXTERIOR ENTRY DOOR
2	3'-0"	7'-0"	1	SPRINKLER ROOM DOOR
3	2'-8"	7'-0"	26	INTERIOR WOOD DOOR
4	2'-6"	7'-0"	6	INTERIOR WOOD DOOR
5	5'-0"	7'-0"	4	INTERIOR WOOD DOUBLE HINGED DOOR
6	4'-0"	7'-0"	2	INTERIOR WOOD DOUBLE HINGED DOOR
7	3'-0"	7'-0"	4	INTERIOR WOOD DOUBLE HINGED DOOR
8	3'-0"	7'-0"	4	EXTERIOR FRENCH DOOR
TOTAL DOORS			53	

# ROOM SCHEDULE

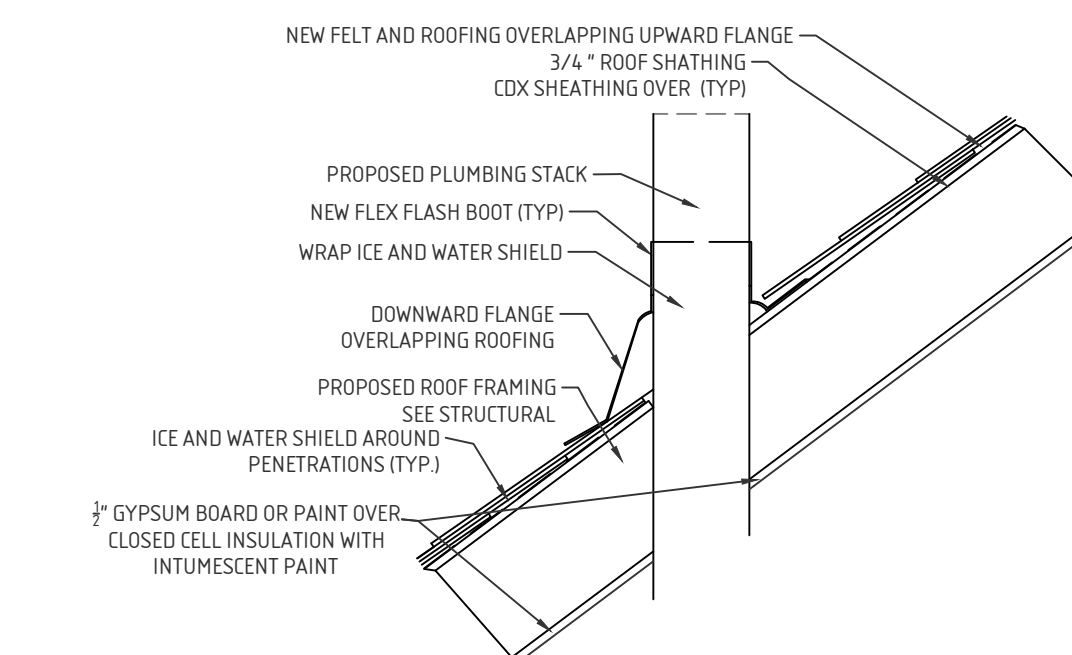
Room #	Room Name	Wall		Ceiling		Floor	Material	Remarks
		Finish	Material	Height	Material			
<b>FIRST FLOOR</b>								
101	PRIMARY ENTRY	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
102	KITCHEN	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
103	DINING ROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
104	LIVING ROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
105	CLOSET	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
106	STAIR	Paint	G.W.B.	N/A	G.W.B.	H'wood		
107	MEP ROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
108	CLOSET	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
109	BATH	Paint	G.W.B.	8'-7 1/2"	G.W.B.	Tile		
110	SECONDARY ENTRY	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
111	PRIMARY ENTRY	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
112	KITCHEN	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
113	DINING ROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
114	LIVING ROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
115	SECONDARY ENTRY	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
116	STAIR	Paint	G.W.B.	N/A	G.W.B.	H'wood		
117	MEP ROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
118	CLOSET	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
119	BATH	Paint	G.W.B.	8'-7 1/2"	G.W.B.	Tile		
120	PRIMARY ENTRY	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
121	KITCHEN	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
122	DINING ROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
123	LIVING ROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
124	CLOSET	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
125	STAIR	Paint	G.W.B.	N/A	G.W.B.	H'wood		
126	MEP ROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
127	CLOSET	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
128	BATH	Paint	G.W.B.	8'-7 1/2"	G.W.B.	Tile		
129	SECONDARY ENTRY	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
130	SPRINKLER ROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	Concrete		
<b>SECOND FLOOR</b>								
201	STAIR	Paint	G.W.B.	N/A	G.W.B.			
202	HALL	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
203	BEDROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
204	BATHROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	Tile		
205	DECK	Paint	G.W.B.	8'-7 1/2"	G.W.B.	Decking		
206	CLOSET	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
207	W/D CLOSET	Paint	G.W.B.	8'-7 1/2"	G.W.B.	Tile		
208	BEDROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
209	BATHROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	Tile		
210	CLOSET	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
211	STAIR	Paint	G.W.B.	N/A	G.W.B.	H'wood		
212	HALL	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
213	W/D CLOSET	Paint	G.W.B.	8'-7 1/2"	G.W.B.	Tile		
214	BEDROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
215	BATHROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	Tile		
216	DECK	Paint	G.W.B.	8'-7 1/2"	G.W.B.	Decking		
217	CLOSET	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
218	BATHROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	Tile		
219	BEDROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
220	CLOSET	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
221	STAIR	Paint	G.W.B.	N/A	G.W.B.	H'wood		
222	HALL	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
223	BEDROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
224	BATHROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	Tile		
225	DECK	Paint	G.W.B.	8'-7 1/2"	G.W.B.	Decking		
226	CLOSET	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
227	W/D CLOSET	Paint	G.W.B.	8'-7 1/2"	G.W.B.	Tile		
228	BEDROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
229	BATHROOM	Paint	G.W.B.	8'-7 1/2"	G.W.B.	Tile		
230	CLOSET	Paint	G.W.B.	8'-7 1/2"	G.W.B.	H'wood		
<b>THIRD FLOOR</b>								
301	STAIR	Paint	G.W.B.	N/A	G.W.B.	H'wood		
302	BEDROOM	Paint	G.W.B.	8'-9"	G.W.B.	H'wood		
303	WALK-IN CLOSET	Paint	G.W.B.	8'-9"	G.W.B.	H'wood		
304	BATHROOM	Paint	G.W.B.	8'-9"	G.W.B.	Tile		
305	STAIR	Paint	G.W.B.	N/A	G.W.B.	H'wood		
306	CLOSET	Paint	G.W.B.	8'-9"	G.W.B.	H'wood		
307	BEDROOM	Paint	G.W.B.	8'-9"	G.W.B.	H'wood		
308	WALK-IN CLOSET	Paint	G.W.B.	8'-9"	G.W.B.	H'wood		
309	BATHROOM	Paint	G.W.B.	8'-9"	G.W.B.	Tile		
310	STAIR	Paint	G.W.B.	8'-9"	G.W.B.	H'wood		
311	BEDROOM	Paint	G.W.B.	N/A	G.W.B.	H'wood		
312	BATHROOM	Paint	G.W.B.	8'-9"	G.W.B.	H'wood		
313	WALK-IN CLOSET	Paint	G.W.B.	8'-9"	G.W.B.	Tile		



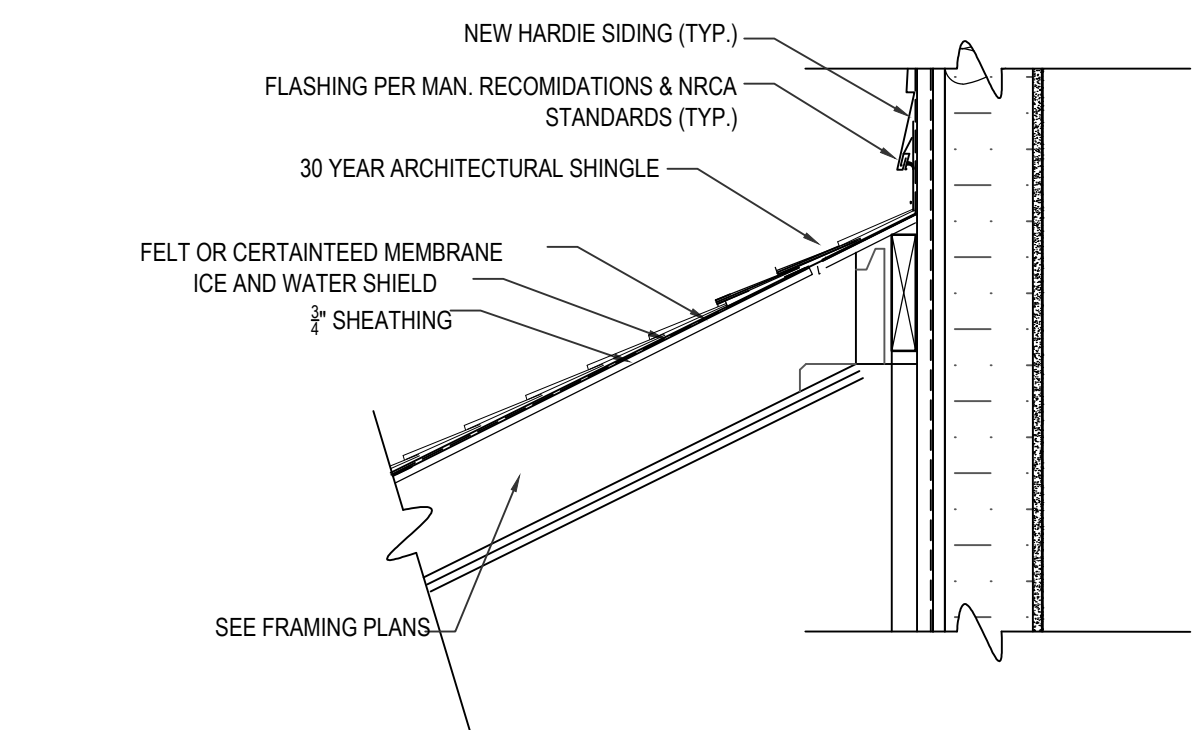
**1** PROPOSED SHED DORMER DETAIL  
1"-1'-0"



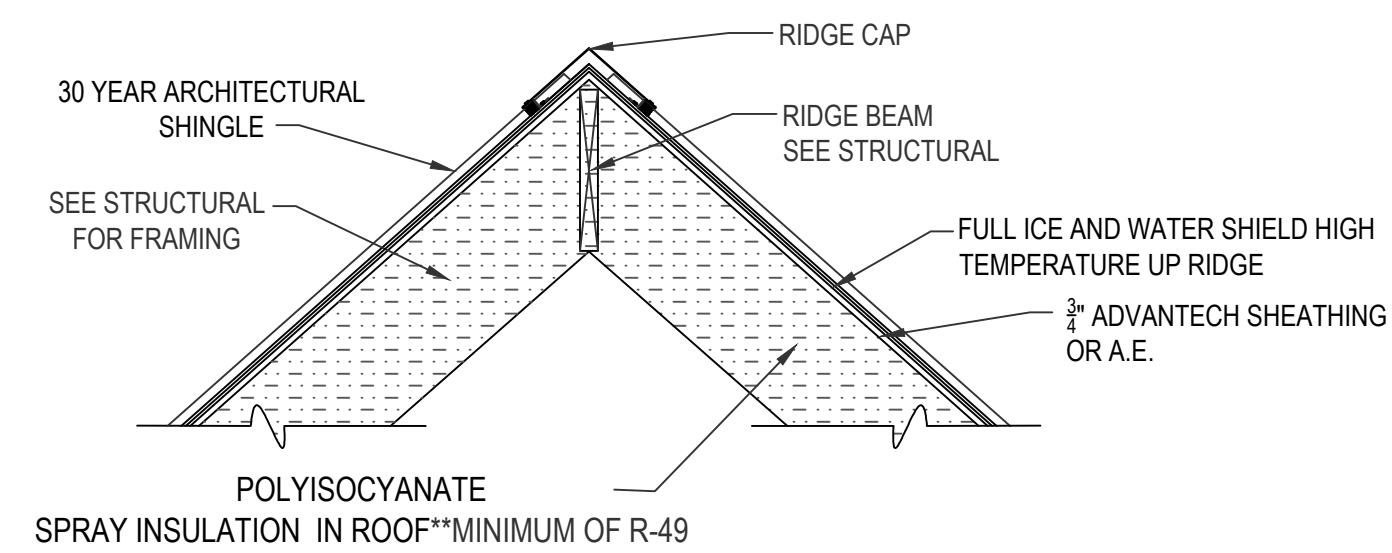
**2** PROPOSED SHED DORMER DETAIL  
1-1/2"=1'-0"



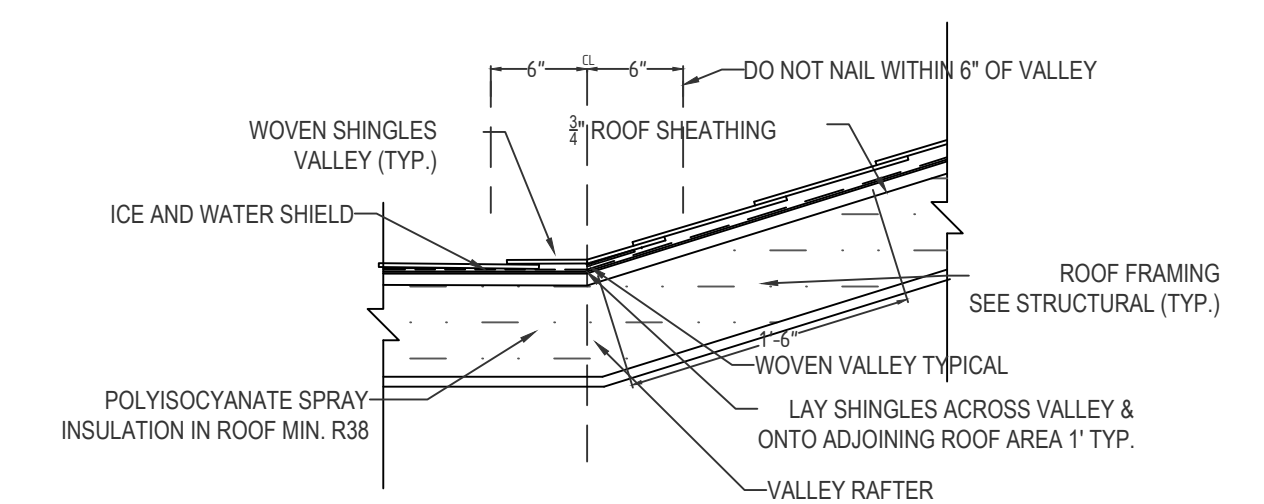
**3** PROPOSED PLUMBING STACK DETAIL  
1"-1'-0"



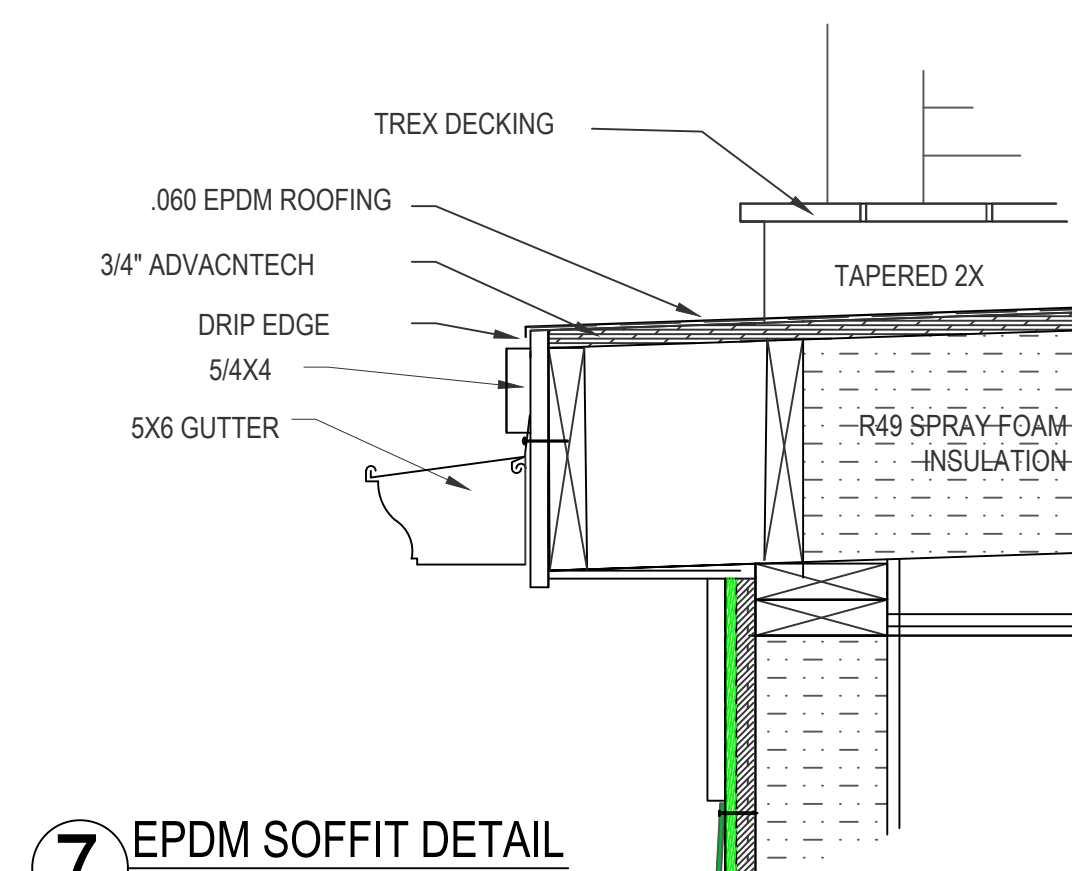
**4** ASPHALT SHINGLES TO HARDIE TRANSITION  
1"-1'-0"



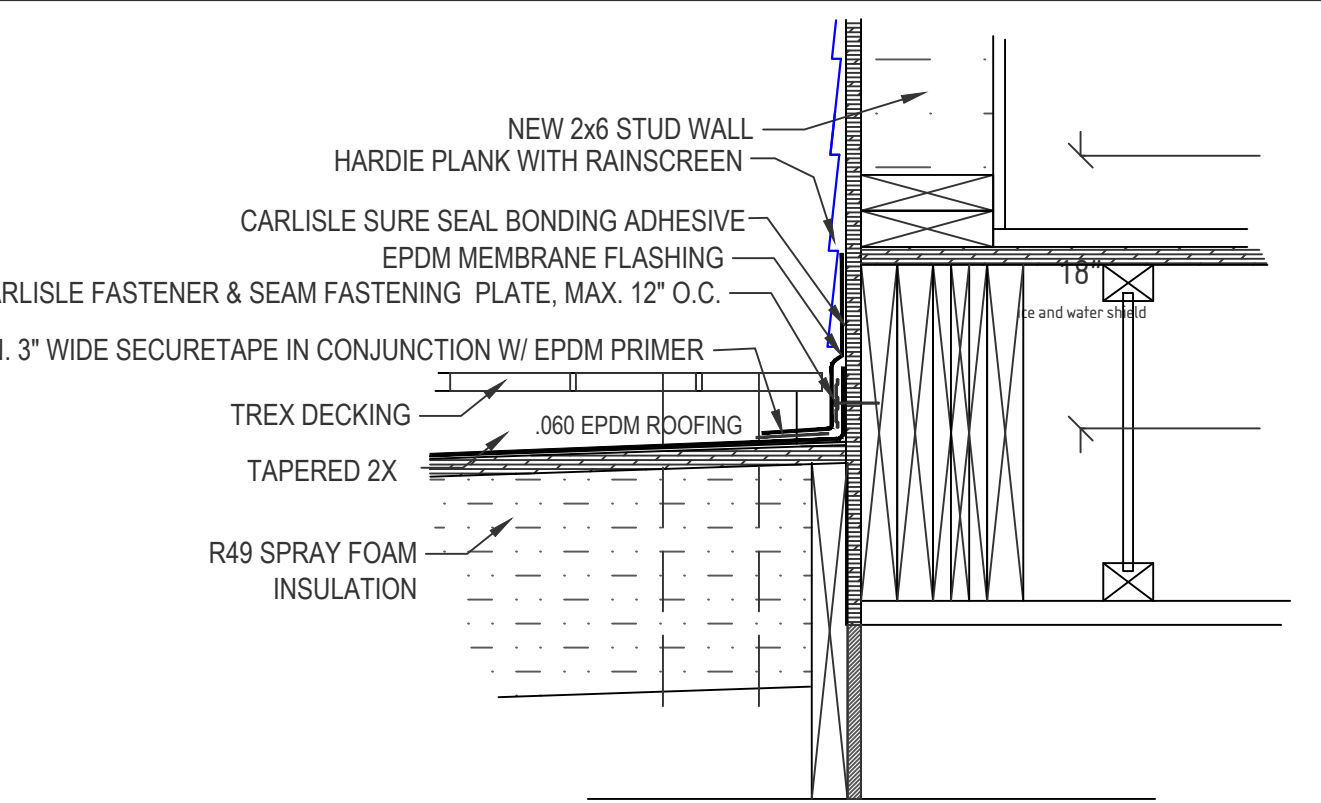
**5** RIDGE DETAIL  
3/4"=1'-0"



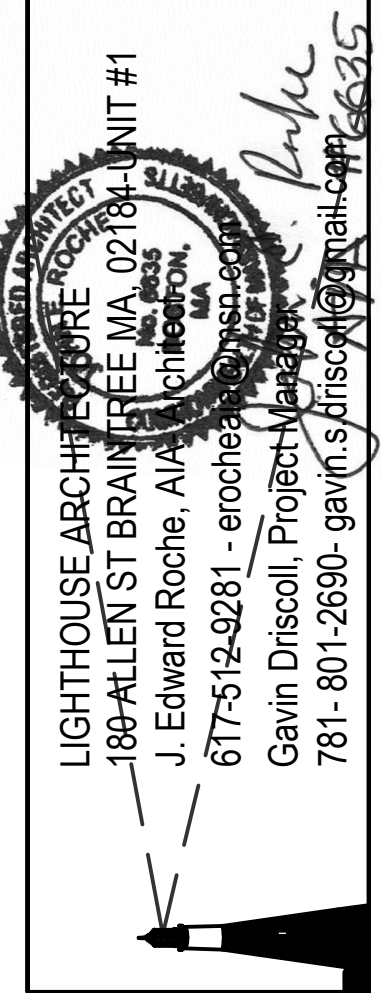
**6** PROPOSED EAVE DETAIL  
1"-1'-0"



**7** EPDM SOFFIT DETAIL  
1-1/2"=1'-0"



**8** EPDM DECK DETAIL  
1-1/2"=1'-0"



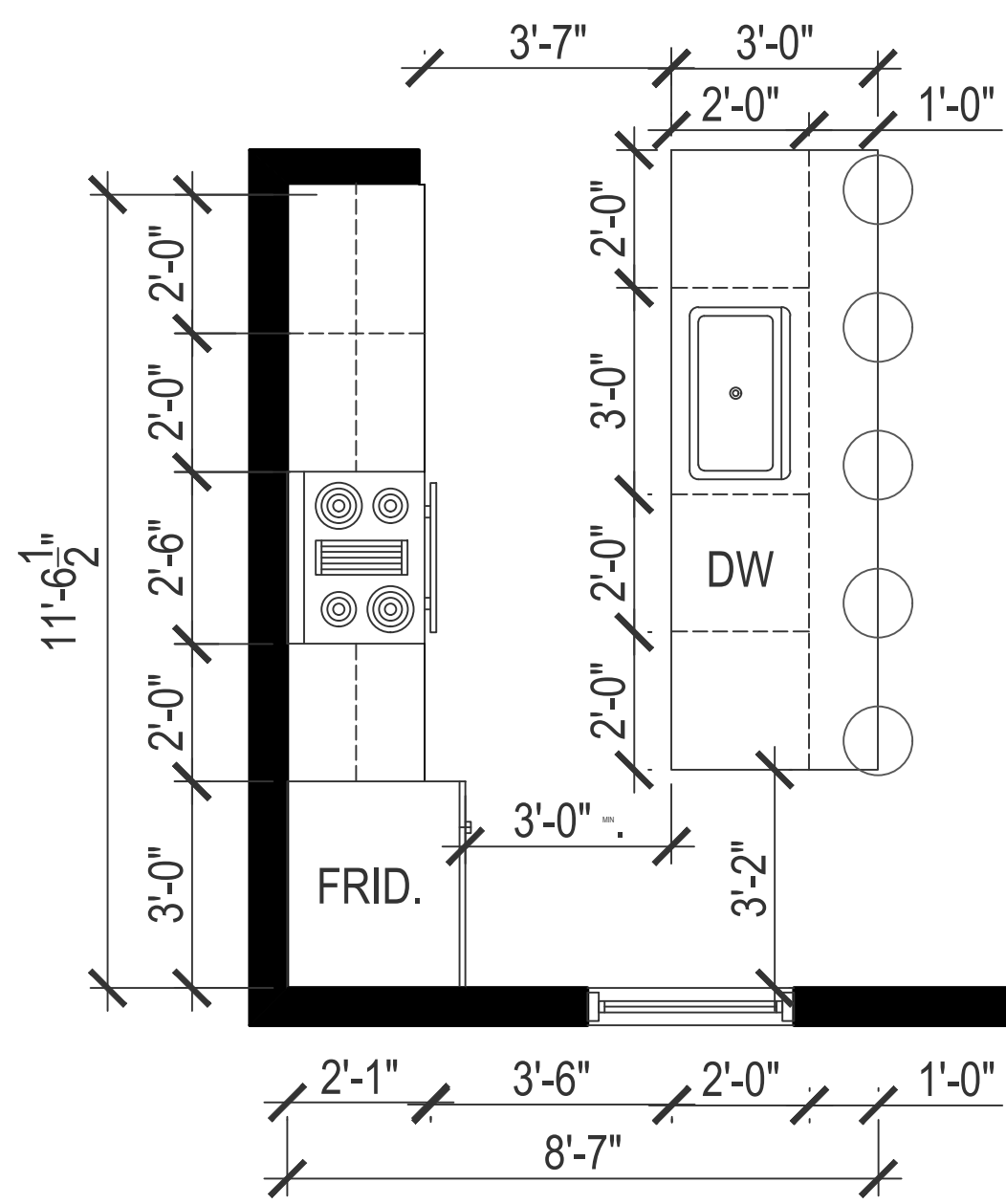
DATE: 10/24/2023  
SCALE: AS NOTED  
DRAWN BY: GSD + MT  
CHECKED BY: JER

SCHEMATIC FLOOR PLANS AND SECTIONS

PROPOSED THREE FAMILY TOWNHOUSE  
59 PERRIN ST, BOSTON, MA 02119

A6



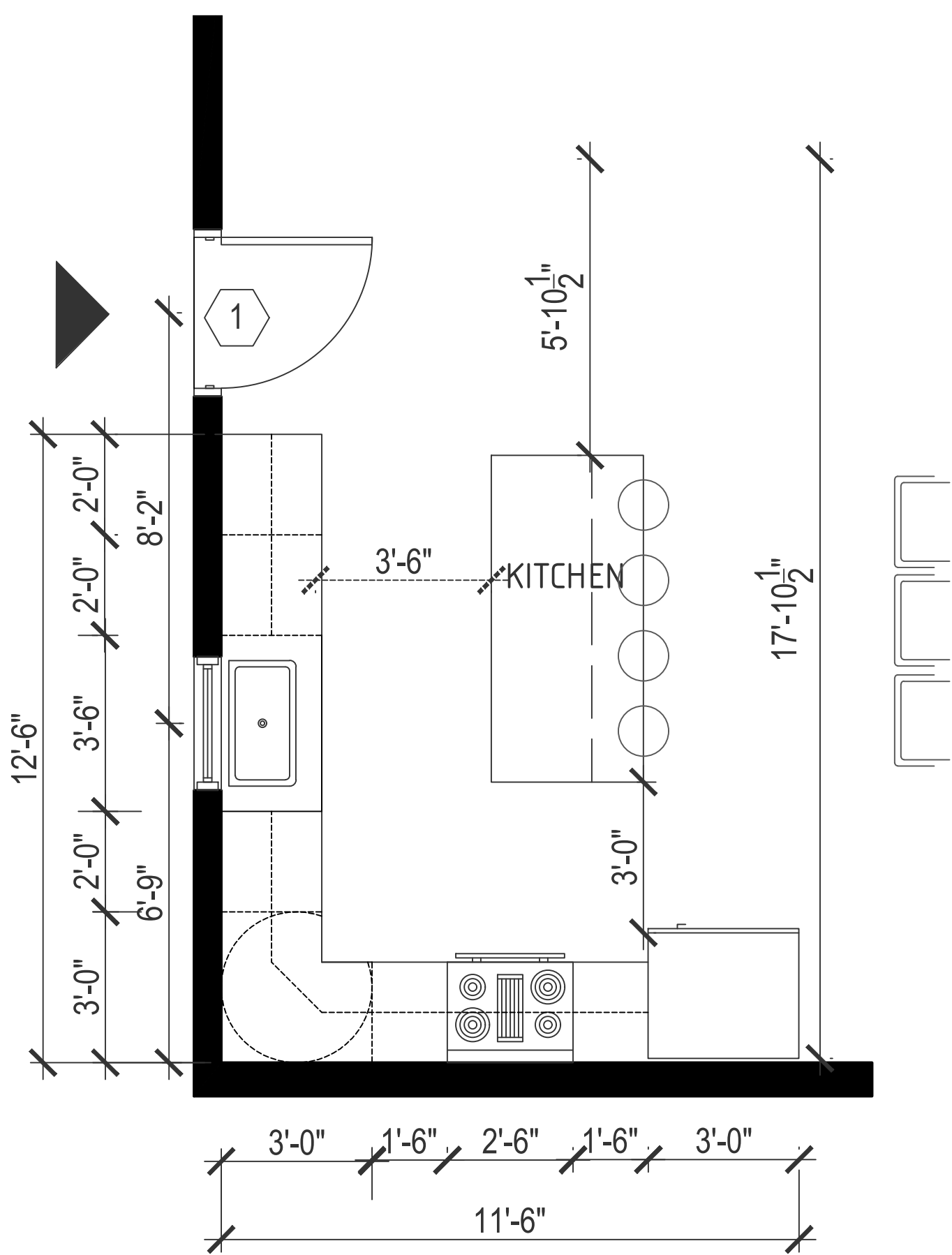


**A** PROPOSED KITCHEN DETAIL UNIT #1/3  
3/8"=1'-0"

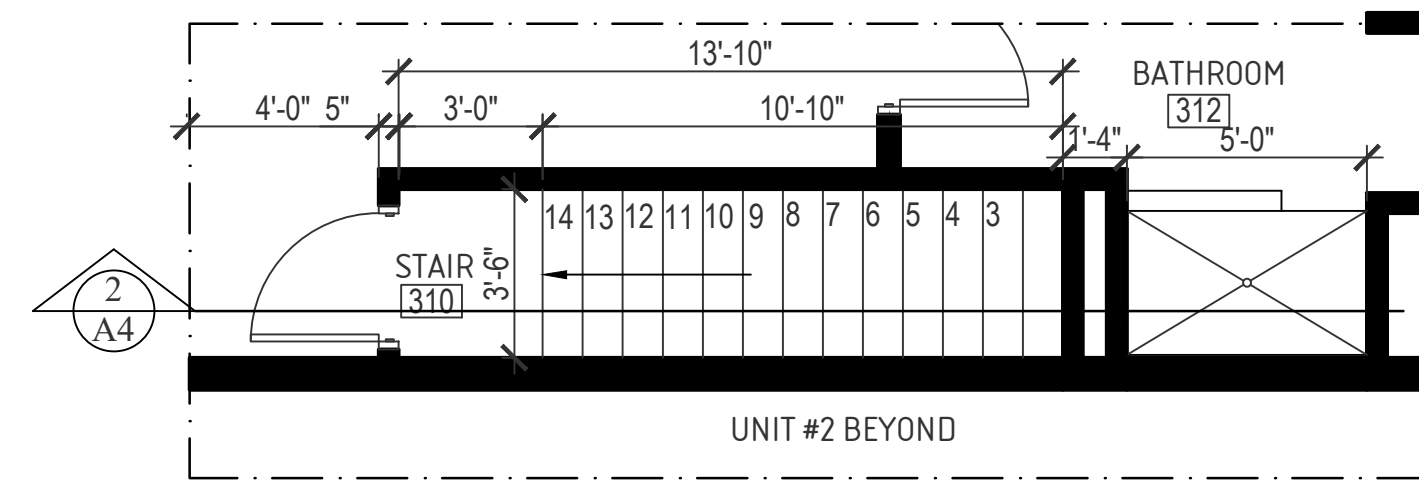
**KITCHEN NOTES**

**GENERAL NOTES**

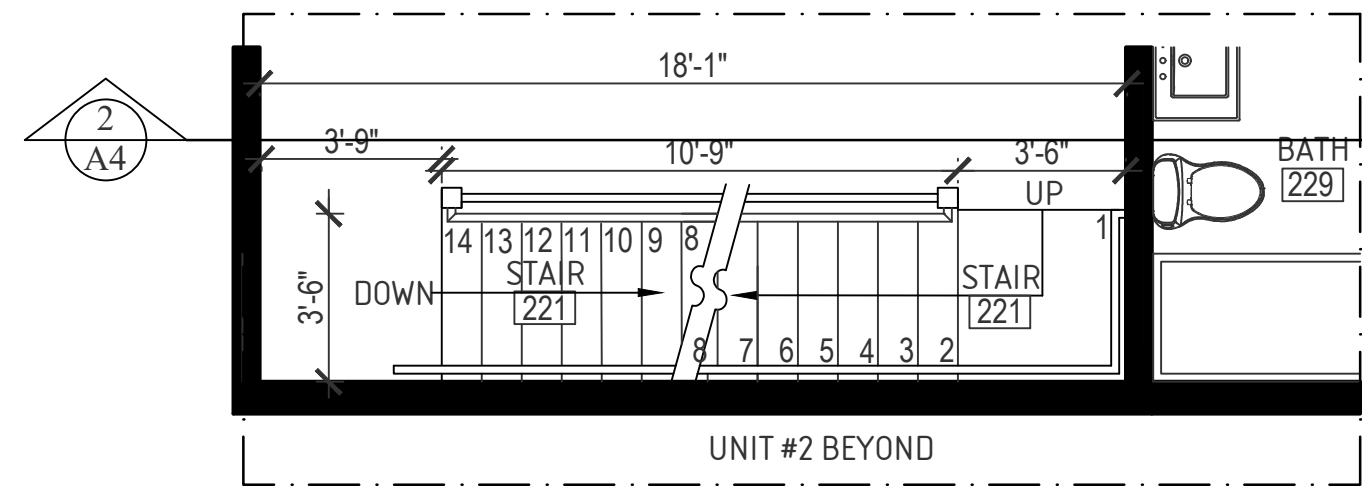
1. PROVIDE CABINETRY SHOP DRAWINGS FOR EACH KITCHEN LAYOUT. CONFIRM FINISH DIMENSIONS OF APPLIANCES TO BE INSTALLED IN THE CABINETRY.
2. PROVIDE FINISHED END AND BACK PANELS AT ALL EXPOSED LOCATIONS FOR A COMPLETELY FINISHED INSTALLATION.
3. RETURN CROWN MOLDING TRIM AT SIDES AND ENDS OF CABINETRY.
4. PROVIDE ALL NECESSARY FILLER PANELS AND TRIM FOR A COMPLETELY FINISHED INSTALLATION.
5. COUNTERTOPS SHALL BE SELECTED BY THE OWNER.
6. CABINETRY STYLE AND COLOR TO BE SELECTED BY THE OWNER.



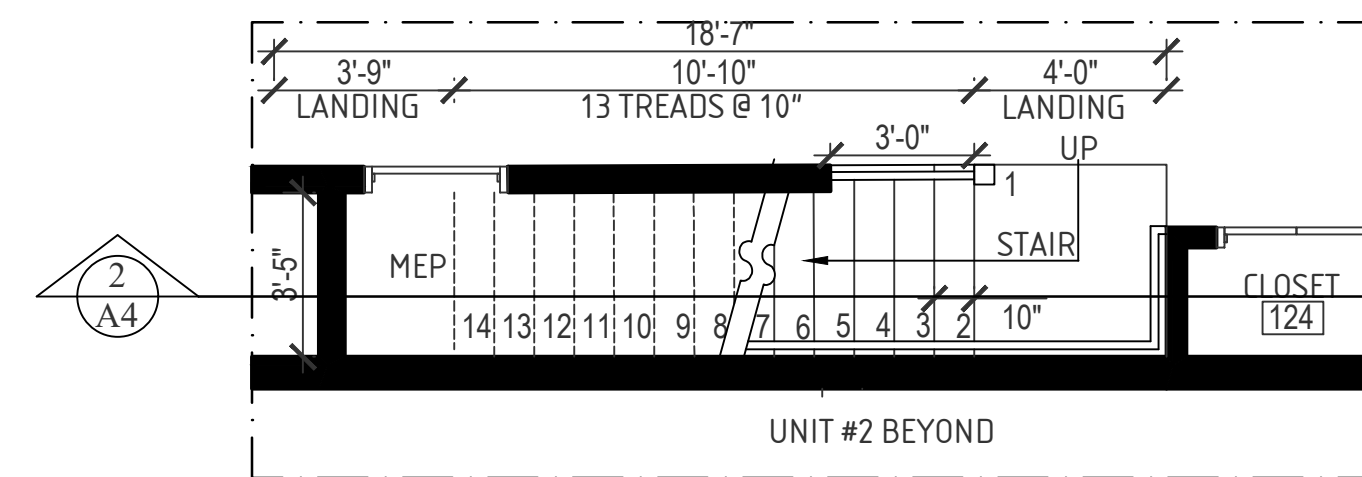
**B** PROPOSED KITCHEN DETAIL UNIT #2  
3/8"=1'-0"



**3** THIRD FLOOR STAIR #1- UNIT #3  
1/4"=1'-0"

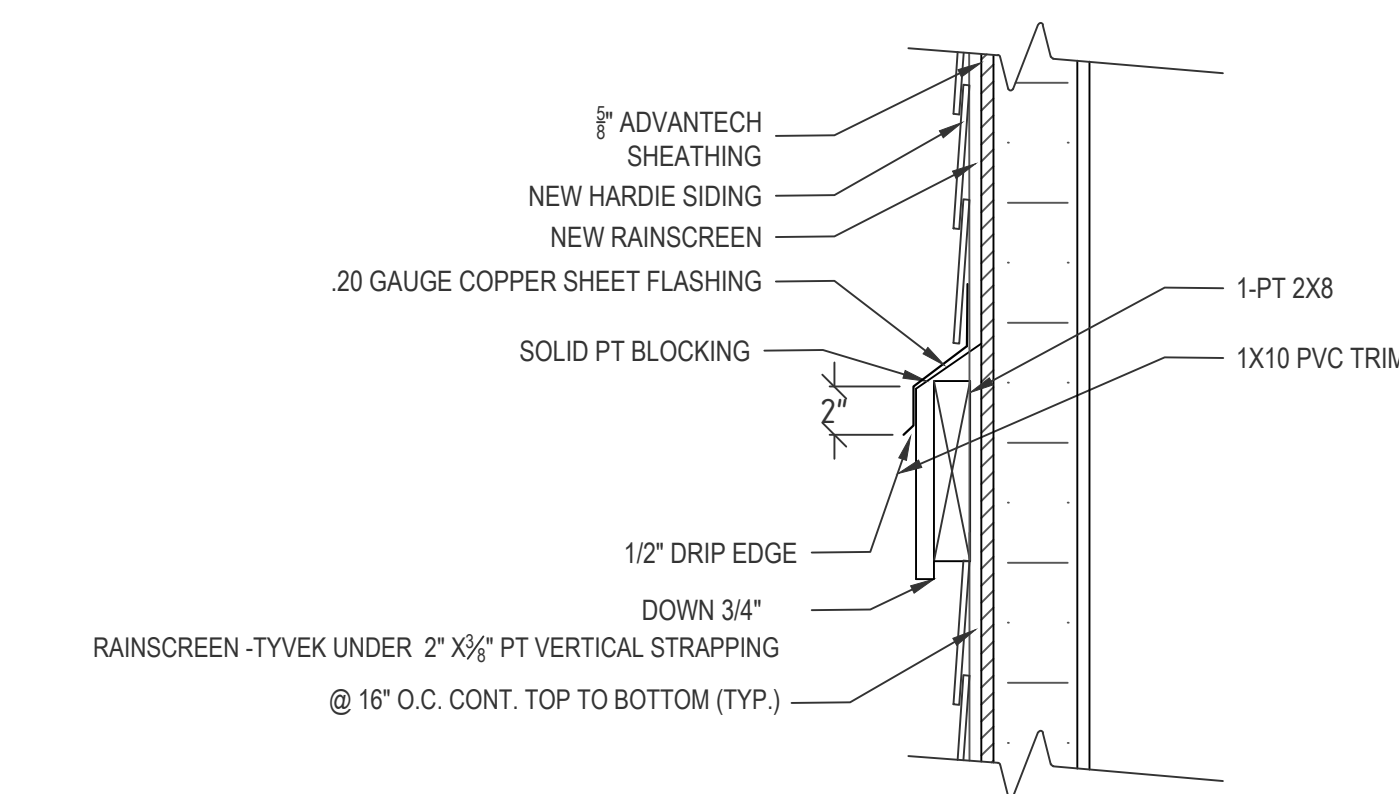


**2** SECOND FLOOR STAIR #1- UNIT #3  
1/4"=1'-0"

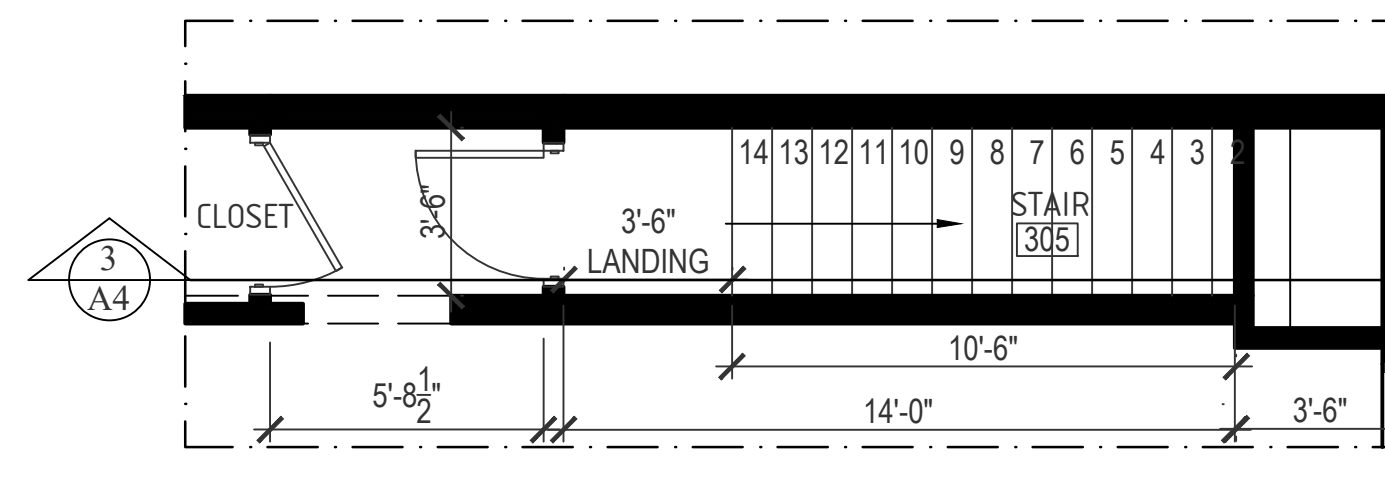


**1** FIRST FLOOR STAIR #1- UNIT #3  
1/4"=1'-0"

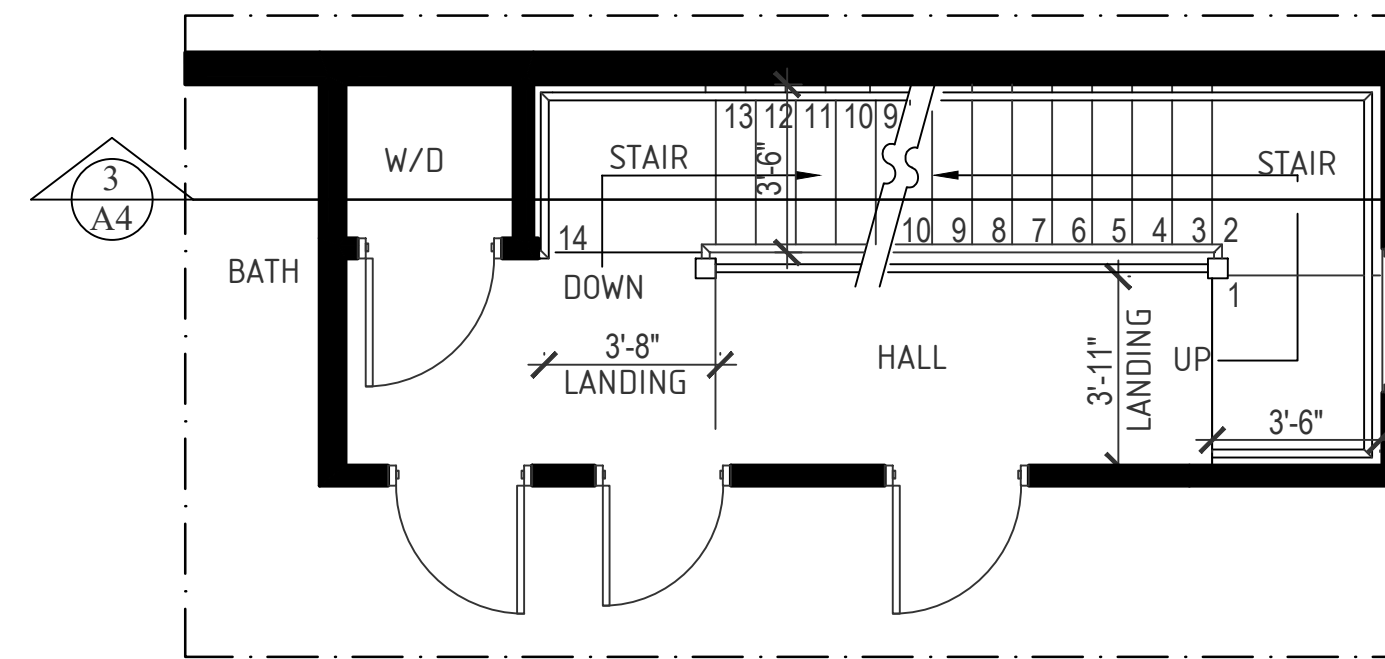
**UNIT #3- ENLARGED STAIR PLANS**



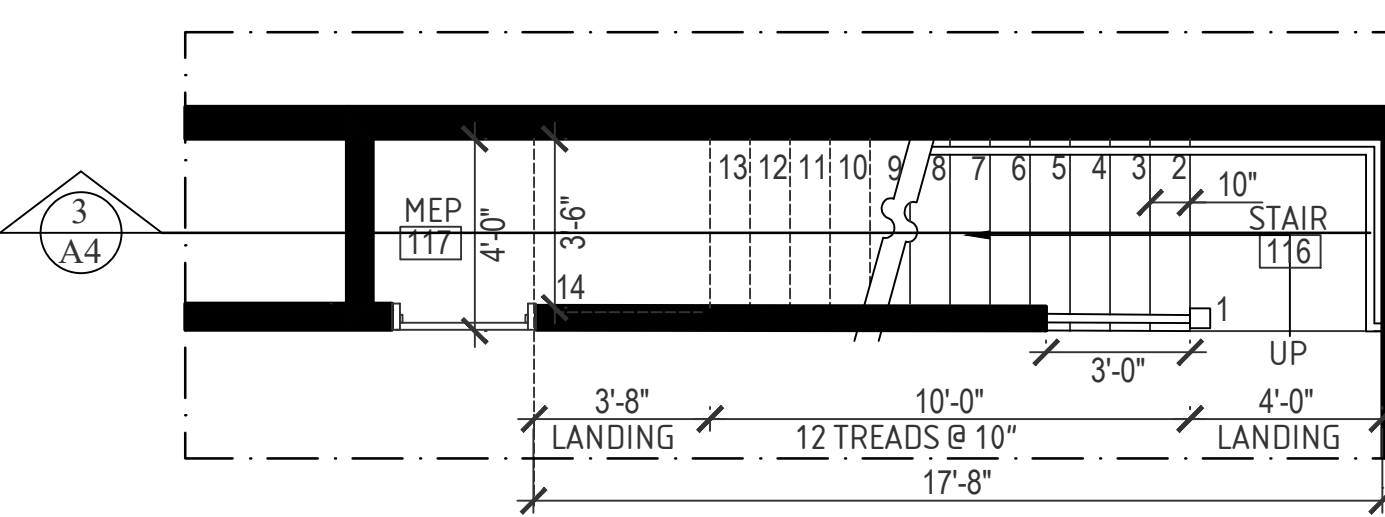
**4** WATER TABLE DETAIL  
1-1/2"=1'-0"



**3** THIRD FLOOR STAIR #1- UNIT #2  
1/4"=1'-0"

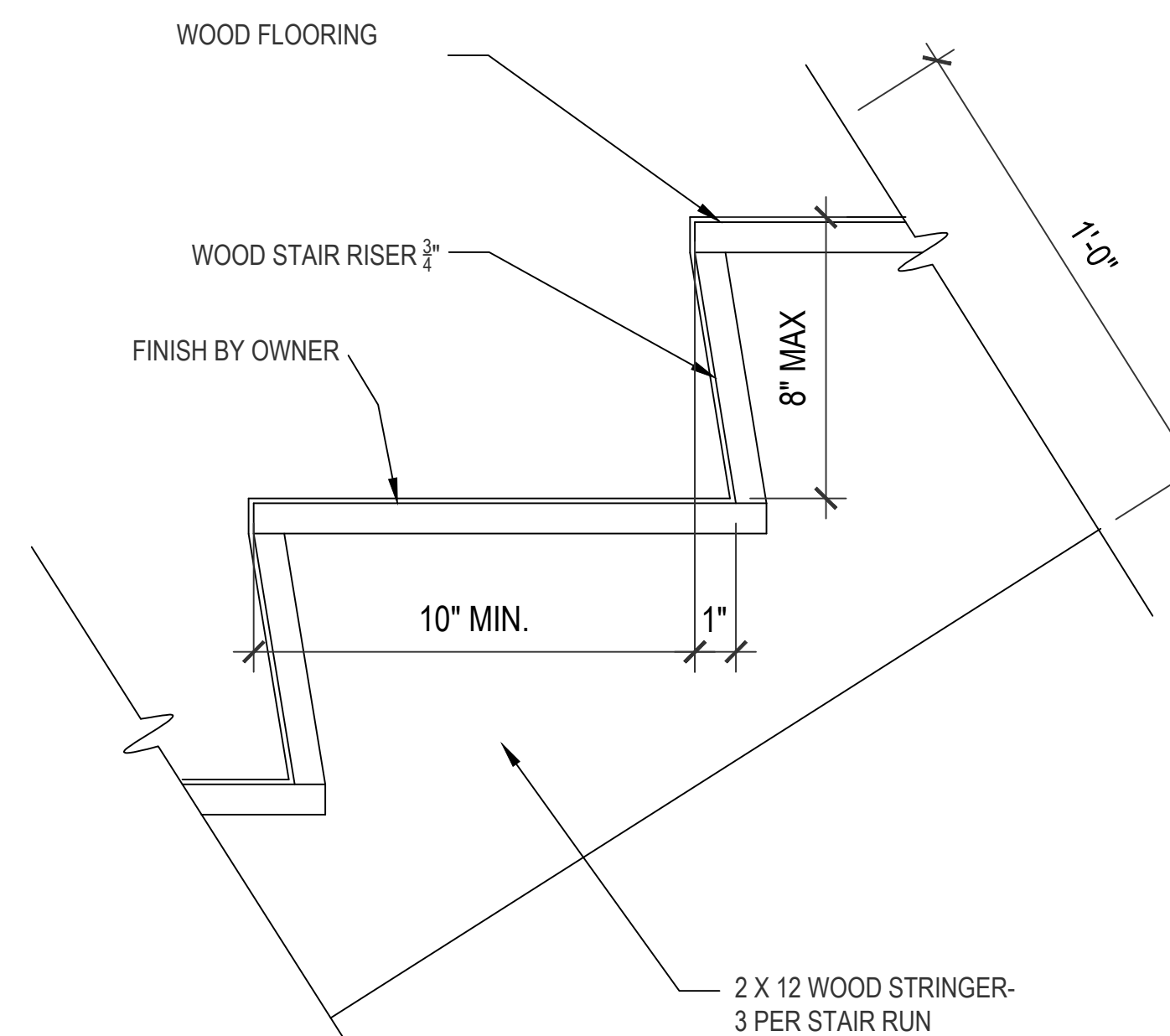


**2** SECOND FLOOR STAIR #1- UNIT #2  
1/4"=1'-0"

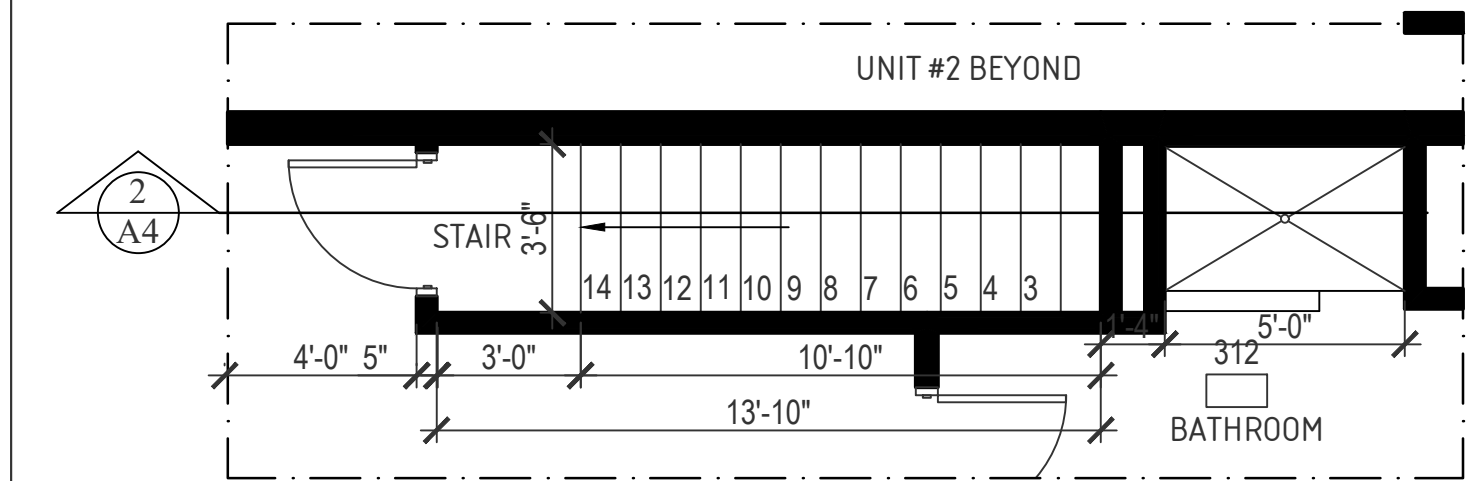


**1** FIRST FLOOR STAIR #1- UNIT #2  
1/4"=1'-0"

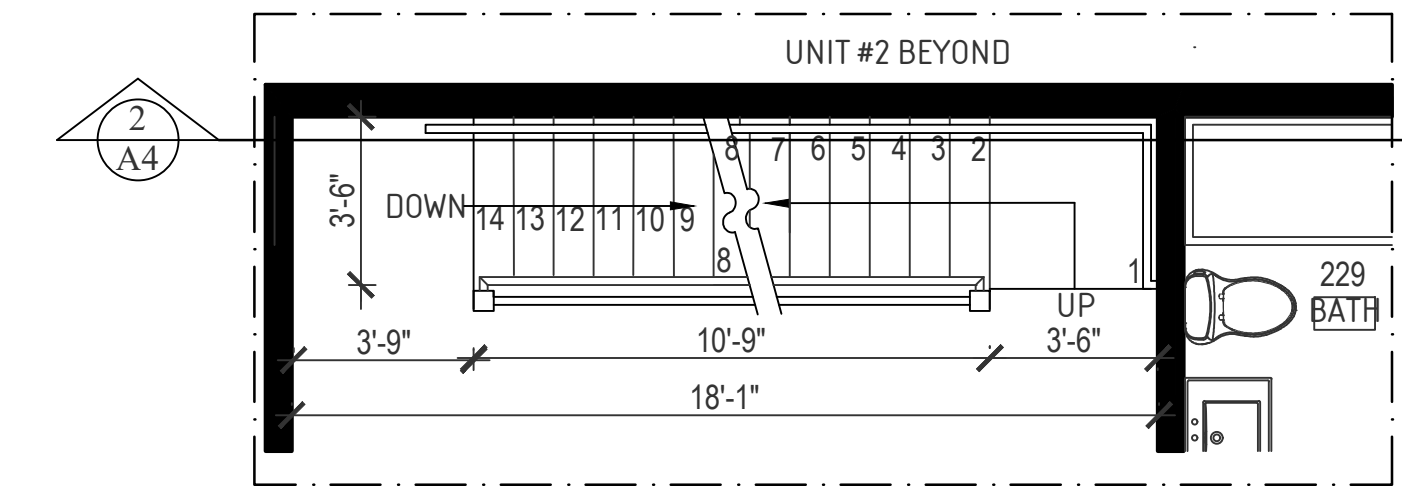
**UNIT #2- ENLARGED STAIR PLANS**



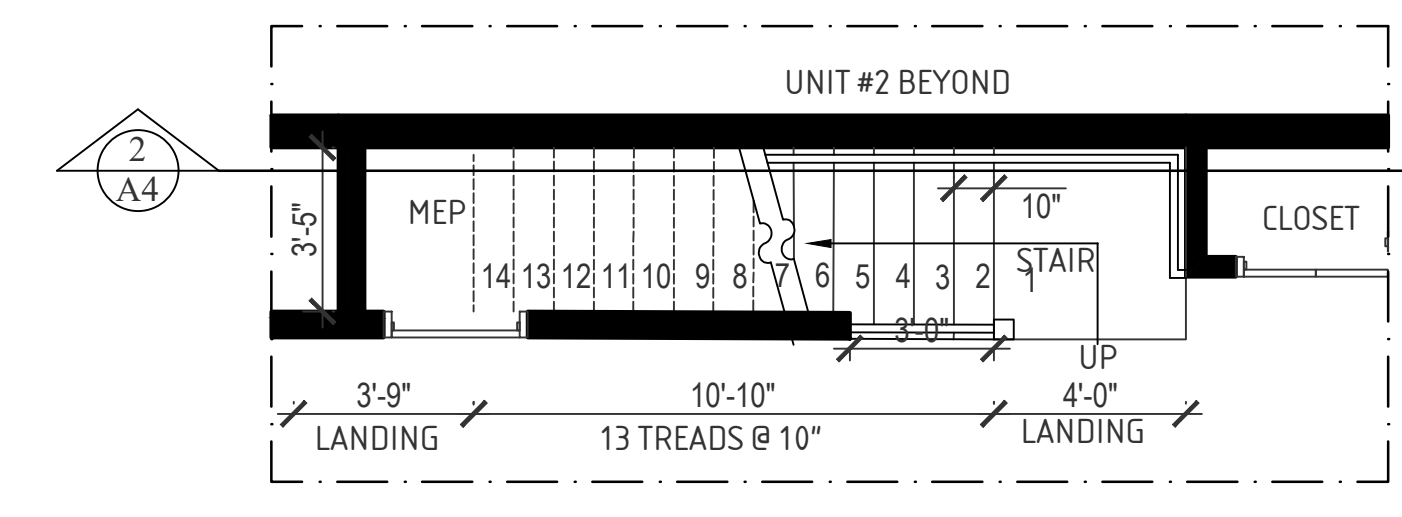
**TREAD AND RISER DETAIL A**  
SCALE: 3" = 1' - 0"



**3** THIRD FLOOR STAIR #1- UNIT #1  
1/4"=1'-0"

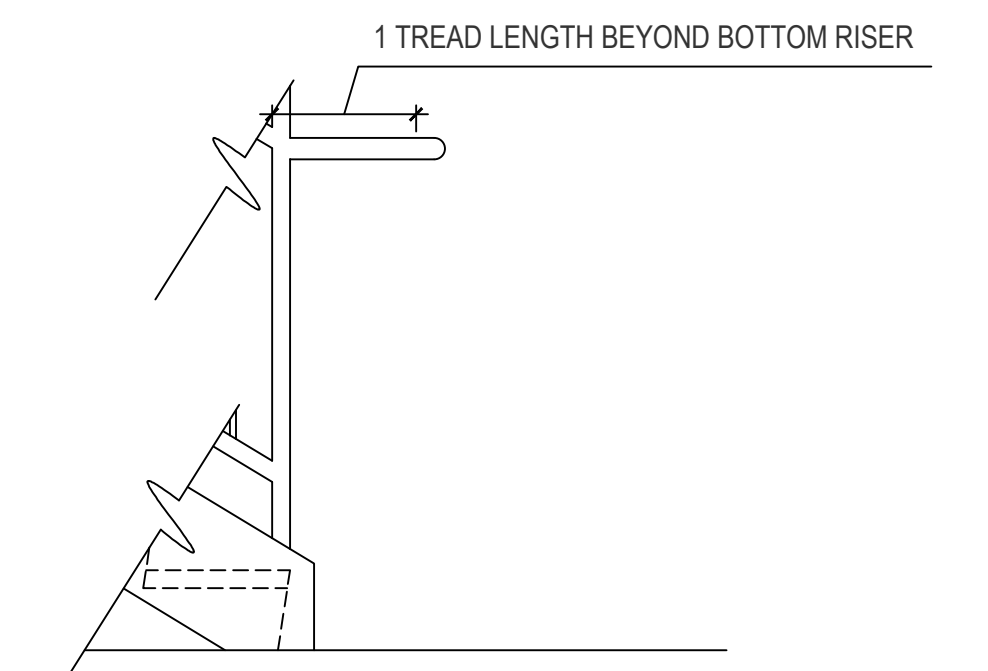


**2** SECOND FLOOR STAIR #1- UNIT #1  
1/4"=1'-0"

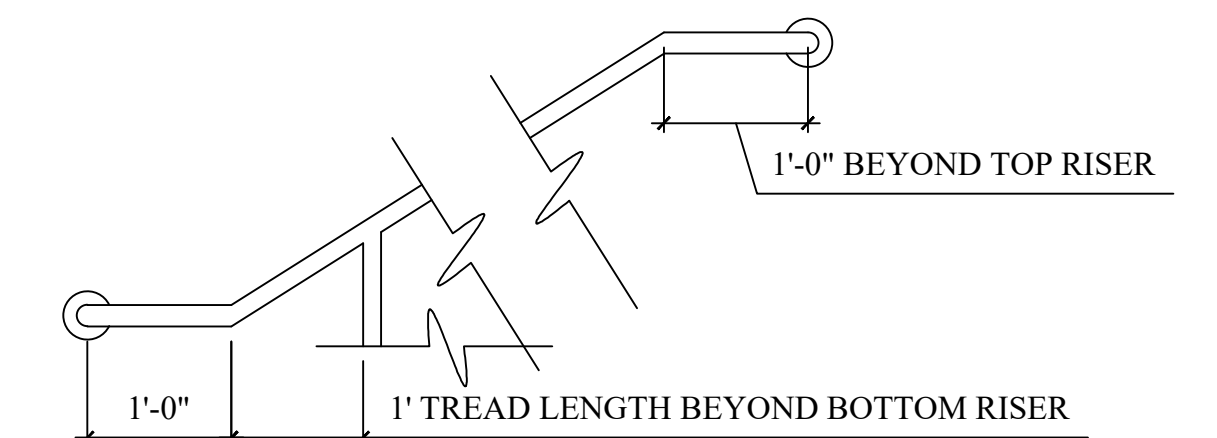


**1** FIRST FLOOR STAIR #1- UNIT #1  
1/4"=1'-0"

**UNIT #1- ENLARGED STAIR PLANS**



**CENTER HAND BOTTOM EXTENSION RAIL DETAIL E (TYP.)**  
SCALE: 1" = 1' - 0"



**WALL HAND RAIL EXTENSION DETAIL F (TYP.)**  
SCALE: 1" = 1' - 0"

LIGHTHOUSE ARCHITECTURE  
188 ALLEN ST BRANTREE MA 02152  
J. Edward Roche, AIA  
617-512-9281 - eroche@lighthousearch.com  
Gavin Driscoll, Project Manager  
781-801-2690 - gavin@lighthousearch.com

DATE: 10/24/2023  
SCALE: AS NOTED  
DRAWN BY: GSD + MT  
CHECKED BY: JER

SCHEMATIC FLOOR PLANS AND SECTIONS

PROPOSED THREE FAMILY TOWNHOUSE  
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