

GENERAL NOTES

1. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, STANDARD FORM OF THE AMERICAN INSTITUTE OF ARCHITECTS, CURRENT EDITION, SHALL APPLY TO ALL WORK IN THIS CONTRACT, EXCEPT AS SPECIFICALLY MODIFIED BELOW AND/OR BY THE AGREEMENT.
2. THE GENERAL CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE ESTIMATING THE CHRONOLOGICAL PHASES OF HIS/HER WORK, AND ALL RELATED WORK FOR THE COMPLETION OF THE PROJECT. THE SCHEDULE SHALL INDICATE ORDERING LEAD TIMES, LENGTH OF TIME FOR EACH PHASE, ITS START AND COMPLETION, WITH A PROJECTED COMPLETION DATE.
3. ALL MATERIALS, ASSEMBLIES, SERVICE EQUIPMENT, FORMS AND METHODS OF CONSTRUCTION, AS WELL AS THE WORK PERFORMED BY THE GENERAL CONTRACTOR, HIS SUB-CONTRACTORS, OR ANY OTHER CONTRACTOR, SHALL COMPLY WITH THE REQUIREMENTS OF MUNICIPAL, LOCAL, AND FEDERAL STATE LAWS, INCLUDING THE REQUIREMENTS OF THE MASS. BUILDING CODE, THE CITY OF BOSTON, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
4. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE AS THE JOB PROCEEDS AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES. ADDENDA WILL BE ISSUED AS NECESSARY AND WILL BECOME PART OF THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL PERFORM ALL WORK SHOWN ON THE DRAWINGS AND SPECIFICATIONS UNLESS SPECIFICALLY INDICATED "BY OTHERS".
5. WHERE THE CONTRACT, NOTES, OR DRAWINGS CALL FOR ANY WORK OF A MORE STRINGENT NATURE THAN THAT REQUIRED BY THE BUILDING CODE OR ANY DEPARTMENT HAVING JURISDICTION OVER THE WORK, THE WORK OF THE MORE STRINGENT NATURE CALLED FOR BY THE CONTRACT, NOTES, OR DRAWINGS SHALL BE FURNISHED IN ALL CASES.
6. ALL DRAWINGS AND CONSTRUCTION NOTES AND SPECIFICATIONS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY DRAWING SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.
7. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE GENERAL CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS AND SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. SEE SEPARATE STRUCTURAL ENGINEERING DRAWINGS FOR SIZES AND LOCATIONS OF STRUCTURAL MEMBERS, TYPICAL.
9. EACH CONTRACTOR SHALL MAKE ALL REQUIRED ARRANGEMENTS FOR DELIVERY OF EQUIPMENT AND/OR MATERIALS. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRANSPORTATION CHARGES ON ALL HIS MATERIAL TO THE POINT OF USE, AND SHALL BE RESPONSIBLE FOR ALL UNLOADING, CHECKING, AND STORAGE OF SUCH MATERIAL.
10. THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIAL, BOTH FROM HIS OWN AND OTHER SUBCONTRACTORS' EMPLOYEES, INCLUDING THAT RUBBISH WHICH IS A BY-PRODUCT OF CABINET INSTALLATION, APPLIANCES, TELEPHONE COMPANY INSTALLATION, ETC.
11. THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED, INSTALLED, AND CONNECTED WHERE REQUIRED TO PRODUCE A FULLY OPERABLE UNIT.
12. WHERE THE TERMS "APPROVED EQUAL", "EQUAL TO", "OR EQUAL", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF THE ARCHITECT AND OWNER.
13. THE GENERAL CONTRACTOR SHALL SUBMIT ALL FABRICATION SHOP DRAWINGS AND FIXTURE CUTS WHERE REQUIRED TO THE ARCHITECT FOR APPROVAL. ALL SHOP DRAWINGS AND CUTS SIGNED "APPROVED" SHALL SUPERSEDE ORIGINATING DRAWINGS IN DESIGN APPEARANCE ONLY. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS IN THEIR DRAWINGS.
14. ALL WOODWORK, BLOCKING, GROUNDS, FIRE-STOPPING, ETC. TO BE INSTALLED AS REQUIRED BY ALL APPLICABLE CODES.
15. THE GENERAL CONTRACTOR SHALL PROPERLY PROTECT ANY ADJOINING PROPERTY OR WORK AND ANY DAMAGE TO IT CAUSED BY HIS WORK OR WORKMEN SHALL BE MADE GOOD WITHOUT DELAY. THE COST OF PATCHING AND REPLACING OF SUCH DAMAGED WORK SHALL BE BORNE BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL ALSO PROVIDE ALL NECESSARY PROTECTION FOR HIS OWN WORK UNTIL FINAL COMPLETION.
16. THE CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPES OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.
17. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS AT THE SITE DURING CONSTRUCTION FOR USE OF ALL TRADES. ALL CONTRACTORS SHALL BE FAMILIAR WITH ALL DRAWINGS AND SPECIFICATIONS.
18. APPLIANCES, FIXTURES, AND EQUIPMENT SUPPLIED BY OWNER SHALL BE DELIVERED TO THE BUILDING BY OWNER, BROUGHT INTO THE JOB SITE AND INSTALLED BY GENERAL CONTRACTOR AS PER MANUFACTURERS SPECIFICATIONS. COORDINATE WITH OWNER FOR SPECIFIC ITEMS, SIZES AND REQUIREMENTS, DELIVERY TIMES, AND DATES.
19. USE OF ANY DESIGN SHOWN ON THESE DRAWINGS FOR ANY PURPOSE OTHER THAN THIS PROJECT IS UNAUTHORIZED.
20. PLUMBING, MECHANICAL, HVAC, ELECTRICAL, AND FIRE PROTECTION WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
21. ALL BUILDING MATERIALS STORED AT THE CONSTRUCTION AREA, AND/OR ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND GENERAL CONTRACTOR.
22. CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 7 AM TO 6 PM, MONDAYS THROUGH SATURDAYS, OR AS ALLOWED BY THE OWNER AND LOCAL REGULATIONS. NOTE THAT ADJACENT PROPERTIES MAY SHARE PARTY WALLS AND THE GENERAL CONTRACTOR SHALL ENDEAVOR TO KEEP NOISE AND VIBRATION TO A MINIMUM.
23. DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS AND/OR SIZES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MEASURING EXISTING FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND PERIODICALLY DURING PROGRESS OF WORK TO VERIFY ALL CRITICAL DIMENSIONS. ANY DEVIATION FROM DIMENSIONS INDICATED ON DRAWINGS IS TO BE APPROVED BY THE ARCHITECT.
24. ANY CHANGES OR MODIFICATIONS, WHICH DEVIATE FROM THE INTENT OF PLANS, MUST BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION. CHANGES AFFECTING THE AGREED UPON CONTRACT SUM MUST BE APPROVED IN WRITING PRIOR TO CONSTRUCTION ALONG WITH ALTERED SCHEDULE OF VALUES FOR SAID WORK.
25. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, FILE ALL CERTIFICATIONS OF INSURANCE AND PROVIDE ANY AND ALL BONDS NECESSARY (INCLUDING SIDEWALK BOND IF REQUIRED), AND SHALL PAY FOR SAME PRIOR TO THE START OF WORK. HE IS TO PERFORM AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS DURING THE COURSE OF THE WORK.
26. ALL WORK, FOR ALL TRADES, SHALL BE DONE IN A FIRST CLASS MANNER BY EXPERIENCED MECHANICS, SKILLED IN THEIR TRADE.
27. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ASCERTAINING COMPATIBILITY OF ALL HIS MATERIALS AND ASSEMBLIES, AND GUARANTEES SUCH.
28. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN AND ORGANIZED SITE, FREE OF ALL DEBRIS AT THE CLOSE OF EACH WORKING DAY. SMOKING IS NOT TO BE PERMITTED. UPON FINAL ACCEPTANCE OF THE WORK AT JOB CLOSE OUT LEAVE PREMISES "BROOM CLEAN", REMOVE LABELS WHICH ARE NOT PERMANENT, CLEAN PLUMBING FIXTURES (FREE OF STAINS), CLEAN REGISTERS, LIGHT FIXTURES, AND GLASS.
29. CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO OTHER PORTIONS OF THE BUILDING WITHOUT PRIOR APPROVAL AND NOTICE FROM THE OWNER.
30. ALL REQUIRED EXITS, WAY OF APPROACH THERETO, AND WAY OF TRAVEL FROM THE EXITS TO THE STREET SHALL CONTINUOUSLY BE MAINTAINED FREE FROM ALL OBSTRUCTIONS AND IMPEDIMENTS FOR UNOBSTRUCTED EGRESS IN CASE OF FIRE OR OTHER EMERGENCY.
31. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM THE ESTABLISHED DATE OF SUBSTANTIAL COMPLETION, UNLESS OTHERWISE NOTED, OR FROM THE DATE OF FINAL ACCEPTANCE OF THE INSTALLATION. ANY PORTION OF THE WORK, WHICH DEVELOPS DEFECTS DURING THAT TIME, SHALL BE REPLACED OR REPAIRED IN A MANNER SATISFACTORY TO THE OWNER AT NO ADDITIONAL COST.

LIST OF DRAWINGS

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- EX-1.1 EXISTING/DEMO FIRST FLOOR PLAN
- EX-1.2 EXISTING/DEMO SECOND FLOOR AND ROOF PLAN
- EX-2.1 EXISTING/DEMO ELEVATIONS
- S-0 STRUCTURAL NOTES*
- S-1 STRUCTURAL PLANS*

*SURVEY BY:
 CCR ASSOCIATES
 40 MEARS AVENUE
 QUINCY, MA 02169
 617 769 0111

*STRUCTURAL ENGINEERING BY:
 LeBRASSEUR ENGINEERING
 23 PLEASANT STREET
 NEWTON CENTRE, MA 02459
 617 965 5955



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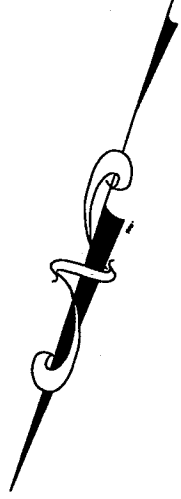
6 Saint James Place
 Boston, MA

Roof &
 Interior Remodel

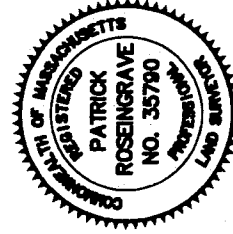
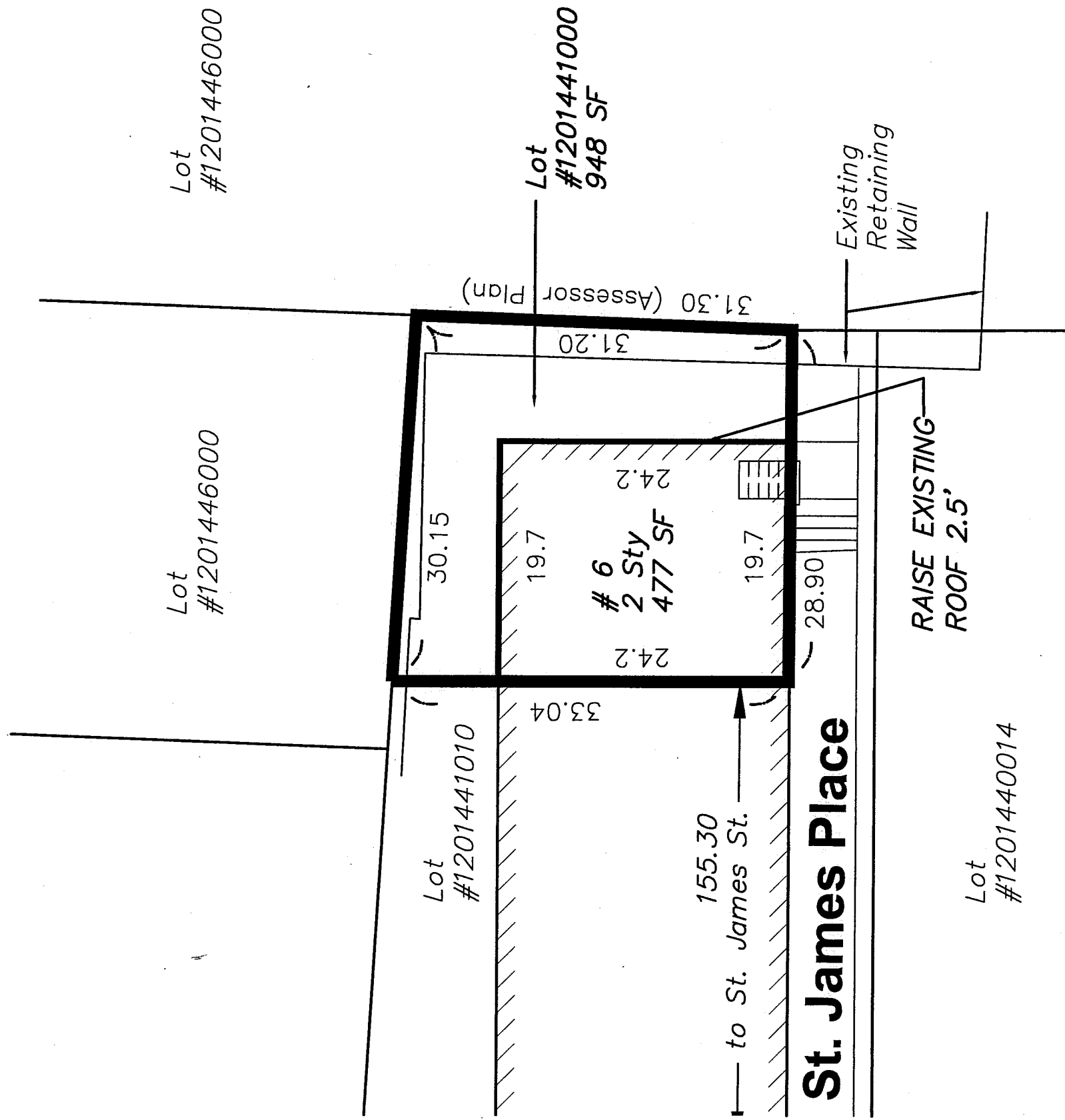


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| SCALE | As noted |
| DATE | 5-30-17 |
| JOB NO. | 1706 |
| DRAWING NO. | T-1 |

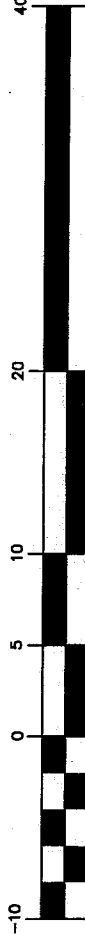


Owner:
 King of St. James, LLC
 1243 Commonwealth Ave.
 Allston, MA 02134



Patrick Rosegrave

GRAPHIC SCALE



(IN FEET)
 1 inch = 10 ft.

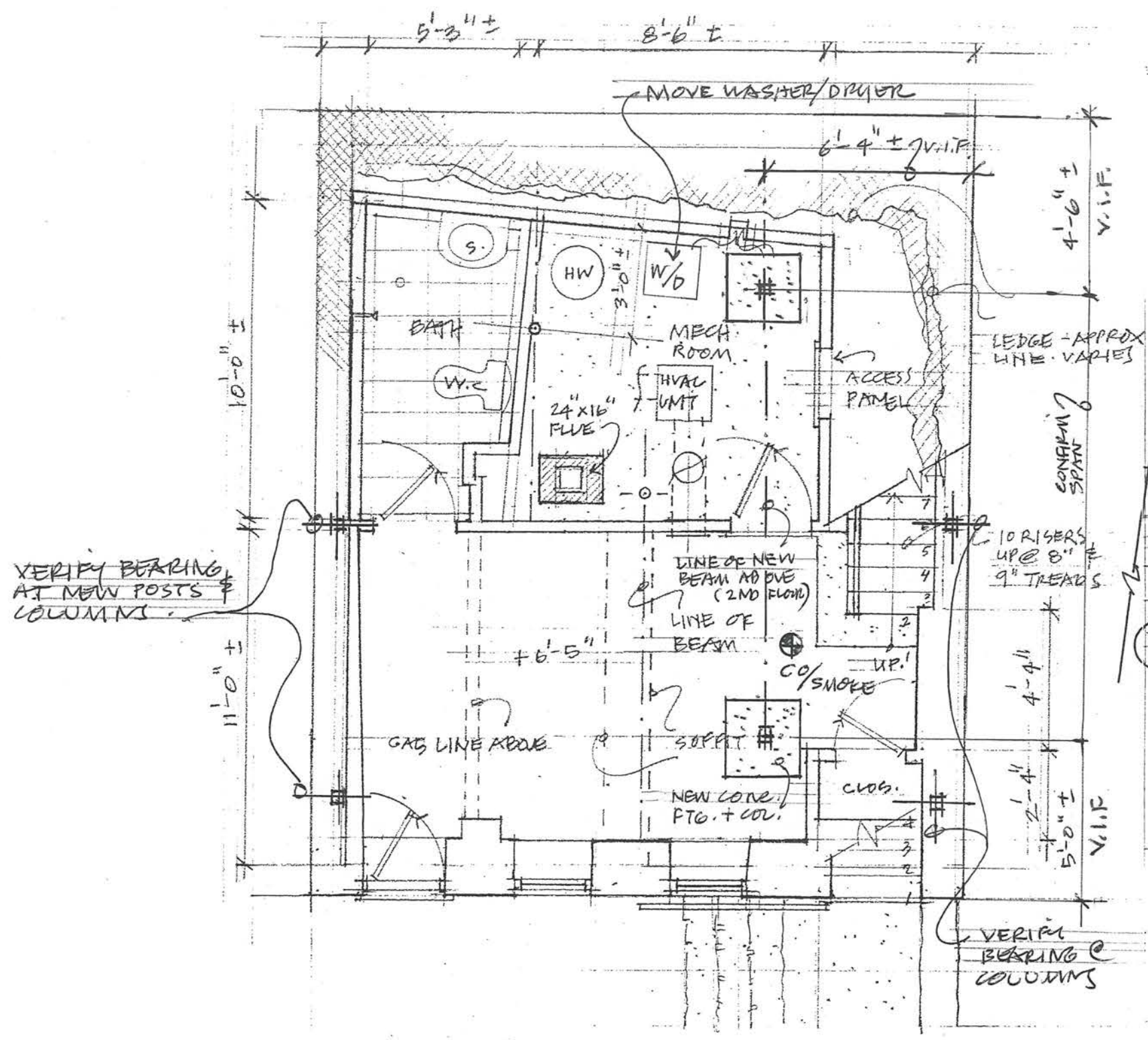
Proposed Roof Renovation

6 St. James Place
 Boston (Roxbury), MA

Plan Prepared by:
 CCR Associates
 Civil Engineers & Land Surveyors
 40 Mears Ave.,
 Quincy, Ma. 02169
 Phone 617-769-0111

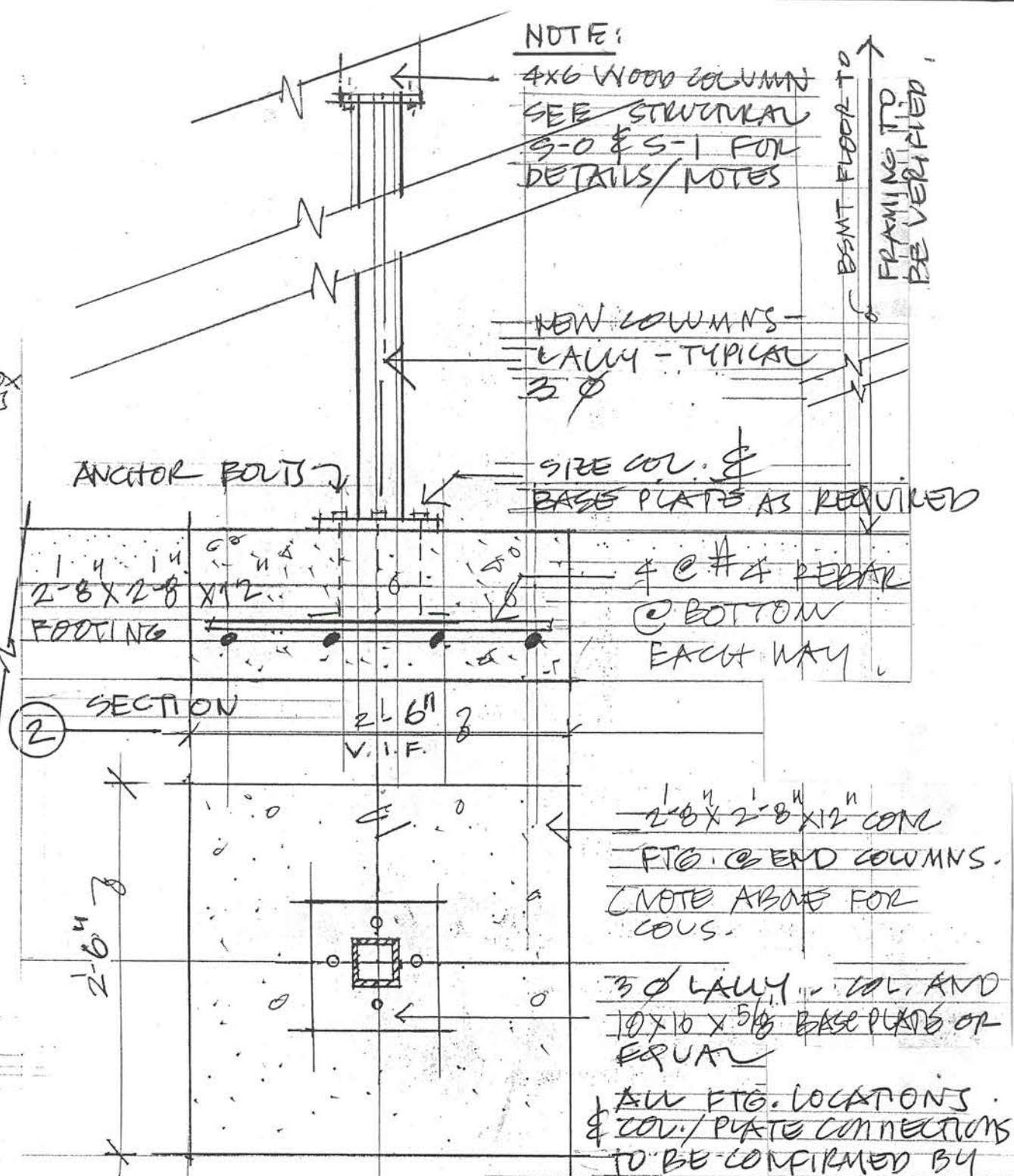


Date: May 29, 2017



VERIFY BEARING AT NEW POSTS & COLUMNS

① BASEMENT LEVEL
SCALE: 1/4" = 1'-0"



③ PROPOSED PLAN, @ NEW FOOTINGS - ENGINEER
SCALE: 1" = 1'-0"

SHEET 3 OF 12

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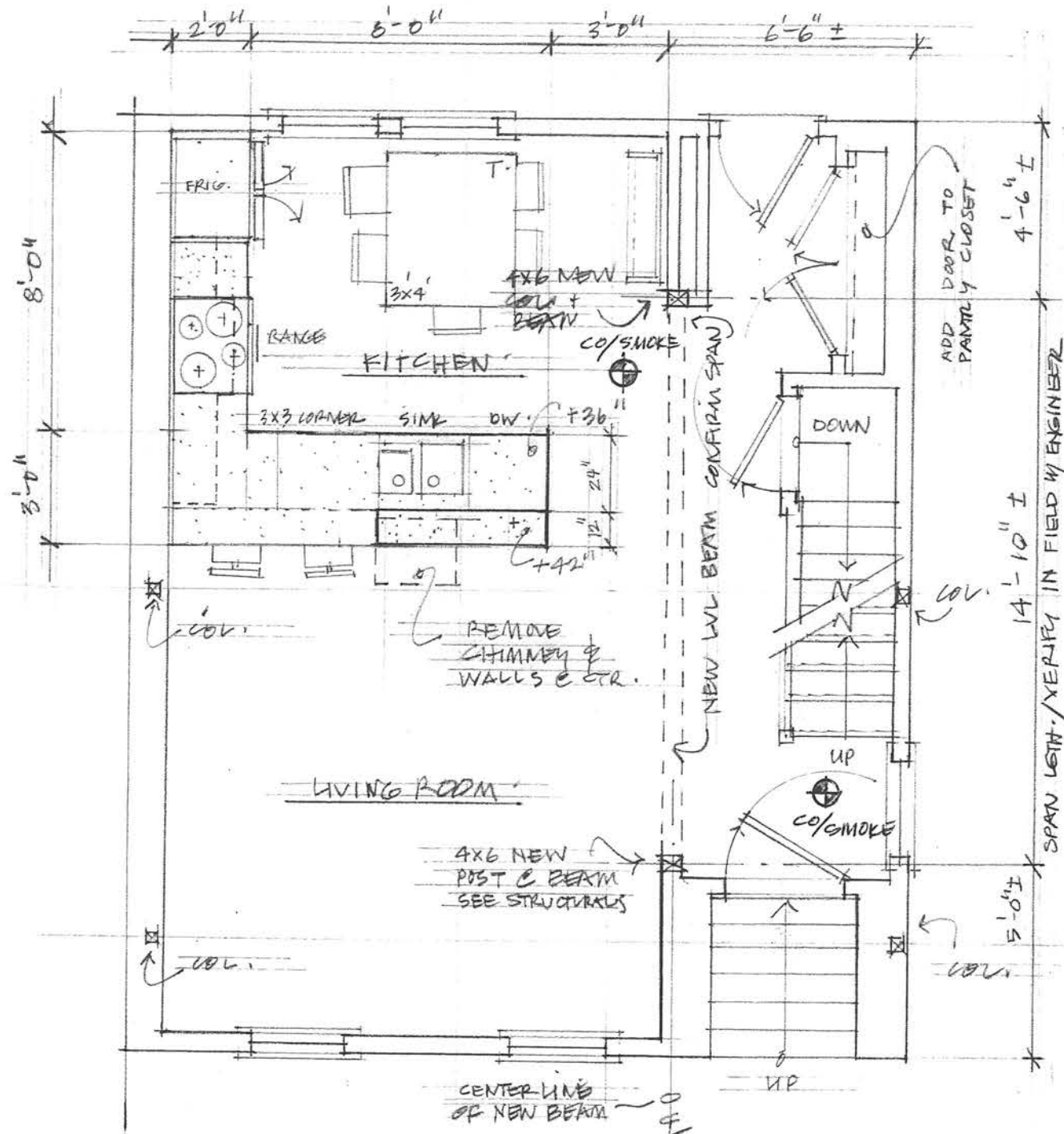
6 SAINT JAMES PLACE
BOSTON, MA

PROPOSED BASEMENT
PLAN, SECTION

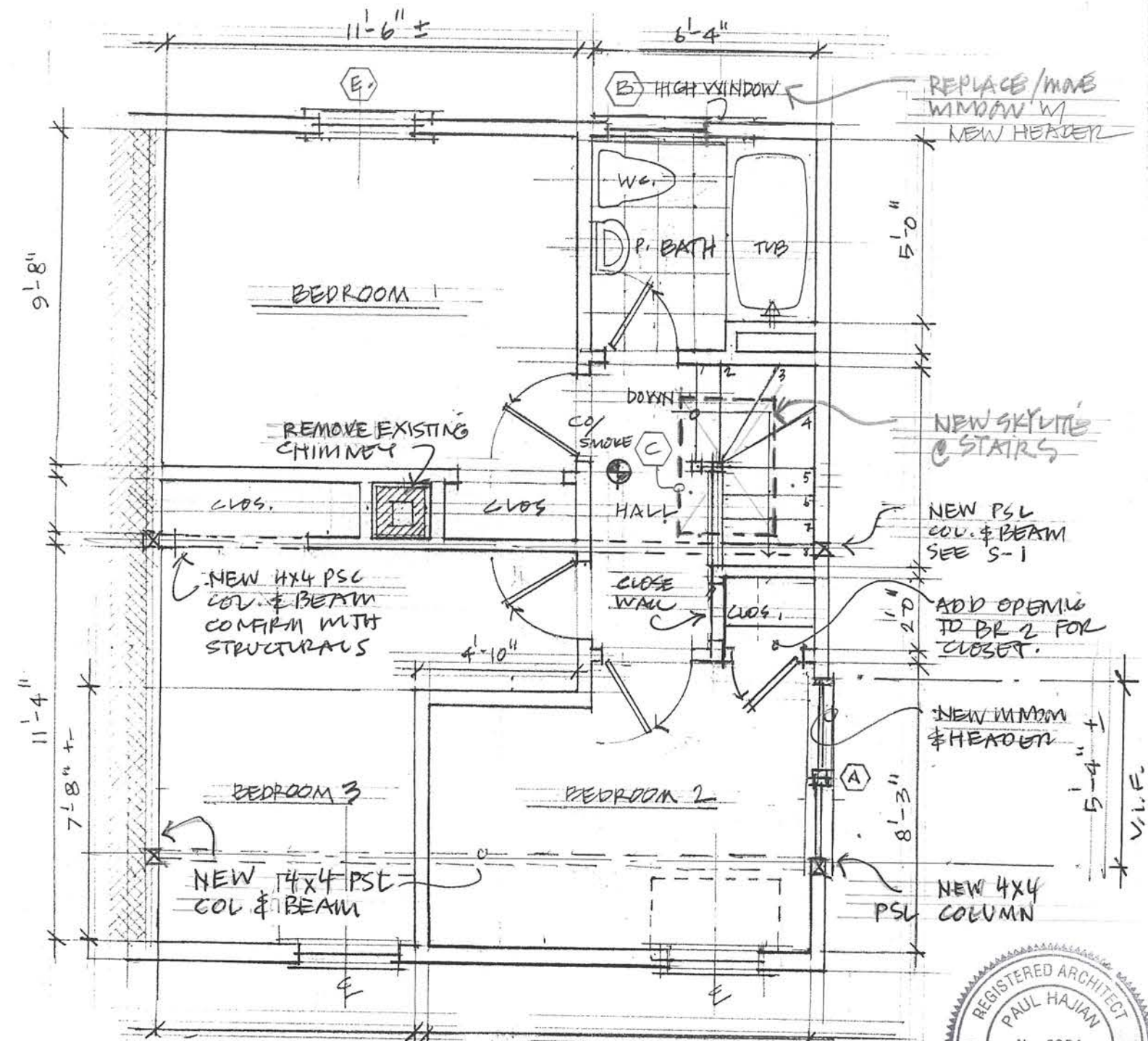


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| DRAWING NO. A-1.0 |



FIRST FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



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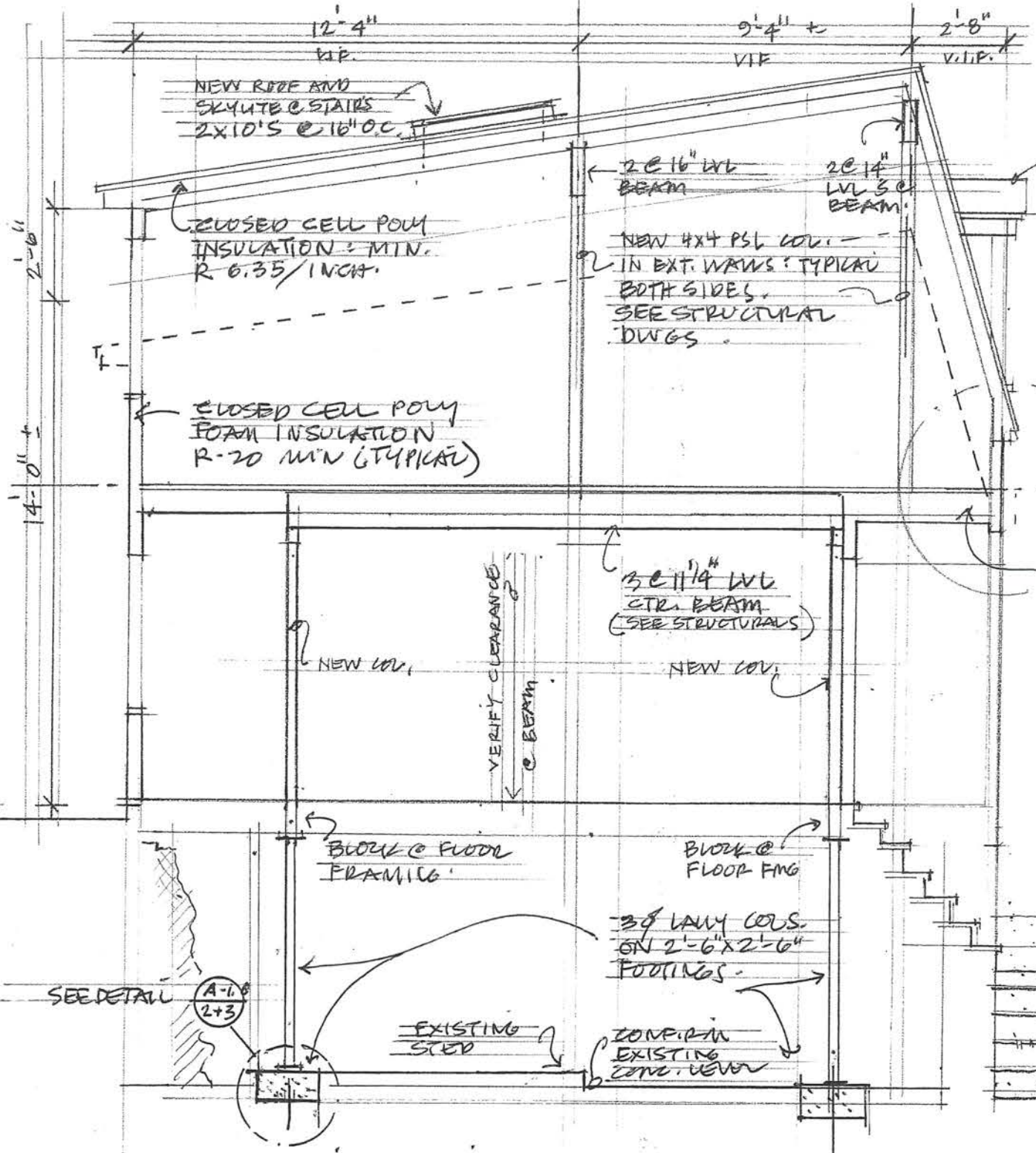
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PROPOSED FIRST & SECOND FLOOR PLANS

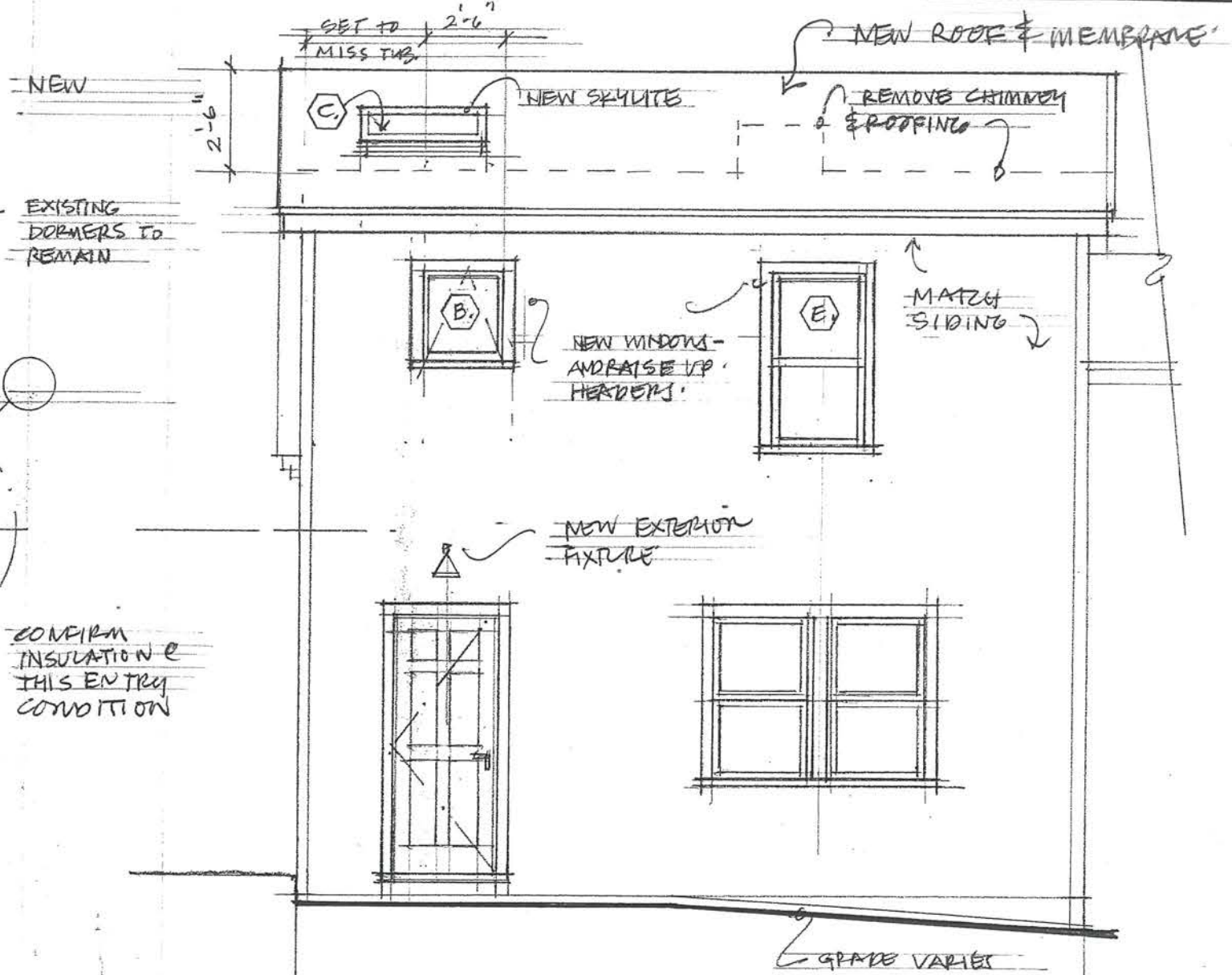
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| SCALE | 1" = 4'-0" |
| DATE | 5-30-17 |
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| DRAWING NO. | A-1.1 |



○ SIDE PARTIAL SECTION: PROPOSED
SCALE: 1/4" = 1'-0"



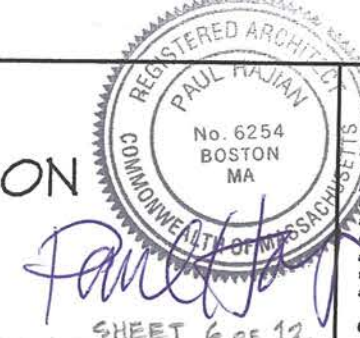
○ REAR ELEVATION: PROPOSED
SCALE: 1/4" = 1'-0"



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PROPOSED
ELEVATION, SECTION

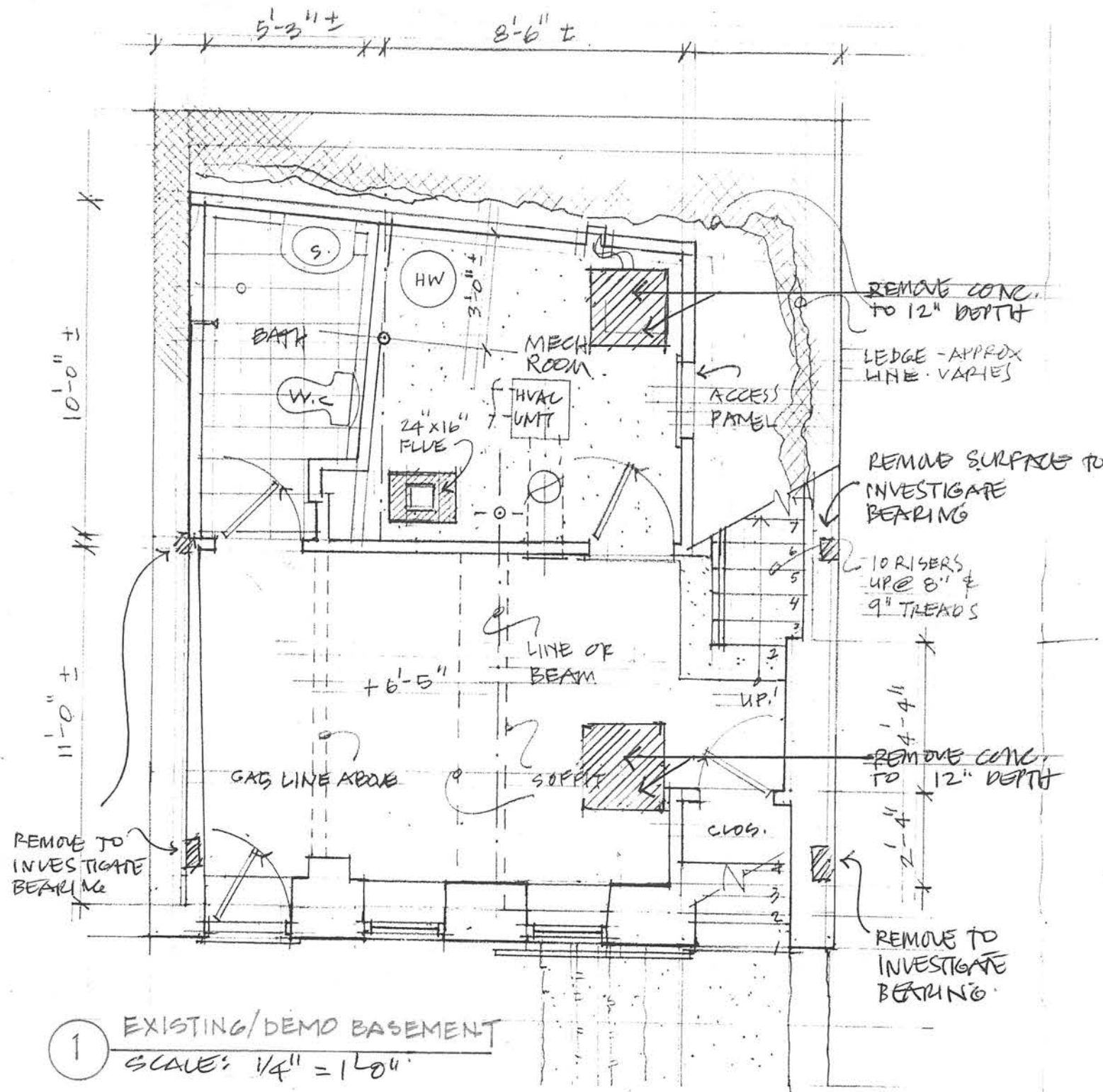


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| SCALE | 1" = 4'-0" |
| DATE | 5-30-17 |
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| DRAWING NO. | A-1.3 |

DEMO NOTES

1. THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED IN THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK, INCLUDING THE PROCUREMENT OF ALL NECESSARY PERMITS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
2. THE GENERAL CONTRACTOR SHALL PROTECT THE CONDITION OF THE EXISTING AND ADJACENT BUILDINGS, EQUIPMENT AND MATERIALS TO REMAIN, GROUNDS, AND BUILDING SERVICES DURING THE CONSTRUCTION AND DEMOLITION PROCESS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. ALL EXPOSED LIGHT FIXTURES, WIRING, SWITCHES, ETC. NOT BEING REUSED SHALL BE REMOVED AND CARTED AWAY. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS EXCEPT FOR THOSE ITEMS TO BE REUSED OR RETURNED TO THE OWNER OR AS OTHERWISE DIRECTED. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION WORK.
4. ABSOLUTELY NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
5. THE GENERAL CONTRACTOR SHALL PERFORM ALL DEMOLITION TASKS WITH CAUTION, AS EXISTING STRUCTURAL SYSTEMS CANNOT BE CONFIRMED UNTIL DEMOLITION IS BEGUN. ANY HIDDEN STRUCTURAL SYSTEMS, WHICH ARE UNCOVERED AND MANDATE A CHANGE IN THE NEW FRAMING LAYOUT, SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER AND ARCHITECT PRIOR TO CONTINUING WITH THE WORK.
6. THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF THE MASS. BUILDING CODE, THE CITY OF BOSTON, AND ALL THOSE HAVING JURISDICTION FOR DEMOLITION AND REMOVAL OF DEBRIS. ALL EXISTING WORK TO REMAIN SHALL BE PREPARED FOR INTEGRATION OF NEW CONSTRUCTION AND FINISH.
7. DEMOLITION OPERATIONS SHALL BE PERFORMED BETWEEN THE HOURS OF 7AM AND 6PM, OR AS ALLOWED BY LOCAL REGULATIONS. CONFIRM WITH OWNER AND ALERT ADJACENT NEIGHBORS PRIOR TO OPERATIONS INVOLVING EXCESSIVE NOISE AND VIBRATION.
8. THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, PLATES, BRIDGES, OR ANY TELEPHONE OR ELECTRICAL WIRING AND EQUIPMENT.
9. THE GENERAL CONTRACTOR SHALL REMOVE OR RELOCATE ALL WIRING, PLUMBING, ELECTRICAL AND MECHANICAL EQUIPMENT BEING ABANDONED, IF ANY. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
10. THE GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION (TARP ROOF AND/OR WALLS AS REQUIRED). ALL TOOLS AND BUILDING MATERIALS SHALL BE SECURED IN A SAFE LOCATION.
11. THE GENERAL CONTRACTOR SHALL PROTECT THE ADJACENT SPACES FROM DUST, DIRT, FUMES, NOISE, ETC. GENERATED BY THE DEMOLITION AND CONSTRUCTION WORK AND SHALL REMOVE DEBRIS GENERATED BY THE CONSTRUCTION FROM THE EXTERIOR OF THE BUILDING.
12. EXISTING LANDSCAPING, WALKWAYS, DRIVEWAYS, SHRUBS, TREES, ETC. TO REMAIN ARE TO BE PROTECTED DURING THE CONSTRUCTION AND DEMOLITION PROCESS. DUMPSTERS SHALL ONLY BE LOCATED AS ALLOWED BY LOCAL REGULATIONS. IF STREET DUMPSTERS ARE EXPECTED, ALL PERMIT AND PARKING FEES SHALL BE THE RESPONSIBILITY OF THE ASSOCIATED CONTRACTOR.
13. ITEMS INDICATED TO BE SET ASIDE ARE TO BE REMOVED WITH CARE TAKEN TO PROTECT ITEMS FROM DAMAGE (WINDOWS, DOORS, ETC.) - CONFIRM ITEMS WITH OWNER. PRIOR TO RELOCATION OF EXISTING UTILITIES (GAS METERS, ELECTRIC METERS, WATER METERS, ETC.) ALL APPROVALS FROM UTILITY AGENCIES SHALL BE IN HAND. COORDINATE AS NECESSARY WITH UTILITY.
14. SEE DEMO AND PROPOSED DRAWINGS TO DETERMINE EXTENT OF DEMOLITION WORK REQUIRED AND COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION IN ORDER TO MINIMIZE IMPACTING THE EXISTING STRUCTURE.



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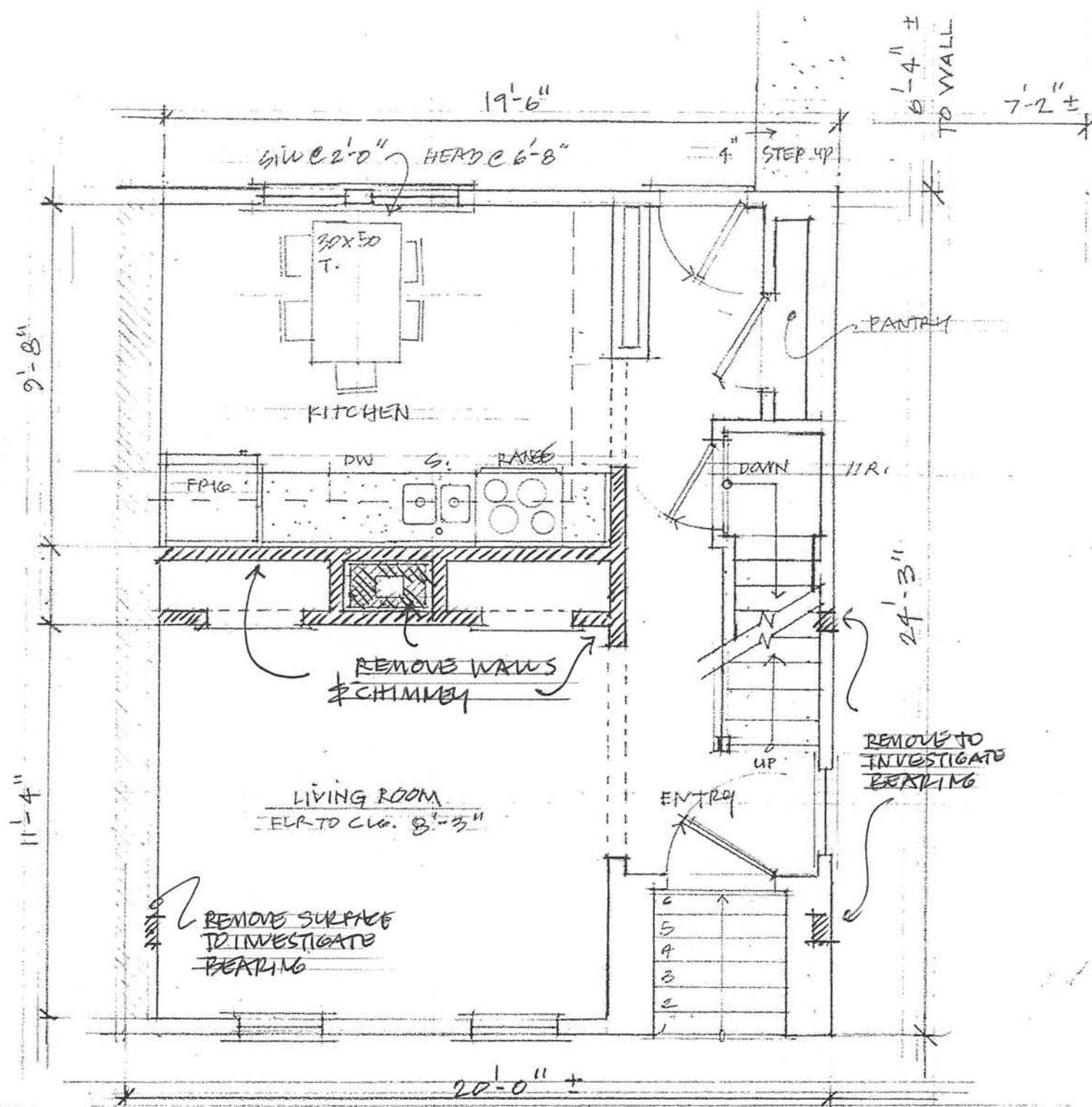
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Demo Basement Plan
 Demo Notes



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| DRAWING NO. | EX-1.0 |



○ FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 [Hatched Area] DENOTES WALLS TO BE REMOVED

SHEET 8 of 12



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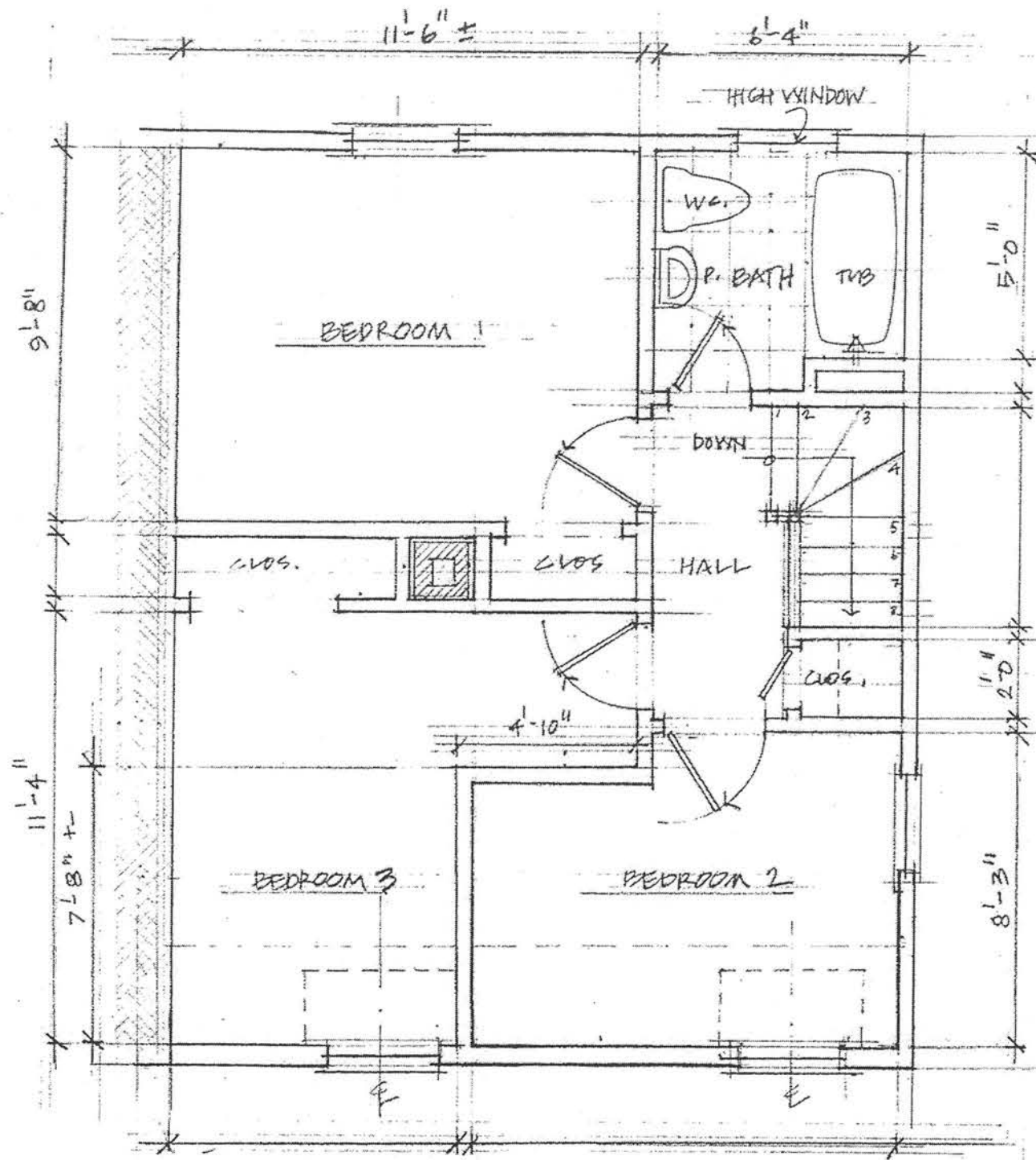
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EXISTING / DEMO FIRST FLOOR PLAN

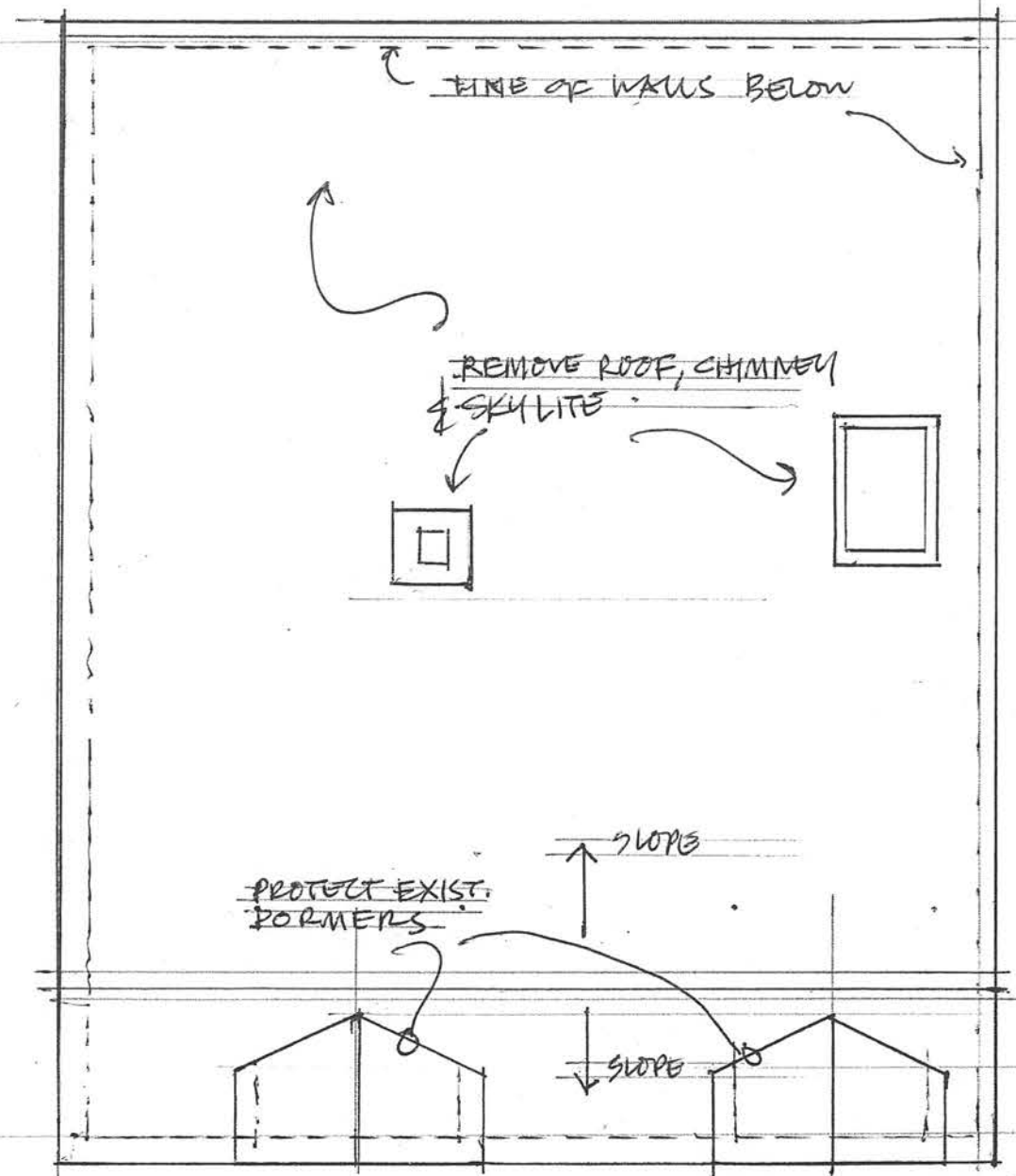


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| DRAWING NO. EX-1.1 |



○ SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



○ ROOF PLAN
SCALE: 1/4" = 1'-0"

NOTE: DORMERS & MANSARD TO REMAIN
SHOULD AS REQ'D TO
ACCEPT NEW FRAMING
SEE STRUCTURALS



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EXISTING / DEMO SECOND FLOOR & ROOF PLAN

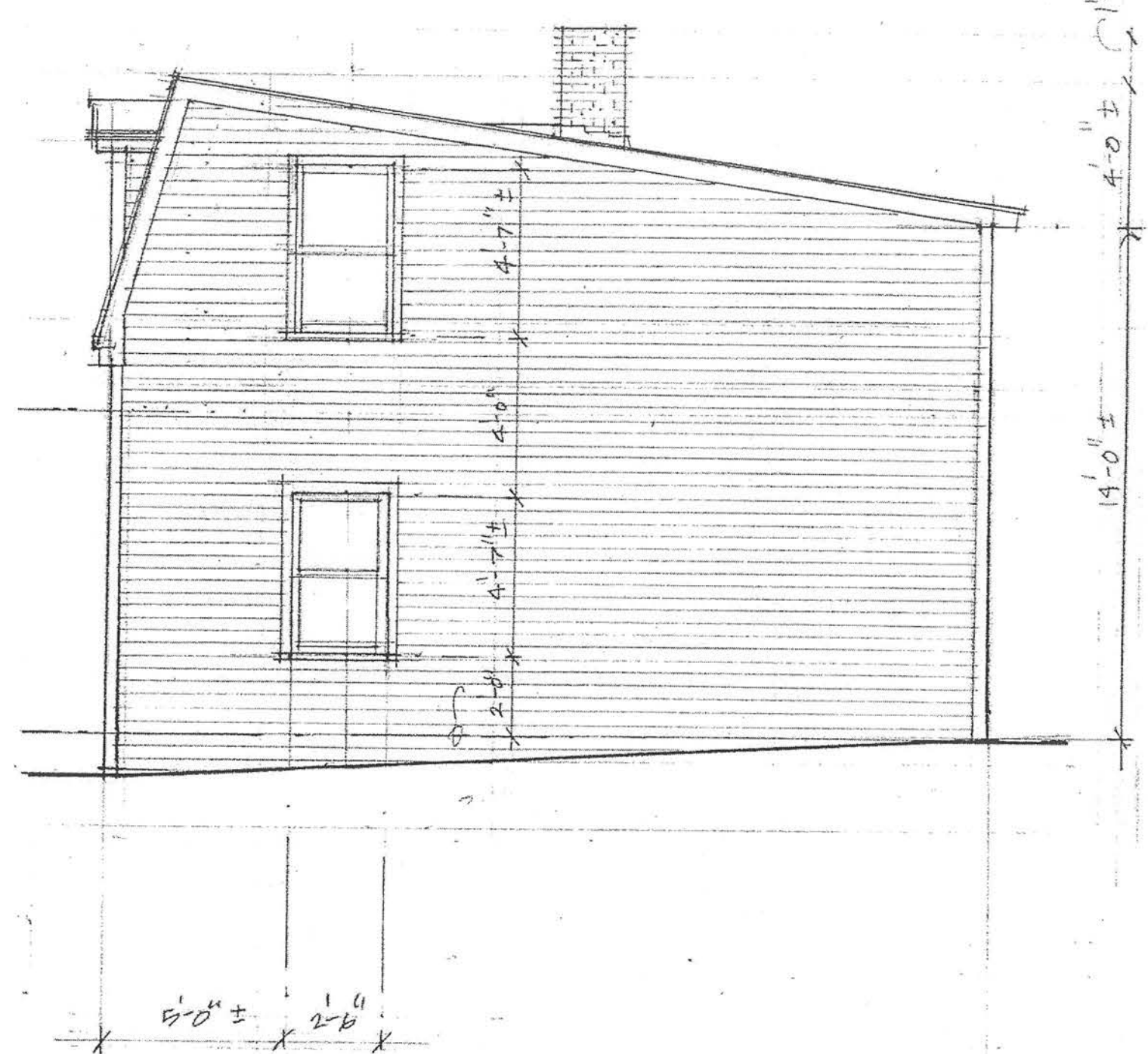


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| DRAWING NO. | EX-1.2 |



○ FRONT ELEVATION: EXISTING
SCALE: 1/4" = 1'-0"



○ SIDE ELEVATION: EXISTING
SCALE: 1/4" = 1'-0"



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EXISTING / DEMO
ELEVATIONS



SHEET 10 OF 12

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| DRAWING NO. EX-2.1 |

STRUCTURAL DRAWINGS

6 SAINT JAMES PLACE, BOSTON, MA



LeBrasseur Engineering
23 Pleasant Street
Newton Centre, MA 02459
t 617-965-5955
f 617-965-5962
lebrasseurengineering.com

6 SAINT JAMES PLACE
BOSTON, MA

STRUCTURAL NOTES

STRUCTURAL NOTES

GENERAL STRUCTURAL:

- THESE DRAWINGS ARE FOR THE MODIFICATION OF THE SECOND FLOOR FRAMING AND ROOF FRAMING OF EXISTING STRUCTURE. THE STRUCTURE WAS DESIGNED IN ACCORDANCE WITH THE EIGHTH EDITION OF THE MASSACHUSETTS STATE BUILDING CODE & INTERNATIONAL RESIDENTIAL CODE 2009.
- NOTIFY THE ENGINEER WHEN CONDITIONS UNCOVERED DURING CONSTRUCTION ARE UNANTICIPATED, VARY FROM THE DRAWINGS OR APPEAR TO PRESENT A DANGEROUS CONDITION.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS AND COMMENCING WITH CONSTRUCTION AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- UNLESS OTHERWISE NOTED, DETAILS SHOWN ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS AND SITUATIONS.
- STABILIZE ALL CONSTRUCTION MEMBERS, WALLS AND FRAMES DURING ALL PHASES OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE SHORING AND/OR BRACING TO SAFELY SUPPORT THE BUILDING DURING CONSTRUCTION. ANY APPROVAL BY THE ENGINEER SHALL NOT RELIEVE THE CONTRACTOR OF FULL RESPONSIBILITY FOR SHORING AND/OR BRACING.
- FOOTINGS SHALL BE FOUNDED ON UNDISTURBED, INORGANIC GRANULAR SOIL HAVING A MINIMUM BEARING CAPACITY OF 2.0 TONS PER SQUARE FOOT. IF EXISTING MATERIAL IS FOUND TO BE UNSUITABLE, IT SHALL BE REMOVED AND REPLACED WITH GRAVEL FILL. SUCH FILL SHALL BE COMPACTED TO 98 PERCENT OF THE MAXIMUM DRY DENSITY AS PER ASTM D698-78. UNDER NO CIRCUMSTANCES SHALL THE FOUNDATION CONCRETE BE PLACED IN WATER OR ON FROZEN GROUND.
- EXCAVATIONS FOR FOOTINGS SHALL BE FINISHED BY HAND.

CONCRETE:

- CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE (ACI) ACI, (LATEST EDITION), SPECIFICATIONS FOR STRUCTURAL CONCRETE, EXCEPT AS MODIFIED BELOW:
 - UNLESS NOTED OTHERWISE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 psi UNLESS NOTED @ 28 DAYS AND A MAXIMUM SLUMP OF 5".
 - CONCRETE SHALL HAVE A MAXIMUM AGGREGATE SIZE OF 3/4" & AN AIR-CONTENT OF 5 ±1%.
 - REINFORCING STEEL SHALL CONFORM TO ASTM, GRADE 615, GRADE 60.
 - CLEARANCE OF REINFORCING STEEL FROM ADJACENT SURFACES SHALL BE 3" WHEN CASTING AGAINST GROUND AND 2" ELSEWHERE.
 - PROVIDE AND INSTALL ALL NECESSARY TIE BARS, SPACER BARS, CHAIRS, BOLSTERS, HIGH CHAIRS AND OTHER ACCESSORIES NECESSARY TO HOLD STEEL SECURELY IN PLACE.
 - MINIMUM LAP SPlicing OF BARS SHALL BE 24".
 - WELDED WIRE FABRIC SHALL BE 6x6-W1.4 xW1.4, CONFORMING TO THE REQUIREMENTS OF ASTM A185. USE SHEETS, NOT ROLLS AND A 6" MINIMUM OVERLAP OF SHEETS.
- CONCRETE SHALL BE Poured CONTINUOUSLY WITH NO "COLD JOINTS" AND ADEQUATELY VIBRATED TO PREVENT AIR POCKETS AND HONEYCOMB EFFECTS.
- UNLESS NOTED OTHERWISE, FOUNDATION WALL ANCHOR BOLTS TO BE 1/2" x10" LONG AND SPACED AT 32" O.C. LOCATE THE BOLTS NOT MORE THAN 1'-0" FROM SPLICES AND FOUNDATION CORNERS AND PRE-SET INTO CONCRETE.

STEEL:

- STRUCTURAL STEEL TO BE NEW AND CONFORM TO THE FOLLOWING:

| | | YIELD STRESS |
|------------------|-------------------------|--------------|
| BEAMS: | ASTM A529, A572 OR A992 | 50,000 psi |
| PIPE COLUMNS: | A500, GRADE B OR C | 42,000 psi |
| TUBING: | A500, GRADE B OR C | 46,000 psi |
| ANGLES & PLATES: | ASTM A-36 | 36,000 psi |
- COMMON BOLTS AND NUTS SHALL CONFORM TO ASTM A307.
- METAL CONNECTIONS AND TIES SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE, OR OTHER EQUIVALENT MANUFACTURER.
- INSTALL METAL JOIST HANGERS AT ENDS OF ALL FLUSH-FRAMED JOISTS.

WOOD:

- ENGINEERED LUMBER TO BE INSTALLED ACCORDING TO SPECIFICATIONS AND RECOMMENDATIONS BY THE MANUFACTURER. SIZES SHALL BE AS SHOWN ON THE DRAWINGS. LVL MATERIAL SHALL HAVE THE FOLLOWING PROPERTIES:
 $F_b = 3100 \text{ psi}$ $F_v = 285 \text{ psi}$ $E = 2,000,000 \text{ psi}$
 UNLESS OTHERWISE SHOWN, THE TOP EDGE OF LVL BEAMS SHALL BE CONTINUOUSLY Laterally SUPPORTED.
- SEE MANUFACTURER'S SPECIFICATIONS FOR FASTENING LVL PLIES TOGETHER. OTHERWISE LVL'S WITH FLUSH-FRAMED JOISTS SHALL BE ASSEMBLED PER MANUFACTURER'S RECOMMENDATIONS OR HAVE 1/2" THRU-BOLTS SPACED AT 16" AND STAGGERED TOP AND BOTTOM. EDGE DISTANCE TO BOLTS SHALL BE 1 1/2".
- CONTRACTOR IS REMINDED THAT LVL'S HAVE BEEN PRESHRUNK AND SHALL DETAIL CONNECTIONS AT LVL'S TO ACCOUNT FOR THE ANTICIPATED SHRINKAGE OF DIMENSIONAL LUMBER.
- UNLESS OTHERWISE SHOWN, FRAMING LUMBER SHALL BE SPRUCE-PINE-FIR (S-P-F), NUMBER 2, OR BETTER, WITH A MAXIMUM MOISTURE CONTENT OF 19%. LUMBER SHALL HAVE THE FOLLOWING MINIMUM STRUCTURAL PROPERTIES:
 $F_b=1000 \text{ psi}$ (Repetitive use), $F_b=875 \text{ psi}$ (Single use), $F_v=135 \text{ psi}$,
 $E=1,400,000 \text{ psi}$
- UNLESS OTHERWISE SHOWN, COLUMN LUMBER SHALL BE SPRUCE-PINE-FIR (S-P-F), NUMBER 2, OR BETTER, WITH A MAXIMUM MOISTURE CONTENT OF 19% AND THE FOLLOWING MINIMUM STRUCTURAL PROPERTIES:
 4" Thick $F_c=1150 \text{ psi}$, $E=1,400,000 \text{ psi}$
 5" Thick and Larger $F_c=1150 \text{ psi}$, $E=1,400,000 \text{ psi}$
 DUE TO INHERENT WARPING OF SOLID SAWN LUMBER, CONTRACTOR HAS OPTION TO SUBSTITUTE ANY SOLID WOOD POST MEMBER WITH ENGINEERED LUMBER OF THE SAME SIZE, SUCH AS PSL (PARALLEL STRAND LUMBER) BY TRUSS JOIST OR VL (VERSA-LAM) BY BOISE CASCADE.
- UNLESS OTHERWISE NOTED, A MINIMUM OF (2) STUDS ARE TO BE INSTALLED AT ENDS OF ALL HEADERS, INCLUDING A JACK AND KING STUD.
- UNLESS OTHERWISE NOTED, USE 2x10 HEADERS. USE 2-PLIES AND 3-PLIES FOR HEADERS IN 2x4 AND 2x6 WALLS RESPECTIVELY.
- INSTALL DOUBLE JOISTS UNDER ALL INTERIOR, PARALLEL WALLS.

WOOD CONTINUED

- PLYWOOD SHEATHING AND NAILING TO BE AS FOLLOWS:

| | Nail | Edge | Field |
|------------|------|------|--------|
| ROOF | 3/8" | 8d | 6" 12" |
| EXT. WALLS | 1/2" | 8d | 6" 12" |
| FLOORS | 3/4" | 10d | 6" 12" |

 LEAVE 1/8" SPACE BETWEEN ALL PANEL EDGES.
- GLUE SUBFLOOR CONTINUOUSLY TO JOISTS WITH ELASTOMERIC STRUCTURAL ADHESIVE.
- INSTALL SOLID 2x BLOCKING, SPACED NOT MORE THAN 8- FEET ON CENTER BETWEEN DIMENSIONAL LUMBER JOISTS ON ALL FLOORS. INSTALL BLOCKING (IF NECESSARY) ONLY AS REQUIRED BY MANUFACTURER OF ENGINEERED JOISTS OR ENGINEER.
- PROVIDE CONTINUOUS DOUBLE TOP PLATE WITH STAGGERED JOINTS AT ALL BEARING STUD WALLS.
- INSTALL SOLID BLOCKING IN FLOOR SYSTEMS BETWEEN BOTTOMS OF COLUMNS AND THEIR SUPPORT. FOR SOLID WOOD POSTS USE SOLID LVL BLOCKING. FOR STUD POSTS USE EITHER LVL OR DIMENSIONAL LUMBER WITH GRAIN ORIENTED VERTICALLY.
- UNLESS NOTED OTHERWISE ON DRAWINGS, WOOD LEDGERS SHALL BE ATTACHED AS FOLLOWS:
 - STUDS: 2 ROWS OF 1/2" x5" LAG SCREWS OR LEDGER-LOK SCREWS @ 16" O.C.
 - CONCRETE: 2 ROWS OF 1/2" x5" EXPANSION ANCHORS @ 16" O.C.
 - USE MINIMUM OF 1 1/2" EDGE DISTANCE ON TOP AND BOTTOM OF LEDGER.

| DRAWING INDEX | |
|---------------|------------------|
| SHEET NO. | DESCRIPTION |
| S-0 | STRUCTURAL NOTES |
| S-1 | FRAMING PLANS |

LAYOUT INFORMATION SHOWN ON THESE DRAWINGS IS FROM ARCHITECTURAL DRAWINGS PROVIDED BY OTHERS. STRUCTURAL DESIGN WAS BASED ON THIS INFORMATION. IF INFORMATION IS NOT ACCURATE, THE ENGINEER SHOULD BE INFORMED IMMEDIATELY.

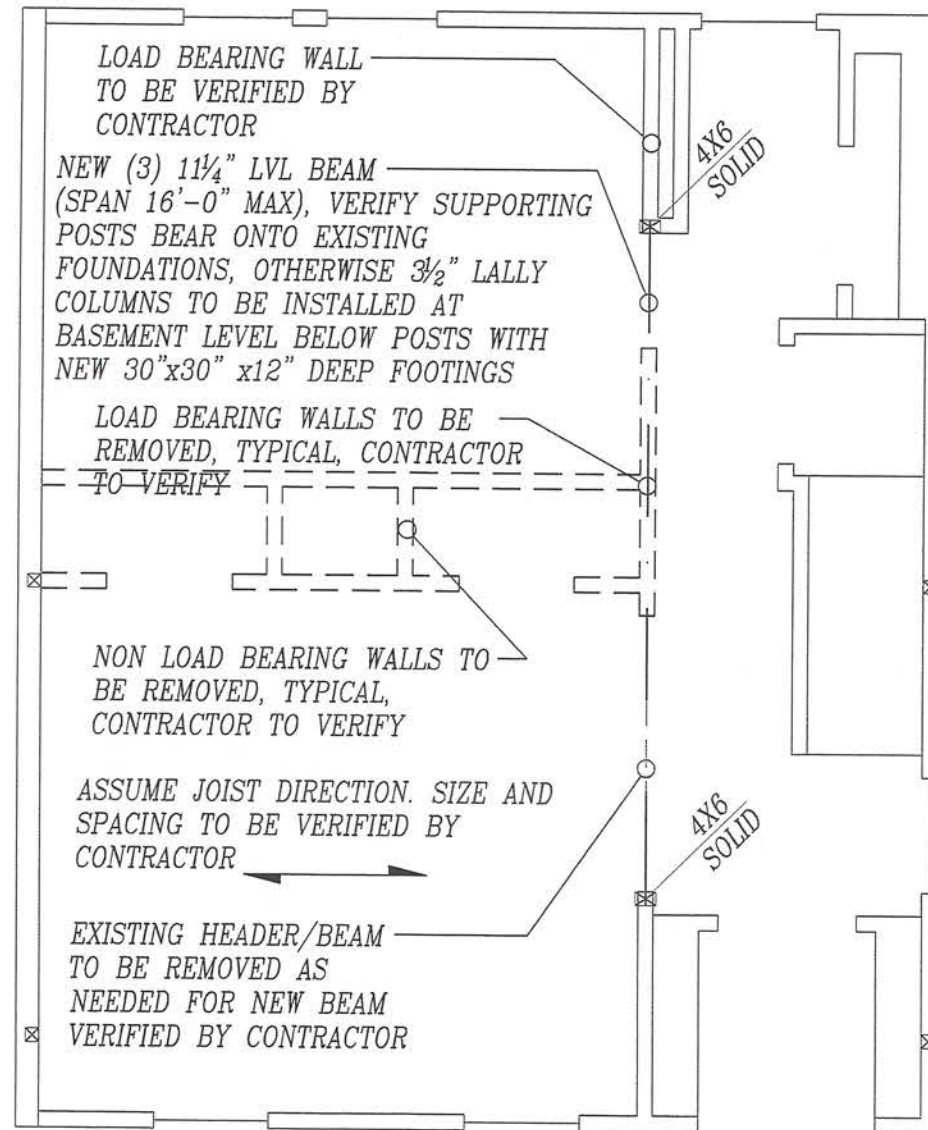
| | |
|------------|----------|
| DATE | 05/30/17 |
| SCALE | SEE DWG |
| DRAWN BY | DSS |
| CHECKED BY | ALL |
| REVISIONS: | |

S-0

FRAMING PLAN NOTES:

1. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS.
2. ALL NEW EXTERIOR WALLS SHALL BE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED. ALL NEW INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED (SEE ARCH DWG).
3. ALL MULTI JACKS/ STUDS TO BE NAILED WITH TWO ROWS OF 12d NAILS @ 12" O.C.
4. PROVIDE MIN. (2) 2x4 JACK STUD UNDER EACH END OF ALL HEADERS/ BEAMS UNLESS OTHERWISE NOTED.
5. ALL EXISTING OR NEW HEADERS IN WALLS SHALL BE (2) 2x8 AND (3) 2x8 IN 2x4 AND 2x6 WALLS RESPECTIVELY FOR OPENINGS LESS THAN 3'-6" UNLESS NOTED OTHERWISE. PROVIDE (2) 2x4 JACK STUDS AT EACH SIDE OF EXISTING HEADERS WHEN IN FILLING FOR OPENINGS.
6. PROVIDE SOLID POST AND BLOCKING/CONTINUOUS POST ALL THE WAY TO FOUNDATION TO PROVIDE CONTINUOUS BEARING PATH. USE LVL BLOCKING OR DIMENSIONAL LUMBER WITH GRAIN ORIENTED VERTICALLY. ANY POST WHEN IN CONTACT WITH CONCRETE SHALL BE PROTECTED IF NOT PRESSURE TREATED.
7. WHERE SIMPSON HARDWARE IS SLIGHTLY WIDER THAN BEAM/JOIST, PROVIDE SHIM MATERIAL FOR FLUSH INSTALLATION.
8. REFER TO SHEET S-0 FOR STRUCTURAL NOTES.

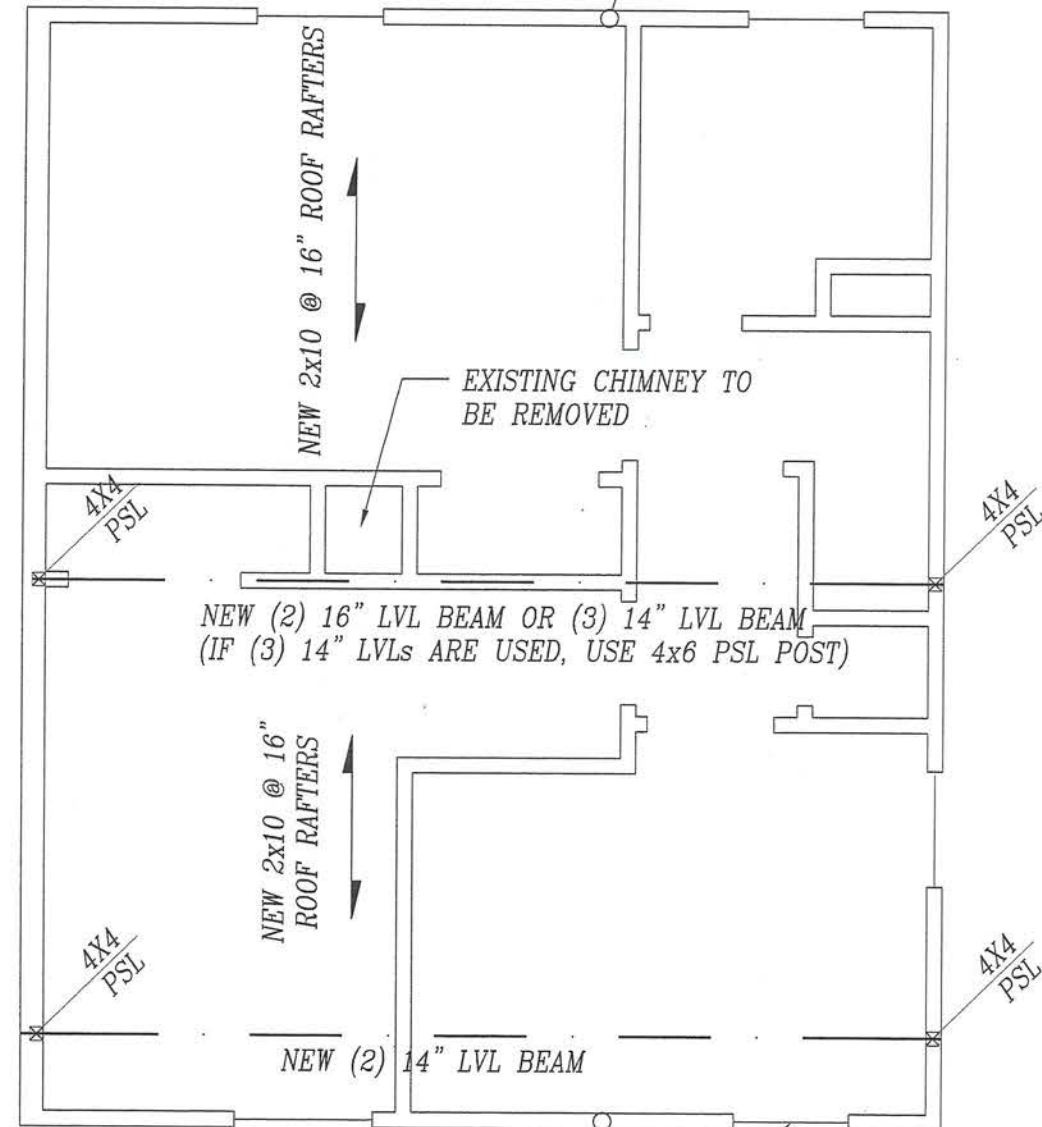
NOTE:
DURING CONSTRUCTION, THE ENGINEER TO REVIEW EXPOSED FRAMING AND DESIGN AND REVISE MEMBERS AND CONNECTIONS, AS REQUIRED. ALL EXISTING MEMBERS THAT CORRESPOND WITH NEW FRAMING NOTED ON PLANS SHALL BE VERIFIED IN FIELD BY CONTRACTOR AND BROUGHT TO THE ATTENTION OF THE ENGINEER IF DIFFERENT/UNDERSIZED.



SECOND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

NEW 2x4 FULL-LENGTH STUDS SPLICED TO EXISTING STUDS WITH 10d NAILS @ 12", NEW STUDS TO BEAR AND ATTACH TO EXISTING BOTTOM PLATE. (TYPICAL ON ALL THREE WALLS)



NEW 2x4 STUDS/RAFTERS SPLICED TO EXISTING STUDS WITH (2) 10d NAILS @ 12", TO BEAR AND ATTACH TO EXISTING BOTTOM PLATE.

EXISTING FRONT WINDOW DORMERS TO REMAIN AND BE REINFORCED AS REQUIRED (TYP.)

ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"

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BOSTON, MA

FRAMING PLANS

| | | | |
|----------|----------|------------|------------|
| DATE | 05/30/17 | SEE DWG | REVISIONS: |
| SCALE | | DSS | |
| DRAWN BY | | CHECKED BY | ALL |

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